

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**APRIL 5, 2023
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the March 15, 2023 Planning Commission meeting.**
- 4. Public Hearings and Recommendations to City Council:**
 - a. Zoning application [2023-402] for approximately 22 acres located along Wenlon Drive to be rezoned from RM-12 to PRD (The Murph PRD), Eastman Residential applicant. (Project Planner: Holly Smyth)**
 - b. Zoning application [2023-403] for approximately 17.98 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.7 acres) and PCD (Northfield Acres PCD – 3.28 acres), Haury & Smith Contractors, Inc. applicant. (Project Planner: Holly Smyth)**
 - c. Annexation petition and plan of services [2023-502] for approximately 8.6 acres located along Manson Pike, Marsha Love applicant. (Project Planner: Marina Rush)**
 - d. Zoning application [2023-404] for approximately 8.2 acres located along Manson Pike to be zoned PND (Rutherford Collegiate Prep PND) simultaneous with annexation, Ryan Companies US, Inc. applicant. (Project Planner: Marina Rush)**
- 5. Staff Reports and Other Business:**
 - a. Mandatory Referral [2023-708] to consider the dedication of electric easements located on City-owned properties along North Thompson Lane, Bradyville Pike and Searcy Street, Middle Tennessee Electric applicant. (Presenter: David Ives)**
- 6. Adjourn.**

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 5, 2023
PROJECT PLANNER: HOLLY SMYTH**

4.a. Zoning application [2023-402] for approximately 21.99 acres located along Wenlon Drive to be rezoned from RM-12 to PRD (The Murph PRD), Eastman Residential applicant.

The subject property is located at 1345 Wenlon Drive just south of East Northfield Boulevard was developed with an apartment complex originally named Raiders Ridge shortly after its 2003 approved. The entire existing apartment complex is zoned RM-12, consists of 1 parcel, and is identified as Tax Map 081 Parcel 11204. As shown on page 11 of the program book, the existing complex contains **216 existing** dwelling units with 696 bedrooms and 696 baths, which is an existing density of 9.8 units to the acre. On November 13th, 2022, the Planning Commission approved a Site Plan to renovate a portion of the existing 4-bedroom 4-bathroom units into 1 and 2-bedroom units with the additional density available within the existing RM-12 zoning (Phase 1). The new units made within the existing building footprint was 48 net new units, bringing the total unit count to **264 units** (reducing the bedroom count by 96) with **a density of 12 units to the acre**.

The applicant requested a sanitary sewer allocation variance for both Phase 1 and Phase 2 renovations for the entire complex with a total of 96 net new units. This full increase in units was approved by the City Council on November 3, 2022. However, the additional density could not be approved by the Planning Commission on a site plan until a zone change is approved.

The applicant is now applying for a rezoning of the site from RM-12 to Planned Residential District (The Murph PRD) to allow the conversion of the remaining 4-bedroom 4-bathroom units within the existing buildings. This Phase 2 would convert units such that an additional 48 net new units would be created for a total of **312 units**. This conversion would further reduce the bedroom count by another 96 units and equates to an overall density of **14.19 units per acre**.

In total, the overall proposal increases the number of units between both project phases from 216 to 312 units (for 96 total net new units). The total project site would decrease the overall number of bedrooms by 96 and reduce the number of bathrooms by 96 (for a 13.85% reduction). The phasing and floor plan layouts are depicted on pages 15, 16, and 17 of the pattern book. The modifications to this existing apartment complex are part of a rebranding and new management strategy by the new property owners that will also tackle some exterior and all interior deferred maintenance of all the units. The proposed density of 14.19 units per acre exceeds the maximum allowable density of the current underlying RM-12 zoning, prompting the applicants to apply for the rezone described above.

Adjacent Zoning and Land Uses

Surrounding zoning is RM-16 and RM-12 (Residential Multi-Family) to the north, R-MO (Residential Mobile Home Park) to the west, RD (Residential Duplex) and RS-15 (Residential Single Family) to the south, and RM-16 and RS-15 to the east, as shown on page 3 of the program book. The surrounding uses include apartments and duplex, triplexes and quads to the north, mobile homes to the west, single family homes, a duplex, and apartments to the south, and a nursery, dentist office, childcare and apartments on the southeast side of Wenlon Drive.

Proposed PRD

The development has two (2) points of full ingress/egress off Wenlon Drive, which is designated as a Community Collector roadway. The main gated entrance is at the southwest portion of the site and the secondary gated access is located at the northeast portion of the site. This roadway is on the 2040 Major Transportation Plan as a planned 3-lane roadway. When this development was originally constructed, the initial developer paid their fair share portion for improvements to Wenlon Drive and a new stub connection road that would be constructed between Wenlon Drive and Lascassas Pike.

The existing versus proposed unit layout is shown on pages 15 and 16 of the pattern book converting the 4-bedroom units into 1 or 2-bedroom units. Page 18 shows that buildings 5 through 8 are being converted as part of Phase 1, while buildings 1 through 4 will be converted during Phase 2 of construction. In addition to modifying the interior unit layouts, all of the units will be receiving new paint, flooring, and fixtures.

The below table breaks down the current and proposed post-renovated unit type mix as well as parking standards in both cases. Based on current parking standards, the new unit mix requires 698 regular parking spaces while the complex provides for 703 parking spaces. This proposed post-renovated parking provides a surplus of 5 spaces over minimum requirements. Trash is handled at the complex via an existing fully functional enclosed trash compactor that will continue post project.

<u>Unit Type</u>	<u>Sq Ft</u>	<u>Existing Unit Count</u>	<u>Original Required Parking</u>	<u>Original Parking Provided</u>	<u>Post Unit Count</u>	<u>Required Parking Post Bifurcation</u>
1 Bed/ 1 Bath	680	0 units	1/unit=0		96 units	1.5/unit=144
2 Bed/ 2 Bath	868	48 units	2/unit=96	Will remain	144 units	2.2/unit=316.8
3 Bed/ 3 Bath	1,256	72 units	3/unit=216	unchanged	72 units	3.3/unit=237.6
4 Bed/ 4 Bath	1,548	96 units	4/unit=384		0 units	4.4/unit=0
			696 spaces	703	312 units	698 spaces

The existing building material used in the exteriors consist of brick around the 1st and 2nd floor base, with vinyl siding on the 3rd levels, with asphalt shingle roofing and vinyl windows. The exterior building materials and windows will be kept as is with all surfaces being thoroughly cleaned. On-site amenity upgrades and maintenance enhancements are shown on pages 11, 12, and 14 of the program book and include the following:

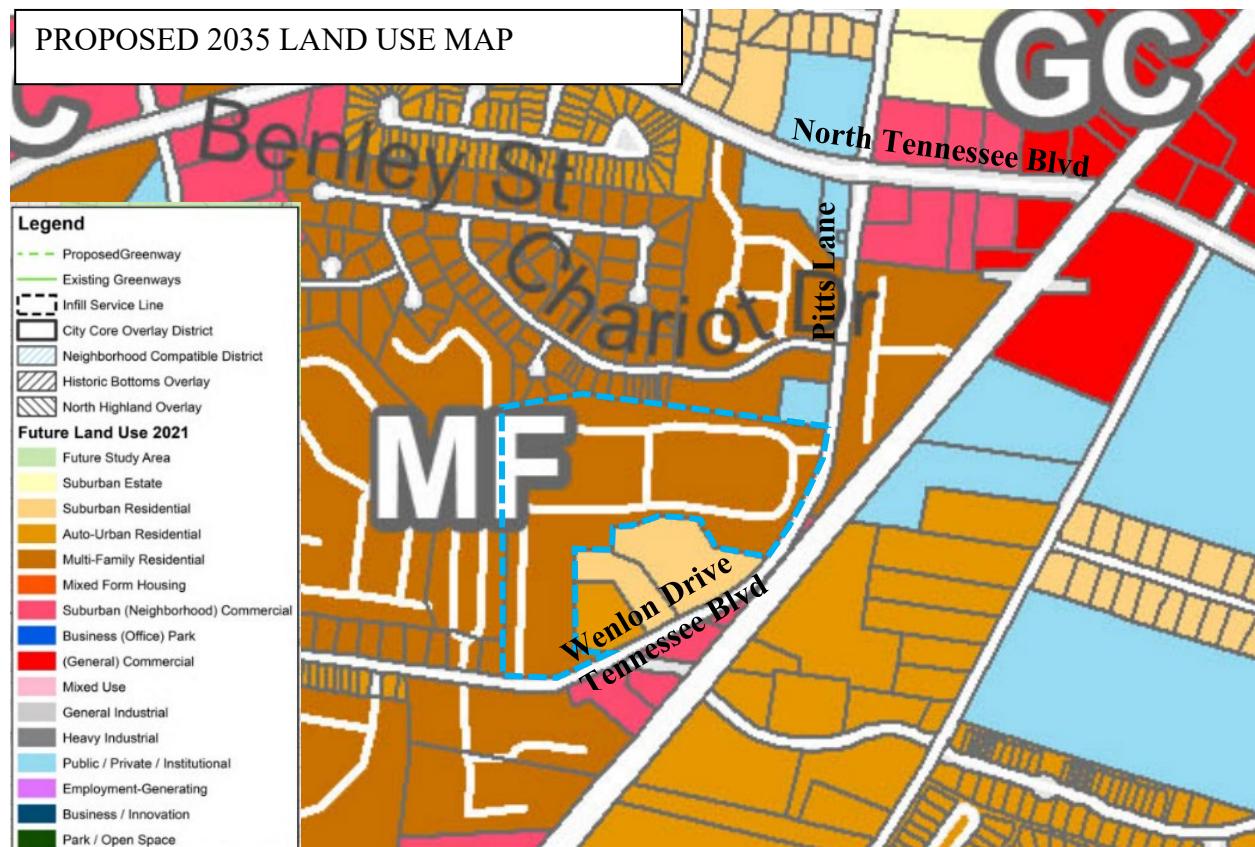
- Upgrading the dog park by expanding the fenced area and completely revamping.
- Resurface tennis court I and convert tennis court II into 2 pickleball courts.
- Convert defunct basketball court into childrens play area and add new playground opposite the existing gazebo structure
- Renovate existing volleyball court
- Upgrade pool area by refurbishing and adding perimeter landscaping

The applicant proposes to enhance several landscape areas that seamed to have gaps in meeting the original intended purpose as shown on page 14 of the program book. Enhancements include evergreen trees planting along the southwest side of the complex, pool screening to create a filtered view, open space shade trees to be added to the dog park, and foundation planting added at the main entrance into the club house. Staff suggested additional foundation planting enhancements along the southside of the Building 1 which is north of the pool area, which have been incorporated into the program book.

The only exception being requested, as shown in red on page 19 of the program book, is an increase in density from 12 dwelling units to the acre to 14.19 dwelling units to the acre within the existing building footprints.

Future Land Use Map

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that the Multi-Family Residential land use character for the subject property. This classification accommodates developments with complexes of often several, multi-story multi-family buildings, interspersed with parking lots and open spaces. Development intensity is up to 19.93 units per acre, with RM-12, RM-16, PUD, and PRD considered compatible zoning districts. The proposed future land use map, still under review by the Planning Commission, continues to identify the site's land use character as Multi-Family Residential (see excerpt from the future land use map below). The proposed PRD designation is consistent with the current and proposed future land use maps of the General Plan.



Department Recommendation

Staff is supportive of this rezoning request for the following reasons:

- 1) The proposal is consistent with both the existing and proposed land use maps.
- 2) The proposal is compatible with existing land uses in the area.
- 3) The proposed reconfiguration and renovations would allow reinvestment into an existing complex in disrepair and will bring on-site management that will promote the creation of a safe and desirable living environment for residential areas characterized by a unified site and development program.
- 4) The improvements will extend the useful life of the property.
- 5) The reduction of bedrooms and restrooms and the installation of low-flow devices throughout should reduce the sewer impact on the City per details provided to Murfreesboro Water Resources Department.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should hold the public hearing, discuss this item, and then formulate a recommendation to the City Council.



Rezoning Request for Property located along Wenlon Drive RM-12 to PRD (The Murph PRD)



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning Request for Property located along Wenlon Drive RM-12 to PRD (The Murph PRD)

570 285 0 570 Feet



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

THE MURPH

**Request for Rezoning to
Planned Residential
District (PRD)**

**SUBMITTED FOR THE APRIL 5,
2023 PLANNING COMMISSION
PUBLIC HEARING.**



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PROJECT SUMMARY

The Murph ("the property") is a student housing property built in 2006 located at 1345 Wenlon Drive. The property contains **216** units and sits on 21.99 acres with a density of 9.83 units per acre. The unit mix is broken down by (48) 2-bedrooms, (72) 3-bedroom and (96) 4-bedroom apartments for a total bedroom count of 696 and total bathroom count of 696. The property was originally designed for student housing; however, the apartments are located more than 2 miles from the MTSU campus. The distance from campus, and the competition from new apartments has had a negative impact on the property.

Eastman Residential strives to provide an exceptional quality of living for its' residents. This strategy has proven successful in multiple other projects throughout the Nashville MSA and specifically in Murfreesboro at The Dempsey and Cottages at Bear Branch. At these properties, Eastman completely transformed the properties with exterior and interior upgrades and created a community that residents are proud of.

At the Murph, Eastman is planning a two-phased approach to bifurcate the 96 existing 4-bedroom units into (1) one-bedroom unit and (2) two-bedroom units. Phase 1 of the project, which received site plan approval from the Murfreesboro Planning Commission on November 13th, 2022, consists of creating 48 new units within the maximum density allowed for the existing RM-12 zoning. Phase 2 of the bifurcation would create another 48 units after a zoning change to PRD is approved. Through this process, the property will reduce both the bedroom and bathroom count to 600 EACH. However, the unit count will go up to 312 which equates to a density of 14.19 units per acre with the existing buildings.

The project will implement CPTED standards where feasible. The owner will be offering law enforcement personnel a reduced rental rate.

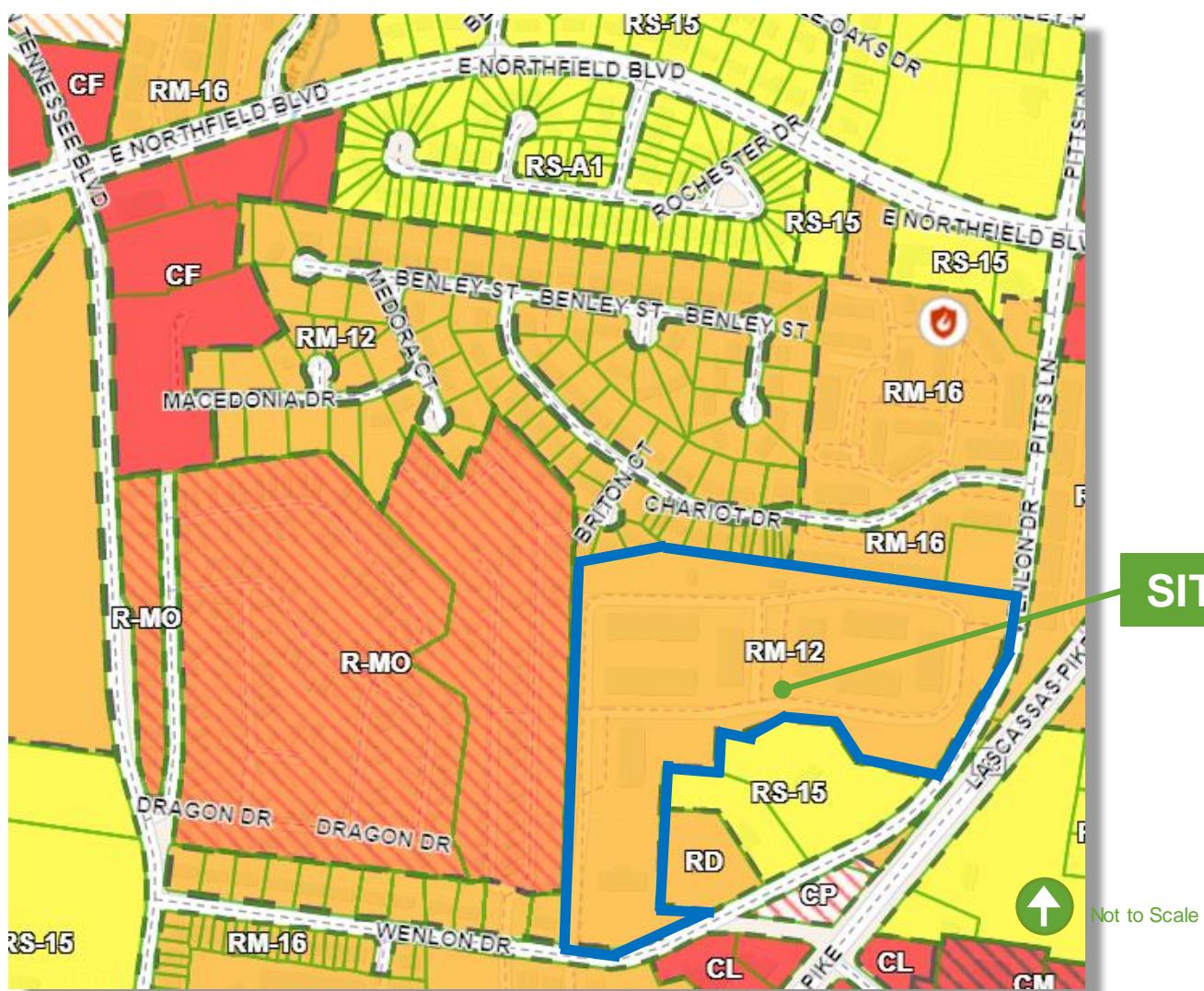
Site Data

Original Units:	216 Units
Site Area:	21.99 Acres
Original Density:	9.82 Units per Acre
Post Renovation Units:	312 Units
Post Renovation Density:	14.19 Units per Acre
Net Change in Units:	+ 96 units

Development Team

Company Name: Huddleston-Steele	Company Name: Eastman Residential
Profession: Civil Engineer	Profession: Owner/Developer
Attn: Clyde Rountree, RLA	Attn: Marc Schofel
Phone: 615.509.5930	Phone: 973-493-9170
Email: rountree.associates@yahoo.com	Email: marc@eastmanresidential.com

ZONING MAP



Map Summary

- Site is currently zoned RM-12 (22 AC).
- Address is 1345 Wenlon Drive, Murfreesboro, TN.
- Property to the north is zoned RM-16 and RM-12.
- Property to the west is zoned R-MO.
- Property to the south is zoned RD & RS-15.
- Property to east is zoned RM-16 and RS-15.
- Requested zoning for site is PRD.

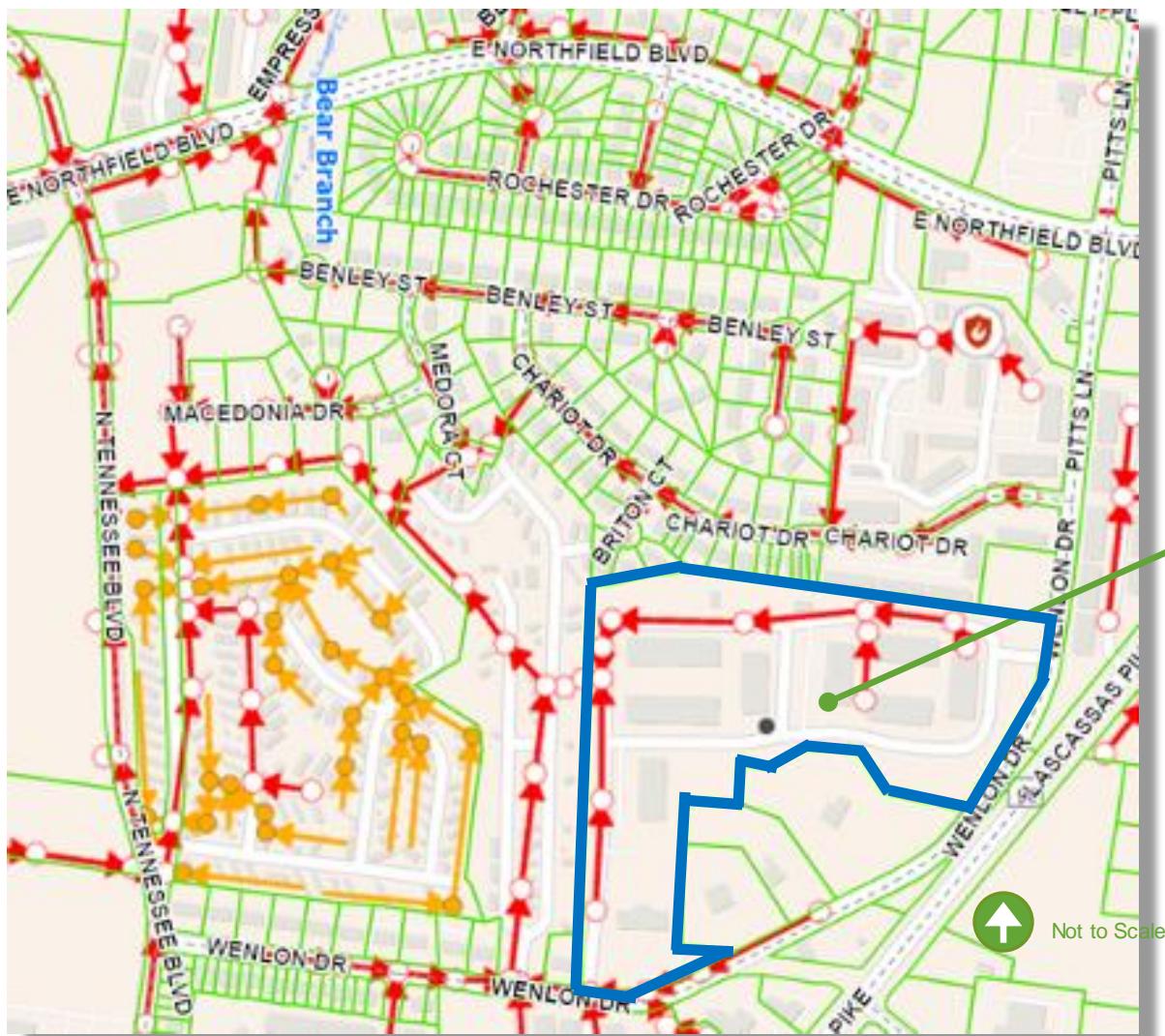
Legend

RS-15	Residential Single Family
RM-16	Residential Multi Family
RD	Residential Duplex (RD)
R-MO	Residential Mobile Home (R-MO)
CL	Commercial Local (CL)
CM	Commercial Medical (CM)
CP	Commercial Planned (CP)



Site boundary

UTILITY MAP – SEWER



MAP SUMMARY

- Eastman Residential received approval of their sewer Allocation Variance for the full 312 units (including both Phase 1 and Phase 2) on October 24, 2022.
- Sewer service is provided by the Murfreesboro Water Resource Department.

SITE

Legend

Existing Gravity Line: Private Gravity Line: Existing Manhole: Private Manhole:



Site boundary

UTILITY MAP – WATER



Map Summary

- Eastman Residential received approval of their sewer Allocation Variance for the full 312 units (including both Phase 1 and Phase 2) on October 24, 2022.
- Water is provided by the Murfreesboro Water Resource Department.
- 2 water supply loops service subject property

Legend

WATERLINE:



FIRE HYDRANT:

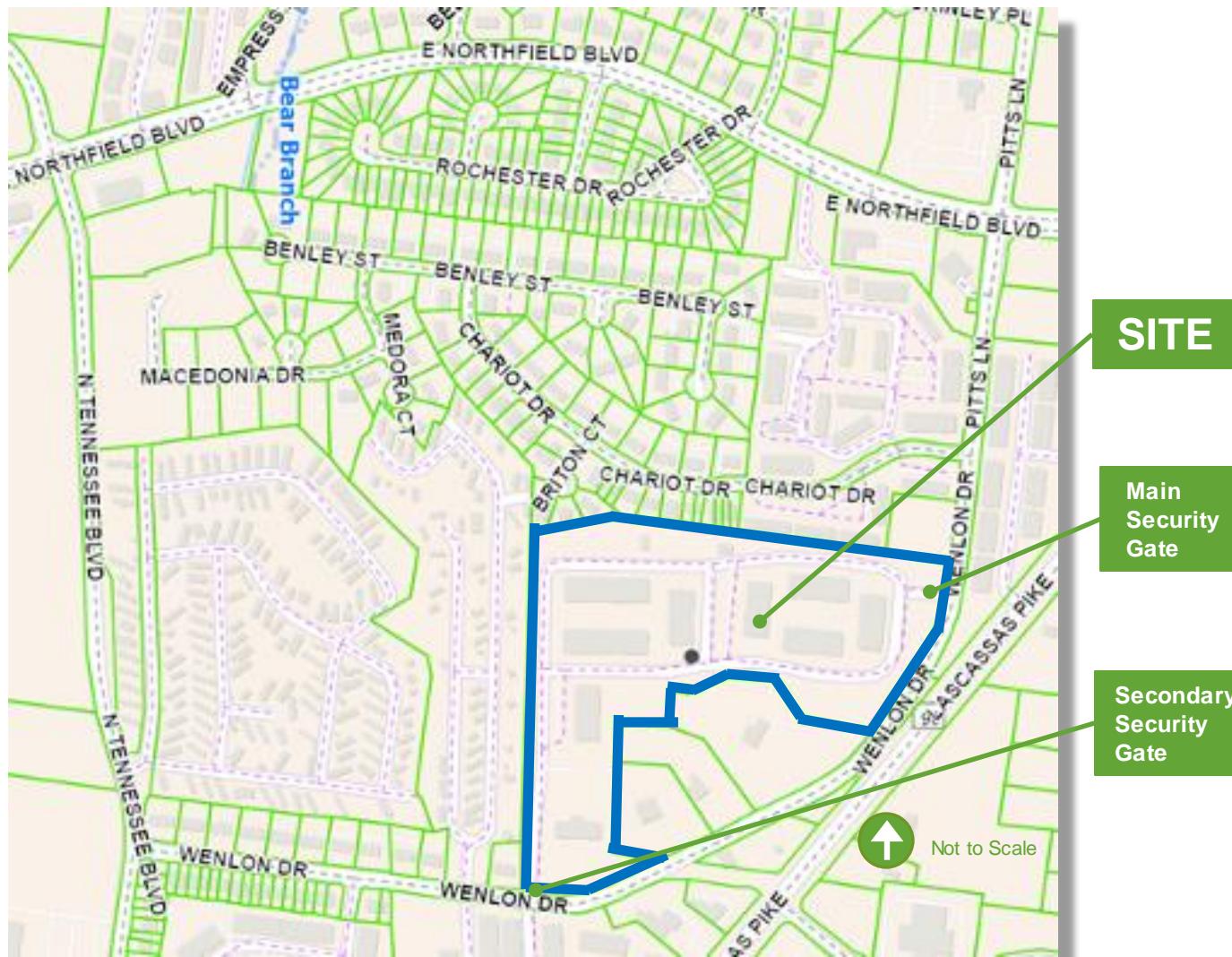


Site boundary

ARIAL MAP



ROADWAY MAP



Map Summary

- Main entrance to subject property is via Wenlon Drive. Secondary entrance exists off Wenlon Drive/Pitt Lane.
- Both entrances are gated for privacy of residents with emergency access to all law enforcement personnel.
- Access to property via secondary entrance gate is currently restricted by ownership. Ownership has committed to reactivating gate
- All roads on site are private and maintained by ownership

Road Classification Legend

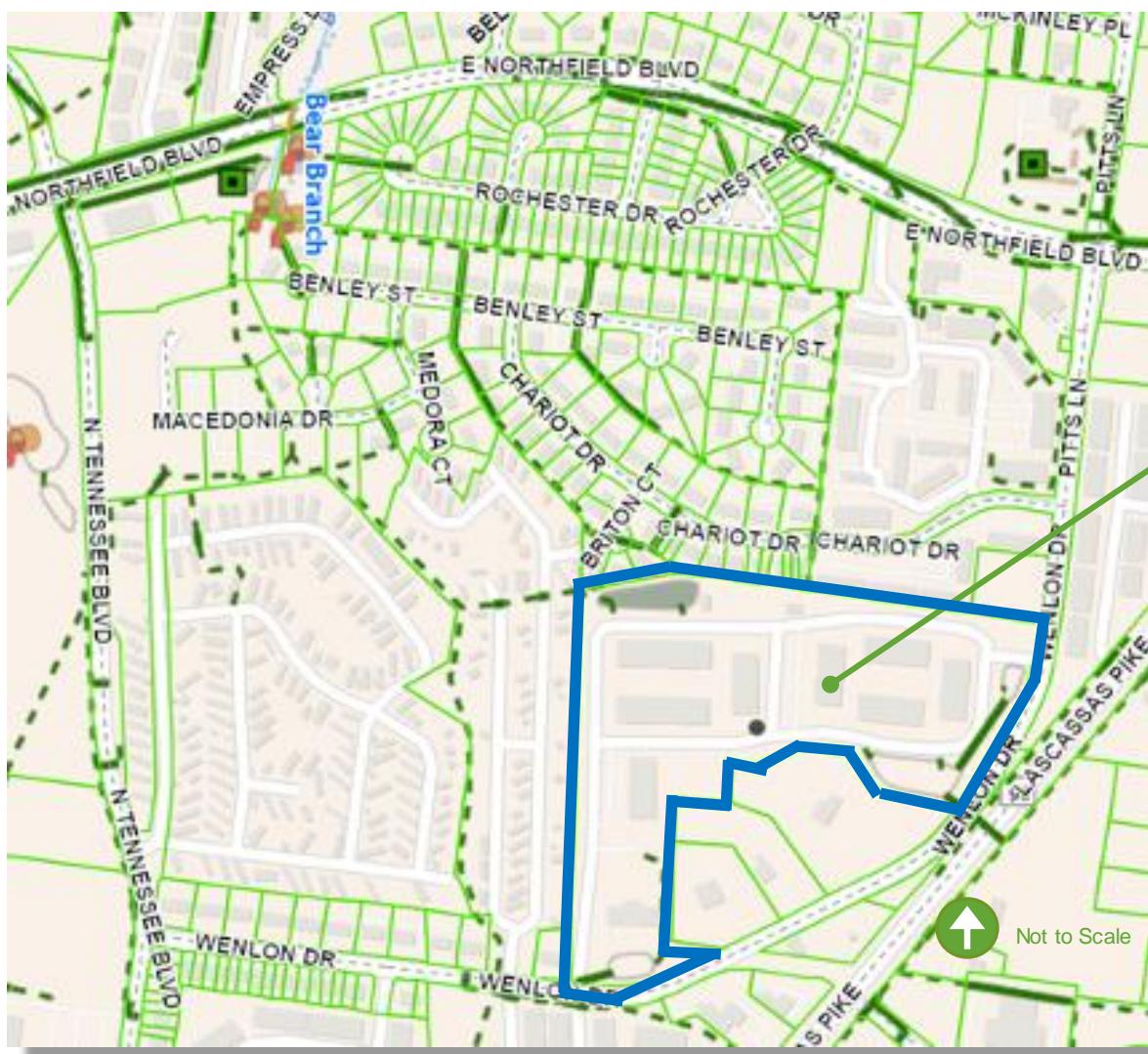
Private Roadway:

Public Street:



Site boundary

STORMWATER MAP



Map Summary

- All existing retention areas are expected to remain.
- No additional sewer is planned for the development as building footprints will remain unchanged

Legend

Stormwater Path:

Retention Area:



Site boundary

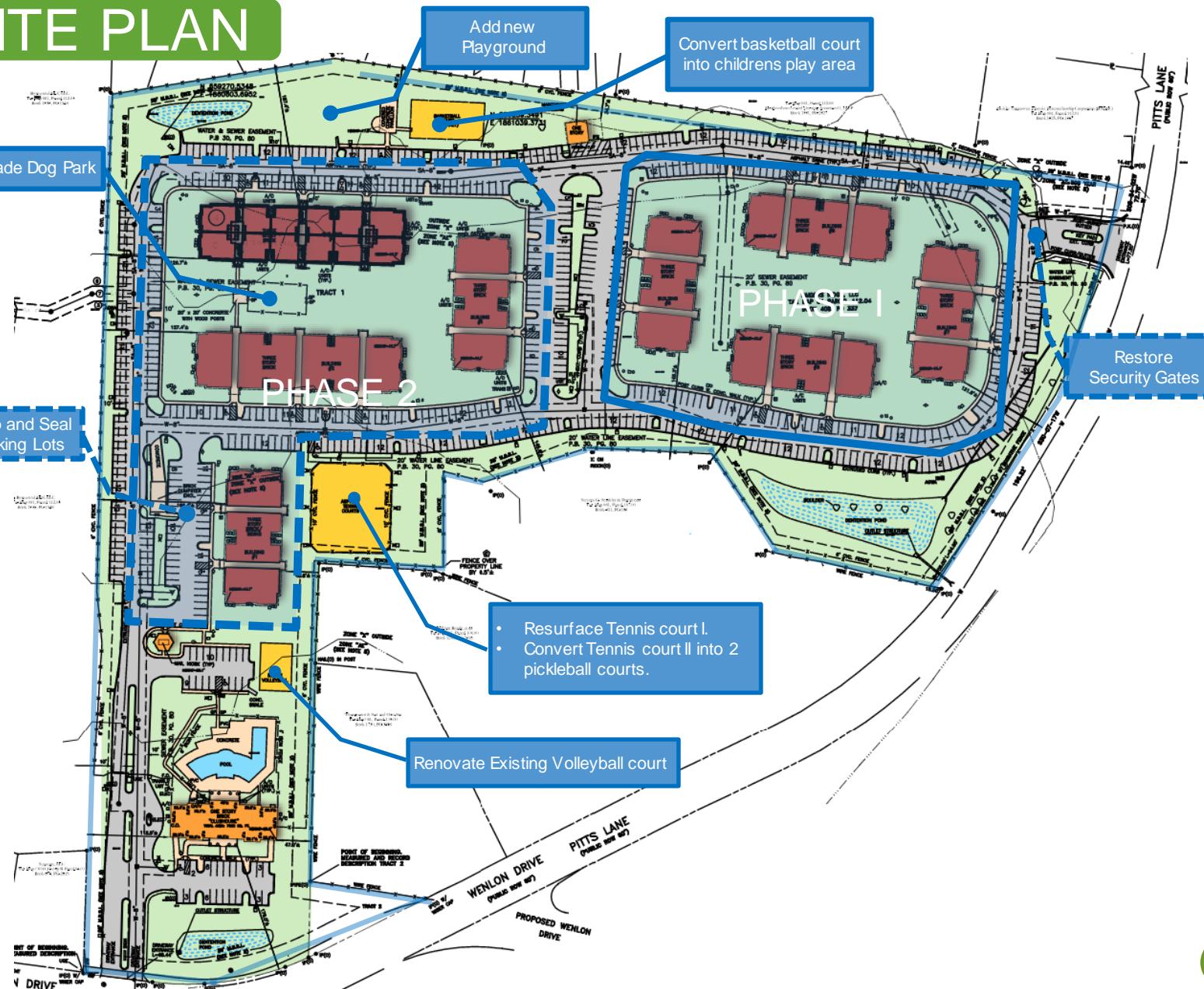
EXISTING CONDITIONS PHOTOS



EXISTING CONDITIONS PHOTOS



SITE PLAN



Site Data

Original Units:	216 Units
Site Area:	21.99 Acres
Original Density:	9.82 Units per Acre
Post Renovation Units:	312 Units
Post Renovation Density:	14.19 Units per Acre
Net Change in Units:	+ 96 units
Parking Spaces:	703 spaces

Legend

Brick 3-story apt building	Road & Parking
Recreational Sports	Detention Field
Resident Services	Green Space
Pool	Sidewalk and Walkway
Phase I upgrades	
Phase II Upgrades	
Site boundary	



Not to Scale

AMENITY UPGRADES

Basketball Court Conversion

Existing: Poorly Maintained with limited appeal.
Proposed: Children play area designed to broaden appeal to whole family.



New Plaground in Open Area

Existing: under utilized space.
Proposed: Encourage exercise improves connections between parents and young children.



Upgrade Pet Park Facility

Existing: Not well maintained.
Proposed: Complete revamp and expansion of pet park and fencing.



Upgrade Pool Area

Existing: Not well maintained.
Proposed: Refurbish and add perimeter landscaping



Tennis Court Conversion

Existing: Dated and poorly maintained.
Proposed: Restore surface and convert court II



PARKING PLAN



Summary

Existing on-site parking is adequate to meet the needs of the proposed bifurcations

UNIT COUNTS AND PARKING TABULATION

PRE-RECONFIGURATION PARKING SPACES REQUIRED		
1 SPACE PER 1 BEDROOM	= 0 UNITS	= 0 SPACES
2 SPACE PER 2 BEDROOM	= 48 UNITS	= 96 SPACES
3 SPACE PER 3 BEDROOM	= 72 UNITS	= 216 SPACES
4 SPACE PER 4 BEDROOM	= 96 UNITS	= 384 SPACES
TOTAL UNITS:	216	
TOTAL SPACES REQUIRED =		696 SPACES REQUIRED
TOTAL SPACES PROVIDED =		703 SPACES
POST-RECONFIGURATION PARKING SPACES REQUIRED (PHASE 1)		
1.5 SPACE PER 1 BEDROOM	= 48 UNITS	= 72 SPACES
2.2 SPACE PER 2 BEDROOM	= 48 UNITS	= 106 SPACES
3.3 SPACE PER 3 BEDROOM	= 72 UNITS	= 238 SPACES
4.4 SPACE PER 4 BEDROOM	= 48 UNITS	= 211 SPACES
TOTAL UNITS:	264	
TOTAL SPACES REQUIRED =		627 SPACES REQUIRED
TOTAL SPACES PROVIDED =		703 SPACES
POST-RECONFIGURATION PARKING SPACES REQUIRED (PHASE 2)		
1.5 SPACE PER 1 BEDROOM	= 96 UNITS	= 144 SPACES
2.2 SPACE PER 2 BEDROOM	= 144 UNITS	= 316.8 SPACES
3.3 SPACE PER 3 BEDROOM	= 72 UNITS	= 237.6 SPACES
TOTAL UNITS:	312	
TOTAL SPACES REQUIRED =		698 SPACES REQUIRED
TOTAL SPACES PROVIDED =		703 SPACES



Not to Scale



CONCEPTUAL LANDSCAPE PLAN



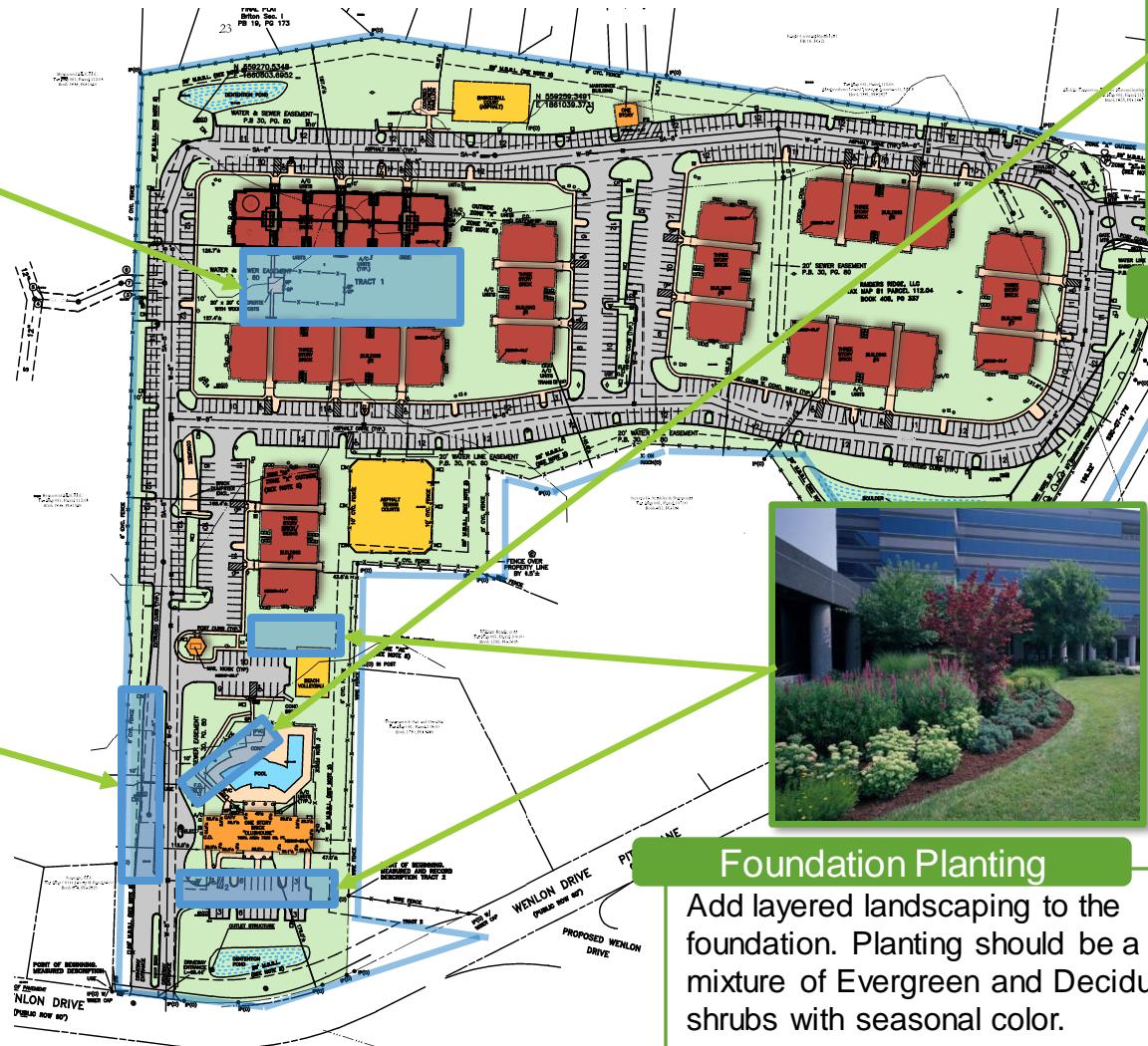
Open Space Shade Trees

Add shade trees in large lawn area to provide shade in the Dog Park and soften building massing.



Property Line Buffer Infill

Evergreen Trees and/or large Evergreen shrubs to fill in gaps along western property line – where identified on plan.



Pool Screen

Mixture of Evergreen and Deciduous plants to create a filtered view into the pool area.



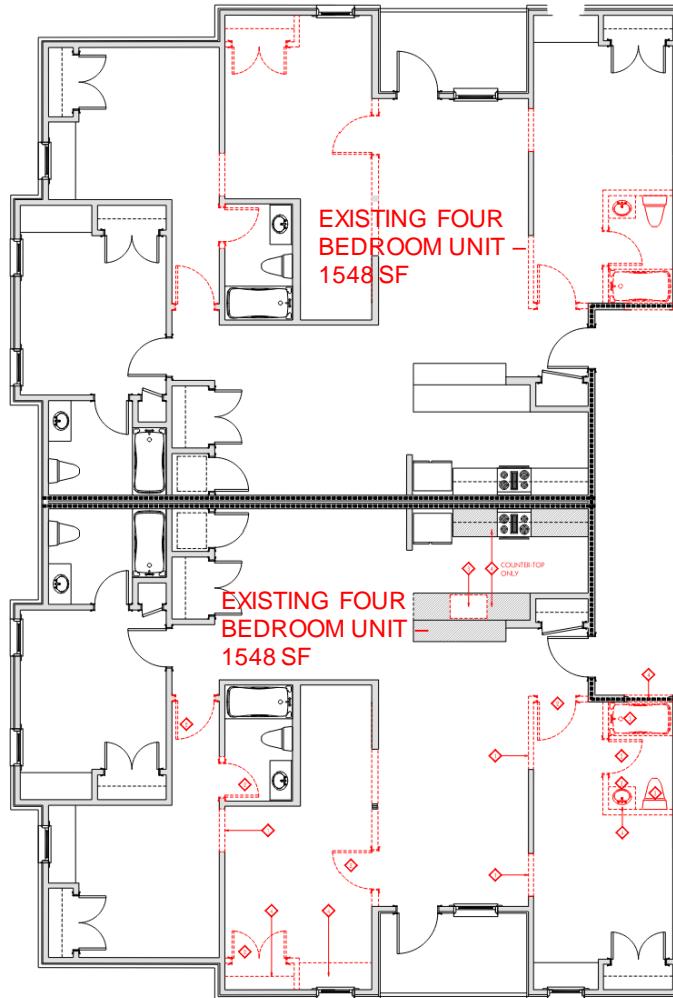
Foundation Planting

Add layered landscaping to the foundation. Planting should be a mixture of Evergreen and Deciduous shrubs with seasonal color.

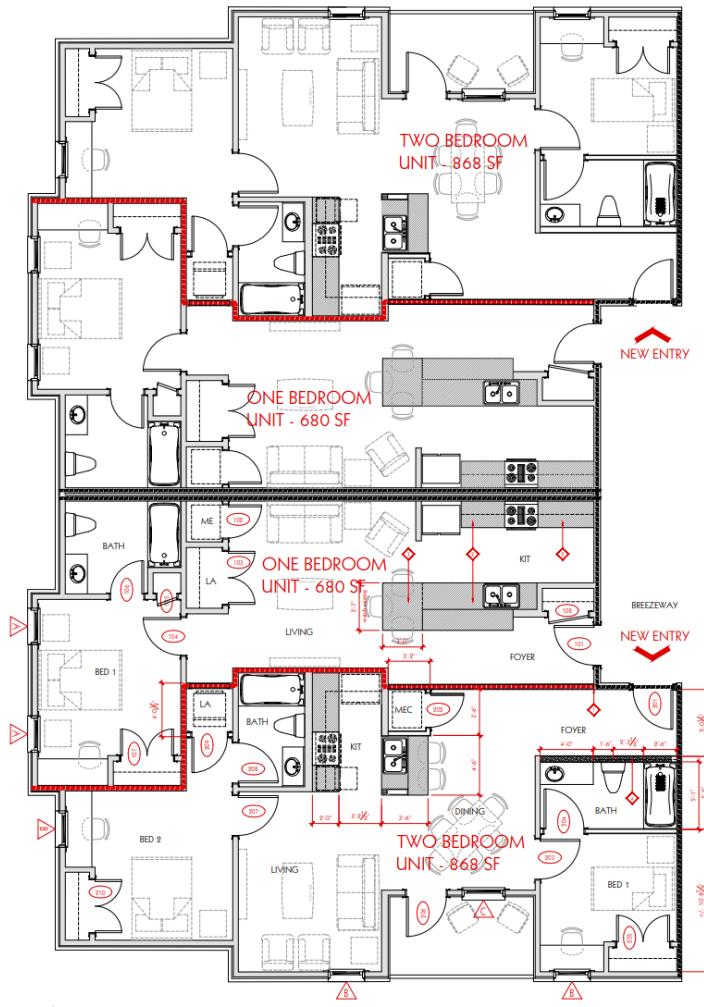


Not to Scale

ARCHITECTURAL PLANS



A12 TYPICAL UNIT DEMOLITION PLAN (EXISTING PRE-BIFURCATION)
SCALE: 1' = 8" (1/8" = 1'-0")



A12 TYPICAL ONE BEDROOM & 2 BEDROOM UNIT FLOOR PLANS (NEW POST-BIFURCATION)
SCALE: 1" = 4' (1/4" = 1'-0")

Bifurcation Summary

- The project remodels existing 4-bedroom units into 1- and 2-bedroom units.
- All existing buildings are fully sprinklered.

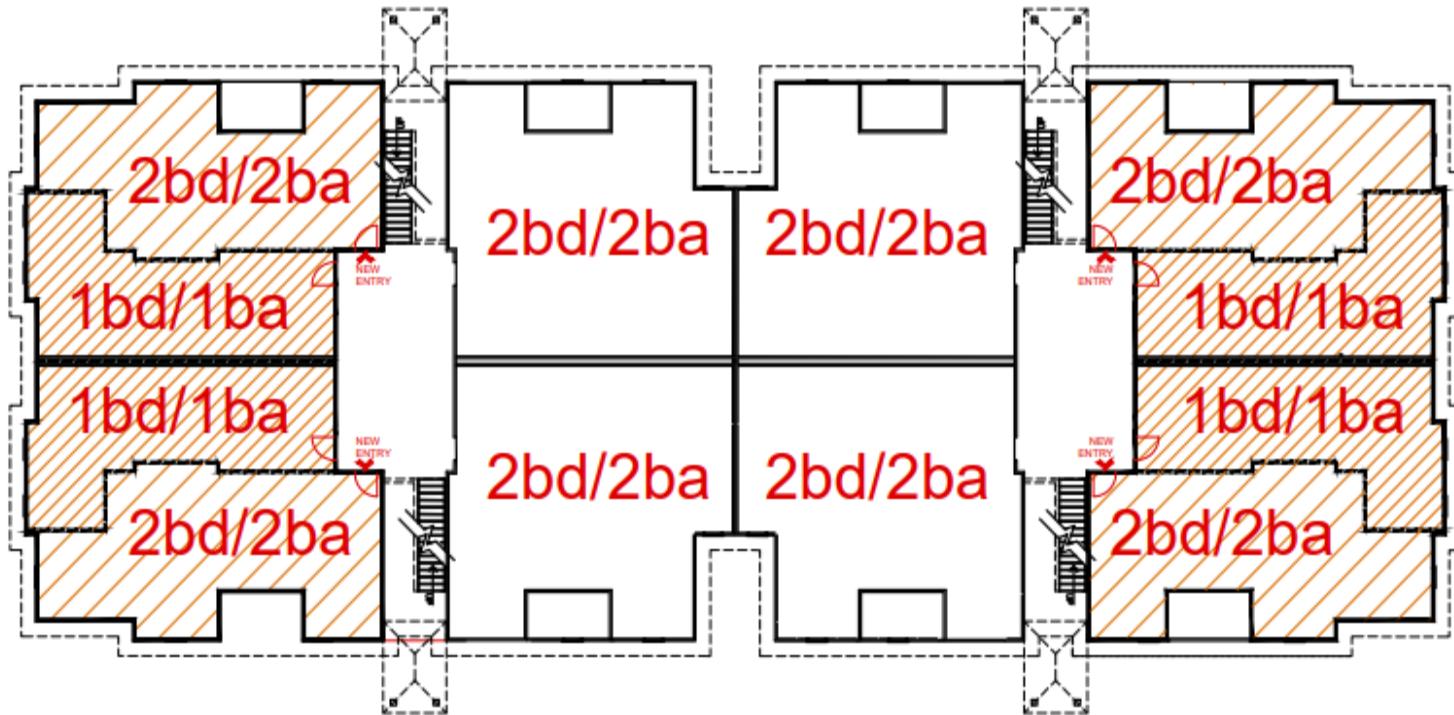
ARCHITECTURAL PLANS

Bifurcation Summary Cont'd

- Four (4) apartment buildings (labeled 1, 2, 3, and 4) and are included in Phase 2 bifurcation.
- Four (4) apartment building (labeled 5,6,7, and 8) were part of a previous phase 1 bifurcation project.

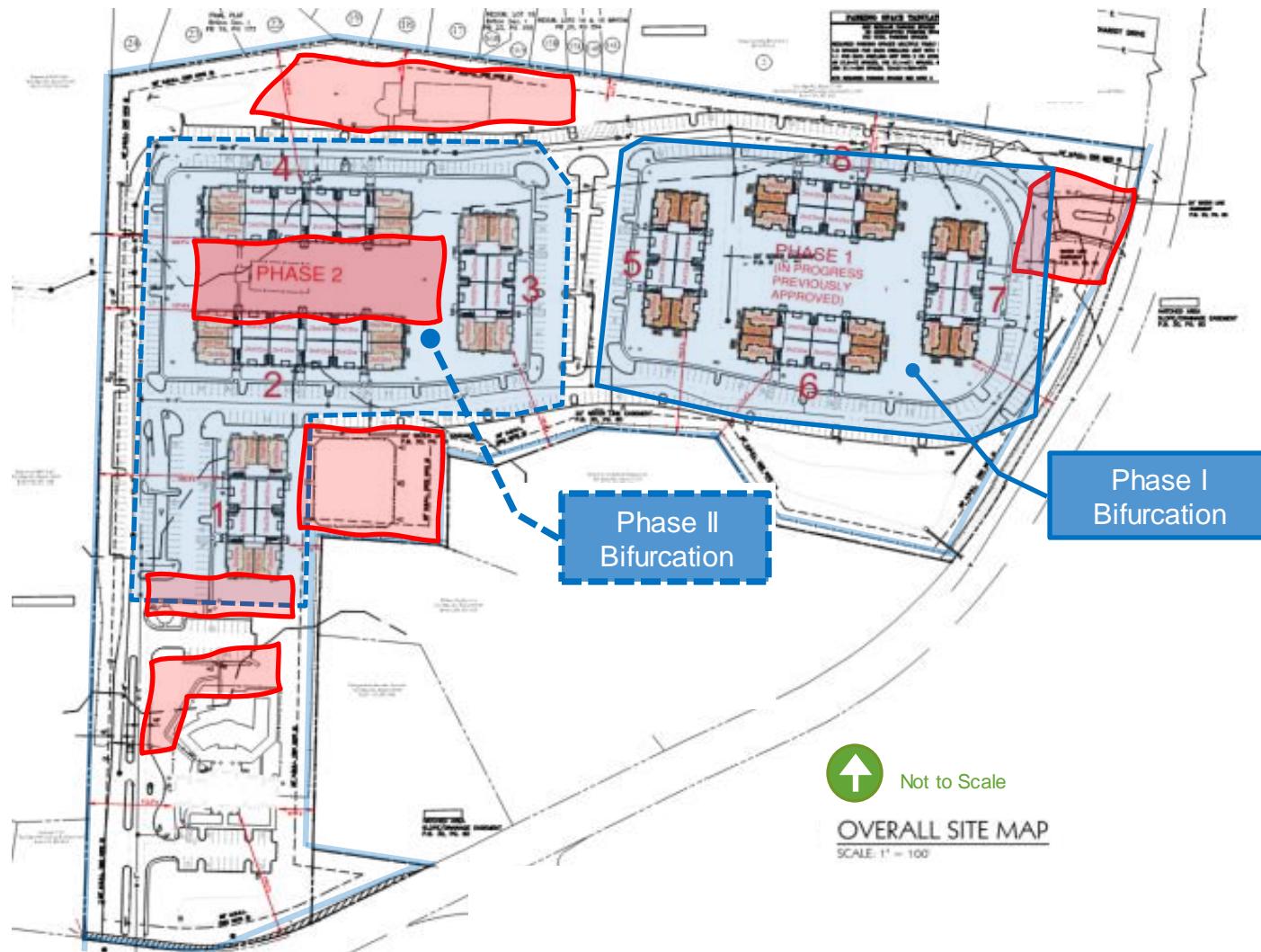
 NEW 2 BEDROOM, 2 BATH UNIT
(PART OF EXISTING 4 BEDROOM,
4 BATH UNIT)

 NEW 1 BEDROOM, 1 BATH UNIT
(PART OF EXISTING 4 BEDROOM,
4 BATH UNIT)



TYPICAL BUILDING BIFURCATION PLAN

RENOVATION AREAS



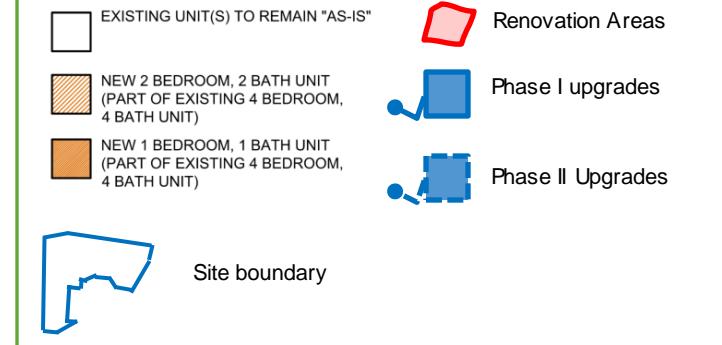
Renovation Area

PAGE 17

Site Data

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Original Density:	9.82 Units per Acre
Post Renovation Units:	312 Units
Post Renovation Density:	14.19 Units per Acre
Net Change in Units:	+ 96 units
Parking Spaces:	703 spaces

Legend



DEVELOPMENT STANDARDS

Development Standards

- Development will include renovation of 4 buildings in Phase 2.
- The maximum building height is not changing – all existing buildings.
- Parking is existing and sufficient.
- Solid waste will be utilizing a private hauler. The existing garbage dumpster and compactor location will remain. A screen wall is existing.
- No new sidewalks will be provided.
- Mail delivery will be accommodated via one mail kiosk (being expanded)
- Telecommunication and television equipment is existing to remain.
- New AC units will be in the current existing locations – screening by landscaping or screen fences will be added.
- Building Elevation Materials: Vinyl Siding will be pressure washed as needed.
- All buildings are existing to remain with existing setbacks.
- 2035 Plan is not applicable since this is a Bifurcation only.

General Applicability Section 13b for Planned Development

- **Ownership and division of land:** *The site is owned by the developer identified on Sheet 2. The lot is currently zoned RM-12 in the City of Murfreesboro.*
- **Waiver of BZA action:** *No BZA actions will be required.*
- **Common space and common elements:** *A large central open space with a dog park is being expanded.*
- **Accessibility of site:** *Site will be accessed from Wenlon Drive, designated as a community collector street.*
- **Off-street parking:** *Parking is existing and sufficient.*
- **Pedestrian circulation:** *No new Sidewalks will be constructed with this project.*
- **Privacy:** *Currently there is no need for privacy upgrades at this location.*
- **Relationship to zoning regulations and other zoning regulations:** *A PRD is being requested for the subject property. Land Requirement Table not applicable*
- **Development Period; Phasing:** *Phase II of the project will be constructed after phase I is complete. Phase I is within the zoning density and received its site plan review approval separately. Phase 2 can only be started with an approved zone change for the site to PRD.*
- **Annexation:** *No annexation is required for this site.*
- **Landscape:** *Landscaping will be the responsibility of the new owner.*

DEVELOPMENT STANDARDS

General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property; *Shown in pattern book on pages 3-8.*
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; *Shown in pattern book pages 6-10*
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; *Shown in pattern book Pages 9-11.*
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; *Shown in pattern book Pages 11 & 13*
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; *Shown in pattern book Page 13*
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); *Not applicable.*
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; *Shown in Pattern book page 18.*
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; *Phase II of the project will be constructed after phase I is complete. Phase I is within the zoning density and received its site plan approval separately. Phase 2 can only be started with an approved zone change for the site to PRD.*
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; *Not applicable.*
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed; *Meets all R-12 development standards other than higher unit density at 14.19 unites per acre.*
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; *Not applicable.*
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; *The subject property is not influenced by the Major Thoroughfare Plan.*
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; *Shown in pattern book Page 2*
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures; *Shown in Pattern Book Pages 9-10,12,14-16.*
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign; *Not applicable.*

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 5, 2023
PROJECT PLANNER: HOLLY SMYTH**

4.b. Zoning application [2023-403] for approximately 17.98 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.7 acres) and PCD (Northfield Acres PCD – 3.28 acres), Haury & Smith Contractors, Inc. applicant.

The subject property is located predominantly at the northwest corner of the intersection of East Northfield Boulevard and North Tennessee Boulevard. The study area involves one undeveloped parcel that crosses North Tennessee Boulevard. The site is identified as Parcel 115.02 of Tax Map 081 and is approximately 17.98 acres. Of the 17.98 acres, 3.28 acres along East Northfield Boulevard is proposed to be rezoned as Planned Commercial District (Northfield Acres PCD). The remaining 14.70 acres will be rezoned to Planned Residential District (Northfield Acres PRD) for this development. Of this 14.70 acres to be zoned PRD, 1.45 acres of land to the east across North Tennessee Boulevard will be set aside as existing wetlands to remain within the PRD resulting in 13.25 developable acres. The proposed PRD would accommodate a total of 77 residential units; 37 single family detached residential homes and 40 single family attached residential units (in eight 5-plex buildings) equating to **5.81 dwelling units per developable acre**.

The following are key overview pages providing the best project context for the overall project, and requested exceptions are discussed below and shown in red text throughout.

- Page 8 contains the overall layout plan for the entire site.
- Page 11 contains typical layout & setbacks proposed for the detached homes
- Page 17 contains typical layout & setbacks proposed for the attached townhomes
- Page 33 contains comparative district tables for both attached and detached residential
- Page 38 contains comparative district tables for Commercial Fringe

Adjacent Zoning and Land Uses

The surrounding zone districts include primarily RM-16 (Multi-Family Residential District) to the west, south and east, PRD (Planned Residential District) to the north and north-east, and CF (Commercial Fringe) to the southeast at the south-east corner of the East Northfield Boulevard and North Tennessee Boulevard intersection. The primary surrounding land uses are either apartments, condos, or duplexes on all sides, as more particularly labeled on page 4 of the program book. The opposing southeast corner of the intersection has a strip commercial center occupied by a small scale furniture store, convenience store, and formerly a pizza business.

At the request of staff, the developer sent out notices to the adjacent neighborhoods within 500' of the project site and held a neighborhood meeting on March 21st, 2023. A little over 30 neighbors attended, with four out of the five nearby residential neighborhoods being represented. These adjacent neighborhoods have the following attributes:

<u>Subdivision Name</u>	<u>Type of Housing</u>	<u># units</u>	<u>Acreage</u>	<u>Density</u>
Brookwood Point	3 & 4-plex townhomes	52	9.76 developable (+4.18 wetlands)	5.32
The Retreat at Northwoods	4, 5, & 6-plex townhomes	74	9.62	7.69
The Preserve Murfreesboro (aka Pointe at Raiders Campus student housing)	3-story Apartments	346	17.26	19.98
Forest Oaks II & III	2 & 3-plex townhomes	117	18.35	6.38
Forest Oaks I Condominiums	4, 6, & 8-plex townhomes	98	15.41	6.36

The concerns shared at the neighborhood meeting included why are there so many points of access into the development, why were townhome products included, increases in traffic will make it more difficult for adjacent developments to get out of their existing streets on North Tennessee Boulevard, can some of the trees be preserved along the westerly side of the property, can a fence be placed along the western property edge to deter potential trespassers and mitigate the glare of headlights next to the mail kiosk, and could the locations of the pickle balls courts and amenity area adjacent to North Tennessee Boulevard across from adjacent condos be removed due to the noise.

Based on this input, the developer has revised the pattern book to move the pickle ball court to the interior and has added 6' tall opaque fencing along the south-westerly property line.

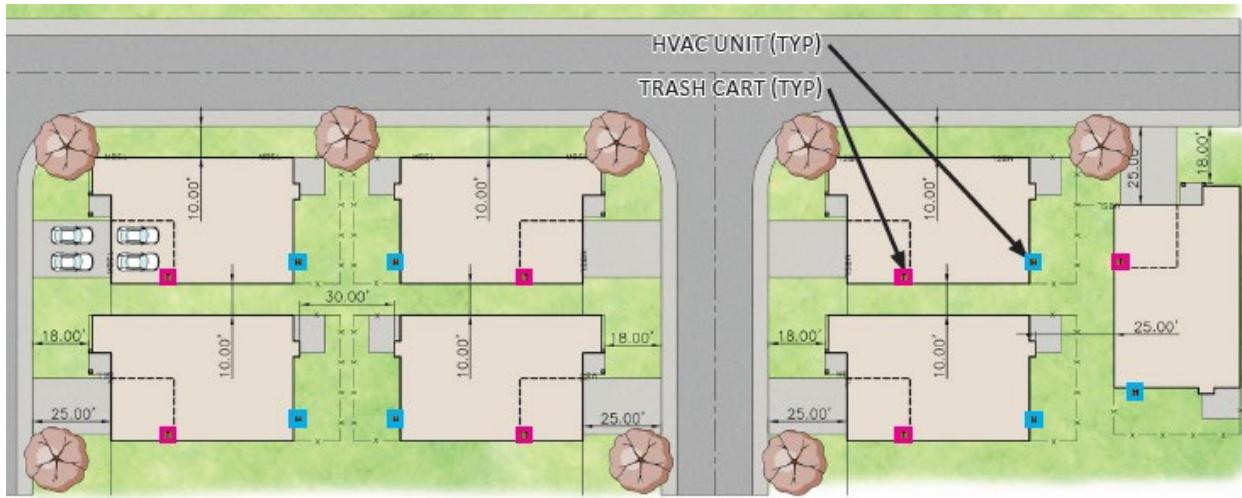
Proposed PRD and PCD

The PRD overall layout is best seen on page 8 of the program book and also includes basic site data for both the PRD and PCD. The PRD is being requested to allow for 37 single family detached homes and 40 attached townhome units within a horizontal property regime (HPR). The single family detached and attached units are most similar to what would be allowed in a RS-A, Type 2 zone district.

All dwellings will be available for sale via the HPR. The developer proposed that all homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder(s) of all homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.

Detached single-family homes will be one or two story products with a minimum of 1,800 square feet of floor area and a minimum of 3 or more bedrooms with a standard house width of approximately 38'. All homes will have a patio area at the rear of the unit with an optional privacy fence. Exterior exposed building sides will have additional detailed articulation to create more architectural interest. Parking will be provided by 2-car front-loaded garages with decorative garage doors with window panels at the top of the door and a roof like feature above the opening to reduce the prominence of the garage. Driveways will have a concrete surface and will be 16' wide by 25' deep to accommodate another 2 vehicles. Exterior materials shall consist of masonry materials such as fiber cement lap board, fiber cement board and batten, brick, and stone with the roof being standing metal seam or asphalt shingle roof and/or standing seam accent roof. Vinyl will only be permitted in trim & soffit areas.

Proposed setbacks and typical layouts are depicted on page 11 and in a table format on page 33 of the program book. The below extraction from the program book most clearly shows proposed setbacks of the PRD when compared with RS-A, Type 2 zoning district that is most similar. Because the PRD is a horizontal property regime, some of the exceptions/differences need to be compared between buildings, as there are no internal property lines. The exceptions that are being requested are shown in red below.



Setbacks Proposed in PRD compared to to RS-A, Type 2 zone

Single-Family Detached Homes Minimum Building Setbacks (Internal):

Front of garage to Back of Sidewalk: 25-feet	vs. 35'
Front of house to Back of Sidewalk: 18-feet	vs. 35'
Side yard to Back of Sidewalk (corner): 10-feet	vs. 35'
Side to Back of Sidewalk Alternative: 15-feet*	vs. 35'
Side to Side between bldgs: 10-feet	vs. 5' to PL (10' between bldgs)
Side to Rear between bldgs: 25-feet	vs. 20' to PL (40' between bldgs)
Rear to Rear between bldgs: 30-feet	vs. 20' to pl (40' between bldgs)

Minimum Building Setbacks to External Development Boundaries:

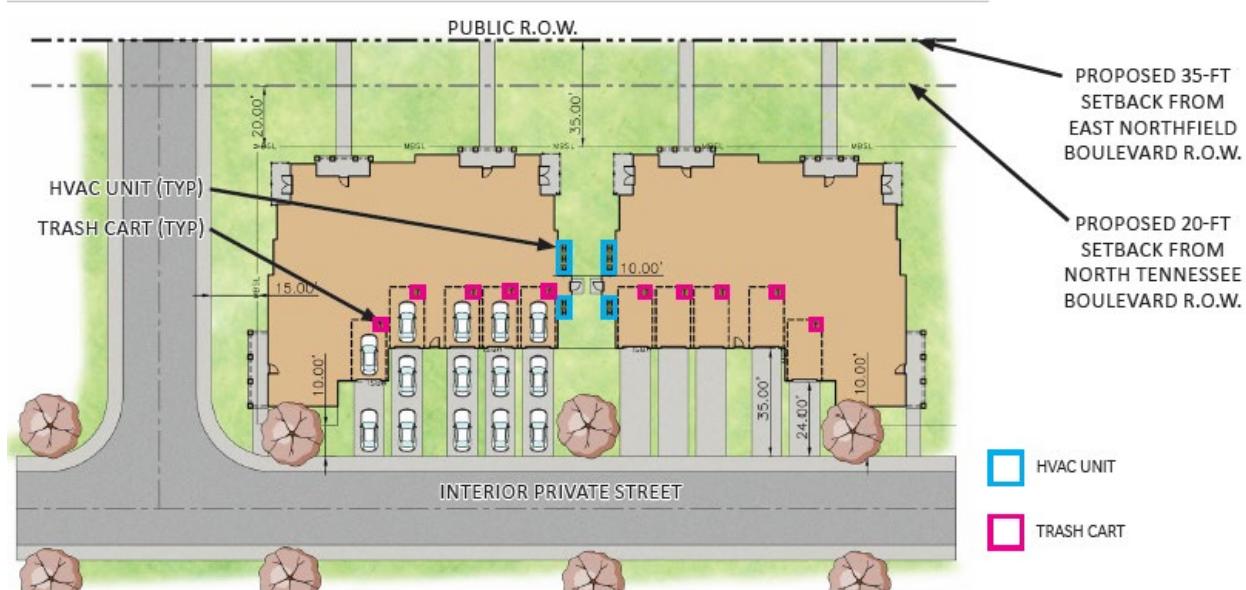
PCD Property Lines (side & rear)	20-feet	vs. 5' & 20' to Property Line (PL)
All Other Property Lines (rear):	25-feet	vs. 20' to PL

*Porch slab and fencing permitted within the setbacks as generally shown.

Red text denotes exceptions from the comparative zone district.

Attached single-family homes will be a minimum of 1,200 square feet and will all be 2-bedroom dwellings as shown in the floor plan layout on pages 18 and 19. Specific architectural plans have been created specifically for this project to create a very unique product that does not look like apartments or standard vertical townhomes. The product is intended to look like a large single family home with lots of details, porch spaces, and varying roof heights. The overall 'height' of the building is 30.25' with the top ridge line at 37.5' tall. Each building functions like a stacked-flat style townhome, with three dwelling units only accessing the ground level and two dwellings on the 2nd floor accessed by a

shared interior staircase. Each of the 5 units' living area and garage is depicted in a different color outline on the floor plan pages 18 and 19. All townhomes will have a porch area at the front or side of each unit. Parking will be provided by a 1-car front loaded garage with a decorative garage door with window panels at the top of the door. Driveways are concrete and 10' wide by 24' for the corner units and 10' wide by 35' deep for all others with planting strips separating each. Driveways will accommodate 1 vehicle for the corner unit or 2 vehicles for all other units. Pages 20 through 24 include rendered and line drawings of the four elevation sides and a roof plan to better understand the building articulations. Exterior materials shall consist of masonry materials such as fiber cement lap board, fiber cement board and batten, brick, and stone with the roof being standing metal seam or asphalt shingle roof and/or standing seam accent roof. Vinyl will only be permitted in trim & soffit areas.



Minimum Building Setbacks to External Development Boundaries

East Northfield Boulevard:	35-feet	vs. 45' 'front' setback
North Tennessee Boulevard:	20-feet	vs. 35' 'front' setback
PCD Property Lines:	20-feet	vs. 10' front setback
All Other Property Lines:	25-feet	vs. 5' to property line (10' between bldgs.)

*End units may have garage setback of 24-feet minimum.

**Porches shall be permitted to encroach a maximum of 3-ft into setbacks shown above

Red text denotes exceptions from the comparative zone district.

Single-Family Attached Homes Minimum Building Setbacks (Internal):

Garage to Back of Sidewalk:	24-feet	vs. 35' 'front' setback
"Rear" of house to Back of Sidewalk:	10-feet	vs. 35' 'front' setback
Side to Back of Sidewalk (corner):	15-feet	vs. 35' front setback
Side to Side between bldgs:	10-feet	vs. 5' to property line (10' between bldgs.)

Proposed setbacks and typical layouts are depicted on page 17 and in a table format on page 33 of the program book. The below extraction from the program book most clearly shows proposed setbacks of the PRD when compared to RS-A, Type 2 zoning district that is most similar. Because the PRD is an HPR, some of the exceptions/differences need to be compared between buildings, as there are no internal property lines. Exceptions to the comparative setbacks are identified in red text above.

Amenity areas are proposed throughout the development as depicted on page 28-30 of the program book. These areas are programmed to include elements such as pickleball courts, a dog-park, outdoor seating, community fire pits, grilling stations, cornhole boards, 2 gazebos, and walking trails. In previous drafts, a larger scale single gazebo was provided near North Tennessee Boulevard but was changed to a smaller gazebo by the applicant when staff asked for a second gazebo over a seating area towards the site interior. Staff recommends that the interior gazebo be larger to accommodate 20 persons under cover and a second conceptual picture needs to be added. All property owners of the development shall be part of an HOA managed by a third party. The HOA shall be responsible for maintaining all common areas and amenities. Three residential monument signs will be incorporated at the one East Northfield Boulevard and the two North Tennessee Boulevard entrances. Signs will be constructed of masonry materials and anchored with landscaping.

Landscape plantings and buffers are provided within and along the perimeter of the project as shown on page 31 of the program book and include the following:

- The existing wetlands to the east across North Tennessee Boulevard are to remain undeveloped. The residential H.O.A. shall be responsible for the maintenance and upkeep of the existing wetlands.
- Trees along the private streets shall be placed every 100' on average as generally depicted on the concept plan.
- 3-rail fencing along the west side of North Tennessee Boulevard to match adjacent side of street with berm located along the drainage basin.
- A 3-ft tall berm shall be constructed along North Tennessee Boulevard along the proposed detention pond and shall be attractively landscaped with a mixture of evergreen and deciduous plantings.
- 15' wide Type "D" landscape buffer between the commercial and residential uses with an opaque fence bisecting the tree line.
- Low level parking landscape screening where headlights interfere with ROW or residential
- Minimum 10' of landscape area between parking and all property lines
- Perimeter and base of building plantings to meet standard City ordinance requirements.

Access/Parking: Pages 26 and 27 of the program book summarize most of the specifics related to access. All interior streets, parking, and driveways are private and will be maintained by an H.O.A. Interior private streets consist of a 34' cross-section with two 12' travel lanes and two 5' monolithic sidewalks (which are sidewalks that are directly adjacent to the curb with no grass strip between the curb and sidewalk). Entrance cross-sections accommodate three 12' travel lanes and two 5' monolithic sidewalks.

The residential portion of the property will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance, and to North Tennessee Boulevard through two entrances. The PCD portion of the property will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance and shall connect to the private drives proposed within the PRD portion of the property. These connections to the PRD property will provide residents with indirect access to East Northfield Boulevard. All entrances to the site will be designed to incorporate three lanes of travel; one lane entering the development and two lanes for travel leaving the development because East Northfield is a designated Major Arterial and North Tennessee Boulevard is a designated Community Collector.

Interior cross-access is being provided between the commercial and residential components so that the overall project site is more cohesive and potential line-of-sight issues for a commercial driveway is reduced by the shared access point. These interior connection points are shown in blue circles with access easements proposed in the dark blue dashed lines on page 8 and of the program book. These access drives are proposed to be built with the first commercial outparcel. As stated on page 26 of the program book, a traffic impact study will be conducted during site plan review and adjustments or improvements to the site shall be made accordingly (which may require a right-turn pocket off East Northfield Boulevard or other improvements).

The residential uses require 210 total parking spaces with 310 parking spaces being provided. Spaces are distributed between 114 garage spaces, 146 driveway spaces, and 50 guest parking spaces for the 77 residential dwelling units. This equates to 4.03 spaces per unit on average.

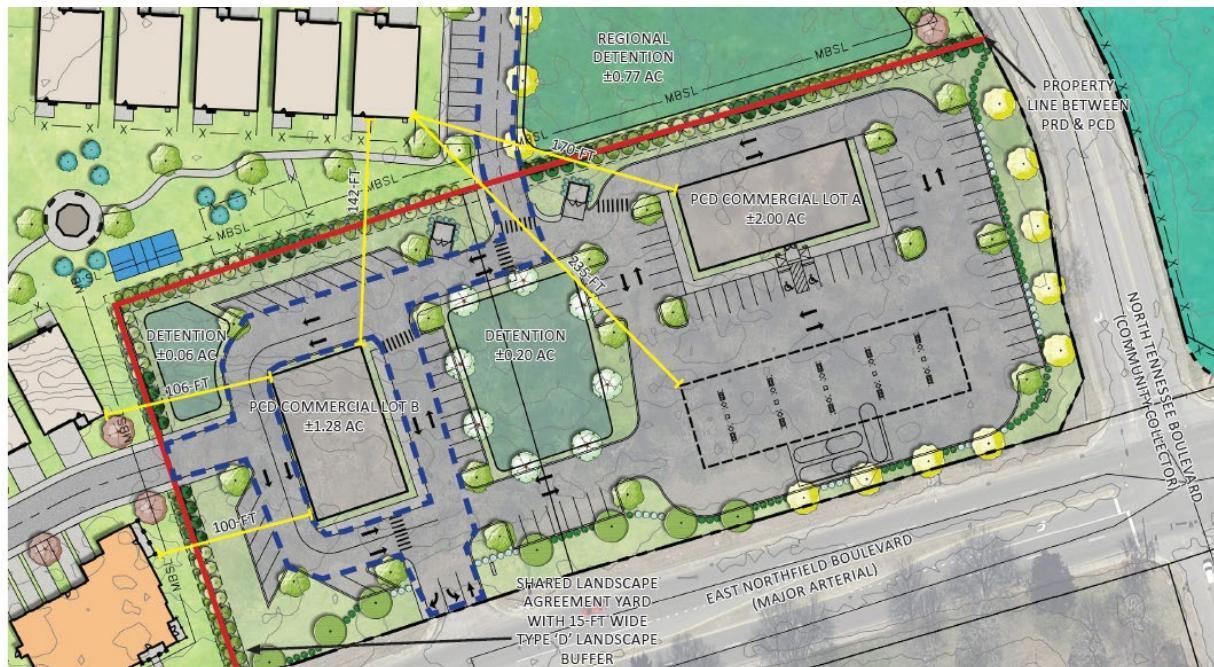
The PCD overall layout is best seen on page 8 of the program book and also includes basic site data for both the PRD and PCD. Pages 34, 35, and 36 provide more details of the proposed conceptual PCD characteristics as the immediate end users have not yet been determined. The PCD is being requested to allow for two outparcels to be developed with CF (Commercial Fringe) type uses as outlined more specifically in the "Permitted Uses" table provided therein. Prohibited uses include primary pain clinic, primary drug and alcohol rehab centers, vape/cigarette shop/tobacco shop, and liquor store. Limited uses could include a gas station with 6am to 11pm operating hours and a drive-thru.

In the existing zoning ordinance, if a Commercial Fringe – CF zoned property is adjacent to RS, RD, RS-A, PRD, or PUD zoned land (aka "sensitive land") the gas station and drive-thru uses require special separation. The "sale or distribution of gasoline" requires a 200' setback as measured between the CF and sensitive land zone properties. The drive-thru use requires 200' separation be measured from the closest part of the drive-up window use including the queuing lanes to the sensitive land. The intent is to ensure that the drive-up window and associated queuing lane, menu boards, on-site circulation, and ordering system will not have an adverse impact on the sensitive land to assure compatibility.

The applicant requests that these 200' special separation rules for these 2 uses between comparative RS-A zone district (being rezoned PRD) and comparative CF- Commercial Fringe zone district (being rezoned to PCD) be reduced to 170' for gas sales and 100' for drive thru uses from the actual structures rather than from the property lines or queue lanes respectively. The conceptual zoomed in layout on page 36 provides for two enclosed buildings and one free-standing gas canopy and shows potential setback reductions with yellow dimension lines. The comparative zone table on page 38 shows exceptions being requested from these setback standards from the future residential structures that generally apply in a CF zone as follows:

- Requesting an exception to the required 200' setback from the property line for gasoline sales to be reduced to 170' as depicted on exhibit shown on Page 36. This is measured from nearest proposed residential unit instead of measured from nearest residential property line to the convenience building or to the gas canopy.
- Requesting an exception to the required 200' setback from a drive-up window, queuing lane, menu boards, on-site circulation, and ordering system to be reduced to 100' as depicted on exhibit shown on Page 36. This is measured from nearest proposed residential unit instead of measured from nearest residential property line to the ordering system speaker box or pickup window.

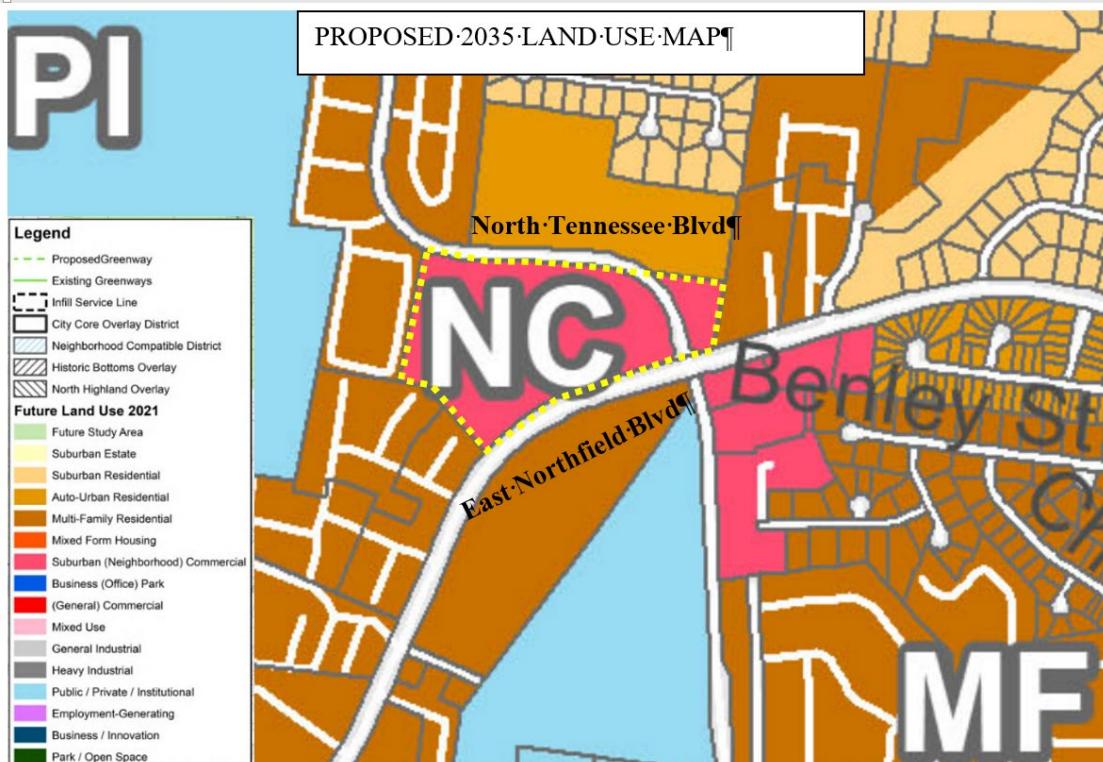
The 200' special setback rules does not apply to the existing surrounding neighborhoods because they are either zoned RM-12 or RM 16 or the future commercial outparcels are located more than 200' from PRD zoned property.



Future Land Use Map

The future land use map contained in the Murfreesboro 2035 Comprehensive Plan, which was adopted in July 2017, and the proposed new General Plan land use map recommend that the subject property develop primarily with a *Suburban Neighborhood Commercial* land use character (see excerpt from the proposed future land use map below). This

Suburban Neighborhood Commercial character consists of commercial and office uses that are automobile-oriented but designed at a neighborhood scale and cater to pedestrians in neighborhood commercial configurations rather than linear strips. The scale and intensity level of the building size, shape, and footprint is about the same as residential development within the suburban estate or suburban residential categories and is clustered at intersections. The existing comprehensive plan calls out CL, CF, CM-R, CM, and CM-RS-8 zoning districts as being compatible with this designation. Development types in this designation includes professional offices, convenience stores, dry cleaners, post offices, coffee shops, and drug stores. The proposed new General Plan calls out for CF, OG, CM, and PCD/PUD zoning districts as being compatible with this



land use character, evaluated on a case-by-case basis. Recommended development types in the updated plan are the same as the existing plan with drive-thru uses being discouraged but potentially allowed if they are integrated into the design to not be prominent.

Based on the Comprehensive Plan designations, the proposed PCD component is clearly consistent with the *Suburban Neighborhood Commercial*.

Based on the Comprehensive Plan designations, the proposed PRD component is not clearly consistent with the *Suburban Neighborhood Commercial* land use character. However, the new transition policies stemming from the proposed new General Plan updated may address this type of situation, and this may be an instance for the following reasons:

- 1) "Unique geographical, environmental or infrastructure conditions shape development opportunities differently than property line configurations." The layout of

the two different uses allows the natural flow of water to stay in place adjacent to the proposed residential walking trail rather than bisecting a commercial center.

2) "More than one type of land use category may be suggested to occur within property boundaries, especially on large parcels." The developable property acreage is 16.53 acres of Commercial Fringe – CF zoned property, which has remained undeveloped in its current zone for over 20 years, showing that the large size may make it difficult to develop as presently zoned for only commercial uses.

3)-"Guiding Principle 11 states that proposed development should transition from the existing development pattern in adjacent neighborhoods. Lots on periphery should be sized consistent with the existing lots within adjacent city neighborhoods." The project has townhome units on the periphery adjacent to other townhomes or apartment uses with single family detached units oriented in the middle of the development with an overall density similar to the surrounding uses.

Department Recommendation

Staff is generally supportive of this rezoning request for the following reasons:

- 1) The PCD retains a commercial component to serve the local neighborhood needs while prohibiting potential problematic uses.
- 2) The density of 5.81 units per acre of the developable land is in line with the adjacent properties as listed in the table above.
- 3) Less traffic impacts are expected with the mixture of uses instead of all 17.98 developable acres being Commercial Fringe uses.
- 4) The PRD offers a variety of housing types with quality architecture.
- 5) The zoning plan is compatible with the future land use map, when taken into context with the transition policies.

However, the following Staff Comments should be integrated into the program book:

- a. Choose one solid non-combustible optional patio fencing type rather than three styles currently included for continuity and include the proper picture of this fence and the 3-rail fence in the program book. Staff prefers 4' solid with 2' permeable top section.
- b. Include a larger gazebo conceptual photo that holds approximately 20 persons for the interior location in addition to the small one currently shown.
- c. For the potential drive-thru, identify 2 specific speaker box locations on page 36; one on the northeast corner of the building shown on Lot B facing easterly and one on the southeast corner of the building shown on Lot A facing south.
- d. For potential gas station, scale back hours of operation from 6-10pm and require the canopy lighting to be turned off after hours. All lighting for this use shall be evaluated during site plan review.

Action Needed

The applicant will make a presentation to the Planning Commission on the proposed zoning request. The Planning Commission should hold the public hearing, discuss this item, and then formulate a recommendation to City Council.

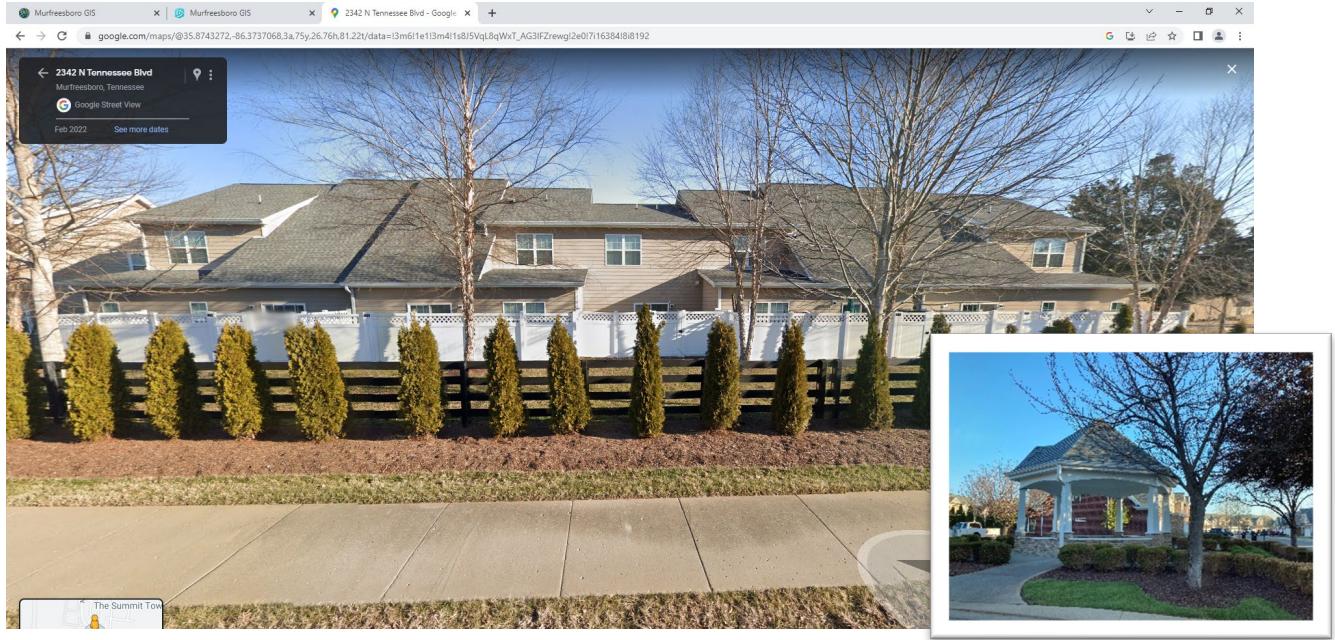
ADJACENT NEIGHBORHOODS SURROUNDING NORTHFIELD ACRES –

BROOKWOOD POINT



ADJACENT NEIGHBORHOODS SURROUNDING NORTHFIELD ACRES –

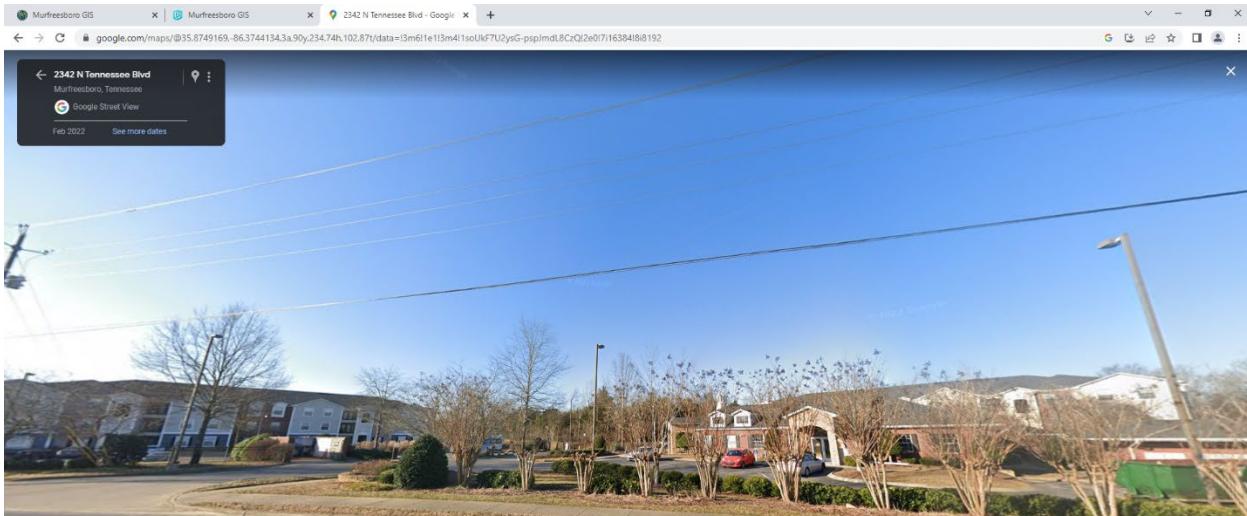
THE RETREAT AT NORTHWOODS



April 5, 2023 PC PH Mtg

ADJACENT NEIGHBORHOODS SURROUNDING NORTHFIELD ACRES –

THE PRESERVE MURFREESBORO (aka Pointe at Raiders Campus, converting out all 4 bed/4 bath student housing)

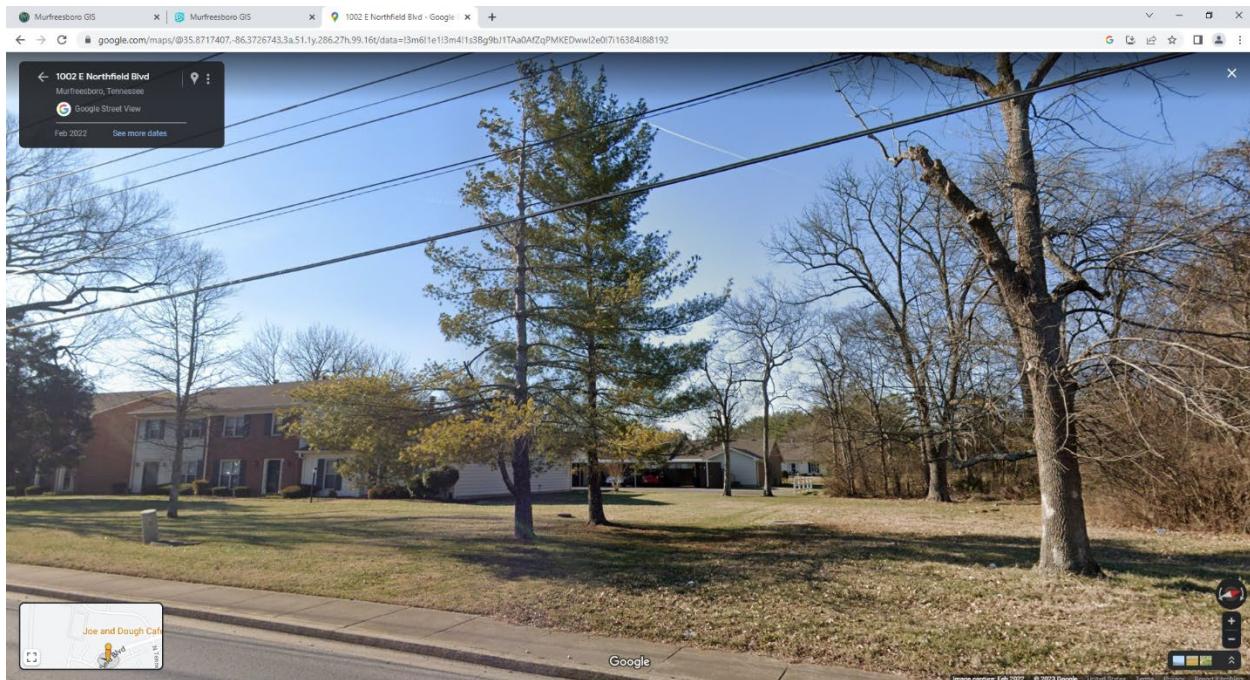


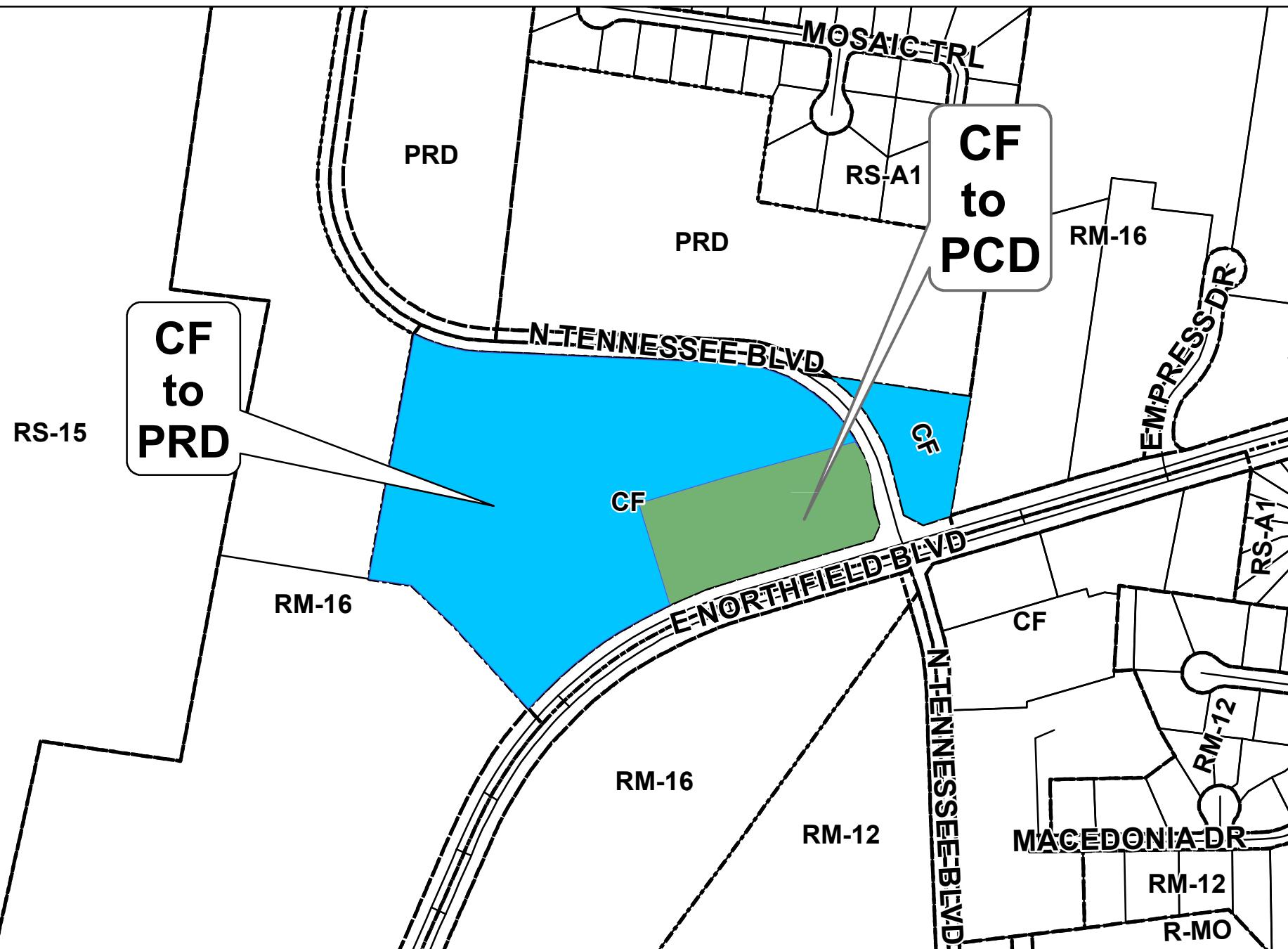
ADJACENT NEIGHBORHOODS SURROUNDING NORTHFIELD ACRES –

FORREST OAKS II (located on the northside of East Northfield Blvd.)



ADJACENT NEIGHBORHOODS SURROUNDING NORTHFIELD ACRES –
FORREST OAKS II CONDOMINIUMS (located on the southside of East Northfield Blvd.)



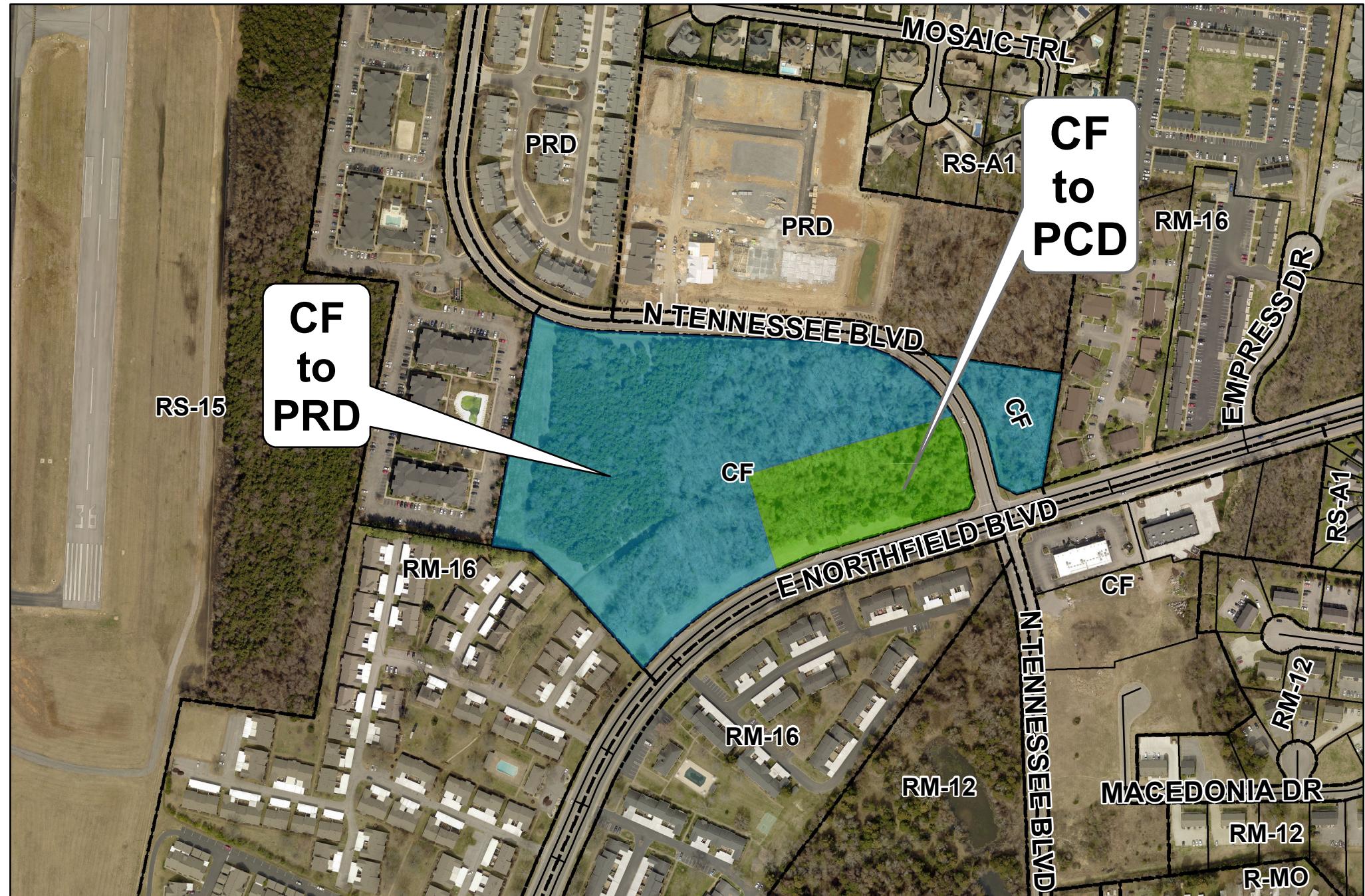


Rezoning Request for Property along East Northfield Boulevard
CF to PRD and PCD
(Northfield Acres PRD and Northfield Acres PCD)

570 285 0 570 Feet



Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



**Rezoning Request for Property along East Northfield Boulevard
CF to PRD and PCD
(Northfield Acres PRD and Northfield Acres PCD)**



570 285 0 570 Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



NORTHFIELD ACRES

A REQUEST FOR REZONING FROM COMMERCIAL FRINGE (CF) TO PLANNED RESIDENTIAL DISTRICT (PRD) & PLANNED COMMERCIAL DISTRICT (PCD)
Murfreesboro, Tennessee

Initial Submittal
February 9, 2023

Resubmittal
March 14, 2023 for the March 15, 2023
Planning Commission Workshop Meeting

Resubmittal
March 27, 2023 for the April 5, 2023
Planning Commission Public Hearing
Meeting



SEC, Inc.

SEC Project #18116

SEC, Inc.



Purser White architecture

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Matt Taylor and Rob Molchan
Phone: (615) 890-7901
Email: mtaylor@sec-civil.com / rmolchan@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

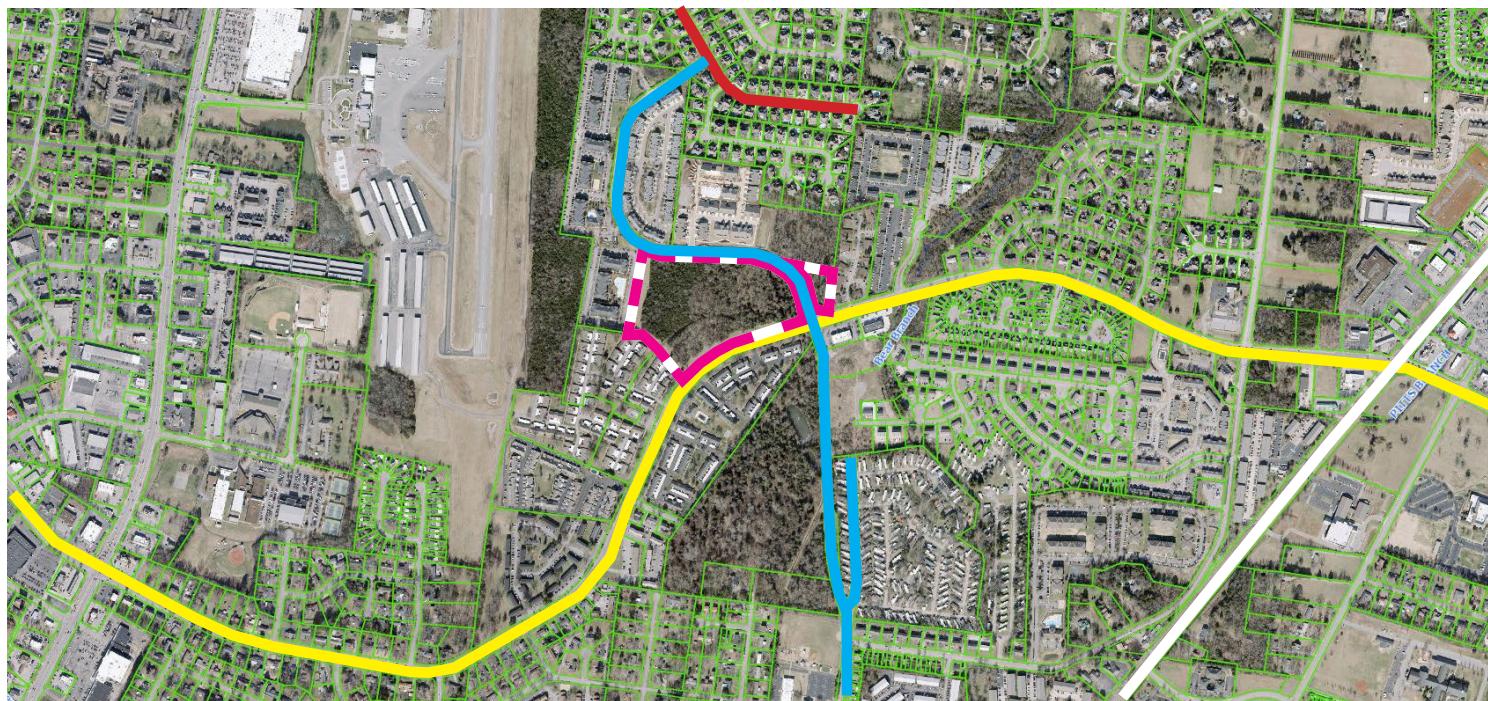
Company Name: Haury & Smith Contractors, Inc.
Profession: Developer and Builder
Attn: Matt Smith
Phone: (615) 330-4897
Email: msmith@haurysmith.com
Web: www.haurysmith.com

7065 Moores Lane, Suite 300
Brentwood, Tennessee 37027

Company Name: Purser White
Profession: Architecture
Attn: John Purser
Phone: (629) 943-8615
Email: dave@purserwhitearch.com
Web: www.purserwhitearch.com

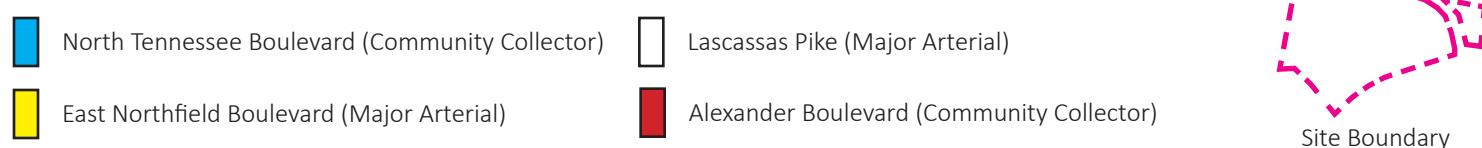
2819 Columbine Place, Suite 5
Nashville, Tennessee 37204

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AERIAL PHOTOGRAPH

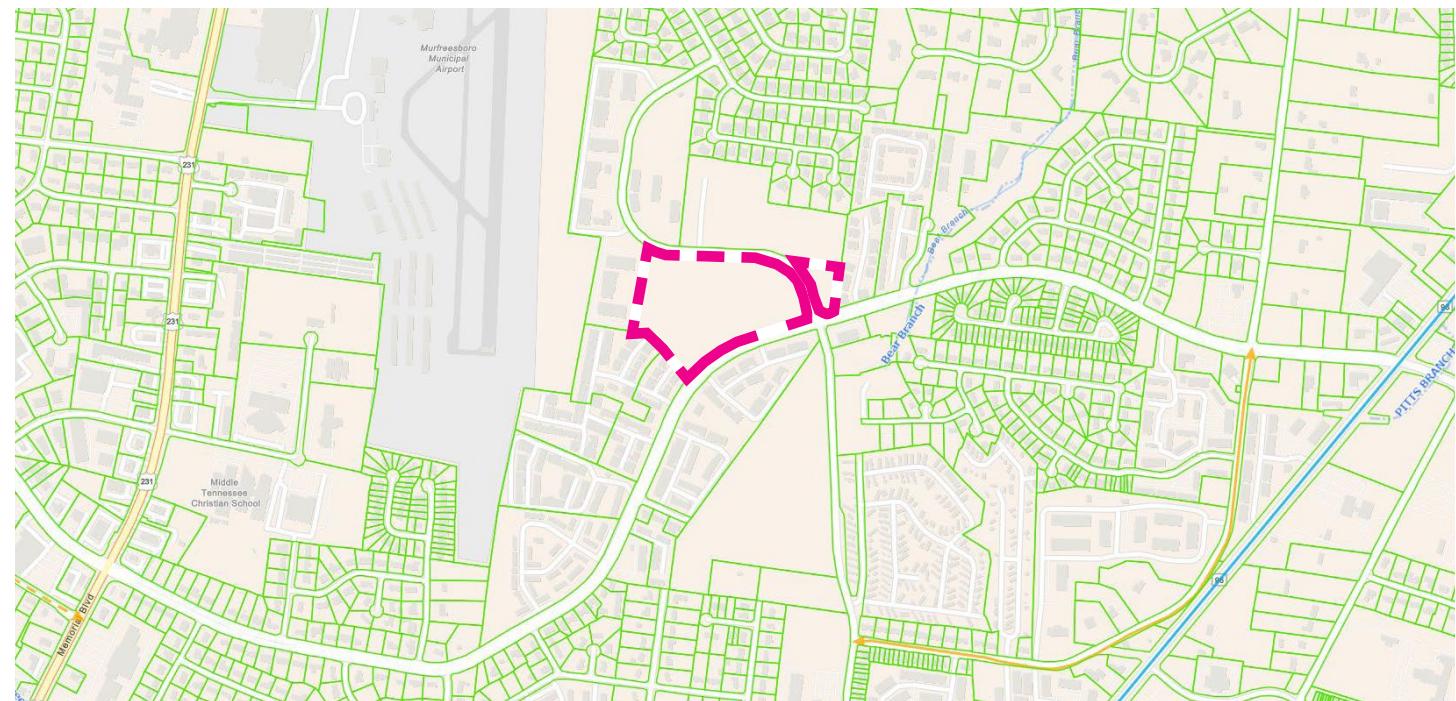
Not To Scale



Haury & Smith Contractors, Inc. respectfully requests the rezoning of the Northfield-Smith, LLC property from Commercial Fringe (CF) to Planned Residential District (PRD) and Planned Commercial District (PCD) to create Northfield Acres. The property is located predominantly at the northwest corner of the intersection of East Northfield Boulevard and North Tennessee Boulevard. The site is identified as Parcel 115.02 of Tax Map 081, and is approximately 17.98 acres. Of the 17.98 acres, 3.28 acres along East Northfield Boulevard will be out-parceled to be rezoned as Planned Commercial District (PCD). The remaining 14.70 acres will be rezoned to Planned Residential District for this development. Of this 14.70 acres, 1.45 acres of land to the east across North Tennessee Boulevard will be set aside as existing wetlands to remain within the PRD giving a developable acreage of 13.25 acres.

The request for rezoning to PRD is to create Northfield Acres. The development will consist of 77 dwelling units on 13.25 acres for a density of 5.81 dwelling units per acre. The project will consist of a mixture of 40 single-family attached townhomes and 37 single-family detached homes. The homes will be built as a Horizontal Property Regime (HPR), and all homes will be for purchase. The proposed single-family detached homes will be a minimum of 1,800 sf. All single-family detached homes will have a minimum of 3 bedrooms. The single-family detached homes will have a minimum two car front entry garage. The proposed single-family attached townhomes will be a minimum of 1,200 sf. All single-family attached homes will have 2 bedrooms. The single-family attached townhomes will have a minimum one car rear entry garage. The home elevations will be constructed of mixture masonry materials to add quality and character to the community. Each home will have foundation landscape and sodded front yards when fronting onto any public or private street. Street lights will be provided along the roadways to add character and continuity to the neighborhood. The entrances onto North Tennessee Boulevard and East Northfield Boulevard will incorporate signage on one side of their intersections. The H.O.A. will maintain all common areas.

The commercial portion of the development will create neighborhood oriented retail opportunities for the proposed homes and surrounding area. The proposed commercial will further reinforce the North Tennessee and East Northfield intersection as a commercial node for the area.



MAJOR THOROUGHFARE PLAN

Not To Scale



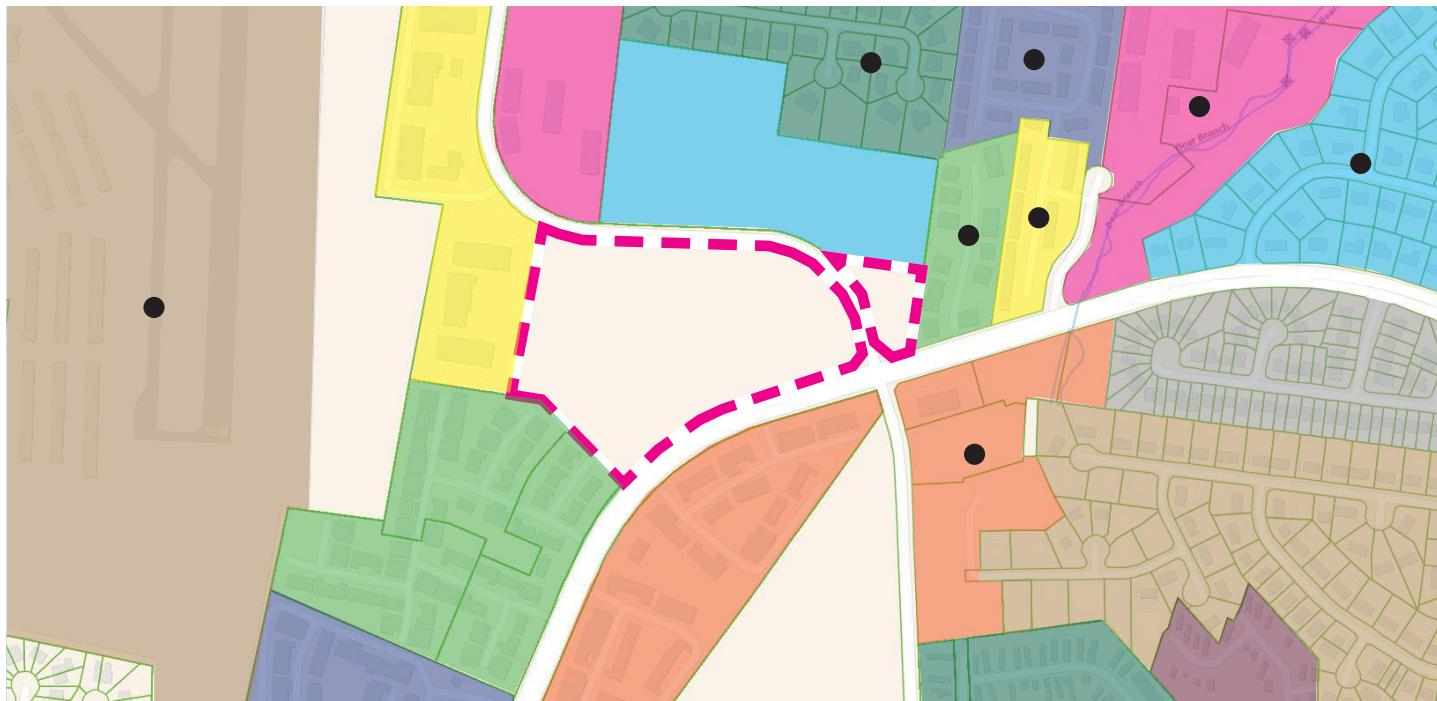
The residential portion of the property has/will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance, and to North Tennessee Boulevard through two entrances. The PCD portion of the property will have access to the existing public rights-of-way of East Northfield Boulevard through one entrance and shall connect to the private drives proposed within the PRD portion of the property. These connections to the PRD property will provide residents with an indirect entrance to East Northfield Boulevard. All entrances to the site will be designed to incorporate three lanes of travel; one lane entering the development and two lanes for travel leaving the development.

PROPOSED FUTURE LAND USE PLAN (2035)



The existing and proposed Murfreesboro Future Land Use Plan Amendment proposes this area as Suburban (Neighborhood) Commercial Character (NC). The character of this land use includes professional offices, convenience stores, dry cleaners, and other small-scale, low-intensity land uses, generally clustered at intersections of community collector thoroughfares. Generally compatible zoning districts include CF, OH, CM, and PCD/PUD.

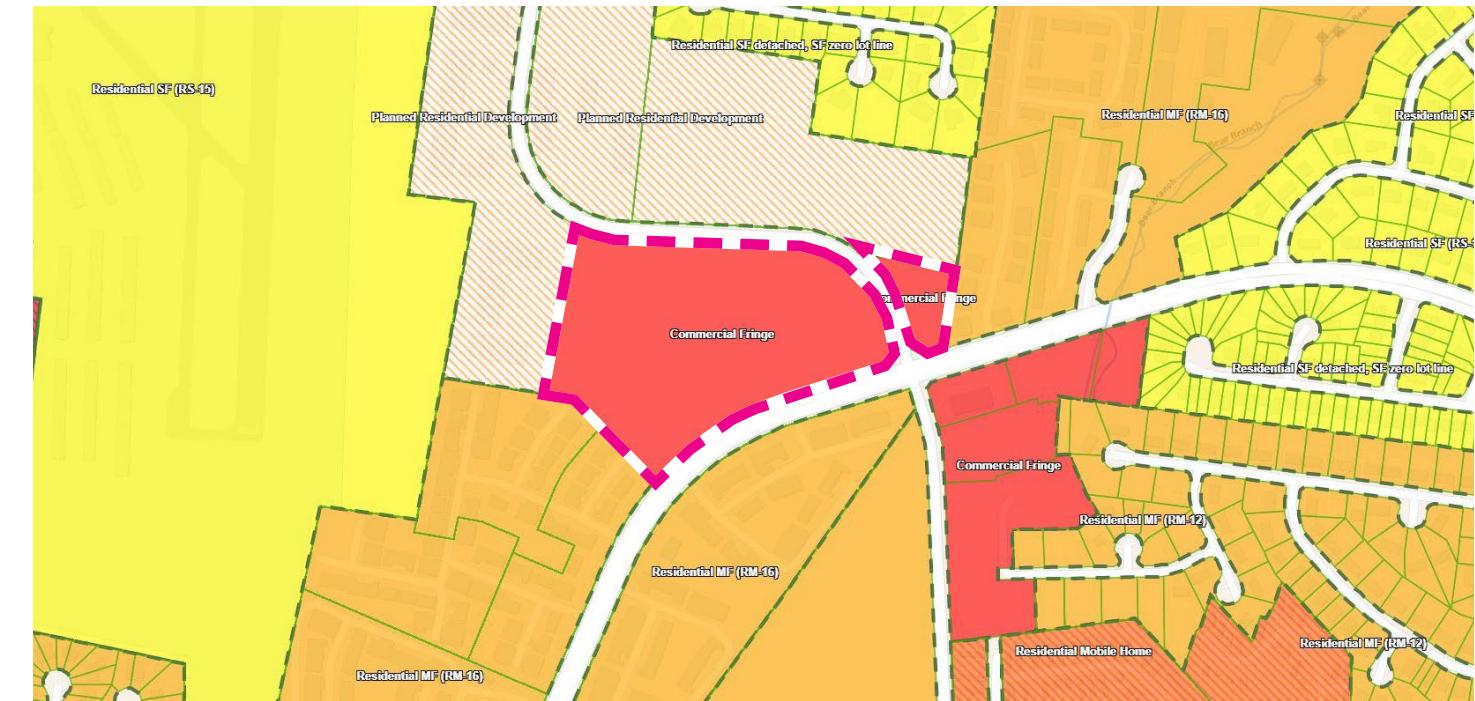
While the residential portion of this development does not align with the Future Land Use Plan's classification for this lot, the commercial portion of the development does. The proposed residential development expands and complements the existing and growing residential character surrounding this property, while the commercial property will complement the commercial development catty corner to the development.



SUBDIVISION MAP

Brookwood Point	Cedar Park Mobile Homes	The Summit
The Retreat at Northwoods	Briton	Wycliffe Court
College Suites	Byrnwood Mobile Homes	The Cottages at the Summit
Forest Oaks	Wellington Place	Northwoods
Carriage Parke	Quail Run	Northfield-Smith
Forest Oaks Condominium	Northfield Ridge	Murfreesboro Municipal Airport

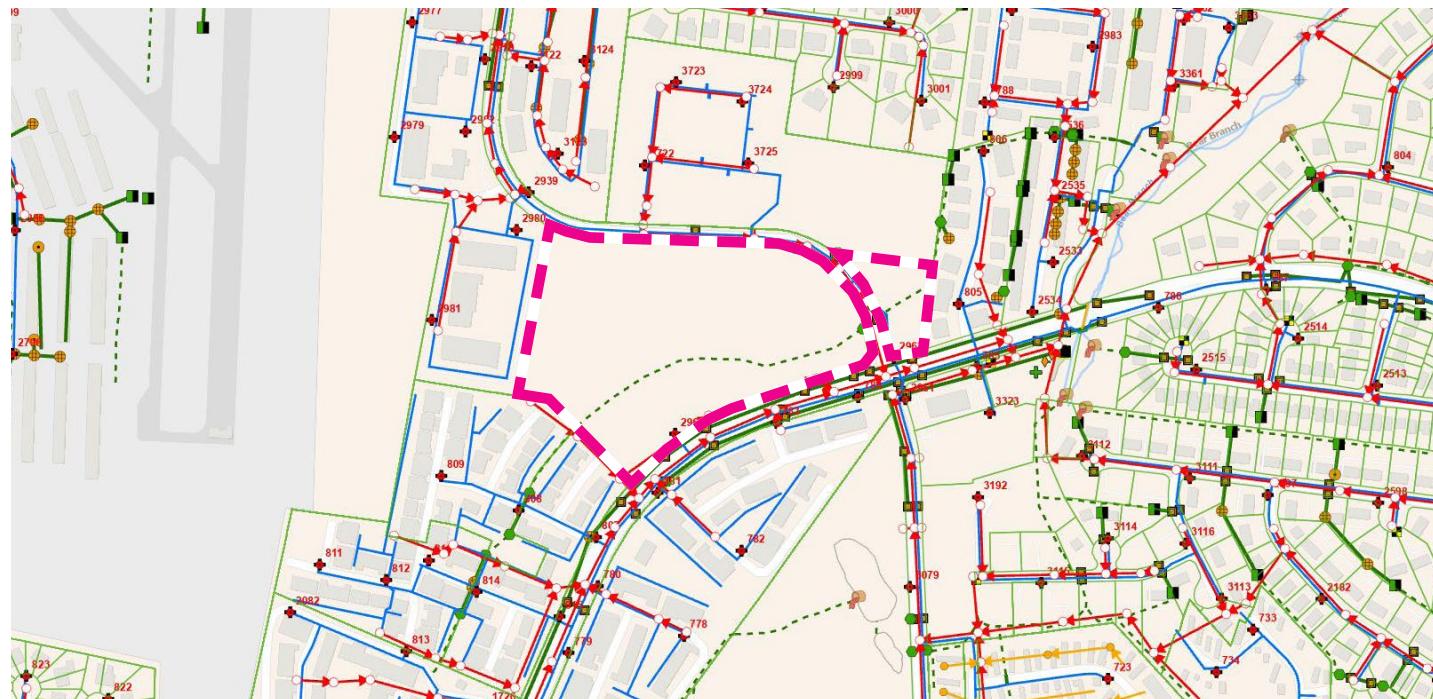
Northfield Acres is surrounded by a mixture of residential subdivisions with a variety of residential products. Brookwood Point is a residential development to the north consisting of two story single-family attached homes that include garages. The exterior elevations consist of primarily brick with masonry accents along all elevations. There is one primary point of ingress/egress to the development from North Tennessee Boulevard. College Suites is a residential development to the west consisting of three story apartments. The exterior elevations consist of primarily hardy board with brick accents along all elevations. There are two primary points of ingress/egress to the development from North Tennessee Boulevard. Forest Oaks is a residential development to the south consisting of one and two story single-family attached homes that include a detached covered parking bay at the rear of the units. The exterior elevations consist of primarily brick on the fronts of all homes as well as the sides on the first floor and deep front setbacks from East Northfield Boulevard. The side elevations on the second floor as well as the rear elevations consist primarily of hardy board. There are two primary points of ingress/egress to the development from East Northfield Boulevard which align with the proposed entrances to Northfield Acres. Wycliffe Court is a residential development to the east consisting of single story apartments. The exterior elevations consist of primarily wood paneling with brick accents on the sides. There is one point of ingress/egress to this development from East Northfield Boulevard.



ZONING MAP

RS-12	Residential Single-Family (RS-12)	CF	Commercial Fringe (CF)
RS-15	Residential Single-Family (RS-15)	PRD	Planned Residential Development (PRD)
RM-12	Residential Multi-Family (RM-16)	SF	Single-Family Zero Lot Line
RM-16	Residential Zero Lot Line (RZ)		

The surrounding area consists of a mixture of zoning types and uses. The land to the north and west is zoned PRD. The land to the south is zoned RM-16. The land to the southeast and east are zoned CF. The majority of the land surrounding this development is zoned for residential classifications with a small portion of land set aside for commercial development to service the surrounding residential uses.



UTILITY MAP

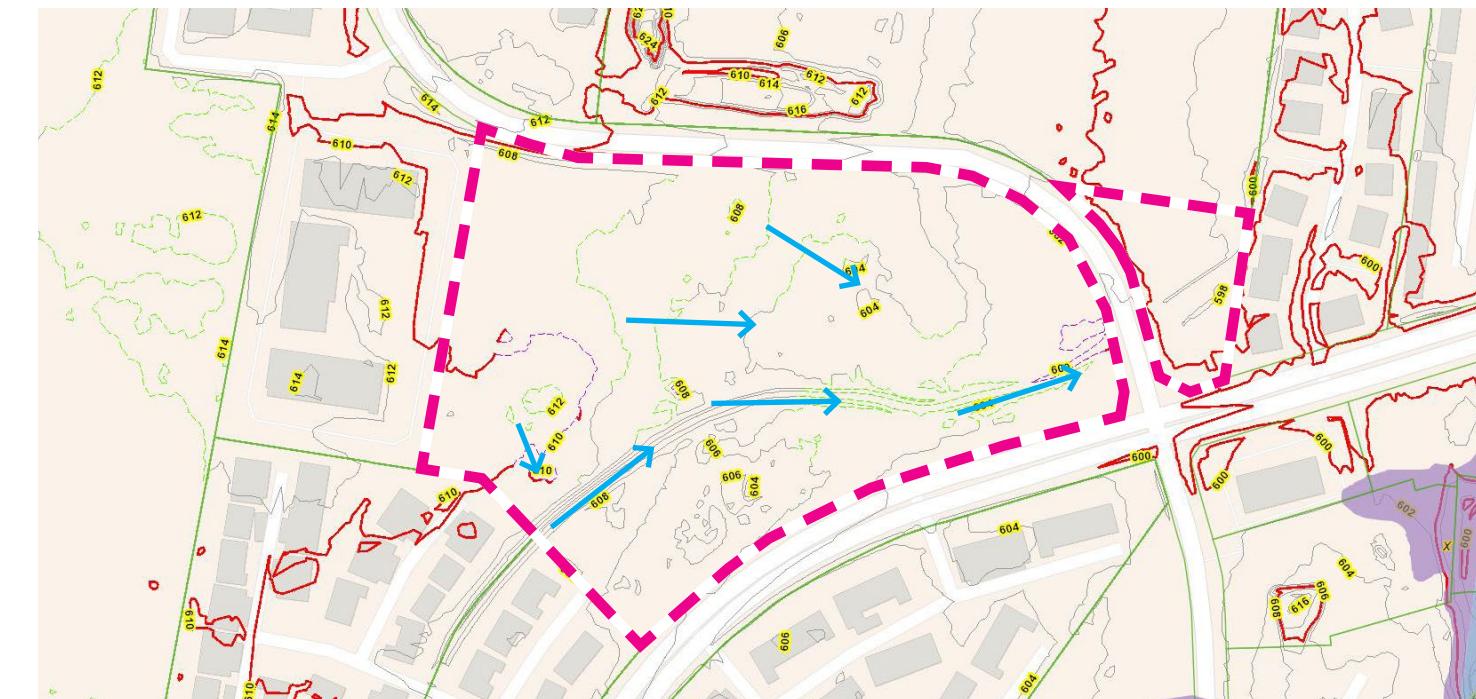


Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 12 inch ductile iron water line stubbed to the property along East Northfield Boulevard for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line running along the southern property line along East Northfield Boulevard. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. The proposed development will fall within its sewer allocation with the proposed zoning changes.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from East Northfield Boulevard. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

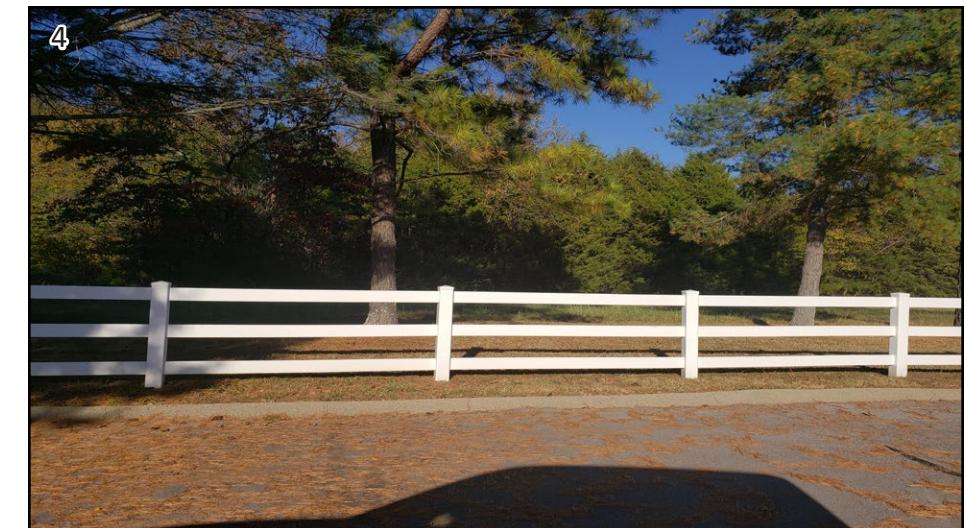
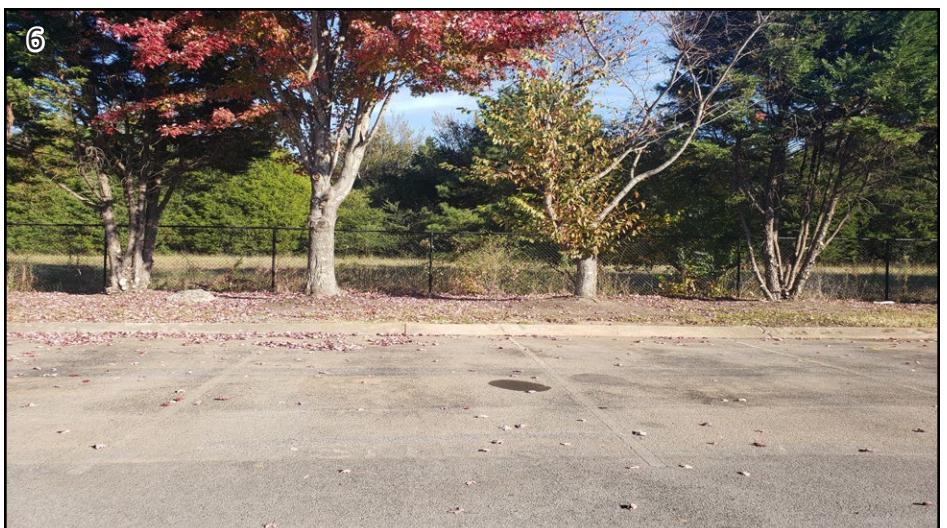
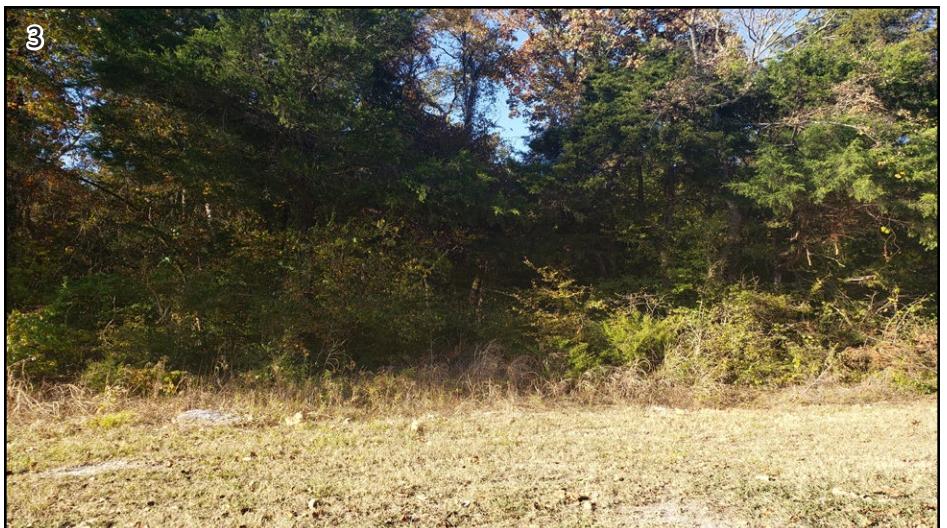
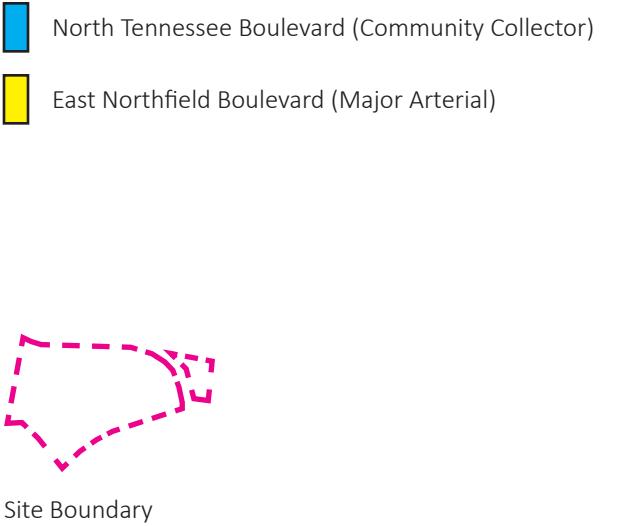
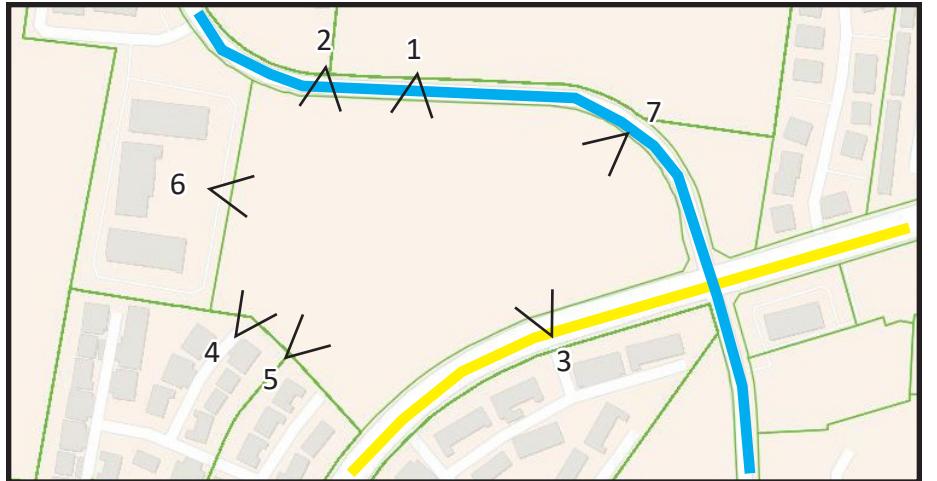


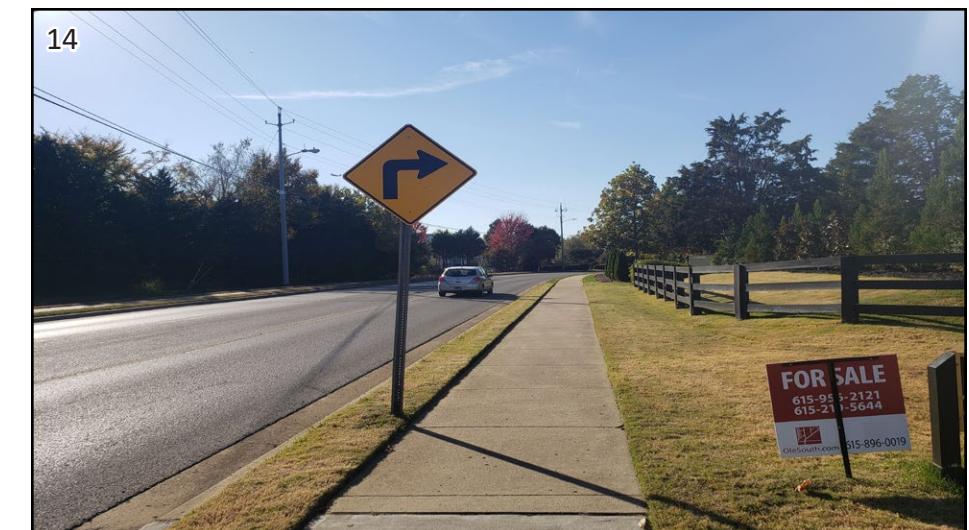
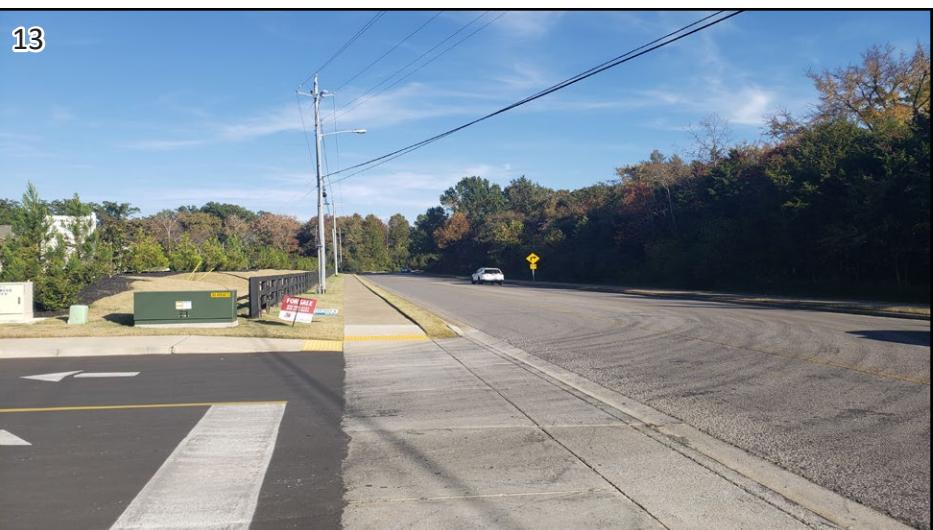
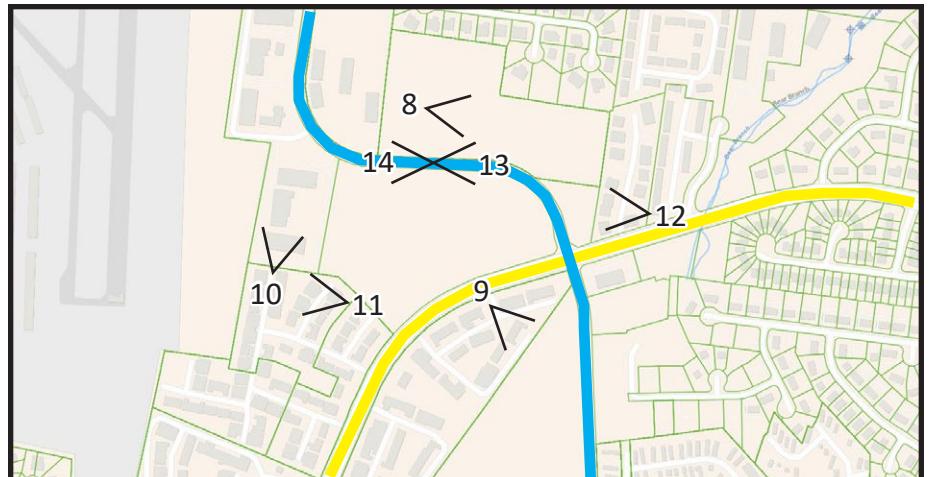
HYDROLOGY AND TOPOGRAPHY



The topographic map above shows the site's topographic high points generally at the northern and southern property lines of the property. From these high points, the property drains towards middle where a drainage ditch which drains to the east towards the wetland across North Tennessee Boulevard.

No portions of the property are within a recorded floodway or floodplain per FEMA Flood Panel 47149C0280H eff. 01/04/2007.





Land Use Data

Total Land Area:	±17.98 Acres
Total PCD Land Area:	±3.28 Acres
Total PRD Land Area:	±14.70 Acres
Existing Wetlands to Remain:	±1.45 Acres
PRD Developable Land Area:	±13.25 Acres

Residential Land Use Data

Total Number of Townhome Units:	40 Units
Total Number of Detached Units:	37 Units
Total Number of Units:	77 Units
Density: 77 Units/13.25 Acres =	±5.81 Units/Acre

Required Min Open Space:	±2.94 Acres (20%)
Provided Open Space w/out Wetlands:	±2.94 Acres (20%)
Provided Open Space w/ Wetlands:	±4.39 Acres (30%)
Required Min Formal Open Space:	±0.66 Acres (5%)
Provided Formal Open Space:	±0.66 Acres (5%)
Stormwater (Detention):	±0.77 Acres (6%)
Length of New Interior Roadway:	±2,885 Linear Feet

Required Parking:	
Townhome Units (2.2 Spaces/Unit):	88 Spaces
Detached Units (3.3 Spaces/Unit):	<u>122</u> Spaces
Total Required Parking Spaces:	210 Spaces

Provided Parking:	
Garage Spaces	114 Spaces
Driveway Spaces	146 Spaces
Guest Spaces	<u>50</u> Spaces
Total Parking Provided:	310 Spaces (+100)



SEC, Inc.

SEC Project #18116

Murfreesboro, Tennessee



*Commercial property layouts shown are conceptual and meant to convey potential future commercial property design.





EXAMPLE OF ENTRANCE SIGNAGE



EXAMPLE OF DECORATIVE CLUSTER BOX UNITS (CBU)



EXAMPLE OF 6-FT VINYL PRIVACY FENCE



EXAMPLE OF 6-FT WOODEN PRIVACY FENCE

Residential Development Standards:

- 77 dwelling units total, 40 single-family attached townhome units with 2 bedrooms, and 37 single-family detached homes with 3 or more bedrooms
- The proposed single-family detached homes will be a minimum of 1,800 sf., and the proposed single-family attached townhomes will be a minimum of 1,200 sf.
- Each unit will be created by a Horizontal Property Regime
- Home occupations, accessory to a principal residential use, shall be permitted in this planned development if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned development.
- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder(s) of all homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Guest parking areas and driveways to homes shall be private and maintained by the H.O.A.
- Single-family attached homes will have a concrete driveway wide enough for 1 vehicle and shall have a minimum width of 10-ft. Single-family detached homes will have a concrete driveway wide enough for 2 vehicles and shall have a minimum width of 16-ft.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- HVAC units will be located at the side or rear of each residence.
- All mechanical equipment (i.e. HVAC and transformers) are to be screened with landscaping or fence.
- All on-site utilities will be underground.
- Entrances to the development will have new entrance signage constructed of masonry materials and anchored by landscaping.
- Builder shall install sod and landscaping in all front yards.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the existing commercial fringe zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- Public sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community.
- All streets will be private and will have a 34-ft cross-section.
- Solid waste shall be handled via a private hauler and carts shall be stored inside the garage of each home.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Mail service will be provided via decorative cluster box units (CBU).
- All 77 home owners will be required to be members of the H.O.A.
- As members of the H.O.A., the residents will be subject to restrictive covenants and be required to pay membership dues as determined by an independent 3rd party management company.
- H.O.A. will be managed by an independent 3rd party management company.
- H.O.A. will be responsible for the maintenance and upkeep of the existing wetland.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the residential portion of the development.

PHASES	ATTACHED	DETACHED	ACRES
PHASE 1	35	21	9.65
PHASE 2	5	16	3.60
TOTAL	40	37	13.25

Phase 1 Phase 2 Commercial

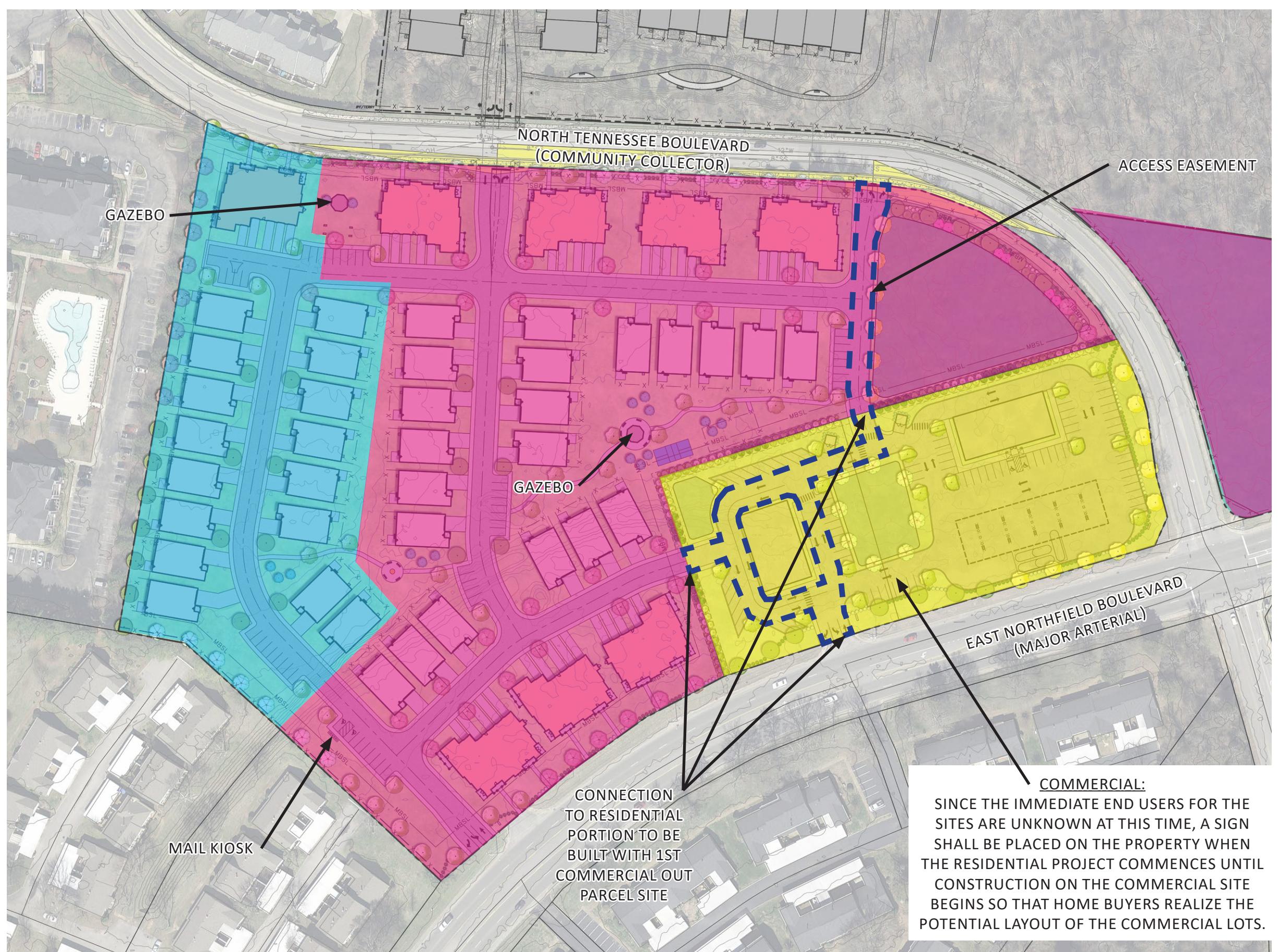
- The residential portion of this project is anticipated to be built in 2 phases.
- Construction of Phase 1 is anticipated to begin following their permitting. No building permits shall be issued until infrastructure is installed.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- All amenities and open spaces shall be constructed within the phase they are shown and must be operational prior to the recording of the final section's plat.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.

Phase 1 Package:

- Mail kiosk and its associated parking
- Community dog park
- Outdoor seating
- Community fire pit
- Community gazebos
- Cornhole boards
- Pickleball court
- Guest parking within phase (34 Spaces)
- Connections back to North Tennessee Blvd.
- Connection back to East Northfield Blvd.
- Detention pond north of commercial zoning

Phase 2 Package:

- Additional guest parking (16 Spaces)



SEC, Inc.

SEC Project #18116

Murfreesboro, Tennessee



Single-Family Detached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 and 2-story
- All homes will have a minimum of 3 bedrooms
- All the homes will have eaves
- Homes will have a patio area at the rear of the unit,
- Patios will have an optional 6-ft tall white vinyl privacy fence. Residents will have the option to replace the top 2-feet of their privacy fence with a 2-ft open lattice.
- All single-family detached homes will have a 2-car front entry garage
- Garage doors shall be decorative and will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards and shall be clear of obstructions.
- All homes will be comprised of alternating unit style and unit colors



Example of Brick
(different colors will be allowed)



Example of Fiber Cement Lap Board
(different colors will be allowed)



Example of Fiber Cement Board and Batten
(different colors will be allowed)



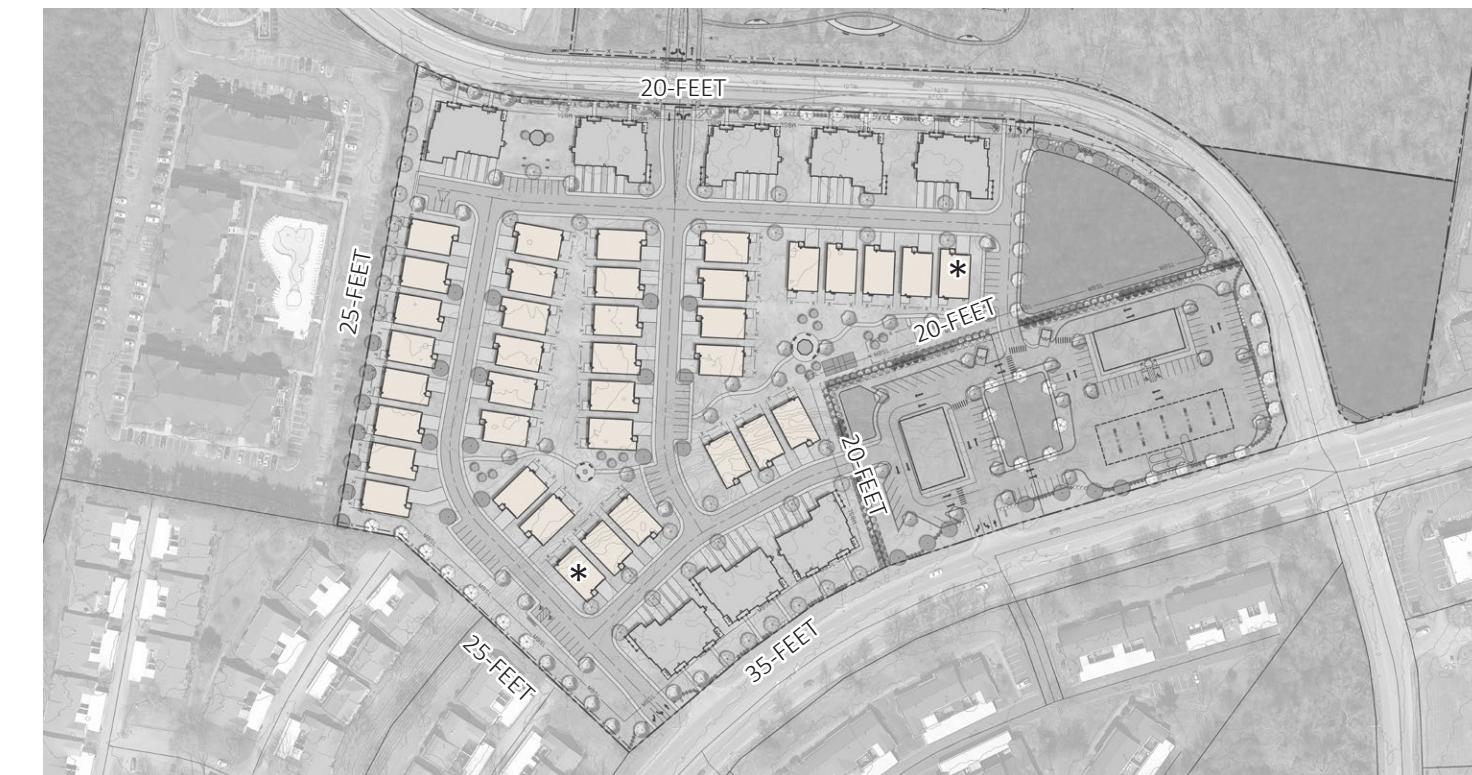
Example of Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Standing Metal Seam Roof (For Accent Only)
(different colors will be allowed)



Example of Asphalt Shingle Roof
(different colors will be allowed)



Building Materials:

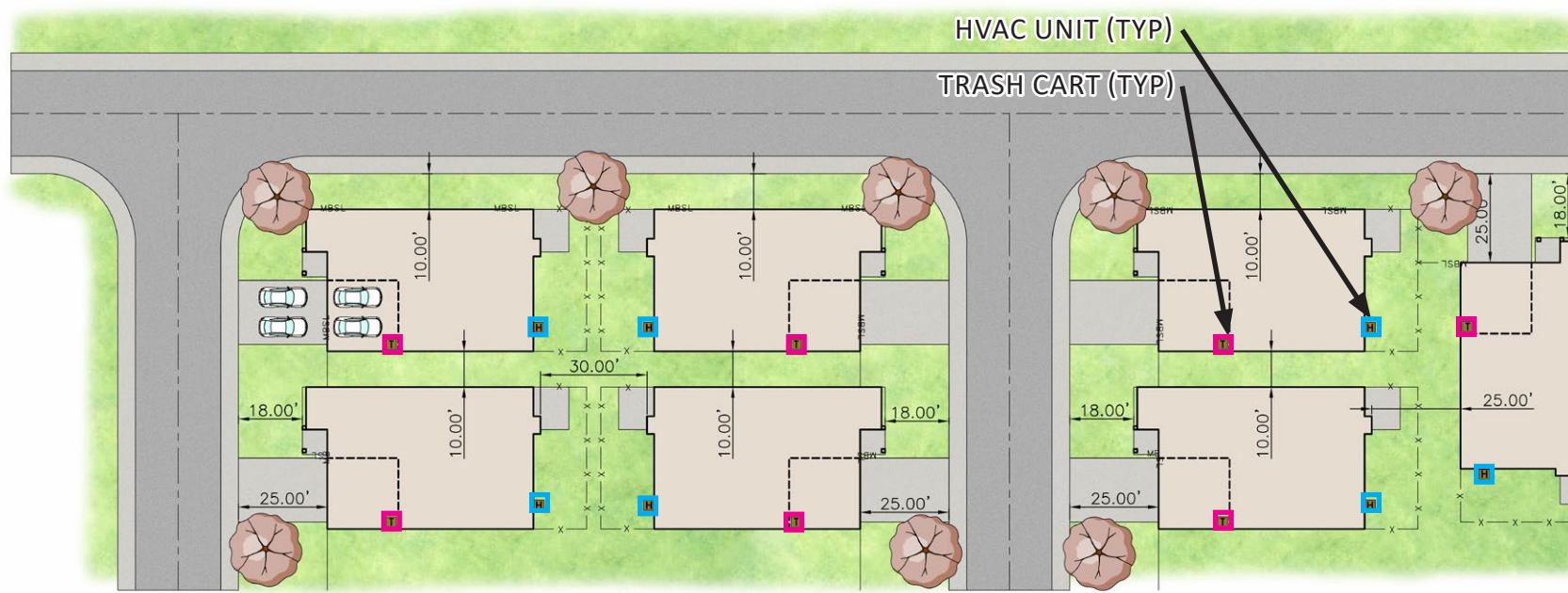
All Elevations: Fiber Cement Lap Board, Fiber Cement Board and Batten, Brick, Stone, Standing Metal Seam Roof, Asphalt Shingle Roof, and/or Standing Seam Accent Roof

All Elevations: Vinyl Only Permitted in Trim & Soffit Areas

Setbacks Proposed in PRD Compared to RS-A Type 2 Zoning

Single-Family Detached Homes Minimum Building Setbacks (Internal):

Front of Garage to Back of Sidewalk:	25-ft vs. 35-ft
Front of House to Back of Sidewalk:	18-ft vs. 35-ft
Sideyard to Back of Sidewalk (Corner):	10-ft vs. 35-ft
Side to Back of Sidewalk Alternative:	15-ft* vs. 35-ft
Side to Side Between Buildings:	10-ft vs. 5-ft to Property Line (10-ft Between Buildings)
Side to Rear Between Buildings:	25-ft vs. 20-ft to Property Line (40-ft Between Buildings)
Rear to Rear Between Buildings:	30-ft vs. 20-ft to Property Line (40-ft Between Buildings)



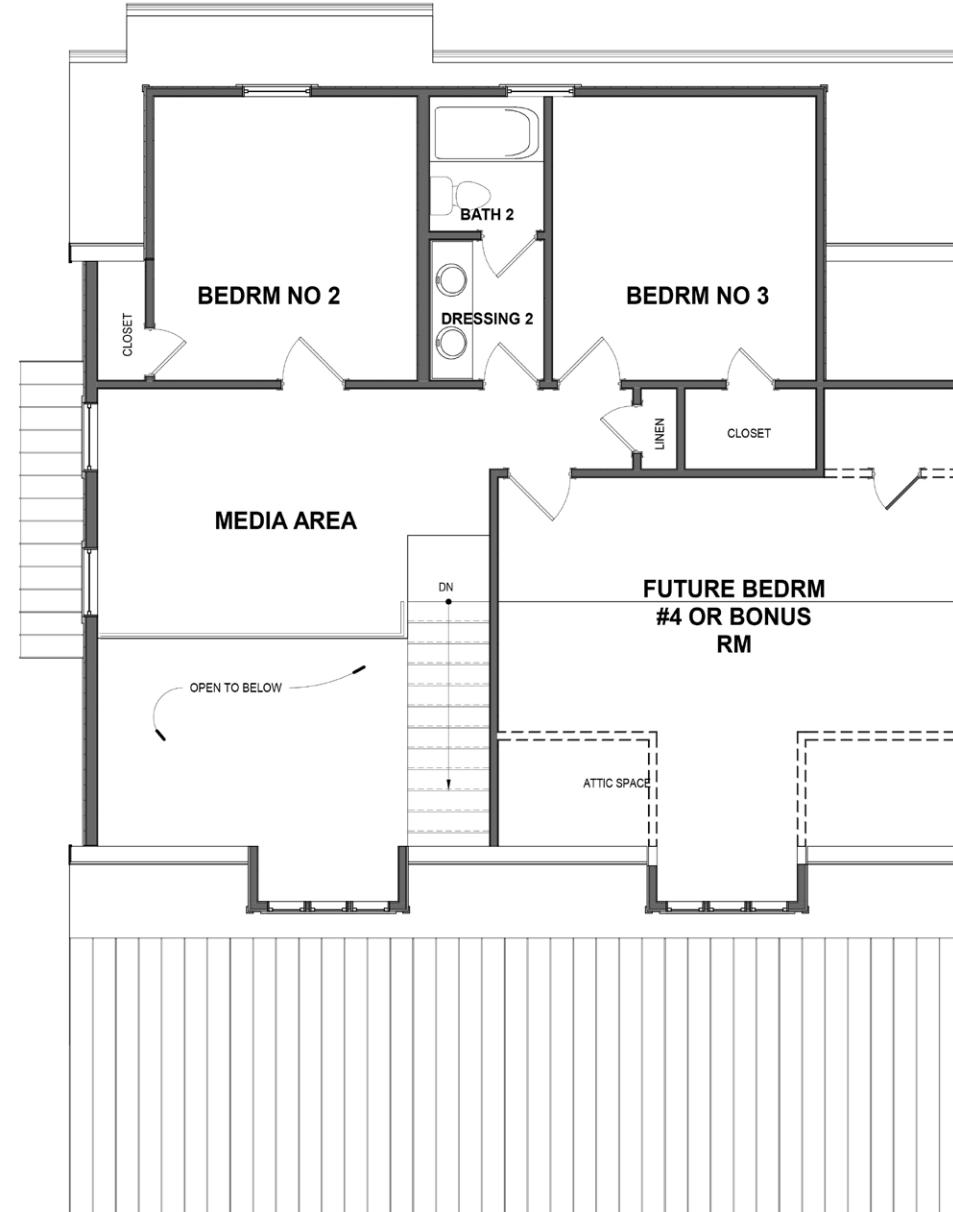
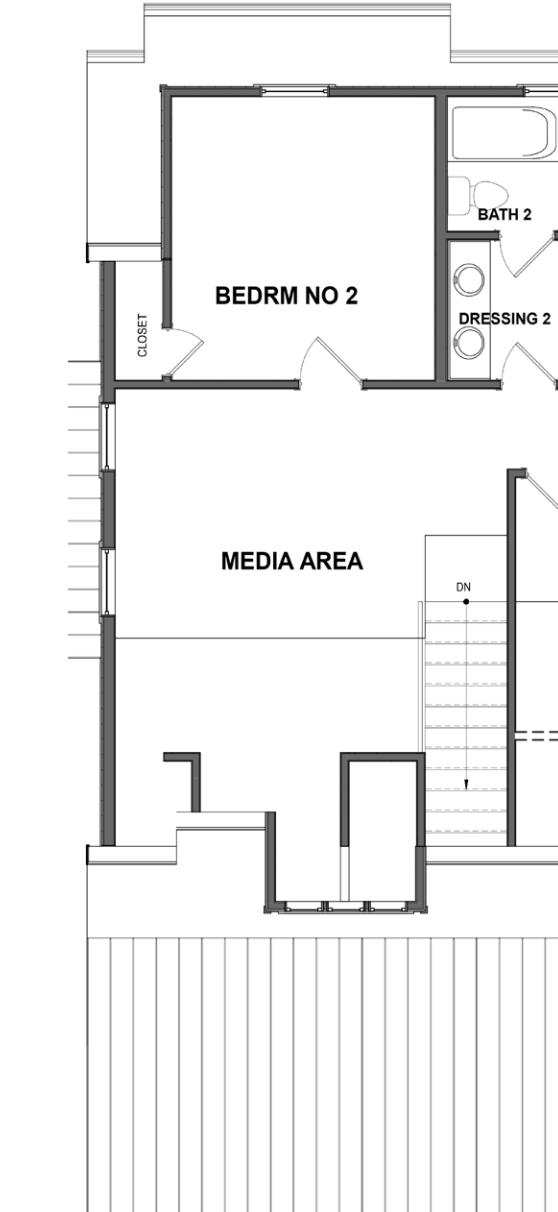
Minimum Building Setbacks to External Development Boundaries:

PCD Property Lines:	20-ft vs. 5-ft & 20-ft to Property Line
All Other Property Lines:	25-ft vs. 20-ft to Property Line

*Porch slab and fencing permitted within the setbacks as generally shown.

Red text denotes exceptions from the comparative zoning district.

SINGLE FAMILY DETACHED HOMES



END UNIT ALTERNATE
Scale: 1/4" = 1'-0"





SINGLE FAMILY DETACHED HOMES



FRONT ELEVATION (OPTION A)



FRONT ELEVATION - OPTION B



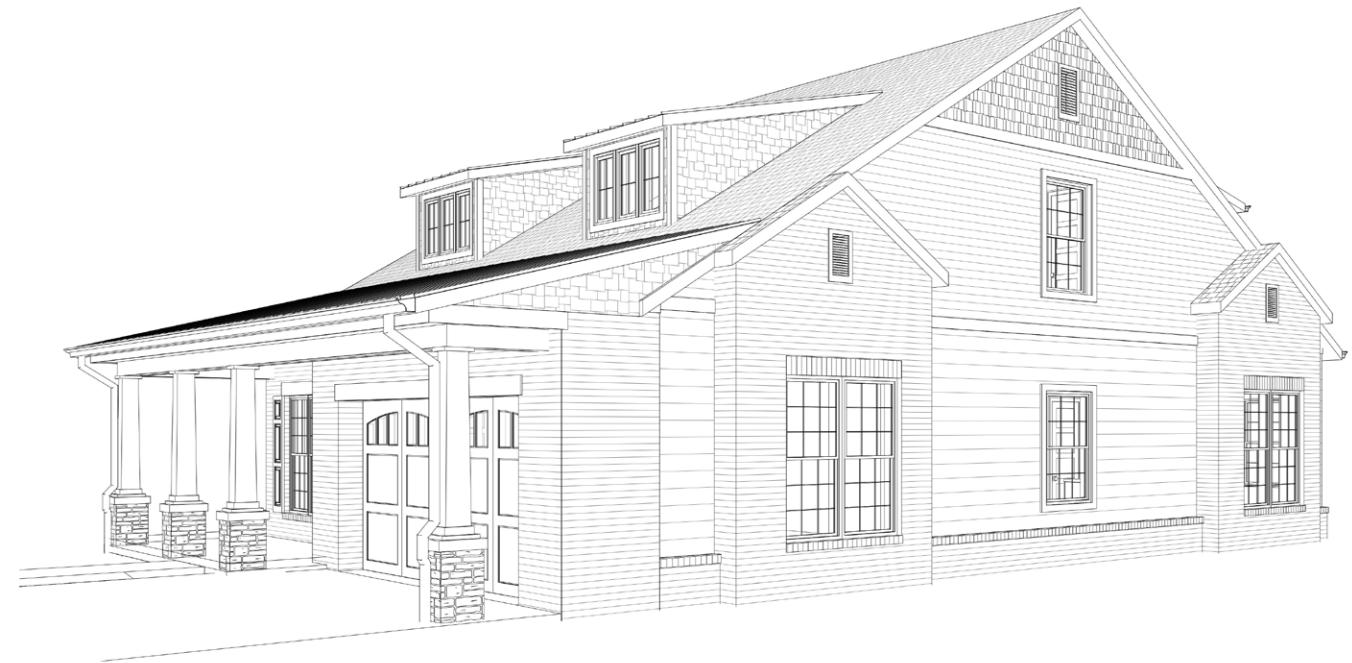
FRONT ELEVATION - OPTION C



FRONT ELEVATION - OPTION D



FRONT ELEVATION - OPTION E

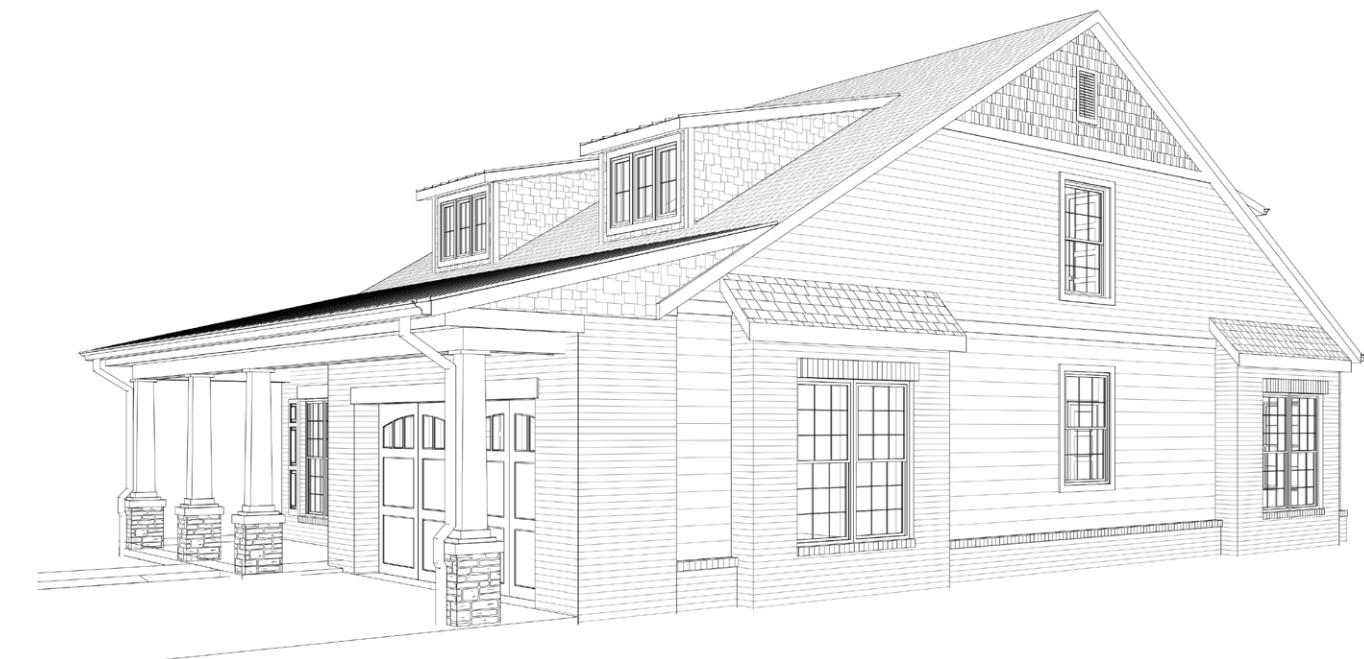


3D View Right Side End Unit - Alternate 001

Scale:



REAR ELEVATION



3D View Right Side End Unit - Alternate 002

Scale:

SINGLE FAMILY DETACHED HOMES



LEFT SIDE ELEVATION - END UNIT ALTERNATE



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION - END UNIT ALTERNATE



RIGHT SIDE ELEVATION - Interior Unit Plain

Single-Family Attached Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 and 2-story
- All homes will have at least 2 bedrooms
- All the homes will have eaves
- All single-family attached townhomes will have a porch area at the front or side of the unit.
- Porches shall be allowed to encroach 3-ft into proposed setbacks.
- All single-family attached townhomes will have a 1-car rear entry garage.
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit colors



Example of Brick
(different colors will be allowed)



Example of Fiber Cement Lap Board
(different colors will be allowed)



Example of Fiber Cement Board and Batten
(different colors will be allowed)



Example of Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Standing Metal Seam Roof
(different colors will be allowed)

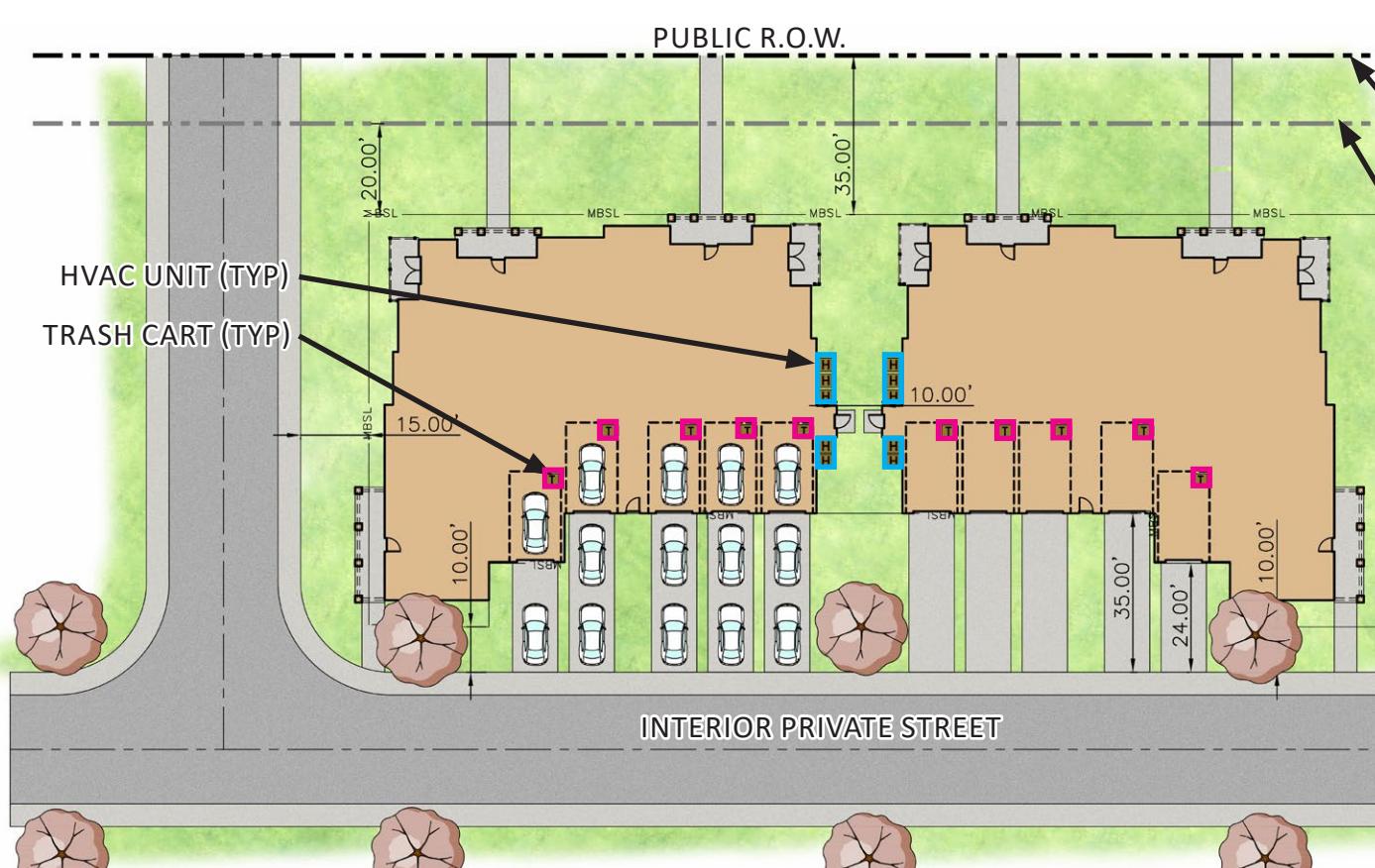


Example of Asphalt Shingle Roof
(different colors will be allowed)

Building Materials:

All Elevations: Fiber Cement Lap Board, Fiber Cement Board and Batten, Brick, Stone, Standing Metal Seam Roof, and Asphalt Shingle Roof

All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.



Single-Family Attached Homes Minimum Building Setbacks (Internal):

Garage to Back of Sidewalk: **24-ft** to 35-ft vs. 35-ft Front Setback

“Rear” of House to Back of Sidewalk: **10-ft** vs. 35-ft Front Setback

Side to Back of Sidewalk (Corner): 15-ft vs. 35-ft Front Setback

Side to Side Between Buildings: 10-ft vs. 5-ft to Property Line (10-ft Between Buildings)

Minimum Building Setbacks to External Development Boundaries

East Northfield Boulevard: **35-ft** vs. 45-ft Front Setback

North Tennessee Boulevard: **20-ft** vs. 35-ft Front Setback

PCD Property Lines: 20-ft vs. 10-ft Front Setback

All Other Property Lines: 25-ft vs. 5-ft to Property Line (10-ft Between Buildings)

*End units may have garage setback of 24-feet minimum.

**Porches shall be permitted to encroach a maximum of 3-ft into setbacks shown above

Red text denotes exceptions from the comparative zoning district.

PROPOSED 35-FT SETBACK FROM EAST NORTHLAND BOULEVARD R.O.W.

PROPOSED 20-FT SETBACK FROM NORTH TENNESSEE BOULEVARD R.O.W.



HVAC UNIT



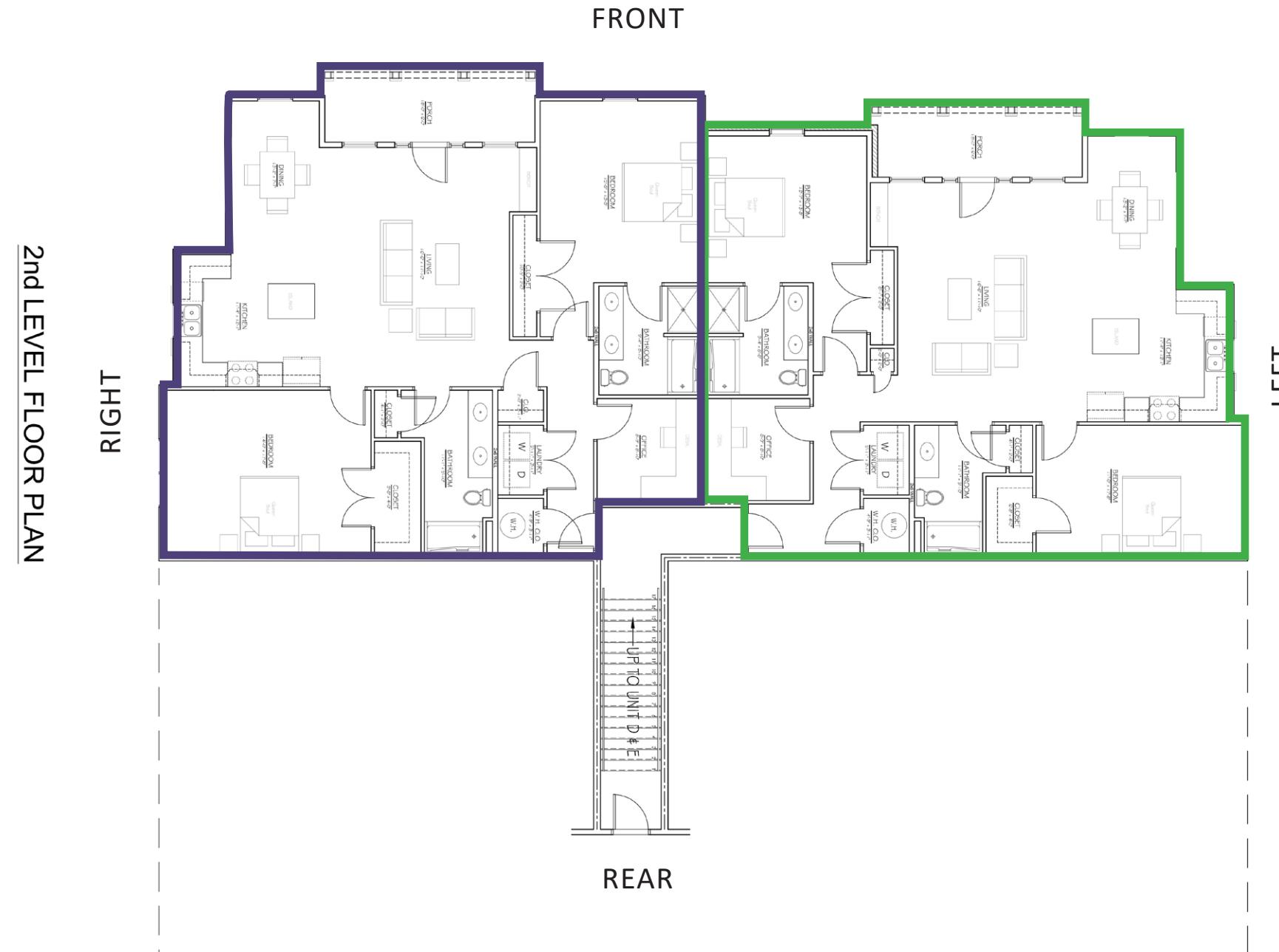
TRASH CART

SINGLE FAMILY ATTACHED TOWNHOMES

1st LEVEL FLOOR PLAN



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



SINGLE FAMILY ATTACHED TOWNHOMES

FRONT ELEVATION (FACING N. TENNESSEE OR E. NORTHFIELD BLVDS.)



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



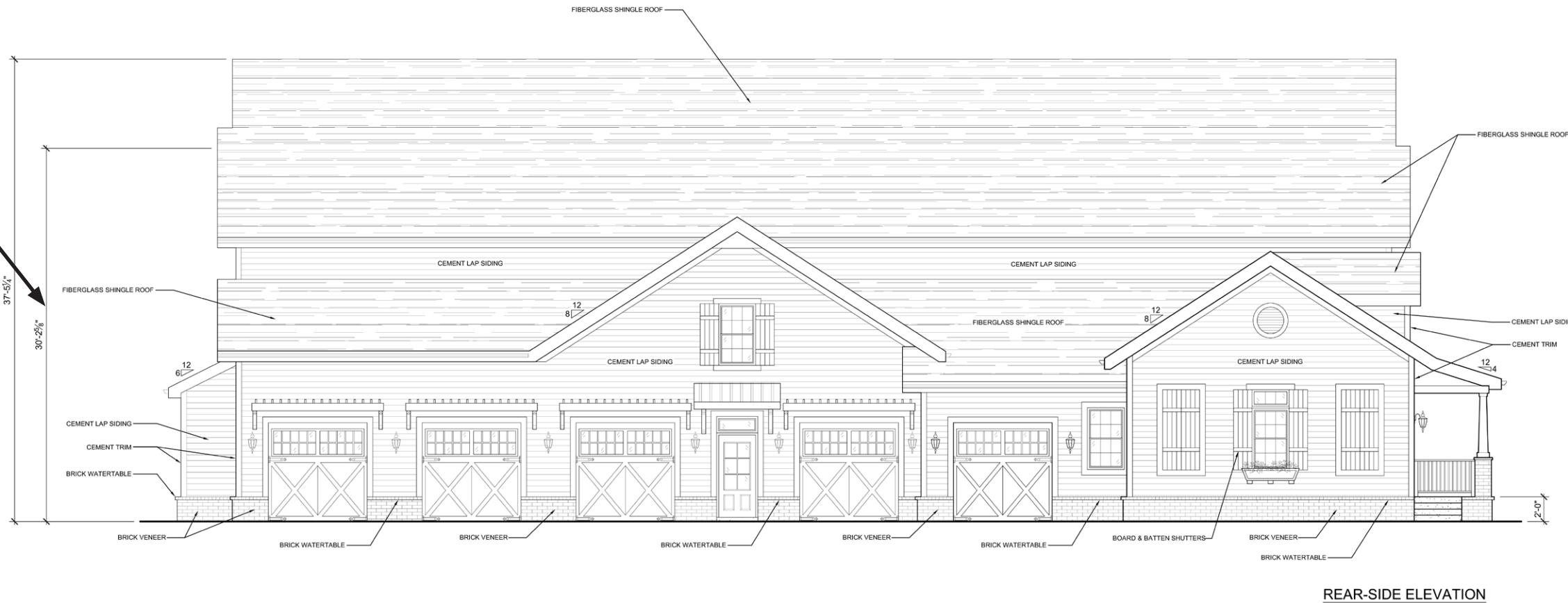
*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.
Final architecture shall be provided at the site plan level and will meet design guidelines.

PROPOSED PLANNED RESIDENTIAL DISTRICT
SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS

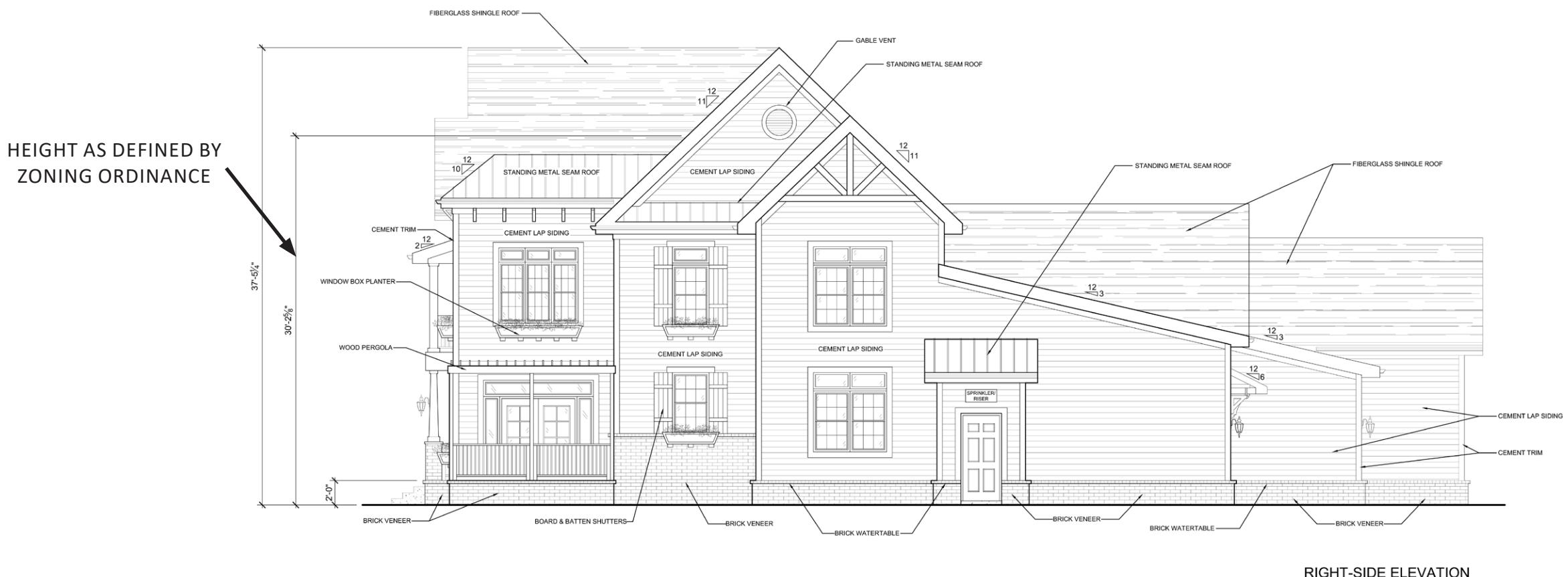
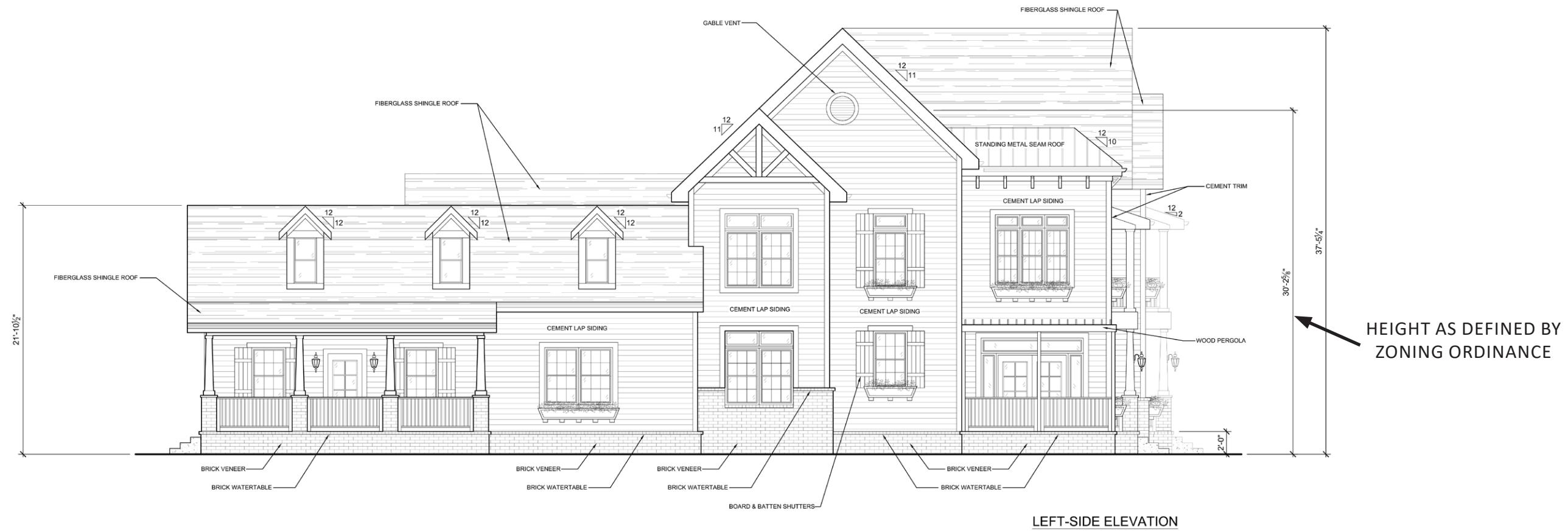
SINGLE FAMILY ATTACHED TOWNHOMES



HEIGHT AS DEFINED BY
ZONING ORDINANCE



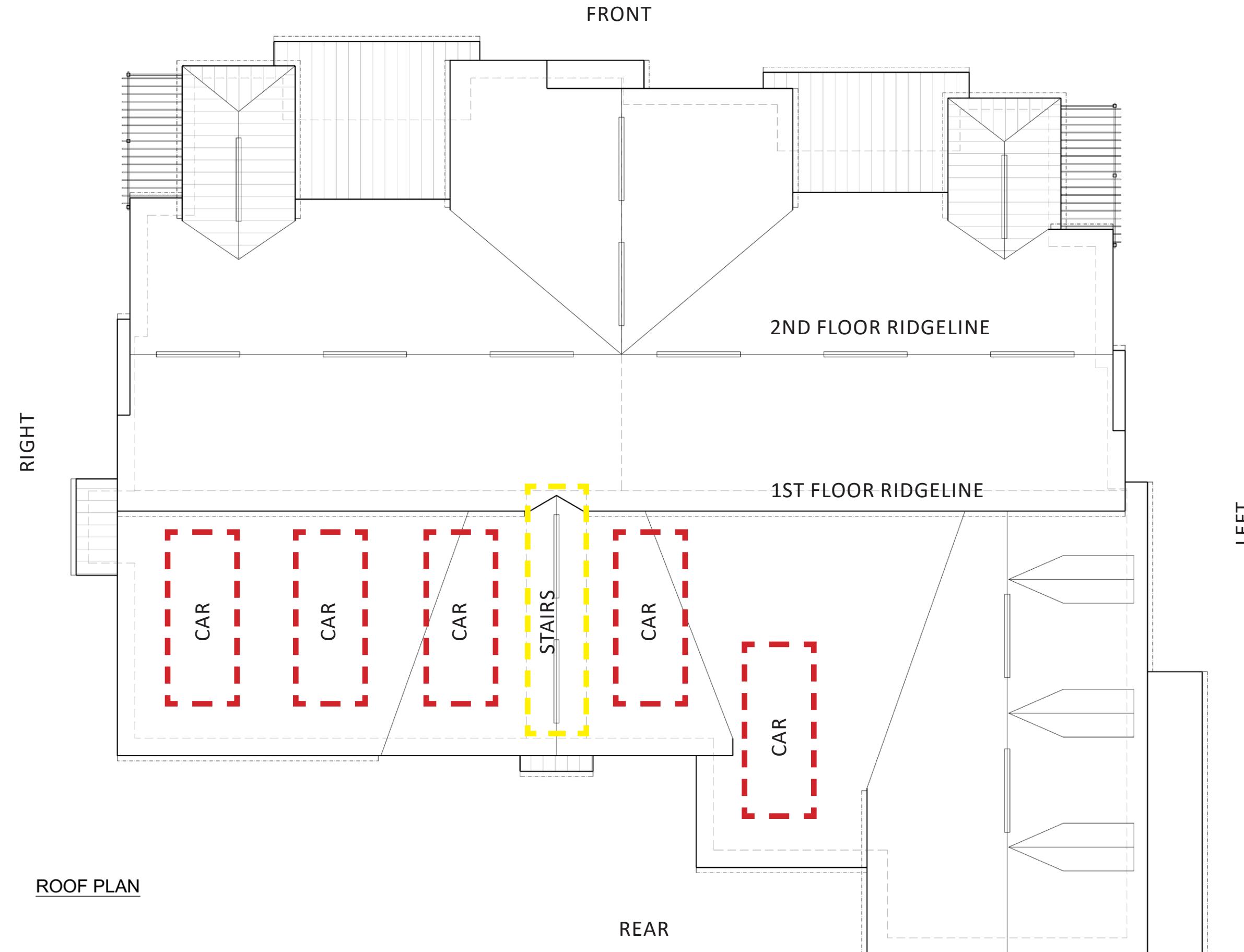
SINGLE FAMILY ATTACHED TOWNHOMES



*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.

PROPOSED PLANNED RESIDENTIAL DISTRICT SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS

SINGLE FAMILY ATTACHED TOWNHOMES





*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.
Final architecture shall be provided at the site plan level and will meet design guidelines.

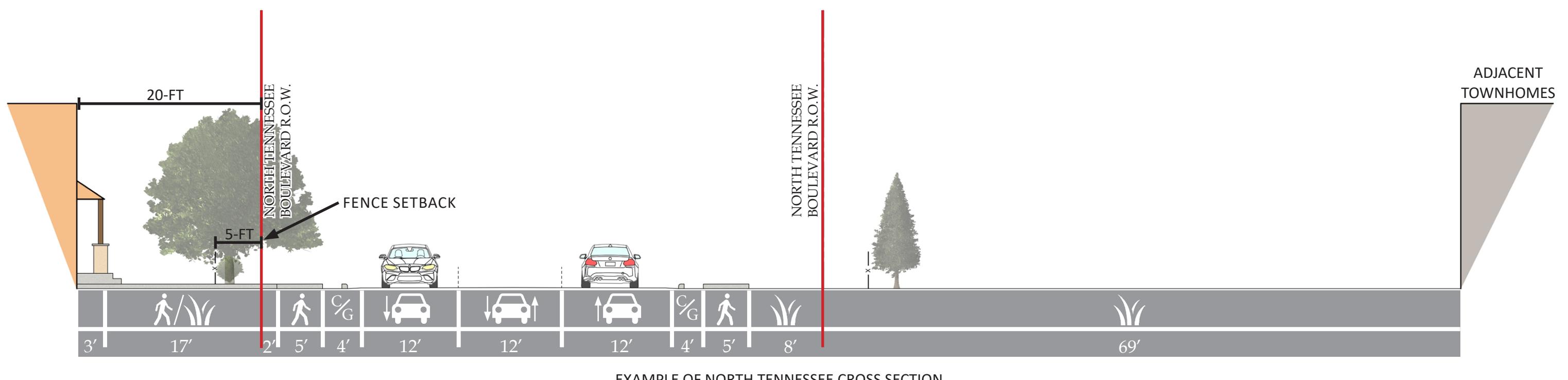
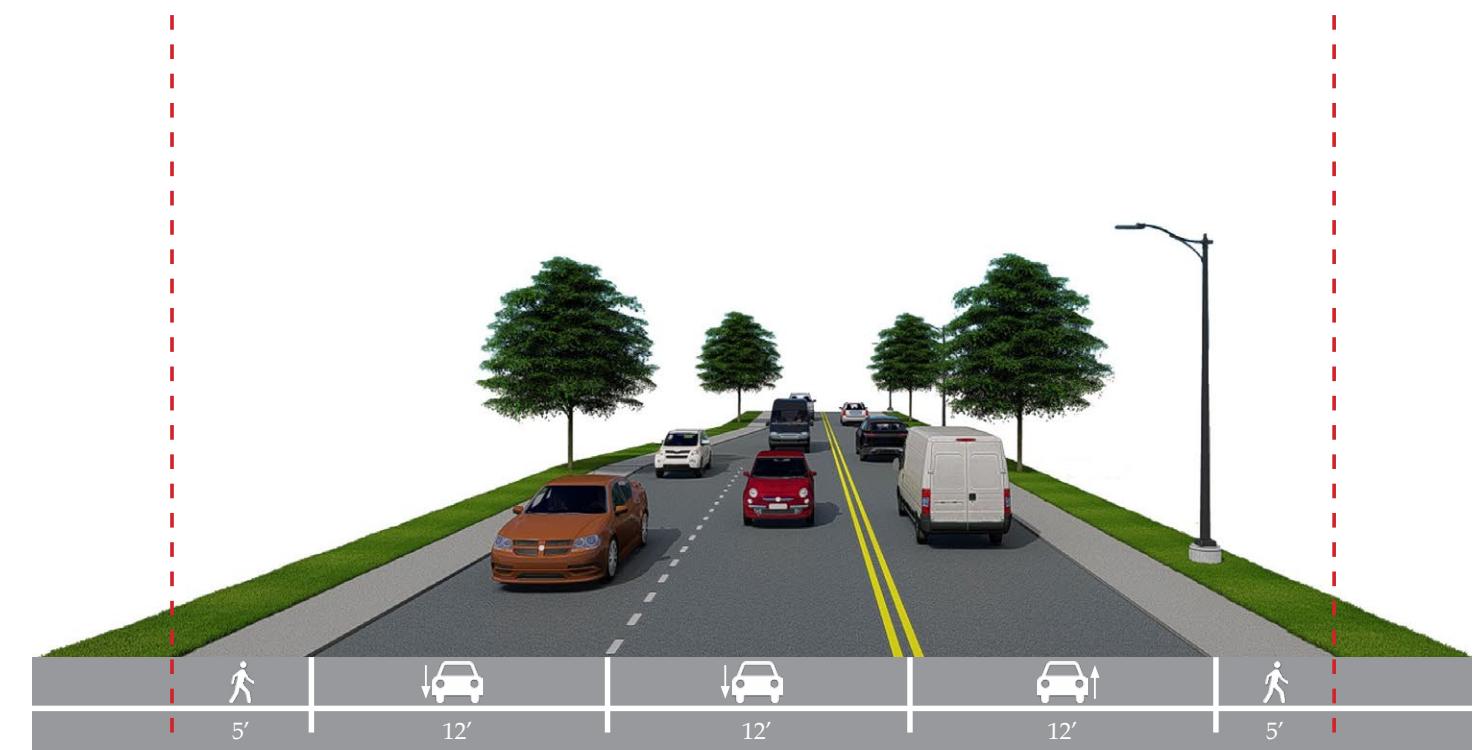
PROPOSED PLANNED RESIDENTIAL DISTRICT
SINGLE-FAMILY ATTACHED RESIDENTIAL ARCHITECTURAL CHARACTERISTICS

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. East Northfield Boulevard is a major arterial roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 5 lane cross-section with curb and gutter along with sidewalks on both sides of the roadway. North Tennessee Boulevard is a community collector that will also be affected by this development. The roadway frontage along North Tennessee Boulevard will be lined with a continuous 3-rail fence 5-ft off the property line with landscaping to match Brookwood Point Subdivision across the street to the north

As stated above, the primary means of ingress/egress from this site will be onto North Tennessee Boulevard and East Northfield Boulevard. The entrances are proposed to incorporate three travel lanes for proper circulation into and out of the development. There will be a dedicated left and right out of the neighborhood, as well as single lane for traffic entering the development. The development will also be providing two stubs for future access to the existing commercial properties along East Northfield Boulevard. The illustration to the right shows the proposed entrances to the development as well as the proposed stubs to the commercial properties, and the illustrations on Page 23 show examples of the proposed private road cross sections and a cross section showing building setbacks from North Tennessee Boulevard. A Traffic Impact Study shall be conducted at site plan review and adjustments or improvements to the site shall be made accordingly.

All streets within the development will be private streets with a typical 34-foot cross-section.







LOCATION MAP - AMENITIES

A	Walking Trail	C	Outdoor Seating Plaza	E	Cornhole Boards	G	Gazebo
B	Dog Park	D	Community Fire Pit	F	Pickle Ball Court	H	Outdoor Charcoal Grilling Station

Not To Scale

With this request, Northfield Acres will be dedicating approximately 3 acres (approximately 20% of the site) to open space. With the addition of the existing wetlands to the east across East Northfield Boulevard, the site will be dedicating approximately 4.39 acres (approximately 30% of the site) to open space. The open space areas will be comprised of usable open space, detention areas, and the existing wetlands. Usable open space areas around the development will offer such amenities as; a walking trail with outdoor seating, a dog park, a community fire pit, concrete cornhole boards, a pickle ball court, gazebos, and outdoor charcoal grilling stations. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. Each amenity will be constructed with the phase it is designated in, after 50% of the homes are built out in each phase. The entrances to the site will incorporate masonry signage and will be anchored with landscaping.



Example of Gazebo



Example of Dog Park



Example of Outdoor Seating & Community Fire Pit



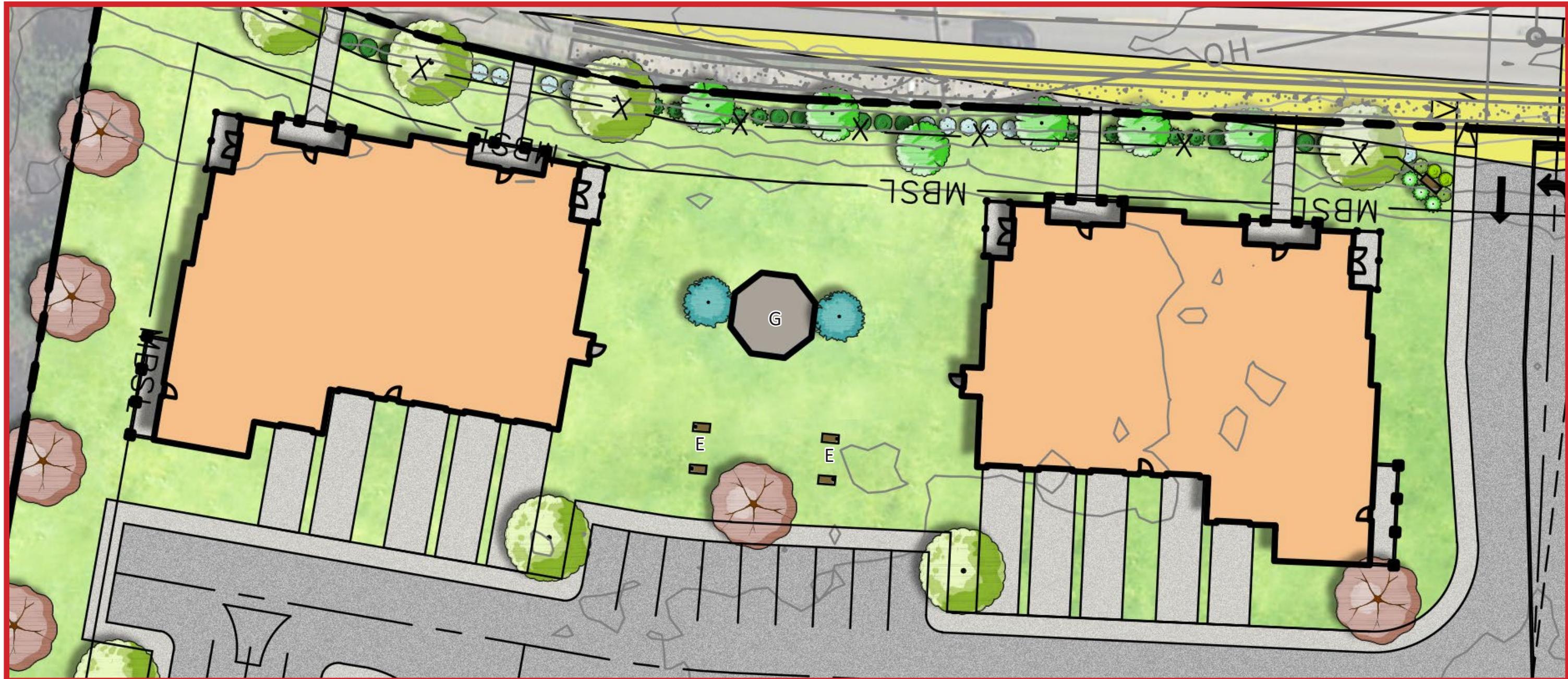
Example of Concrete Cornhole Boards



Example of Pickleball Court



Example of Outdoor Charcoal Grilling Station(s)



LOCATION MAP - ACTIVE AMENITIES AREA

E Cornhole Boards **G** Gazebo

Not To Scale 



LOCATION MAP - ACTIVE AMENITIES AREA

A	Walking Trail	C	Outdoor Seating Plaza	F	Pickle Ball Court	H	Outdoor Charcoal Grilling Station
B	Dog Park	D	Community Fire Pit	G	Gazebo		

Not To Scale 



— 3-FT TALL LANDSCAPED BERM

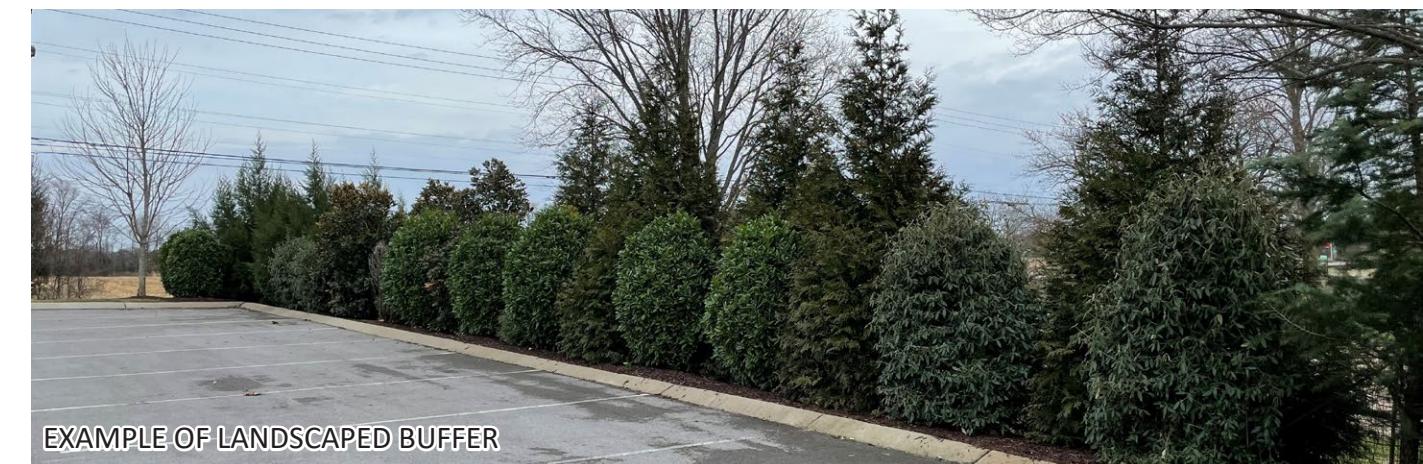
— 15-FT WIDE TYPE 'D' LANDSCAPE BUFFER
WITH 8-FT TALL OPAQUE FENCE BETWEEN
THE DOUBLE ROW OF TREES

— 6-FT TALL OPAQUE WOOD OR VINYL
PRIVACY FENCE

— 3-RAIL FENCE WITH LANDSCAPING



EXAMPLE OF LANDSCAPED BERM



EXAMPLE OF LANDSCAPED BUFFER

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- Trees along the private streets shall be placed at least every 100-ft as generally depicted on concept plan on Page 8.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the proposed PCD zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- A 6-ft tall opaque wood or vinyl privacy fence shall be provided along the southeastern perimeter help shield adjacent residences from headlight glares.
- Low level screening shrubs shall be installed where commercial parking headlights interfere with R.O.W. or adjacent residential uses to help shield headlight glares.
- A 3-ft tall berm shall be constructed along North Tennessee Boulevard along the proposed detention pond and shall be attractively landscaped with a mixture of evergreen and deciduous plantings.
- The fronts and sides at the base of all buildings will have at least 3 foot wide landscape strip.
- The existing wetlands to the east across North Tennessee Boulevard are to remain undeveloped. The residential H.O.A. shall be responsible for the maintenance and upkeep of the existing wetlands.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within the residential portion of the development.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3- 6 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 7- 9 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Pages 7- 9 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

PRD Overall Site Data:

TOTAL SITE AREA	640,177 s.f.	14.70 AC (100.00%)
WETLANDS AREA TO REMAIN	62,997 s.f.	1.45 AC (9.86%)
DEVELOPABLE RESIDENTIAL SITE AREA	577,180 s.f.	13.25 AC (90.14%)
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (19.66%)
TOTAL LOT AREA	640,177 s.f.	14.70 AC (100.00%)
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (21.63%)
TOTAL DRIVE/ PARKING AREA	113,560 s.f.	2.61 AC (17.76%)
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%)
TOTAL LIVABLE SPACE	526,617 s.f.	12.09 AC (82.24%)
TOTAL OPEN SPACE	192,100 s.f.	4.41 AC (30.00%)
FLOOR AREA RATIO (F.A.R.)	0.20	
LIVABILITY SPACE RATIO (L.S.R.)	0.61	
OPEN SPACE RATIO (O.S.R.)	0.78	

PRD Developable Site Data:

DEVELOPABLE RESIDENTIAL SITE AREA	577,180 s.f.	13.25 AC (100.00%)
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (21.81%)
TOTAL LOT AREA	577,180 s.f.	13.25 AC (100.00%)
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (24.00%)
TOTAL DRIVE/ PARKING AREA	113,560 s.f.	2.61 AC (19.70%)
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%)
TOTAL LIVABLE SPACE	463,620 s.f.	10.64 AC (80.30%)
TOTAL OPEN SPACE	128,066 s.f.	2.94 AC (30.00%)
FLOOR AREA RATIO (F.A.R.)	0.22	
LIVABILITY SPACE RATIO (L.S.R.)	0.56	
OPEN SPACE RATIO (O.S.R.)	0.76	

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CF. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in two phases. Phasing information is described on Page 9.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 8 and 28-31.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Page 33

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0280H eff. 01/04/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 26-27 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Haury & Smith Contractors, Inc. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 10-25 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Pages 8 and a description is on Pages 3 & 8.

Single Family Detached (See Exhibit on Page 11)

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RSA-2	Proposed PRD (SFD) Homes	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Minimum Garage Front Setback to Back of Sidewalk	35'	25'	-10'
Minimum Main Building Front Setback to Back of Sidewalk	35'	18'	-17'
Minimum Main Building Side Setback to Back of Sidewalk (Corner Lot)	35'	10' (Except as Noted on Page 11)	-25'
Minimum Side Setback to PCD Property Lines	5'	20'	+15'
Minimum Side Setback to External Property Lines	5'	25'	+20'
Minimum Rear Setback to External Property Lines	20'	25'	+5'
Minimum Side Setback to Internal Units	5'	5' (10' Between Buildings)	0'
Minimum Rear Setback to Internal Units	20'	15' (30' Between Buildings)	-5' (-10')
Land Use Intensity Ratios			
MAX F.A.R.	1.0	None	NA
Minimum Livable Space Ratio	0.5	None	NA
Minimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

Single Family Attached (See Exhibit on Page 17)

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RSA-2	Proposed PRD (SFA) Townhomes	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A
Minimum Lot Area	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A
Minimum Setback Requirements			
Minimum Garage Rear Setback to Back of Sidewalk	35'	24' to 35'	-11'
Minimum Main Building Rear Setback to Back of Sidewalk	35'	10'	-25'
Minimum Main Building Side Setback to Back of Sidewalk	5'	15'	+10'
Minimum Front Setback to East Northfield Boulevard	45'	35'	-10'
Minimum Front Setback to North Tennessee Boulevard	35'	20'	-15'
Minimum Side Setback to PCD Property Lines	5'	20'	+15'
Minimum Side Setback to External Property Lines	5'	25'	+20'
Minimum Side Setback to Internal Units	5'	5' (10' Between Buildings)	0' (+5')
Land Use Intensity Ratios			
MAX F.A.R.	1.0	None	NA
Minimum Livable Space Ratio	0.5	None	NA
Minimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the 35-ft front setback to be reduced to 18-ft for main structures and to 25-ft for garages for single-family detached homes.
- Requesting an exception to the 35-ft 'side setback' on corner lots to be reduced to 10-ft for single-family detached homes.
- Requesting an exception to the 20-ft rear setback to be reduced to 15-ft for single-family detached homes to imaginary property line (or 30-ft between buildings).
- Requesting an exception to the 35-ft 'rear'/front setback to be reduced to 10-ft for main structures and 24-ft for garages for single-family attached homes.
- Requesting an exception to the 35-ft front setback along North Tennessee Boulevard to be reduced to 20-ft with the addition of landscaping and the continuous 3-rail fence.
- Requesting an exception to the 45-ft front setback along East Northfield Boulevard to be reduced to 35-ft.

*For the purposes of comparison, the 'Rear' acts as a front, as the attached homes are double fronted with public R.O.W. and internal private streets.

Commercial Development Standards:

- Signage advertising the commercial properties with concept plan layout shall be posted on-site before the first residential building permit is issued and will remain until commercial buildings are under construction.
- Any solid waste enclosures will be constructed of materials consistent with building architecture, be at least 8-ft tall with opaque gates, and accented with landscaping.
- Commercial buildings shall have pedestrian connections to East Northfield Boulevard.
- Buildings shall have a well defined architectural base by use of different materials, colors, change in pattern, or a combination of these techniques.
- Building elevations will have articulated or multiple building planes along all elevations.
- Main entrances to all buildings are to be well defined and easily recognizable by use of raised roof lines, canopies, glazing, change in materials, change in colors, change in pattern, or a combination of these techniques.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the existing commercial fringe zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- Monument signage located at entrances along roadways shall be constructed of materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) to be screened. If mechanical equipment is located on the roof, then they shall be screened from view.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution.
- Parking will comply with Murfreesboro Zoning Ordinance for uses that comply with Commercial Fringe (CF) District and those outlined on this page.
- Construction on the commercial lots will begin once an end-user has chosen and the site and receives site plan approval from the Murfreesboro Planning Commission.
- All buildings on both commercial lots will have consistent materials & architecture to create an overall theme for the development with a neighborhood scale.
- Commercial lots will not be part of the residential H.O.A. and will instead form their own Commercial Owners Agreement for continued maintenance on-site and maintenance of their portion of the shared access roadway.

Allowable Uses:

The immediate end user for the commercial lots at this time, is currently unknown. The allowable uses outlined on this page, with their footnotes denoted in superscript, are reflected within the Commercial Fringe(CF) district as per the January 24, 2023 Murfreesboro Zoning Ordinance. Northfield Acres commercial properties will allow the following uses listed below.

LOTS 1 AND 2 PERMITTED USES	
INSTITUTIONS	
Adult Day-Care Center	X
Adult Day-Care Home	X
Church ¹³	X
Day-Care Center	X
Family Day-Care Home	X
Group Day-Care Home	X
Museum	X
Nursing School	X
Philanthropic Institution	X
Public Building ¹³	X
Senior Citizens Center	X
School, Public or Private, Grades K - 12 ¹³	X
AGRICULTURAL	
Farm Labor and Management Services	X
COMMERCIAL	
Amusements, Commercial Indoor	X
Animal Grooming Facility	X
Antique Shop <3,000 sq.ft.	X
Art or Photo Studio or Gallery	X
Bakery, Retail	X
Bank or Credit Union, Branch Office or Main Office	X
Bank, Drive-Up Electronic Teller	X
Barber or Beauty Shop	X
Book or Card Shop	X
Business School	X
Business and Communication Service	X
Catering Establishment	X
Clothing Store	X
Coffee, Food, or Beverage Kiosk	X
Commercial Center	X
Convenience Sale and Services, maximum 5,000 sq. ft. floor area	X
Dry Cleaning	X
Financial Services (No Check Advance Businesses)	X
Flower or Plant Store	X
Gas Station (6am-11pm Operating Hours)	X
Glass-Stained and Leaded	X
Group Assembly, <250 persons	X
Health Club	X
Ice Kiosk, Automated	X
Interior Decorator	X
Janitorial Service	X
Karate, Instruction	X
Keys, Locksmith	X
Laboratories, Medical	X
Laboratories, Testing	X

COMMERCIAL (CONT.)	
Music or Dancing Academy	X
Offices	X
Optical Dispensaries	X
Personal Service Establishment	X
Pet Shops	X
Pharmacies, Apothecaries	X
Reducing and Weight Control Services	X
Restaurant and Carry-Out Restaurant*	X
Restaurant , Specialty*	X
Restaurant, Specialty - Limited*	X
Retail Shop, other than enumerated elsewhere	X
Specialty Shop	X
Veterinary Office	X
Veterinary Clinic	X
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	X
Telephone or Communication Services	X

*Drive-Thru uses must meet exceptions outlined in this program book on Page 38.

Prohibited Uses:

- Primary Pain Clinic
- Primary Drug & Alcohol Rehab Centers
- Vape/Cigarette Shop/Tobacco Shop
- Liquor Store



*EXAMPLE OF DEVELOPMENT SIGNAGE



*EXAMPLE OF DEVELOPMENT SIGNAGE



*EXAMPLE OF TRASH ENCLOSURE



EXAMPLE OF PEDESTRIAN SCALE LIGHTING

Commercial Architectural Characteristics:

- Building heights shall not exceed 42 feet in height
- All buildings shall be one-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques.
- Main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, stone, cast stone, synthetic stone) will be the primary building materials with potential cementitious siding accents.
- *All buildings shall comply with Murfreesboro Design Guidelines standards.
- See permitted uses table on previous page and comparative commercial table on Page 38.



Example of Brick
(different colors will be allowed)



Example of Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Hardy Board
(different colors, cuts, patterns will be allowed)



EXAMPLE OF GAS STATION CANOPY



EXAMPLE OF ARCHITECTURE

Building Materials:

Front Elevations: Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
Side Elevations: Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
Rear Elevations: Masonry materials (i.e. Brick, Cast Stone, Synthetic Stone)
All Elevation: Cementitious siding for potential accent material



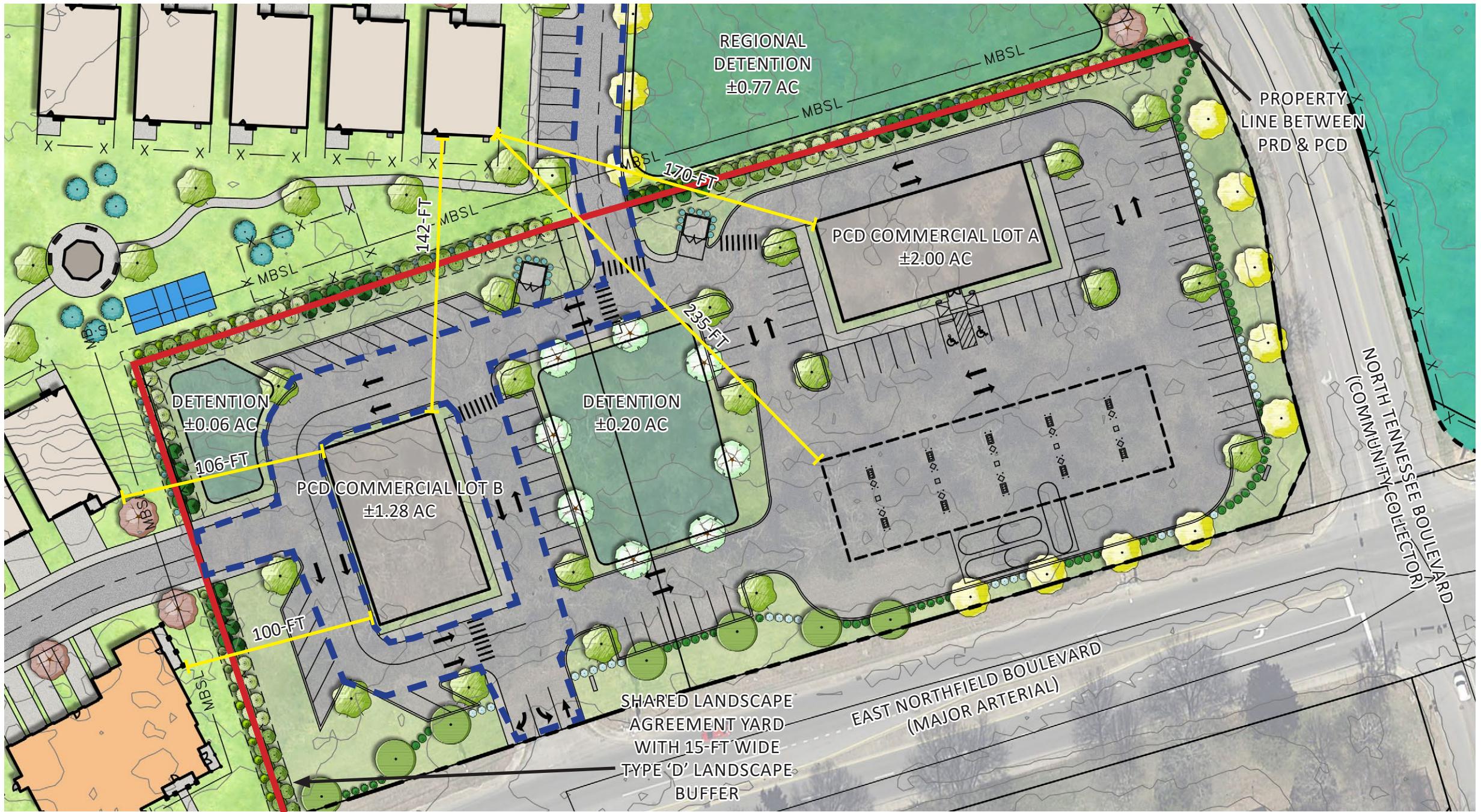
EXAMPLE OF ARCHITECTURE



EXAMPLE OF ARCHITECTURE

Site Setbacks:

East Northfield Boulevard: 42-feet
North Tennessee Boulevard: 42-feet
Side Setback: 25-feet
Rear Setback: 30-feet



Commercial Landscaping Characteristics:

- A minimum 8-feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berthing.
- A shared landscape agreement easement shall be placed along the eastern and northern property line where this development abuts the proposed PRD zoning. A 15-ft wide type 'D' landscape buffer shall be installed within this landscape easement and shall be maintained by both the Commercial Property Owner Association and the residential H.O.A.
- Within the proposed type 'D' landscape buffer, an 8-ft tall opaque vinyl fence shall be provided along all boundaries which abut a residential land use with fence bisecting the 2 rows of trees.
- The base of buildings will have a minimum 3-ft wide landscape bed with foundation plantings.
- Monument signage located at the entrances along roadways are to be constructed with materials consistent with building architecture and accented with landscaping.
- All mechanical equipment (i.e. HVAC and transformers) located on the ground to be screened with landscaping and/or fences. If mounted on the roof, they shall be screened by a parapet wall or architectural screening.
- Landscaping will be in conformance with the City of Murfreesboro's Landscape Ordinance.



Land Use Data

Total Land Area:	±17.98 Acres
Total PCD Land Area:	±3.28 Acres
Total PRD Land Area:	±14.70 Acres
Existing Wetlands to Remain:	±1.45 Acres
PRD Developable Land Area:	±13.25 Acres

Commercial Lot A Land Use Data

Total Land Area:	±2.00 Acres (20%)
Required Min Open Space:	±0.40 Acres (20%)
Provided Open Space:	±0.40 Acres (20%)
Required Min Formal Open Space:	±0.06 Acres (3%)
Provided Formal Open Space:	±0.06 Acres (3%)

Commercial Lot B Land Use Data

Total Land Area:	±1.28 Acres (20%)
Required Min Open Space:	±0.26 Acres (20%)
Provided Open Space:	±0.26 Acres (20%)
Required Min Formal Open Space:	±0.04 Acres (3%)
Provided Formal Open Space:	±0.04 Acres (3%)

Shared Parking Agreement Data

Commercial Lot A Required Parking:	
Building Area = 6,048 SF	
(1 Space/300 sf) =	
20 Spaces	
Commercial Lot B Required Parking:	
Building Area = 5,760 SF	
(1 Space/100 sf) =	
58 Spaces	
Total Parking Required:	
Total Parking Provided:	
78 Spaces	
81 Spaces (+3)	



*Commercial property layouts shown are conceptual and meant to convey potential future commercial property design.

*Landscaping shown is illustrative and only meant to convey the general appearance and character of the development. Final landscaping shall be provided at the site plan level and will meet design guidelines.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 7-8 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 7, 26-27, & 36 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CF. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the commercial buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: See Page 38 for requested exceptions and setbacks.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	142,808 s.f.	3.28 AC	100.00%
TOTAL MAXIMUM FLOOR AREA	11,808 s.f.	0.27 AC	27.11%
TOTAL LOT AREA	142,808s.f.	3.28 AC	100.00%
TOTAL BUILDING COVERAGE	11808 s.f.	0.27 AC	27.11%
TOTAL DRIVE/ PARKING AREA	73,679 s.f.	1.69 AC	51.57%
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC	0.00%
TOTAL LIVABLE SPACE	69,129 s.f.	1.59 AC	48.38%
TOTAL OPEN SPACE	28,561 s.f.	0.66 AC	19.99%
FLOOR AREA RATIO (F.A.R.)	0.08		
LIVABILITY SPACE RATIO (L.S.R.)	0.40		
OPEN SPACE RATIO (O.S.R.)	0.92		

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0280H eff. 01/04/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 26-27 discusses the Major Thoroughfare Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Haury & Smith Contractors, Inc. contact info for both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 34 shows the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 34.

Commercial (See Exhibit on Page 29)

Land Use Parameters and Building Setbacks				
Zoning (Existing vs Proposed)	CF (Existing)	Proposed PCD	Difference	
Residential Density				
Maximum Dwelling Units Multi-Family	N/A	N/A	N/A	
Minimum Lot Area	N/A	N/A	N/A	
Minimum Lot Width	N/A	N/A	N/A	
Minimum Setback Requirements				
Minimum Front Setback	42'	42'	0'	
Minimum Side Setback	25'	25'	0'	
Minimum Rear Setback	20'	30'	+10'	
Minimum Canopy Setback	3'	3'	0'	
Minimum Canopy Support Setback	15'	15'	0'	
Minimum Gasoline Sale Setback	200'	170'	-30'	
Minimum Ordering System Setback	200'	100'	-100'	
Land Use Intensity Ratios				
MAX F.A.R.	None	None	NA	
Minimum Livable Space Ratio	None	None	NA	
Minimum Open Space Requirement	20%	20%	0%	
Minimum Formal Open Space Requirement	3%	3%	0%	
Max Height	42'	42'	0'	

REQUESTED EXCEPTIONS:

- Requesting an exception to the required 200-ft setback for gasoline sale to be reduced to 170-ft as depicted on exhibit shown on Page 36.
- Requesting an exception to the required 200-ft setback for ordering systems to be reduced to 100-ft as depicted on exhibit shown on Page 36.

*The listed exceptions regarding Gasoline Sale setback and Ordering System setback shall be measured from nearest proposed residential unit instead of measured from nearest residential property line (See Exhibit on Page 36)

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 5, 2023**

PROJECT PLANNER: MARINA RUSH

4.c. Annexation petition and plan of services [2023-502] for approximately 8.63 acres located along Manson Pike, including right-of-way of approximately 130 linear feet of Manson Pike, Marsha Love applicant.

Marsha Love, represented by Mr. Matt Taylor of SEC, Inc., has submitted a petition requesting her property be annexed into the City of Murfreesboro. The subject property is located along the north side of Manson Pike southeast of I-840 and is approximately 8.23 acres in size. The annexation study area includes a 130 linear-foot segment of the Manson Pike right-of-way (ROW) of approximately 0.40 acres. On March 6, 2023, the Rutherford County Road Board voted to consent to the annexation of the segment of Manson Pike ROW. The total study area is 8.63 acres and includes the following:

1. Segment of Manson Pike ROW: 0.4 acres
2. Tax Map 078, Parcel 01601: 8.23 acres

The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous to the city limits along the northwest property line (I-840 ROW) and to the south. The property is currently developed with a single-family residence and accessory structures.

Simultaneous with this application is a request to zone the property to PND (Planned Institutional District - Rutherford Collegiate Prep) to allow the development of a 2-story, 56,000 square-foot charter school grades K-8. In addition, the City is proposing an update to the Murfreesboro 2035 Comprehensive Plan Chapter 4 - Future Land Use Map and text, and this update proposes a "Service Infill Line" to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. The study area is located within this proposed Service Infill Line depicted on the update to the Future Land Use Map.

Plan of Services

Staff has prepared an annexation study and plan of services (POS) for the proposed study area, as described above. The POS provides detailed information

regarding each of the city services. The POS demonstrates that City services can be provided to the subject property.

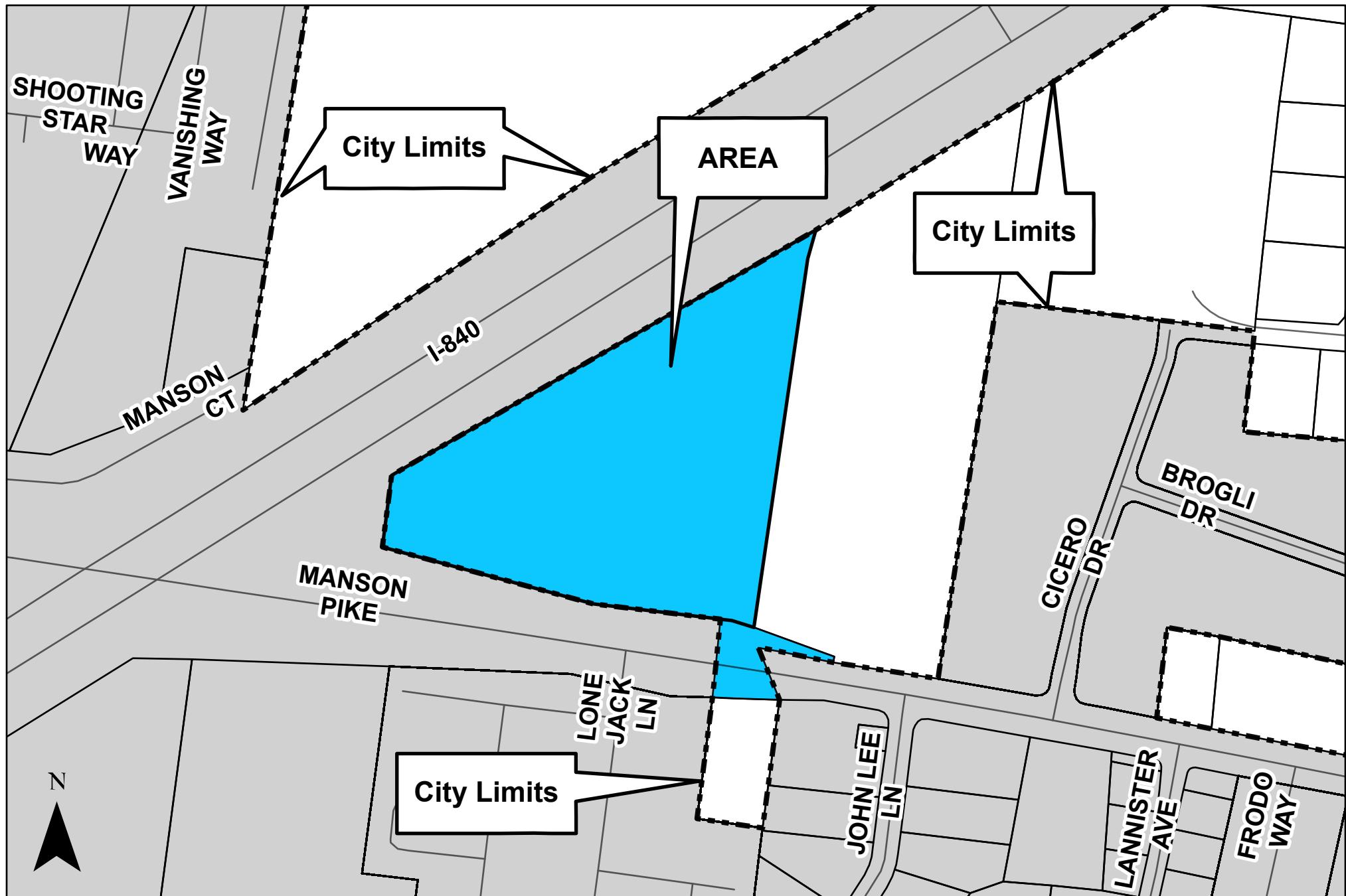
Staff Recommendations:

Staff recommends approval of the annexation based on the following reasons:

- a. Study area is contiguous with the existing City limits.
- b. Study area is within the Service Infill Line of the proposed update to the Future Land Use Map.
- c. City services can be provided to the subject property upon annexation.

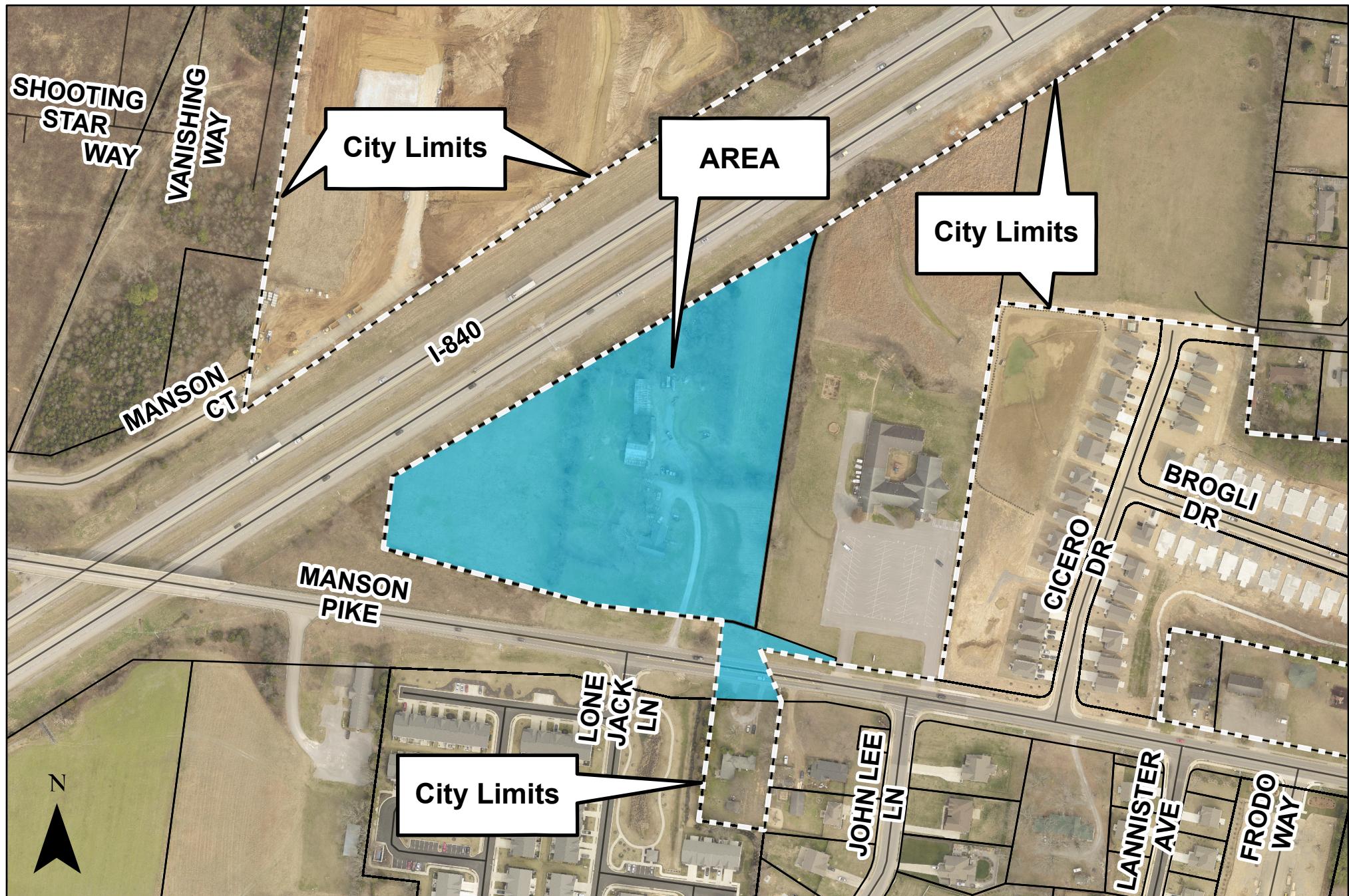
Action Needed:

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council.



Annexation request for property along Manson Pike

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov



Annexation request for property along Manson Pike

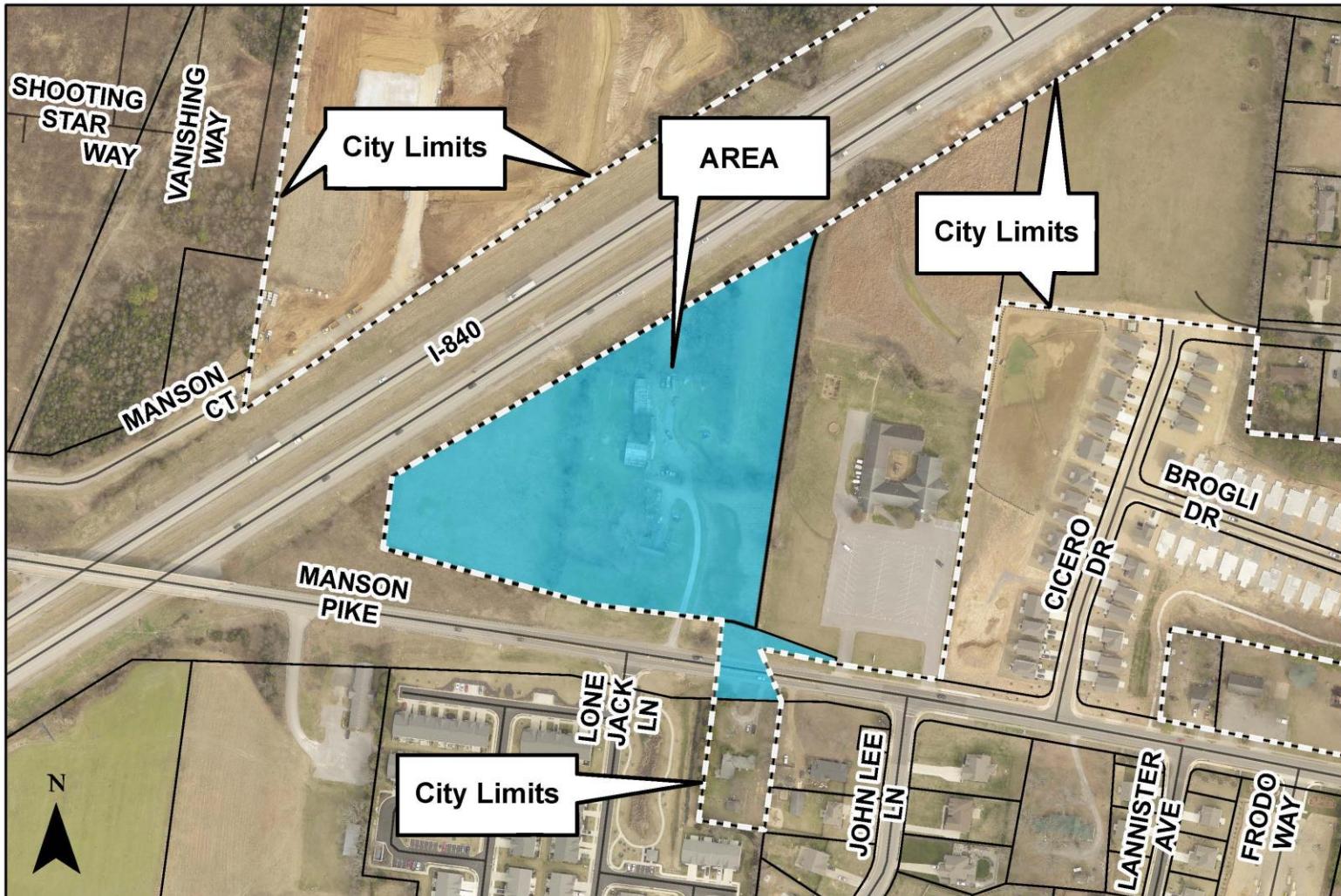
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Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

ANNEXATION REPORT FOR MANSON PIKE INCLUDING PLAN OF SERVICES (FILE 2023-502)



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
APRIL 5, 2023**



Annexation request for property along Manson Pike

0 225 450 900 1,350 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov

INTRODUCTION

OVERVIEW

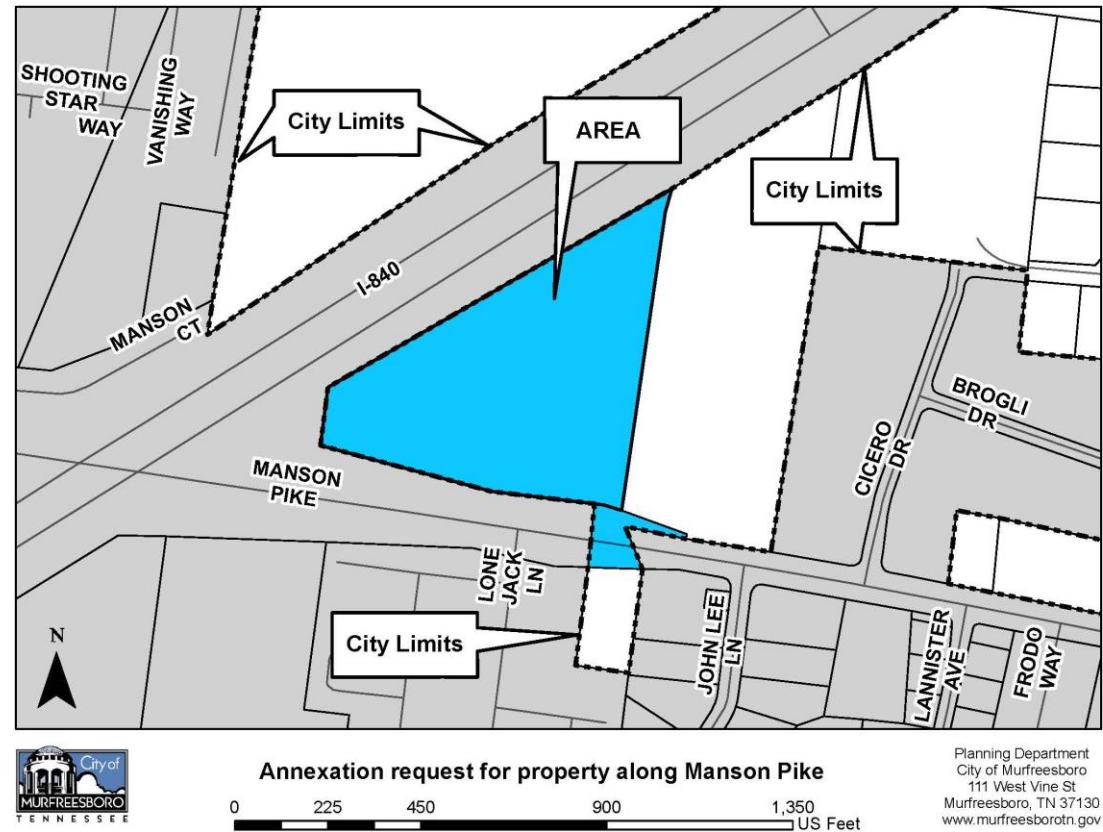
Marsha Love has submitted a petition requesting her property be annexed into the City of Murfreesboro. The subject property is located along the north side of Manson Pike southeast of I-840 and is approximately 8.23 acres in size. The annexation study area includes a 130 linear-foot segment of the Manson Pike right-of-way (ROW) of approximately 0.40 acres. On March 6, 2023, the Rutherford County Road Board voted to consent to the annexation of the segment of Manson Pike ROW. The total study area is 8.63 acres and includes the following:

- Manson Pike ROW (0.4 acres)
- Tax Map 078, Parcel 01601 (8.23 acres)

The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous to the city limits along the northwest property line (I-840 ROW) and to the south. The property is currently developed with a single-family residence and accessory structures.

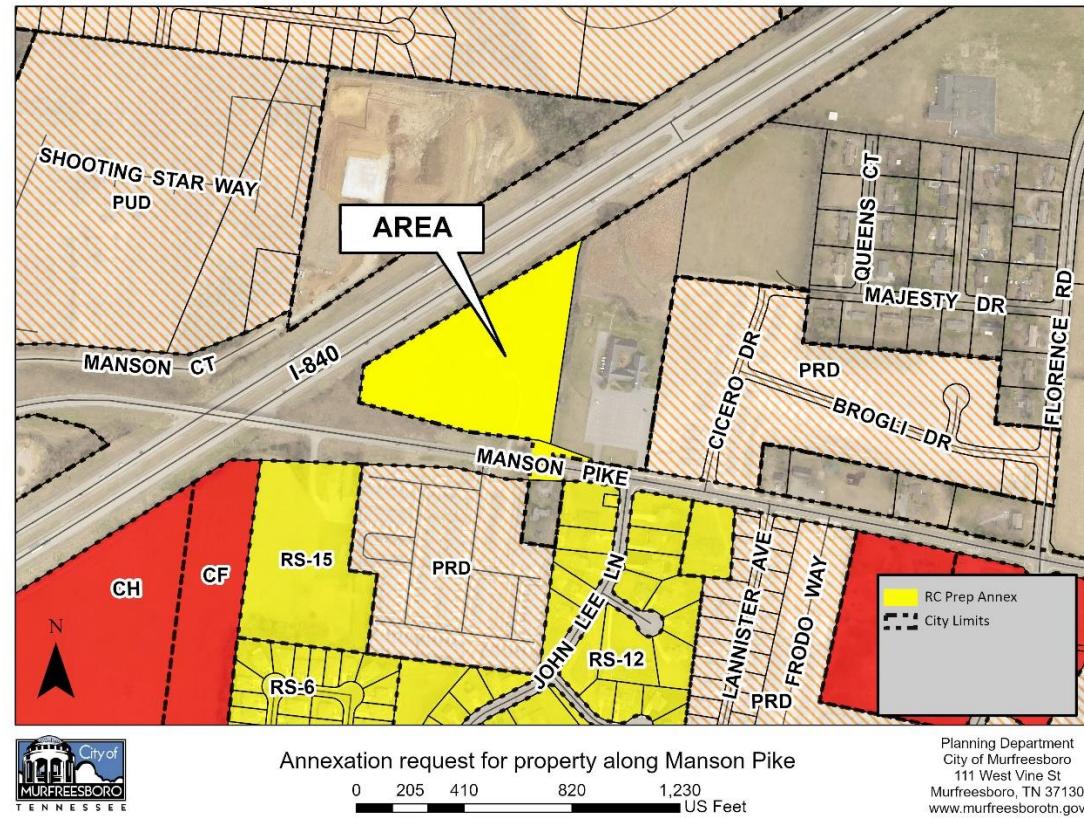
Simultaneous with this application is a request to zone the property to Planned Institutional District (PND - Rutherford Collegiate Prep) to allow for the

development of a 2-story, 56,000 square-foot charter school for grades Kindergarten-8th.



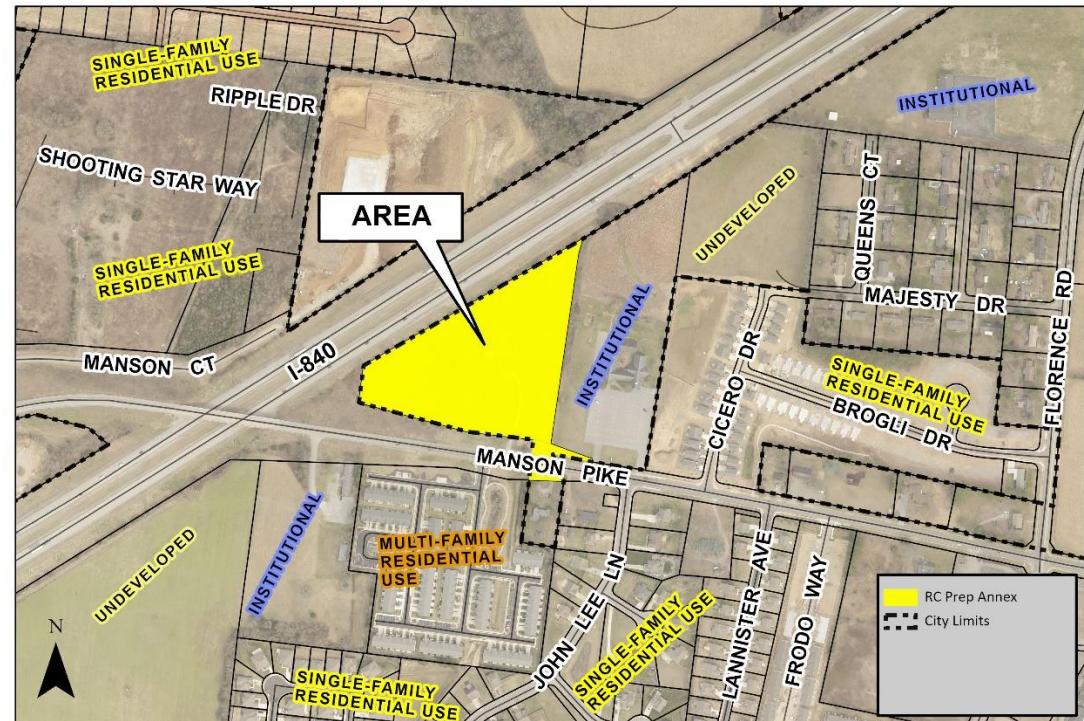
SURROUNDING ZONING

The subject property is currently zoned RM (Residential Medium Density) in the unincorporated County. The surrounding area consists of a mixture of zoning, including land to the east is zoned Medium Density Residential (RM) in Rutherford County, land to the south is zoned CF, RS-15, RS-12 and PRD. The property to the northwest is the Interstate-840 ROW.



PRESENT AND SURROUNDING LAND USE

The study area is currently developed with a single-family residence. A mixture of uses is developed on the properties in the surrounding area. To the east is an institutional use, a church, and to the south are single family detached residences and a single-family townhome development. And to the southwest is vacant undeveloped land. Interstate-840 is located to the northwest of the property.



Annexation request for property along Manson Pike

0 205 410 820 1,230 US Feet

TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2023 will be due on December 31, 2024. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. The property is currently developed with a single-family residence. Table I below shows total assessment and estimated City taxes.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements + Yard Item Value	Total Assessment	Estimated City Taxes
Marsha Love	8.23	\$139,400	\$127,600 + \$13,800	\$70,200	\$905

These figures are for the property in its current state and are subject to change upon development.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the study area immediately upon the effective date of annexation. If the property is zoned PND, it will have little impact upon police services. This property is in Police Zone #4.

ELECTRIC SERVICE

Middle Tennessee Electric (MTE) is currently serving the existing residence on the subject property. MTE has capacity to accommodate any future development. Any new electrical infrastructure installed to serve the future development will be required to adhere to MTE standards.

STREET LIGHTING

Street lighting maintained by MTE exists along the south side of Manson Pike. New development would not impact existing streetlights.

SOLID WASTE COLLECTION

The study area is currently developed with a single-family residence. Upon annexation, the Murfreesboro Solid Waste Department will be responsible for providing a cart, and the day of the week for service will be Thursday. If the property is developed with a school, the plan book commits to utilizing a private solid waste management service for the development. As such, the Murfreesboro Solid Waste Department will not service the future school development.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. If the property develops with school, this type of development would have minimal impact to the Recreation Department.

CITY SCHOOLS

The Murfreesboro City School (MCS) system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The property is currently developed with a single-family residence and would have minimal impact on MCS in its current state. If annexed, the

property would become part of the Overall Creek Elementary school zone.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering

Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area does not include any additional public roadway systems. The study area has access to existing Manson Pike ROW and includes approximately 130 linear feet of Manson Pike ROW. Manson Pike is an existing 2-lane, ditch section roadway with a left turn lane for Lone Jack Lane to the south. Manson Pike is proposed as a five-lane roadway on the City's Major Transportation Plan. Adequate right-of-way is available for the proposed upgrades to Manson Pike. Additionally, development along Manson Pike will require participation in construction of improvements to the roadway and easement dedication in accordance with the City's Substandard Street requirements. Any future public roadway facilities to serve the study area must be constructed to City standards. No additional public roadways are included in the study area.

REGIONAL TRAFFIC & TRANSPORTION

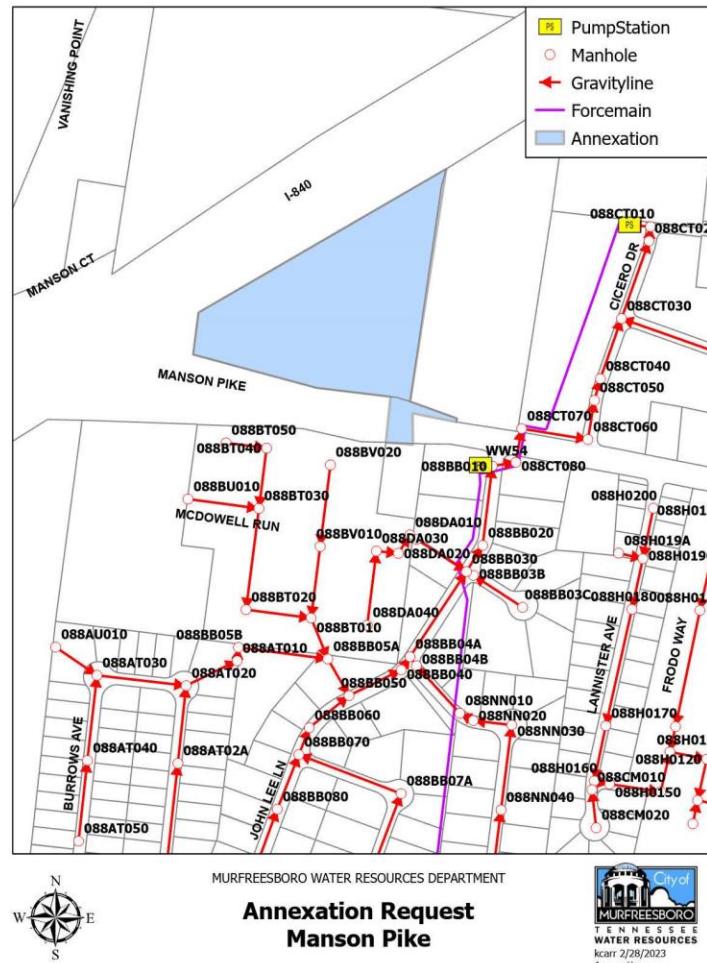
The study area is currently served by Manson Pike as the major roadway facility. The 2014 Level of Service Model in the 2040 Major Transportation Plan (MTP) indicates Manson Pike falls to an undesirable level of service of E without the proposed improvements recommended in the 2040 MTP.

SANITARY SEWER SERVICE

According to the Murfreesboro Water Resources Department (MWRD), in order to serve the property requesting annexation, an off-site sanitary sewer easement must be obtained from the adjacent property owner to the east and an 8" sanitary sewer main extension would be required from its current location to the requesting property. The developer will be responsible for obtaining the necessary off-site easement as well as extending sanitary sewer to the property and within 150' of the building. The easement must be dedicated to the City and recorded prior to approval of the project. The developer will also be responsible for the upgrades necessary to the downstream pump station within Blackman Village, with the construction of the school.

Per the Sewer Allocation Ordinance (SAO) and a Planned Institutional zoning, the property is allotted 28 single family units (sfu's) on 8.23 acres (8.23 acres * 3.4 sfu/acre = 28 sfu). Per the anticipated sewer usage provided for the development of 3 sfu's, this development would meet the requirements of the SAO.

All main line extensions and off-site sewer easements are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department. The red lines on the map below represent the approximate location of the gravity sewer line.



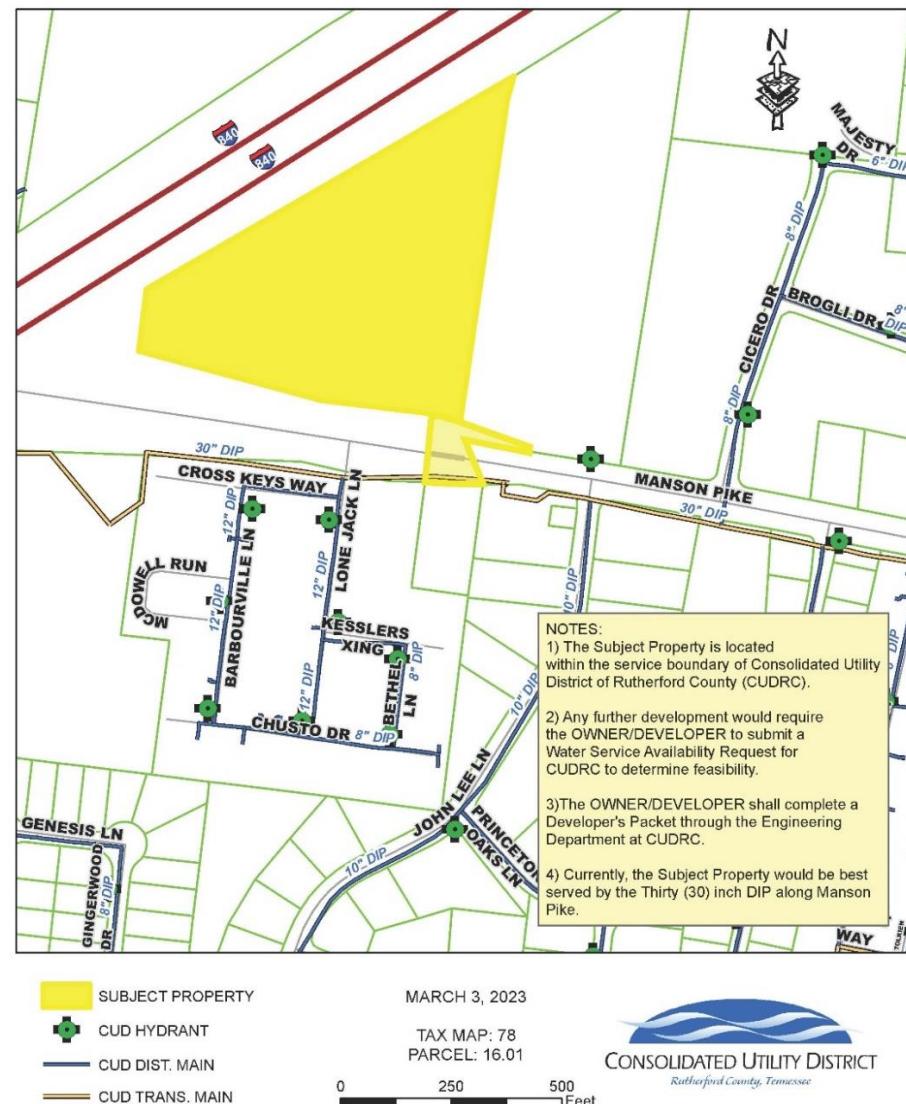
WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUD) service area. CUD does not currently serve the existing residence.

A 30--inch ductile iron water main (DIP) is located along Manson Pike. This water line can serve the annexation study area and the future development of a school for grades K-8, as illustrated in the attached exhibit.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUD's Developer Packet through CUD's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUD's development policies and procedures.

Manson Pike Annexation Request Map 78 Parcel 16.01



MARCH 3, 2023

TAX MAP: 78
PARCEL: 16.01

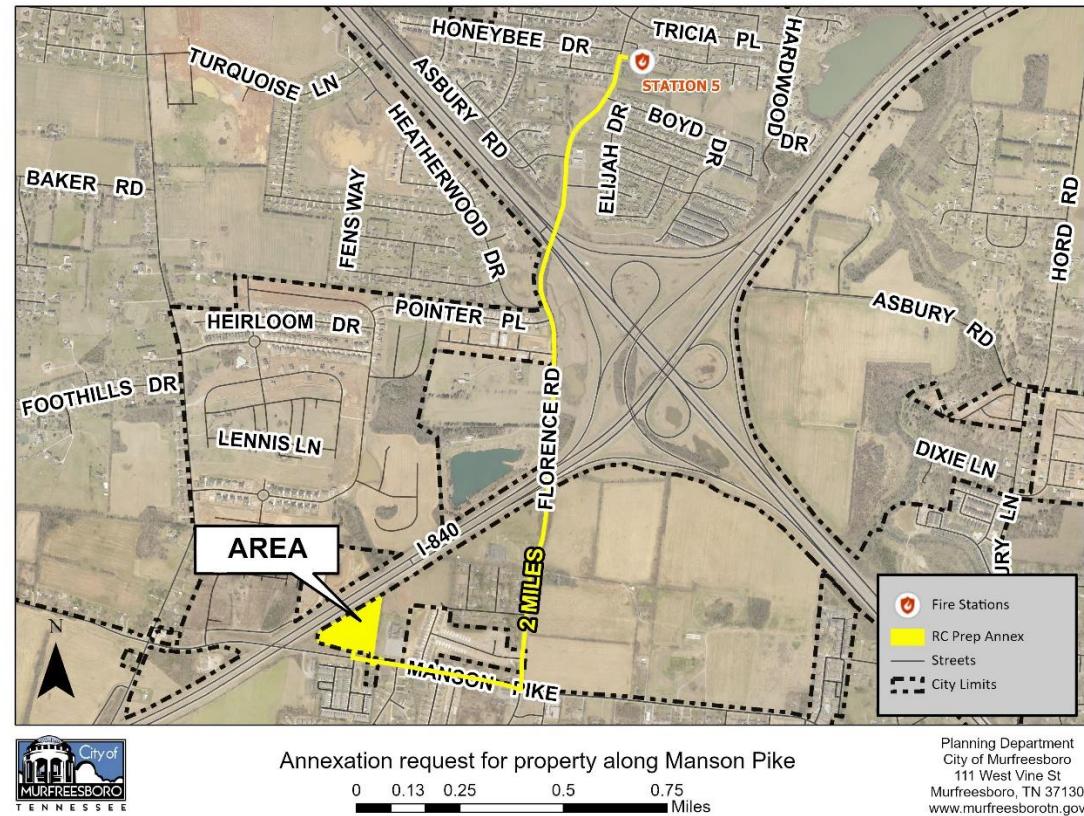
0 250 500 Feet


CONSOLIDATED UTILITY DISTRICT
Rutherford County, Tennessee

FIRE AND EMERGENCY SERVICE

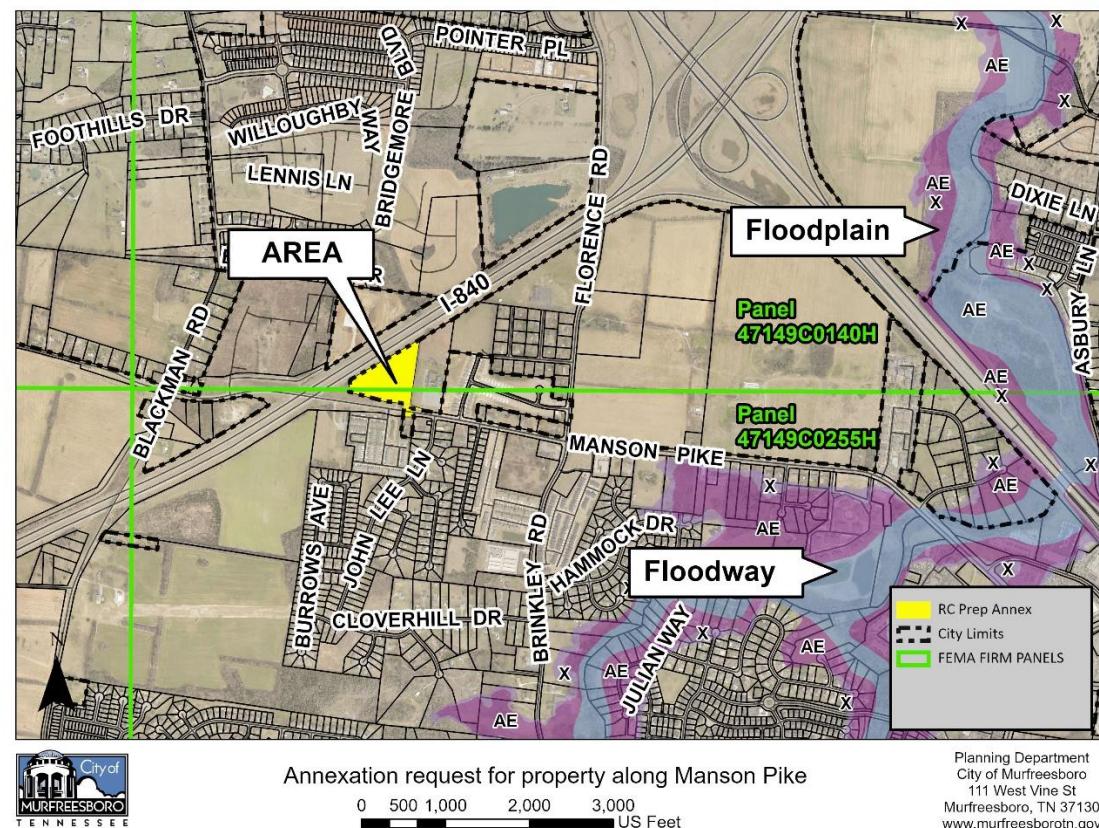
The study area is currently developed with a single-family residence. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services to the study area immediately upon the effective date of annexation at no additional expense. MFRD can also provide fire protection upon annexation.

Currently the study area is located 2.0 miles from Fire Station #5 (3016 Florence Road). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA). The adjacent map shows the 100-year floodplain to the east of the subject property.



DRAINAGE

Public Drainage System

Public drainage facilities are located along and within the Manson Pike ROW and Interstate 840. This drainage system is the responsibility of the City of Murfreesboro for Manson Pike and TDOT for I-840 for routine maintenance. No new public drainage systems are in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

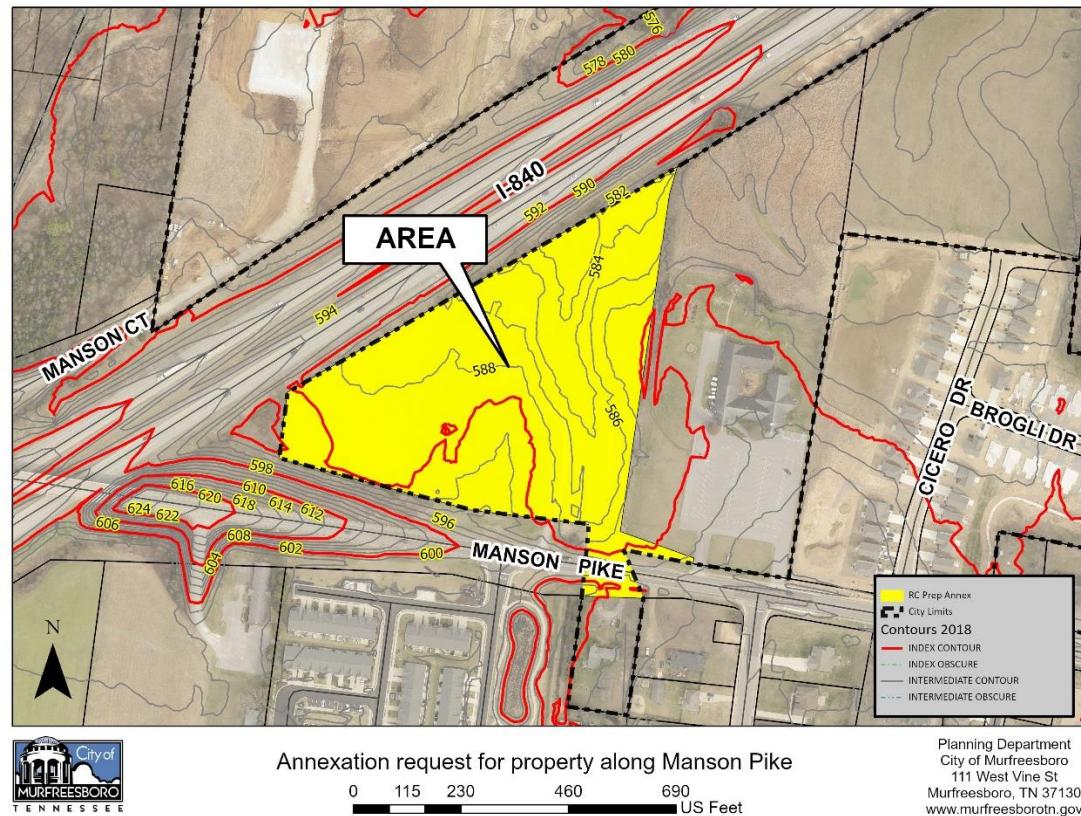
Regional Drainage Conditions

Regional drainage flows north to the ROW of I-840.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The annexation study area is developed with a single-family residence and will generate approximately \$700 annually in revenue for the Stormwater Utility Fund upon full buildout of the school.

The red lines on the adjacent map represent ten-foot contours. The grey lines represent two-foot intervals.



ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

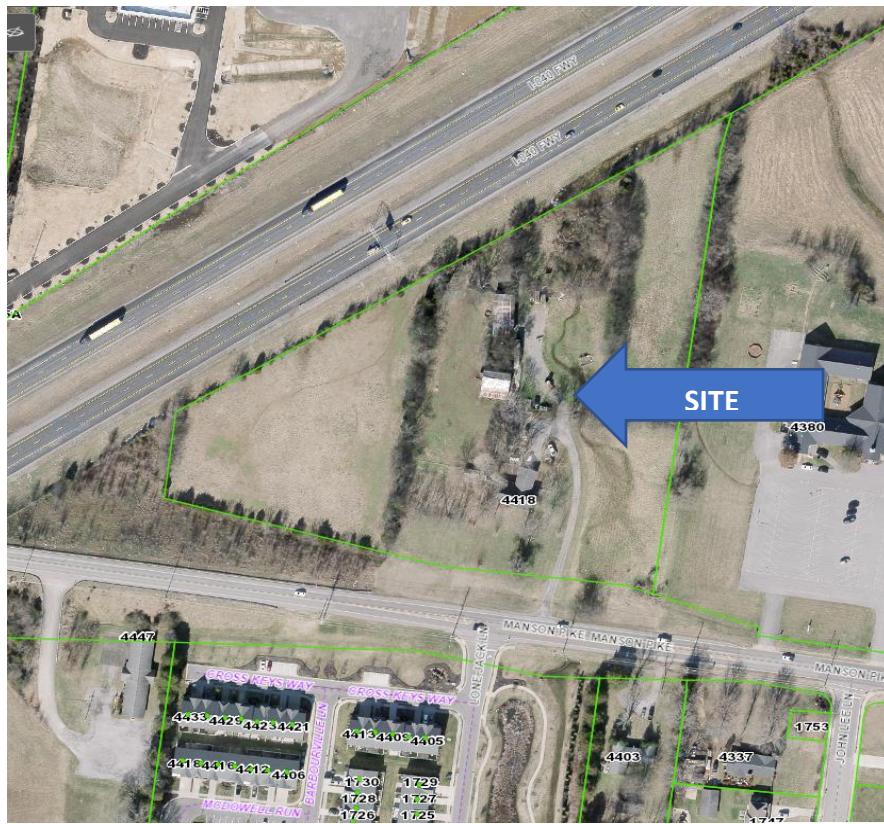
**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 5, 2023**

PROJECT PLANNER, MARINA RUSH

4.d. Zoning application [2023-404] for approximately 8.23 acres located along Manson Pike to be zoned PND (Rutherford Collegiate Prep PND) simultaneous with annexation, Ryan Companies US, Inc. applicant.

The applicant, Ryan Companies US, Inc., and school operator, ReThink Forward Inc., represented by Mr. Matt Taylor of SEC, Inc., are requesting to zone the property to PND (Planned Institutional District - Rutherford Collegiate Prep) simultaneous with annexation. The requested zoning to PND is to allow the development of a 2-story, 56,000 square-foot charter school grades K-8.

The subject property is approximately 8.23 acres and is located along the north side of Manson Pike and southeast of I-840. It is currently developed with a single-family residence and accessory structures. The property tax map and parcel number is, Tax Map 078, Parcel 01601.



Adjacent Zoning and Land Uses

The subject property is currently zoned RM (Residential Medium Density) in the unincorporated County. The surrounding area consists of a mixture of zoning types and land uses. The land to the east is zoned Medium Density Residential (RM) in Rutherford County and is developed with a church. The land to the south is zoned CF and is vacant, and other properties to the south are zoned RS-15, RS-12 and PRD and developed with single-family detached houses and single-family attached townhomes. The property to the north and northwest is the Interstate-840 right-of-way (ROW).

Rutherford Collegiate Prep PND

The Rutherford Collegiate Prep development will consist of one 2-story building, approximately 56,000 square feet in size. It will house 33 classrooms, science and art labs, gymnasium/multi-purpose room, restrooms, and office space. The school campus will provide an outdoor play field for daytime activities. At capacity, the K-8th school will have 770 students and approximately 50 faculty and staff. The building will be constructed in one phase with no future additions planned at this time in the pattern book. The school hours of operation will mirror most of the nearby schools (8am - 3pm, Monday - Friday) with little to no nightly or weekend activities.

Roads and Access:

Proposed is a single ingress/egress into the site via Manson Pike. This entrance will merge into a 3-lane internal road for onsite queuing and one-direction circulation that extends around the perimeter of the property and through the parking lot to exit through the main driveway. The student drop-off/pick-up will be on the west side of the building, and staff, faculty and guest parking will be in front. Staff discussed with the applicant revising the site circulation between the building and ROW for one-way direction, if desired, and no changes will be made at this time as this is typically determined by school administration once they are in operation.

Also proposed is an emergency gated entrance/exit (to operate on YELP mode) via Manson Pike to the east of the main entrance. To allow for potential future connectivity, a stub is proposed at the northeast portion of the property to the church property for with a future emergency entrance/exit.

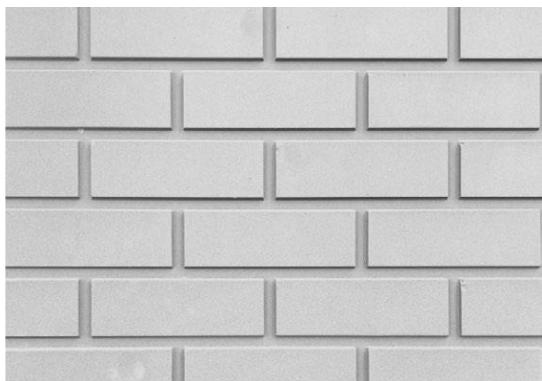
Manson Pike is currently built as a 3-lane cross section and classified as major arterial road. Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), Manson Pike is planned to be improved to a 5-lane road. Staff has requested the applicant to complete a traffic impact study (TIS). This TIS will be

completed and reviewed and approved by staff prior to a site plan application submittal for construction of the school. Any recommendations made in the TIS will be incorporated into the project site design, as well as participation in Manson Pike improvements.

Building Design

The building material proposed is a concrete tilt-wall panel design with a steel frame structure. As shown on the building rendering, the panels will be stamped and embellished with patterns to simulate the look of brick, siding, and stucco. The roof line has variation in height and the wall plane has a variety of offsets and projections to mimic wood frame construction. The classrooms will have windows, whereas the gymnasium, located at the rear of the building, will not. The main building entrance faces Manson Pike and will have a projected canopy with columns. The exterior walls will also have a smooth texture with horizontal and vertical reveals.





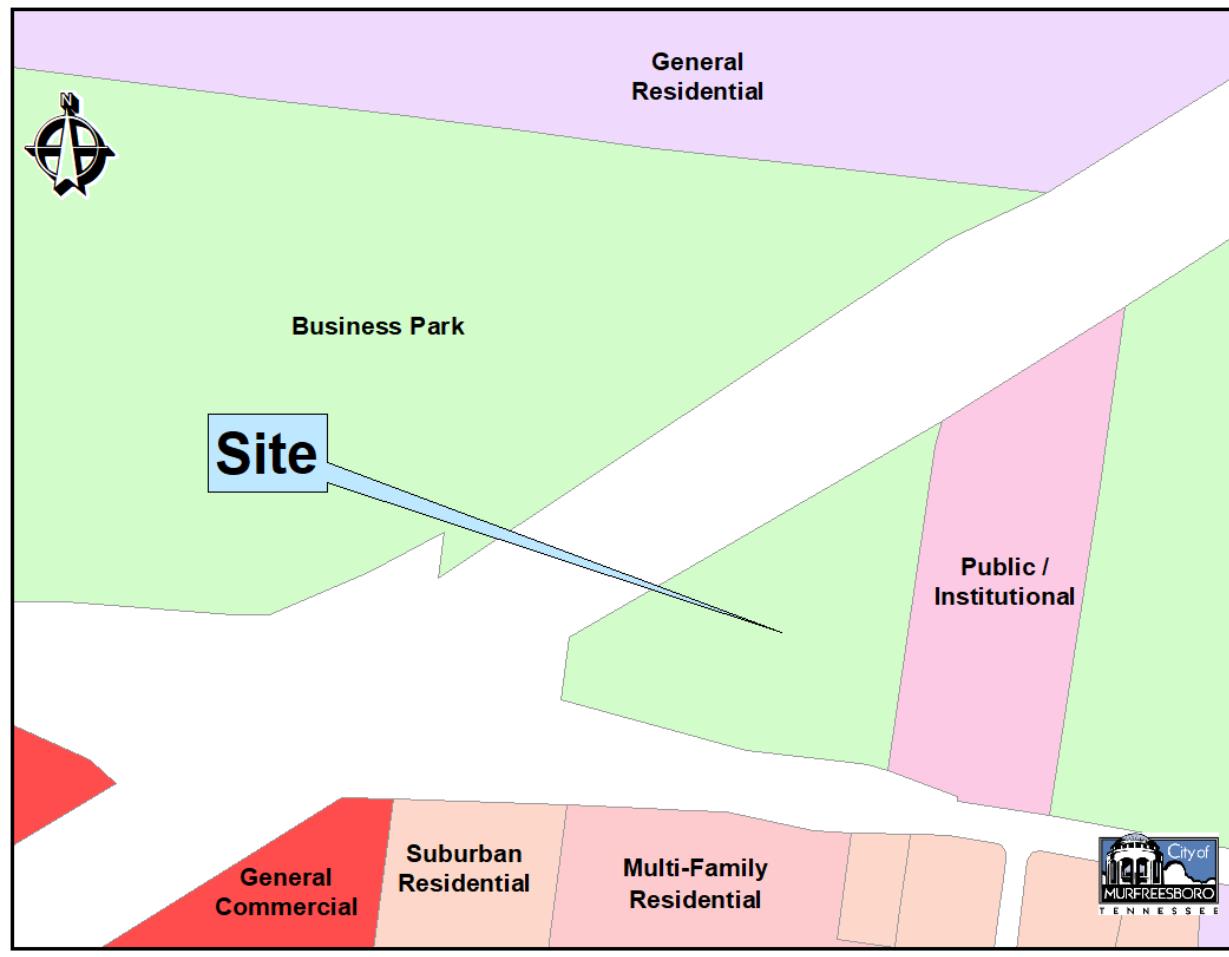
Exceptions Requested:

There are no exceptions requested.

Future Land Use Map

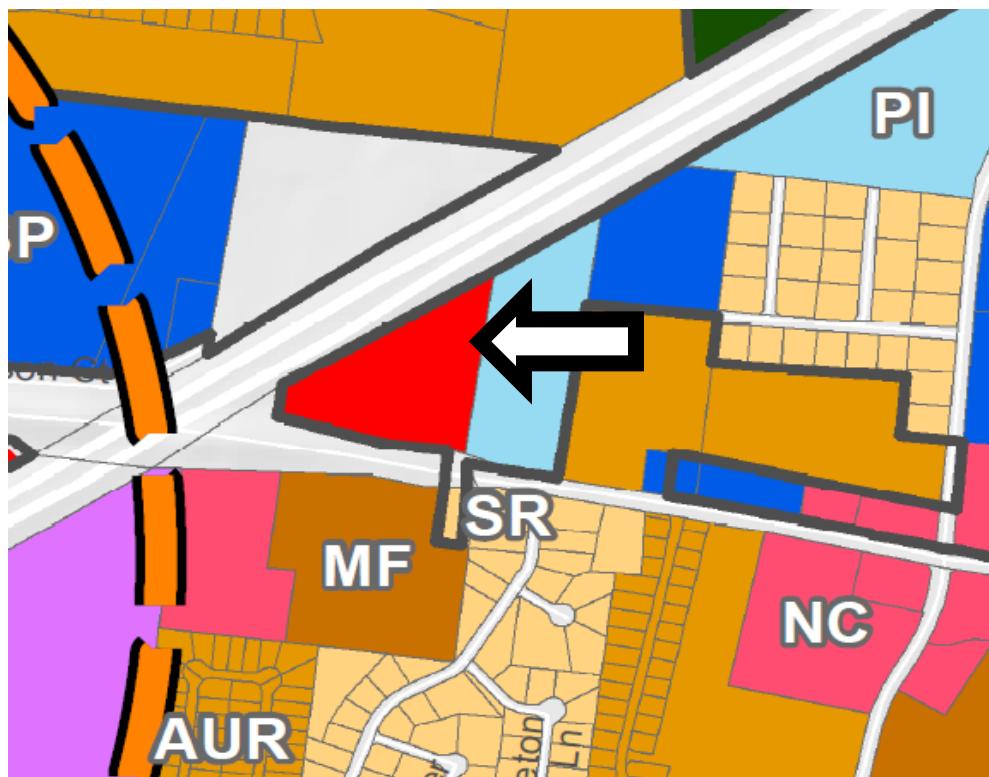
The current Future Land Use Map of the Murfreesboro 2035 Comprehensive Plan indicates that Business Park is the most appropriate land use character for the project area. Characteristics of this land use character are high-quality office parks, employment opportunities developed in a campus-like setting. In addition to office, medical and technology offices as uses, it also includes public/private institutional uses. As such, the PND zoning to allow for a school would be consistent with this land use category.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



The update to the future land use map and Chapter 4 text of the Murfreesboro 2035 Comprehensive Plan is in process, and the proposed update to the Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan indicates “General Commercial” as the most appropriate land use character. Auto-Urban (General) Commercial character is typically high intensity commercial businesses with a large amount of land area for operations, and is typically developed with strip commercial, commercial centers, auto-focused commercial uses, restaurants, etc. and requires a significant amount of land area due primarily to providing on-site parking. The institutional use as a school grades K-8 is a compatible use in this land use category as schools are an allowed use within the commercial zoning districts of the city. In addition, the update proposes a “Service Infill Line” to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. The study area is located within this proposed Service Infill Line depicted on the update to the Future Land Use Map. As such, the PND zoning to allow for a school would be consistent with this land use category and Infill Service Line in the update to the FLUM.

Proposed Update to the Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



It is staff's opinion that the proposed rezoning request to PND is consistent with both the current FLUM and proposed revision to the FLUM because institutional uses are allowed in both land use categories.

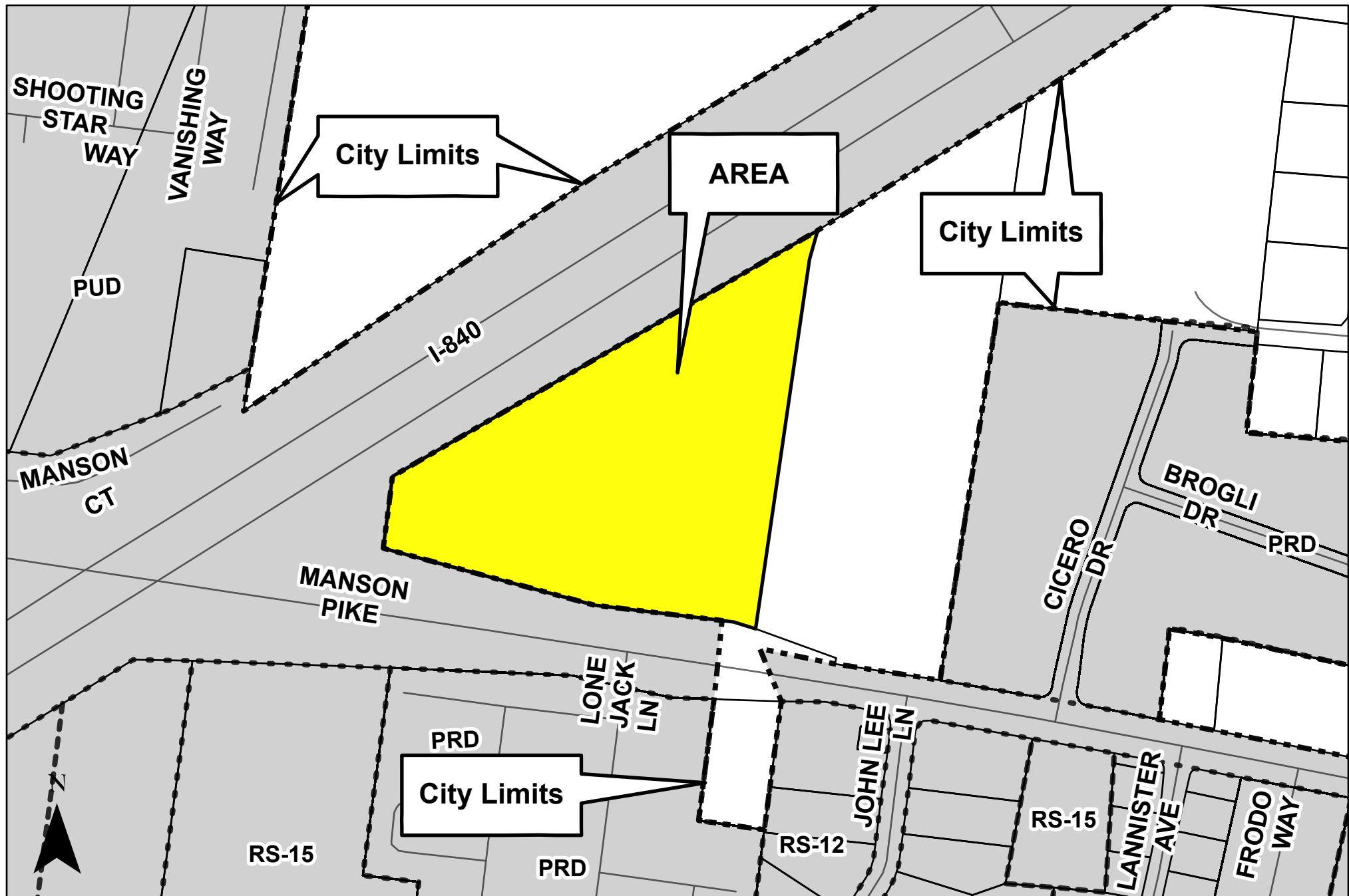
Recommendation:

Staff is supportive of this zoning request for the following reasons:

- 1) Rutherford Collegiate Prep PND zoning is consistent with both the current and proposed FLUM because institutional uses are compatible uses within the designated land use categories.
- 2) Rutherford Collegiate Prep PND is compatible with the adjacent institutional land use, a church, and the adjacent residential and commercial land uses in the area.

Action Needed:

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to make a presentation and to answer any questions or provide clarifications regarding the proposed zoning.

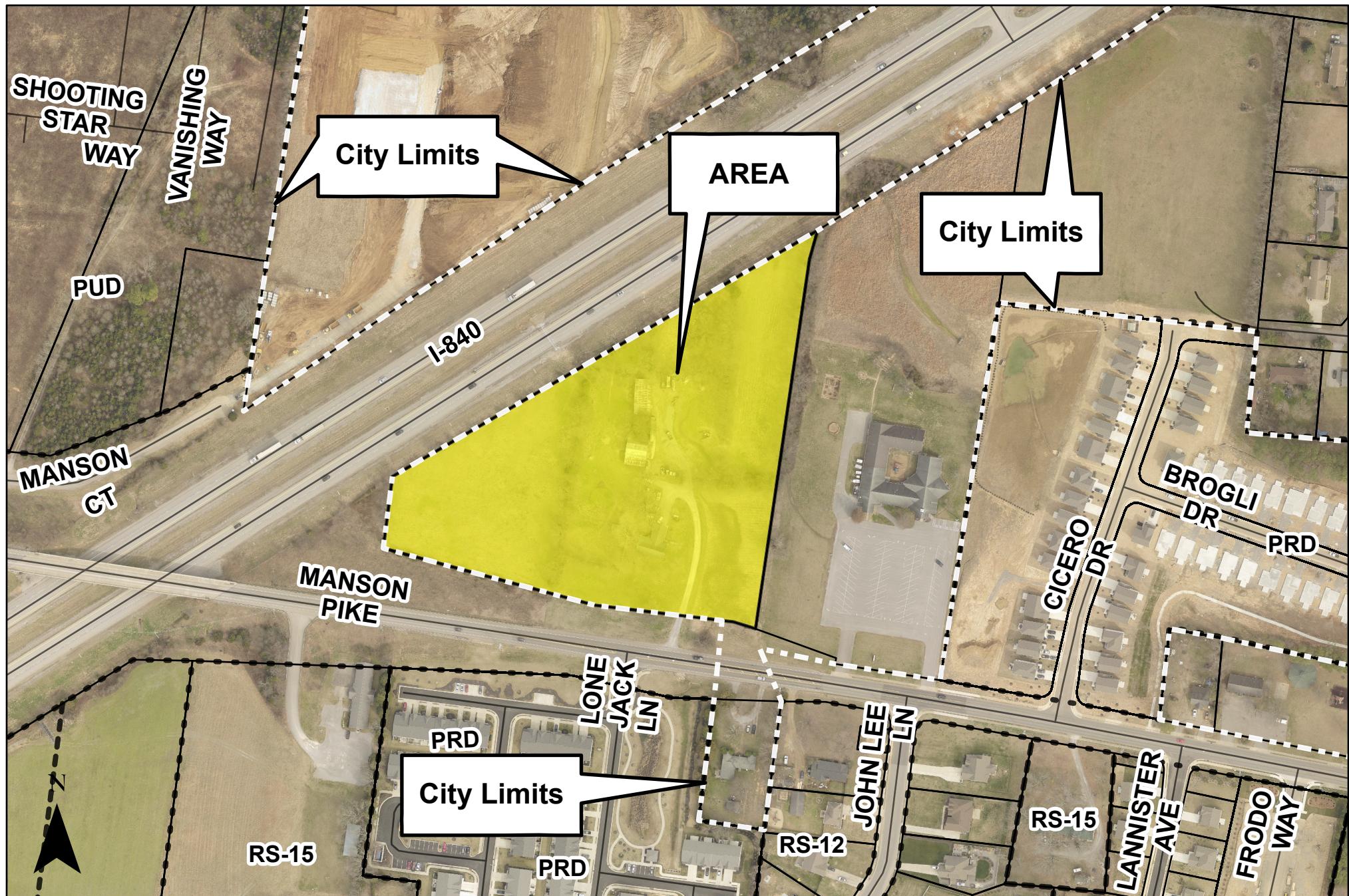


**Zoning request for property along Manson Pike
PND (Rutherford Collegiate Prep PND) simultaneous with annexation**



0 225 450 900 1,350
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Zoning request for property along Manson Pike
PND (Rutherford Collegiate Prep PND) simultaneous with annexation**



0 225 450 900 1,350
US Feet

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www.murfreesborotn.gov



RUTHERFORD COLLEGIATE PREP

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) TO A PLANNED INSTITUTIONAL DISTRICT (PND)

Murfreesboro, Tennessee



SEC Project #22860

Initial Submittal

February 9th, 2023

Resubmittal

March 3rd, 2023 for March 15th, 2023
Planning Commission Workshop Meeting

Resubmittal

March 23, 2023 for the April 5, 2023
Planning Commission Public Hearing

SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129



Company Name: Ryan Companies US, Inc.
Profession: Developer & Contractor
Attn: Tyler Lohmiller
Phone: (813) 204-5008
Email: tyler.lohmiller@ryancompanies.com
Web: www.ryancompanies.com

201 N. Franklin Street, Suite 3500
Tampa Florida 33602



Company Name: Rethink Forward, Inc.
Profession: Owner
Attn: Matt Herriman
Phone: (731) 609-6995
Email: matt@nobleeducationinitiative.com
Web: http://rethinkforward.org

1831 12th Avenue South, Suite 188
Nashville, TN 37203



Company Name: Noble Education Initiative Inc.
Profession: Scholl Managment
Attn: Matt Herriman, Director of External Affairs & Development
Phone: (731) 609-6995
Email: matt@nobleeducationinitiative.com
Web: http://rethinkforward.org

1831 12th Avenue South, Suite 188
Nashville, TN 37203

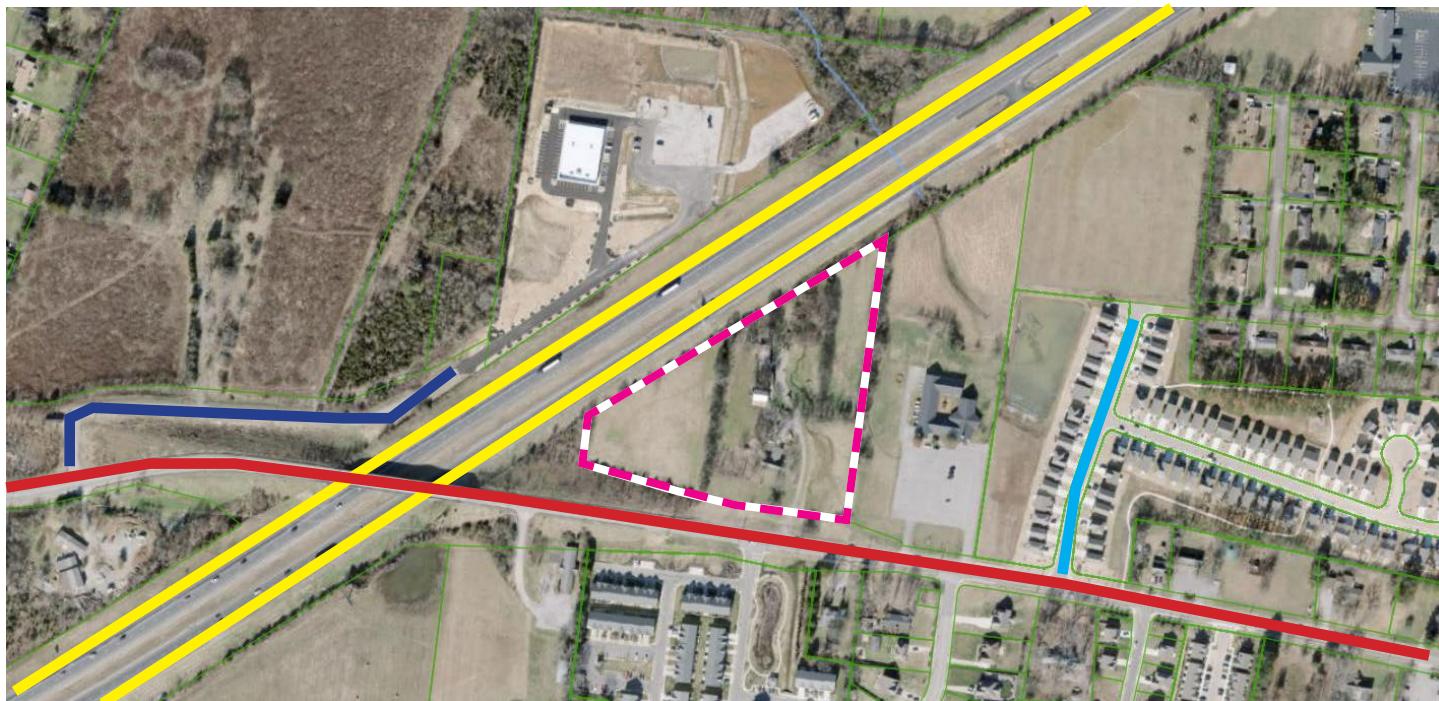


Company Name: LAI Group
Profession: Architect
Attn: Steve Grinavic
Phone: 239-405-6888
Email: steveg@laidesignassoc.com
Web: https://laidesignassoc.com

9911 Corkscrew Road, #202
Estero, FL 33928

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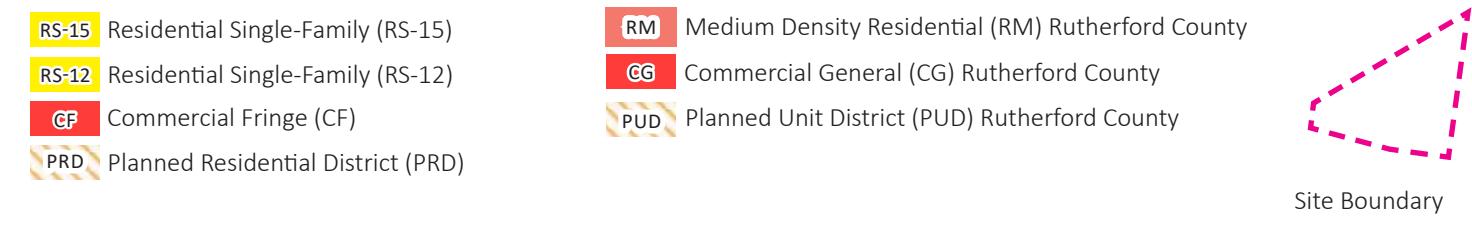
AERIAL PHOTOGRAPH



Not To Scale



ZONING MAP



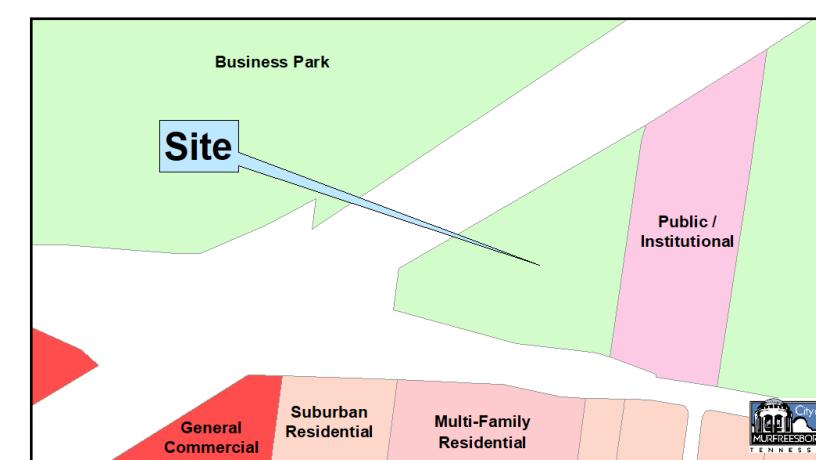
Not To Scale

Rethink Forward Inc., respectfully requests annexation and rezoning of the Love Property at 4418 Manson Pike from Medium Density Residential (RM) in Rutherford County to Planned Institutional District (PND) to create Rutherford Collegiate Prep. The property is located along the northern side of Manson Pike and east of I-840. The site is identified as Parcel 16.01 of Tax Map 078, and is deeded for approximately 8.23 acres.

Rutherford Collegiate Prep will consist of a two story building approximately 56,000 square feet in size. The School will house 33 classrooms as well as Science, Art and Music labs. Each grade level's classrooms will consist of operable partitions to provide for an open, collaborative learning environment. The school campus will have a gymnasium/multipurpose room as well as an outdoor play field for daytime activities. At capacity, the school will educate 770 students (K-8th), accompanied by approximately 50 faculty and staff. The building will be constructed in one phase with no future additions planned at this time. The school hours of operation will mirror most of the nearby schools (8am - 3pm, Monday - Friday) with little to no nightly or weekend activities.

Rutherford Collegiate Prep will have access to Manson Pike and has taken steps to ensure a smooth integration with the surrounding community. School signage, designed with materials consistent with the architecture of the school, will be located along Manson Pike and anchored with landscaping.

The surrounding area consists of a mixture of zoning types and uses. The land to the east is zoned Medium Density Residential (RM-Rutherford County) and Planned Residential District (PRD-City of Murfreesboro). The land to the north, across I-840, is zoned Commercial General (CG-City of Murfreesboro). The land to the south across Manson Pike is zoned Commercial Fringe (CF-City of Murfreesboro), Residential Single-Family (RS-15-City of Murfreesboro), Medium Density Residential (RM-Rutherford County) and Planned Residential District (PRD-City of Murfreesboro). Surrounding areas consist primarily of residential developments, churches and a community center with a few commercial developments.

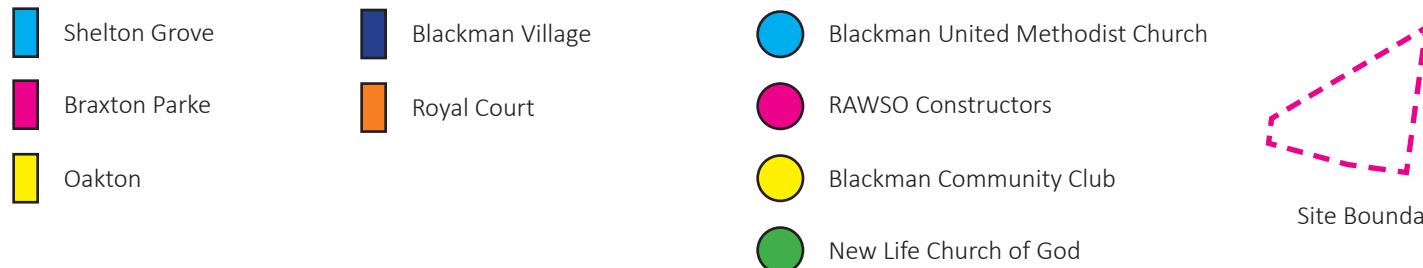


FUTURE LAND USE MAP (FLUM)

The current Murfreesboro Future Land Use Map (FLUM) proposes this area as Business Park. The proposed institutional development is consistent with this land use designation. The proposed FLUM is proposing this property as General Commercial, so the proposed institutional development is also consistent with the forthcoming FLUM update. In general, institutional developments are permitted in any of the City's zoning districts.



SUBDIVISION MAP

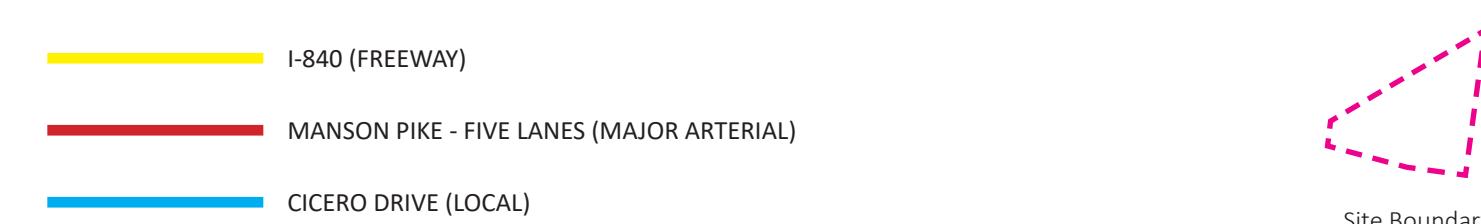


Rutherford Collegiate Prep is surrounded by a mixture of residential subdivisions, institutions, and commercial properties. Blackman Village and Royal Court are residential communities to the east of the proposed PND, consisting of either one or two story single-family detached homes with garages. The exterior elevations primarily consist of hardie board along all elevations with brick accents. Oakton and Braxton Parke are residential communities to the south of the proposed PND. Oakton consists of two story single-family detached homes with garages. The exterior elevations are a mixture of brick and vinyl. Braxton Parke is a townhome development with front loaded garages and front elevations consisting of masonry material and cement board. Shelton Square, across I-840 to the northwest, is a residential development consisting of one to two story single-family detached homes with garages. The exterior elevations consist of brick and cement board.

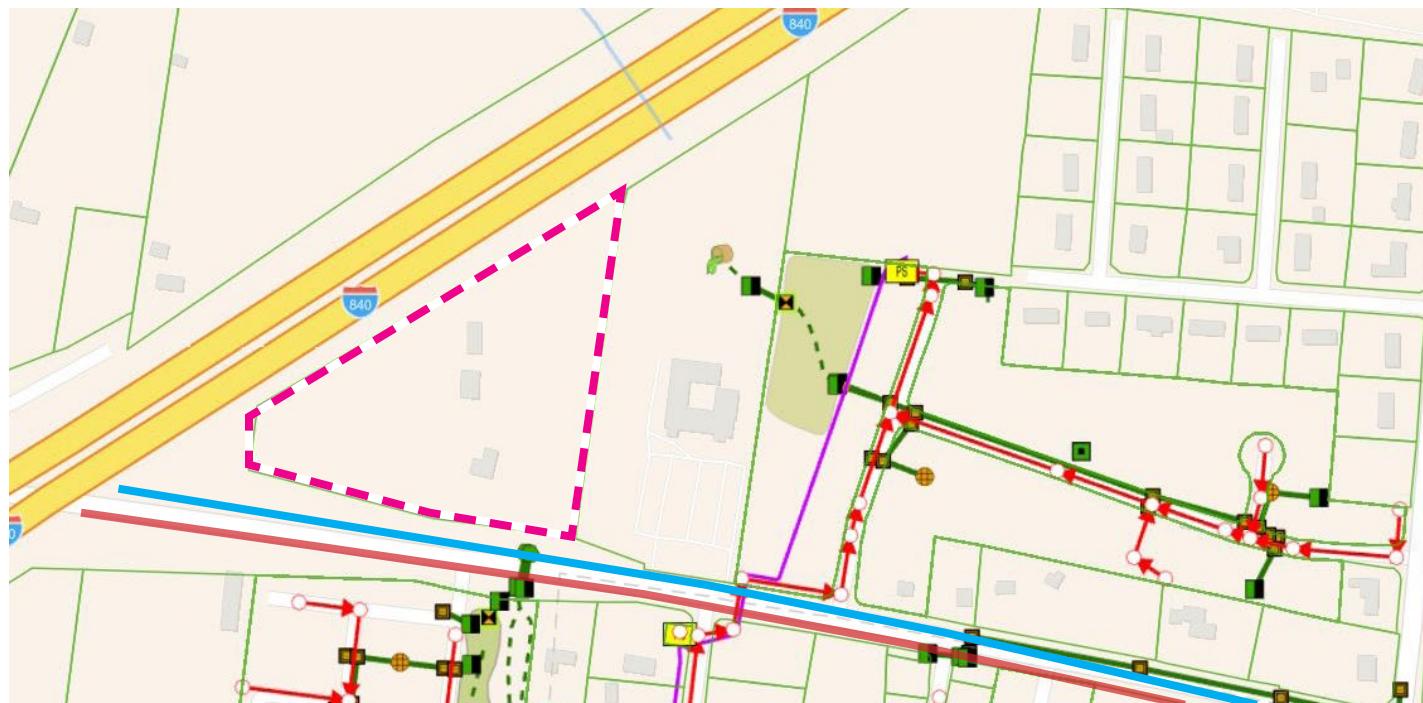
The proposed PND will be located within close proximity to three existing institutional uses. To the east is the Blackman United Methodist Church and the Blackman Community Club. The Blackman Community Club provides a playground, pavilions, basketball and pickle ball courts for the local community. Southwest across Manson Pike is the New Life Church of God.



2040 MAJOR TRANSPORTATION PLAN



The development has/will have access onto Manson Pike, is classified as a Major Arterial roadway. Manson Pike is currently constructed as a 3-lane major arterial roadway, with a center turn lane and no curb & gutter. Manson Pike is recommended to be improved from a 3-lane roadway to a 5-lane roadway per the 2040 Major Transportation plan. All remaining surrounding roadways are not currently slated for improvements.



UTILITY MAP

Not To Scale

- WATER
- ← SEWER
- ← STORMWATER
- ELECTRIC
- Site Boundary



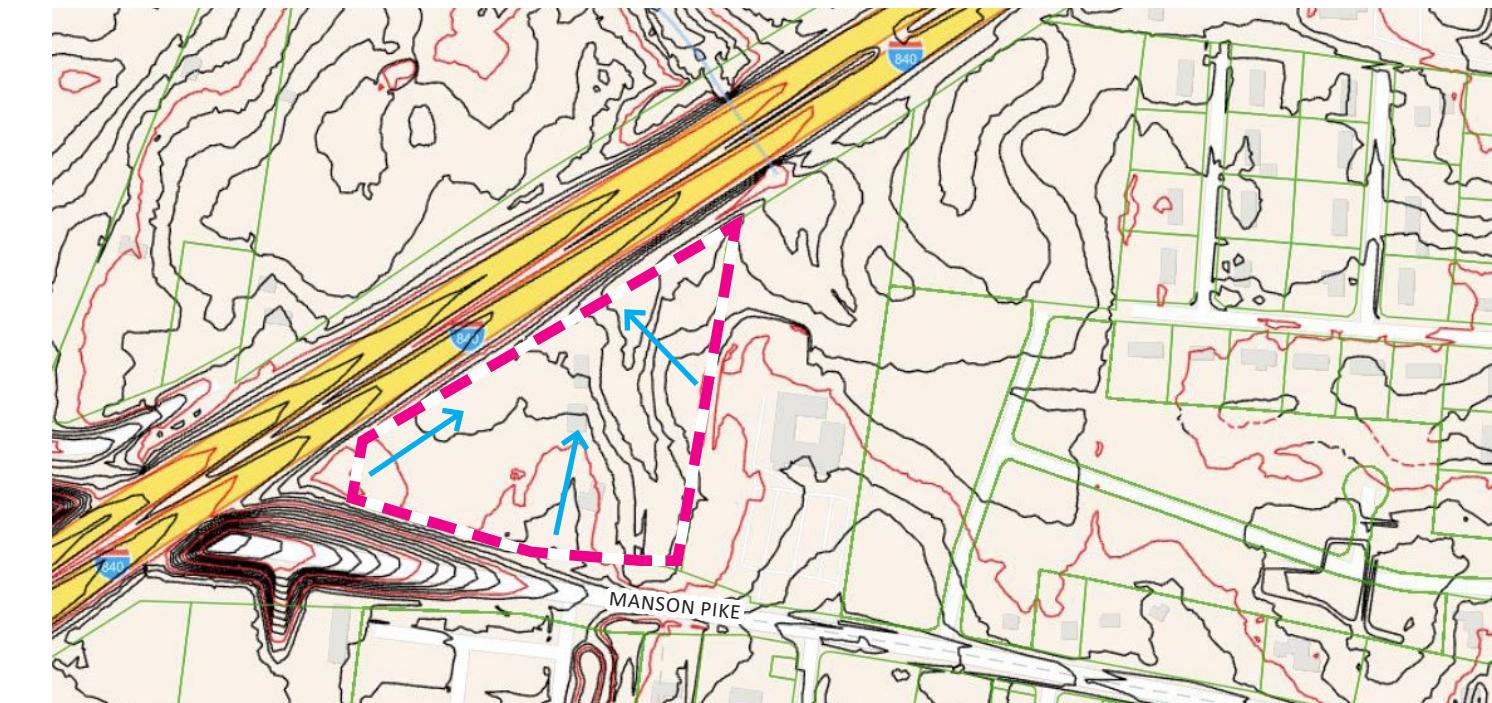
Water service will be provided by the Consolidated Utility District (CUD). An existing water line along Manson Pike will provide water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line within the R.O.W. of Manson Pike. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. An off-site sewer easement will need to be acquired by the owner/developer for this development.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from Manson Pike. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

- WATER FLOW DIRECTION
- INTERMEDIATE CONTOURS
- INDEX CONTOURS
- Site Boundary

The topographic map above shows the site's topographic high point generally at the eastern perimeter of the property. From this point the property drains along the northwestern side into the existing drainage ditch along I-840. Stormwater proceeds to drain into an unnamed stream to the northeast of the property.

No portions of this property are within a floodway or floodplain per FEMA Flood Panels 47149C0140H and 47149C0255H Effective 1/4/2007.



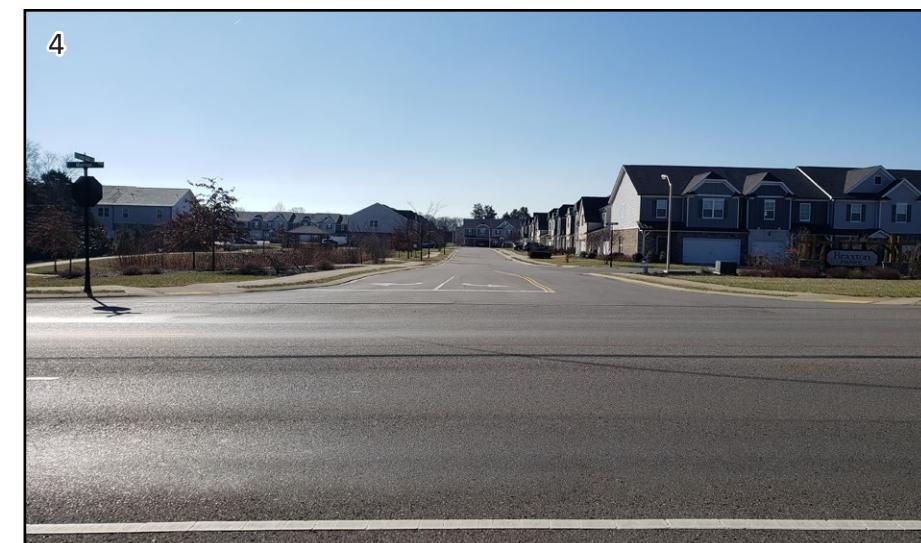
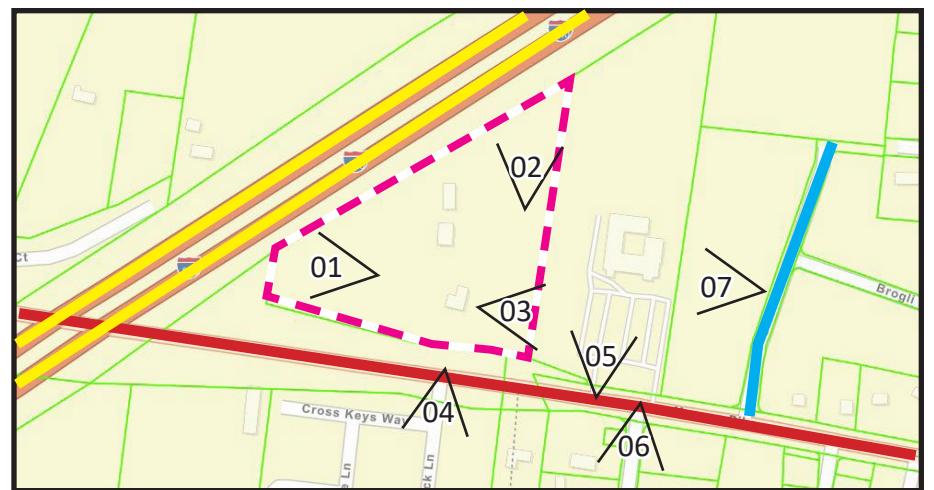
PHOTO DIRECTION MAP



I-840
Manson Pike
Cicero Drive

Site Boundary





Development Standards:

- The Building will be a maximum of 56,000 SF
- Building height shall not exceed 35 feet in height
- Signage will be placed along Manson Pike for proper identification, and will be built with materials consistent with the building architecture, and be accented with landscaping.
- All mechanical equipment located on the ground (i.e. HVAC and transformers) shall be screened with landscaping or fencing. If mechanical equipment is located on the roof, then they shall be screened from view via a parapet wall.
- All on-site utilities will be underground
- Solid waste enclosure shall be constructed of materials consistent with the building architecture, be at least 8-feet tall with opaque gates and shall be enhanced with landscaping.
- Solid waste shall be handled via a 3rd party private hauler.
- On-site lighting shall comply with the City of Murfreesboro performance standards to reduce light pollution while providing safety for students, employees and visitors.
- All parking areas will have curbing.
- Parking will comply with the City of Murfreesboro Ordinance in surface materials, number of spaces and size of spaces.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- The eastern entrance into the site shall be for emergency vehicles only. This entrance shall be gated and equipped with a YELP mode to allow unimpeded access for emergency vehicles.



Site Setbacks

Front Setback (Manson Pike): 40-feet
Side Setback: 25-feet
Rear Setback: 30-feet



Example of Solid Waste Enclosure



Example of Monument Sign As Seen at Nashville Location



Example of Proposed Lighting Fixtures

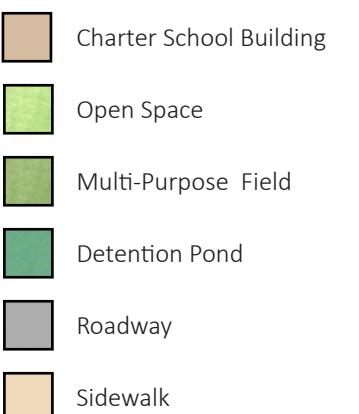


Land Use Data:

Existing Zoning:	RM (County)
Proposed Zoning:	PND
Land Area:	±8.13 Acres
Building Area:	56,000 SF
Min. Required Open Space:	1.63 Acres (20%)
Provided Open Space:	1.63 Acres (20%)
Min. Required Formal Open Space:	0.24 Acres (3%)
Provided Formal Open Space:	0.24 Acres (3%)
Detention:	1.30 Acres (15.9%)

Parking Required:

Kindergarten = 1 sp. per 5 seats 5 Classrooms x 20 seats = 100 seats =	20 spaces
1st-8th grade = 2 sp. per classroom 28 Classrooms =	56 spaces
OR (whichever is greater)	
1 space per 5 bleacher seats 400 seats provided =	60 spaces
Parking Required (20+60): Parking Provided:	80 Spaces 126 Spaces + 5 H.C.

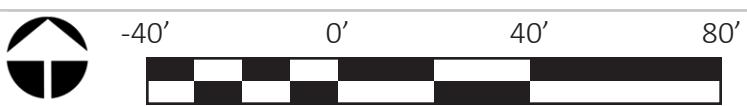


SEC, Inc.

SEC Project #22860

Murfreesboro, Tennessee

PROPOSED PLANNED INSTITUTIONAL DISTRICT
CONCEPTUAL SITE PLAN



Architectural Characteristics:

The proposed construction is concrete tilt-wall panels with a steel structure. This construction provides a cost effective, sustainable solution for a building to last the test of time. The concrete tilt-panel provides expedient construction solutions with extreme longevity for the end user. The panels are embellished with patterns to simulate the use of brick, siding, and stucco to compliment the surrounding architecture and fit within the fabric of the area it is constructed. The design provides visual interest with a rhythm of punched windows and variation in the finish patterns, which also breaks up any expanses of blank walls. The entry area is delineated from the rest of the building by changing the finish to a smooth texture with horizontal and vertical reveals. The color scheme is also inverted to draw the eye to that area in comparison to the rest of the building. Exits are strategically placed to limit access from the exterior by unwanted visitors and still provide a safe means of egress in the event an emergency situation would occur.

Architectural Standards:

- Building heights shall not exceed 35 feet in height
- All buildings will be two-story
- Buildings shall have a well-defined architectural base via different materials, colors, changes in pattern, or a combination of these techniques. The building foundations shall be accented with a 3-ft wide landscaping bed.
- The main entrance shall be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, change in materials, change in color, and/or change in building planes.
- Masonry materials (brick, painted concrete panels) will be the primary building materials.
- All buildings shall comply with Murfreesboro Design Guideline standards.

Building Materials:

Front Elevations:	Masonry (Brick, Painted Concrete Panels)
Side Elevations:	Masonry (Brick, Painted Concrete Panels)
Rear Elevations:	Masonry (Brick, Painted Concrete Panels)
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas



North Elevation



South Elevation

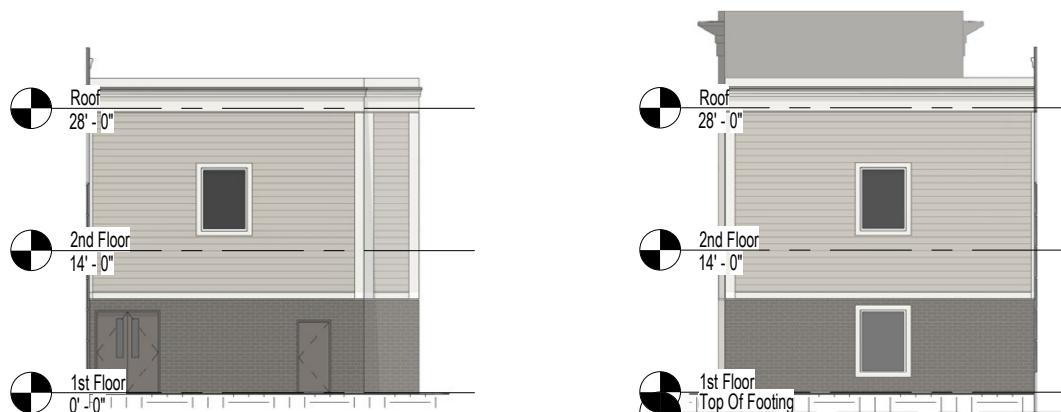


East Elevation



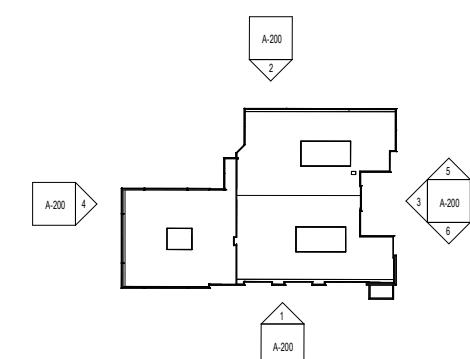
~ West Elevation Copy 1

West Elevation



Looking North in Alcove Near Slide

Looking South in Alcove Near Slide



Elevation Key Map



Example of Proposed Base Texture



Example of Proposed Body Texture



Example of Proposed Trim Texture



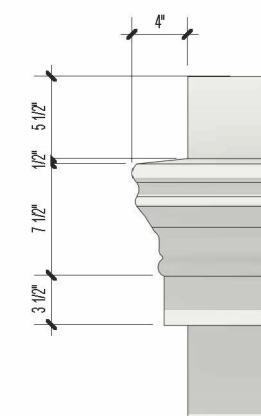
Proposed Base Color:
SW 7645 Thunder Gray



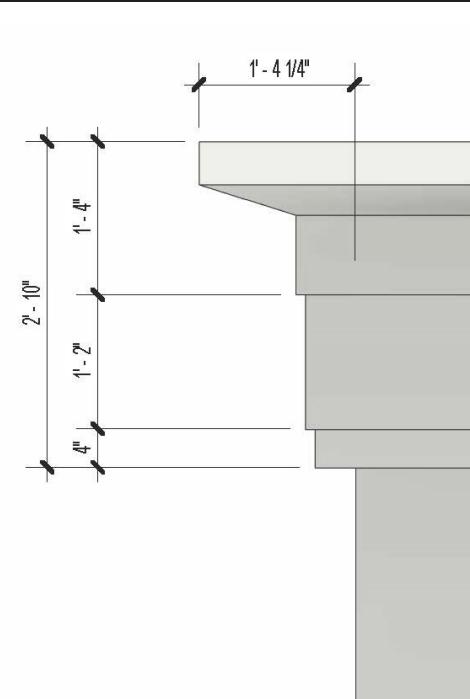
Proposed Body Color:
SW 7016 Mindful Gray



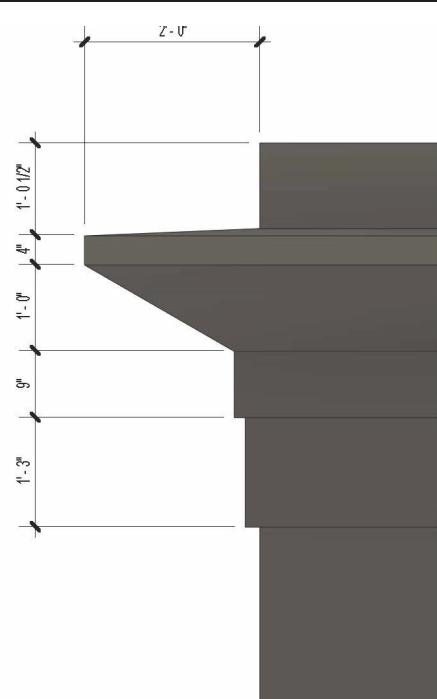
Proposed Trim Color:
SW 7005 Pure White



Detail of Proposed
Typical Cornice



Detail of Proposed
Lower Entry Cornice



Detail of Proposed
Upper Entry Cornice



Example of Proposed Wall Textures



Example of Proposed Wall Textures



Example of Proposed Awning



Example of Proposed Wall Textures



Example of Proposed Wall Textures



Example of Proposed Wall Textures



#1 - Rutherford Collegiate Prep - Arriving from Manon Pike



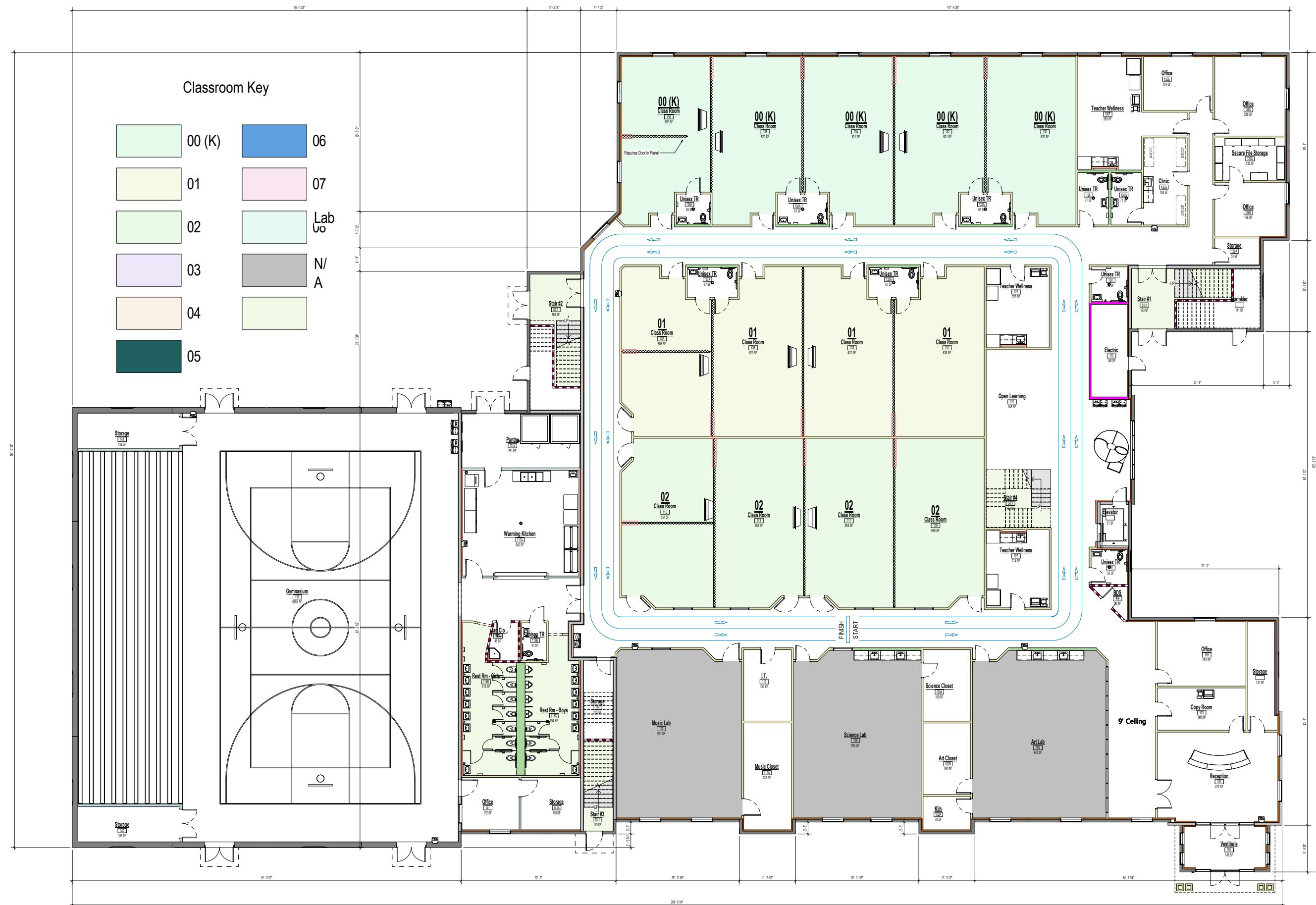
Perspective Key Map



#2 - Rutherford Collegiate Prep - View Looking Southeast from pick-up/drop-off lanes



#3 - Rutherford Collegiate Prep - View Looking Southwest from Practice Field





① Second Floor Plan
1/8" = 1'-0"

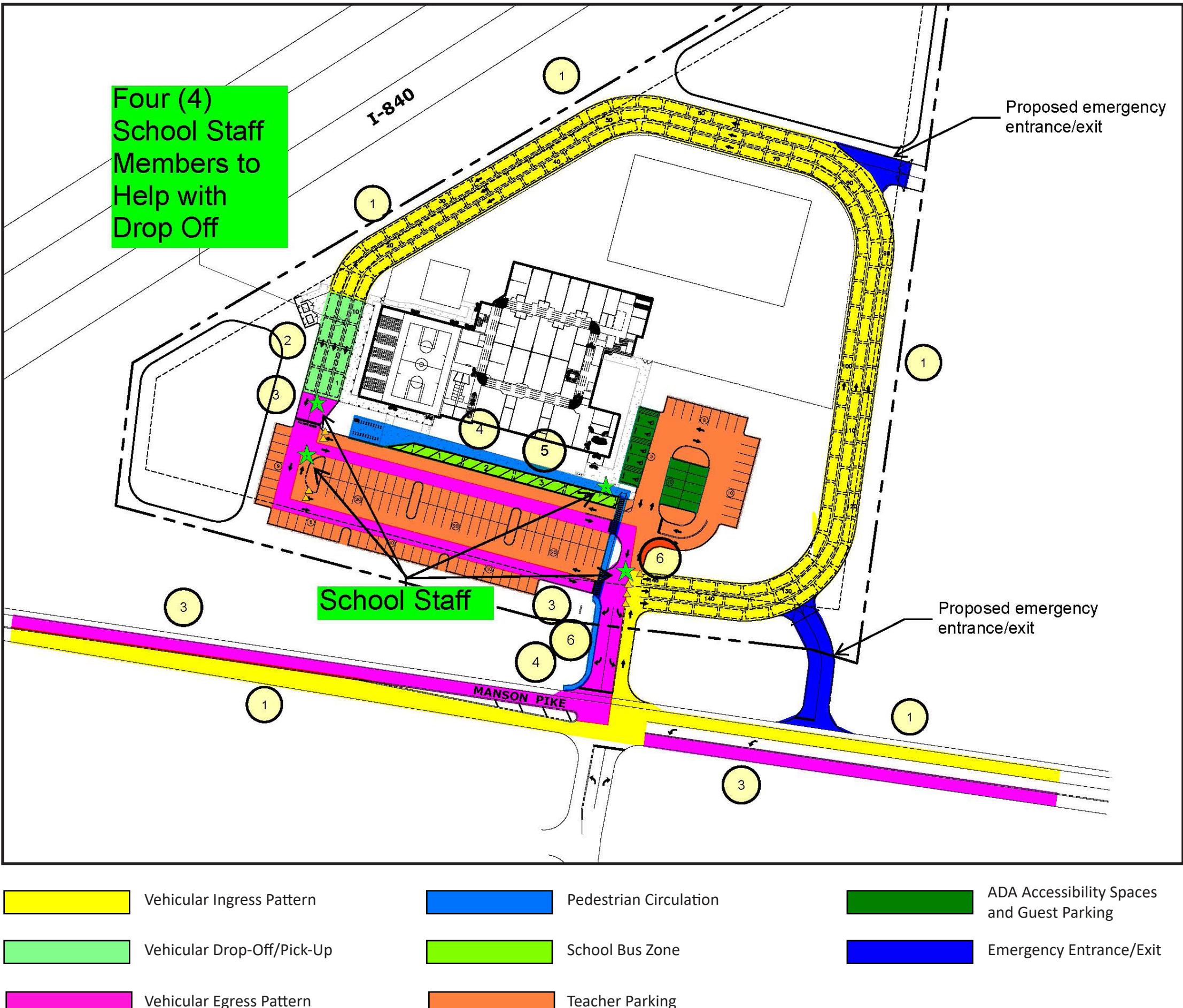
Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), none of the surrounding roadways in this development are slated for improvements except Manson Pike. Manson Pike is currently built as a 3-lane cross-section with a central turning median and is planned to be converted from a 3-lane road to a 5-lane road.

The primary means of ingress/egress from this site will be via Manson Pike. The proposed entrance onto Manson Pike will incorporate three travel lanes for proper circulation into and out of the development. The developer of this property will be required to participate in those improvements with left and right turns into the site. This main entrance shall align with Lone Jack Lane coming from Braxton Parke on the opposite side of Manon Pike. The illustration below shows the proposed location point of ingress/egress for the development.

In order to enhance the functionality of emergency services, two supplementary access points will be provided. These access points will be secured by gates and equipped with a "YELP mode" for unimpeded entry. The first access point is situated to the east of the primary entrance on Manson Pike, while the second one is located along the eastern boundary of the property as a provisional entryway for future use.

A traffic impact study shall be conducted and coordinated with the City of Murfreesboro Traffic Department to determine the scope of the study.

- 1 Primary pick-up and drop-off shall utilize Manson Pike and continue on the school access inbound road to enter the drive loop road as seen in yellow.
- 2 Student pick-up & drop-off designated area for staggered release at each lane as seen in light green.
- 3 Primary pick-up & drop-off shall exit the drive loop road using exit lanes and turn right or left onto Manson Pike, as seen in purple.
- 4 Pedestrian and bicycle access to and from Manson Pike is shown in blue. Bicycle racks shall be provided on site.
- 5 Bus pick up zone.
- 6 Exit from parking area.



Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berthing.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or fences.
- The base of building plantings will not be required with this project based on recommendations of the Department of Homeland Safety for educational facilities.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- Detention ponds and other stormwater facilities shall follow beautification standards per City of Murfreesboro landscaping ordinance.
- All common open space and landscape areas on the site shall be owned and maintained by the owner.



1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 7-8 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 7 & 18 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phases. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned Medium Density Residential (RM-Rutherford County. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: The applicant is requesting the following exceptions with this PCD.

SETBACKS	RS-15	PND	DIFFERENCE
Front Setback	40.0'	40.0'	+0.0'
Side Setback	12.5'	25.0'	+12.5'
Rear Setback	30.0'	30.0'	0.0'
Minimum Lot Size	15,000'	N/A	N/A
Minimum Lot Width	75'	N/A	N/A

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PND.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	358,499 s.f.
TOTAL MAXIMUM FLOOR AREA	56,000 s.f.
TOTAL LOT AREA	358,499 s.f.
TOTAL BUILDING COVERAGE	35,000 s.f.
TOTAL DRIVE/ PARKING AREA	69,691 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	NA s.f.
TOTAL OPEN SPACE	71,003 s.f.
FLOOR AREA RATIO (F.A.R.)	0.16
LIVABILITY SPACE RATIO (L.S.R.)	0.71
OPEN SPACE RATIO (O.S.R.)	0.90

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portions of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panels 47149C0140H and 47149C0255H Effective 1/4/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 3 & 18 discusses the Major Transportation Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Rethink Forward contact info for both is provided on inside of cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 10-17 show the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 8.

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (EXISTING VS PROPOSED)	RS-15	PROPOSED PND	DIFFERENCE
RESIDENTIAL DENSITY			
MINIMUM LOT AREA	N/A	NA	N/A
MINIMUM LOT WIDTH	N/A	NA	N/A
MINIMUM EXTERNAL SETBACK REQUIREMENTS			
MINIMUM FRONT SETBACK	40'	40'	0'
MINIMUM SIDE SETBACK	12.5'	25'	+12.5'
MINIMUM REAR SETBACK	30'	30'	0'
LAND USE INTENSITY RATIOS			
MAX F.A.R.	NONE	NONE	NA
MINIMUM LIVABLE SPACE RATIO	NONE	NONE	NA
MINIMUM OPEN SPACE REQUIREMENT	20%	20%	0%
MINIMUM FORMAL OPEN SPACE REQUIREMENT	0%	0%	0%
MAX HEIGHT	35'	35'	0'

PND Exceptions Request Summary:

No Exceptions Requested



MEMORANDUM
CITY OF MURFREESBORO
LEGAL DEPARTMENT

TO: Chair Jones and Members of the Planning Commission

FROM: David A. Ives

DATE: February 21, 2023

RE: Utility Easements to MTEMC

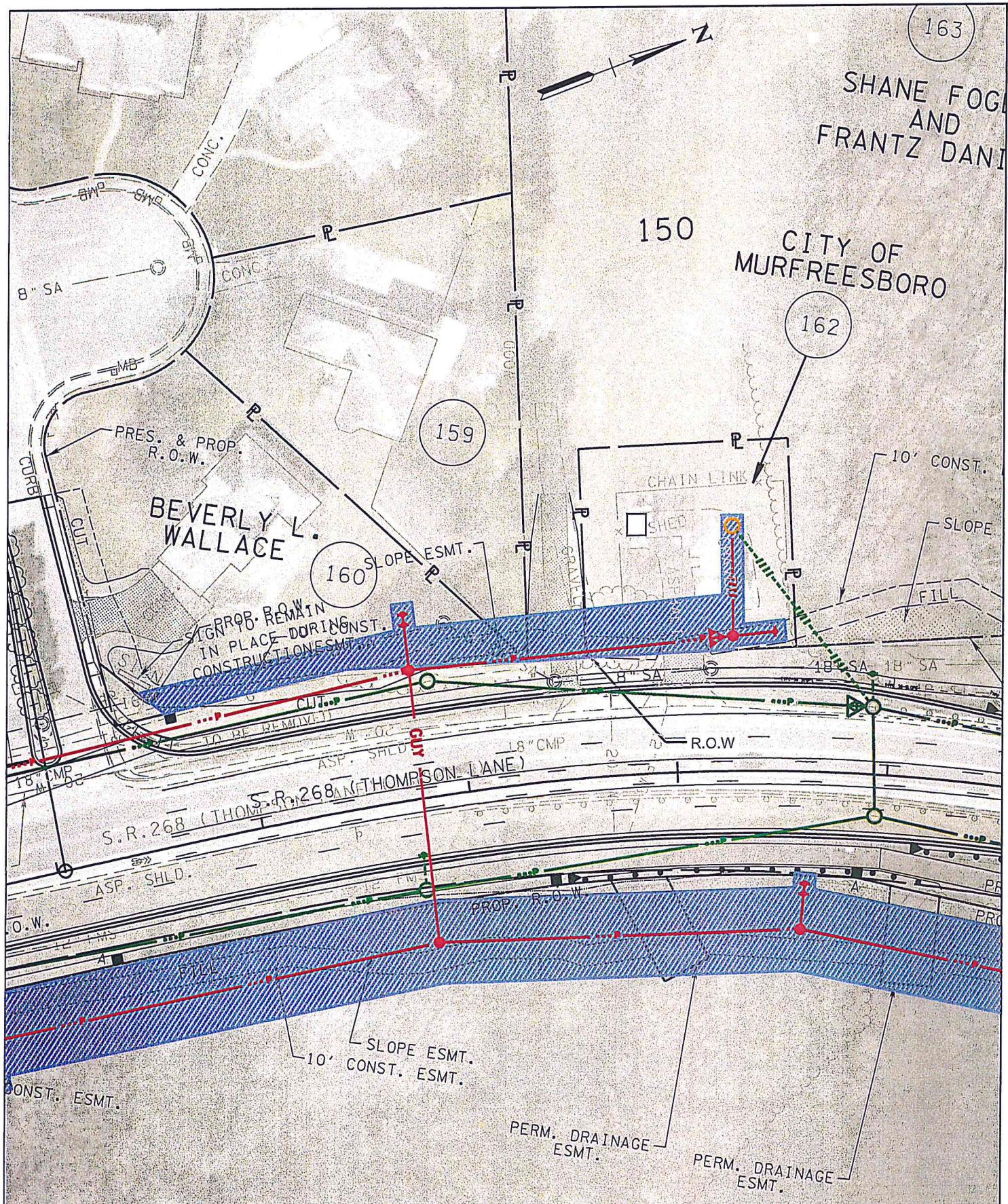
MANDATORY REFERRAL

Middle Tennessee Electric is requesting several easements across City-owned property in support of various projects. They are:

Reconstruction of North Thompson Lane: Exhibits A, B, C and D;
Reconstruction of Bradyville Pike: Exhibit E; and
Line upgrades along Searcy Street: Exhibit F.

Grant of these easements will not create any additional burden on the City-owned properties. Staff requests that Planning Commission consider and recommend to City Council that these easements be donated.

Copies of the Exhibits are attached.



LEGEND

- ••P - EXISTING ELECTRIC UTILITY TO BE REMOVED
- ••P - EXISTING ELECTRIC UTILITY TO REMAIN
- ---P - PROPOSED ELECTRIC UTILITY
- EXISTING UTILITY POLE TO BE REMOVED
- EXISTING UTILITY POLE TO REMAIN

● PROPOSED UTILITY POLE
 PROPOSED MTE EASEMENT

Easement Notes:

Easement Notes:

1. MTE has the right to install and operate, on the Easement Tract, utility lines and related equipment for the utility service that MTE provides.
2. This Exhibit was prepared in accordance with existing field evidence and recorded information. It is not intended to be a Boundary Survey compliant with the minimum standard detail requirements of the State of Tennessee.

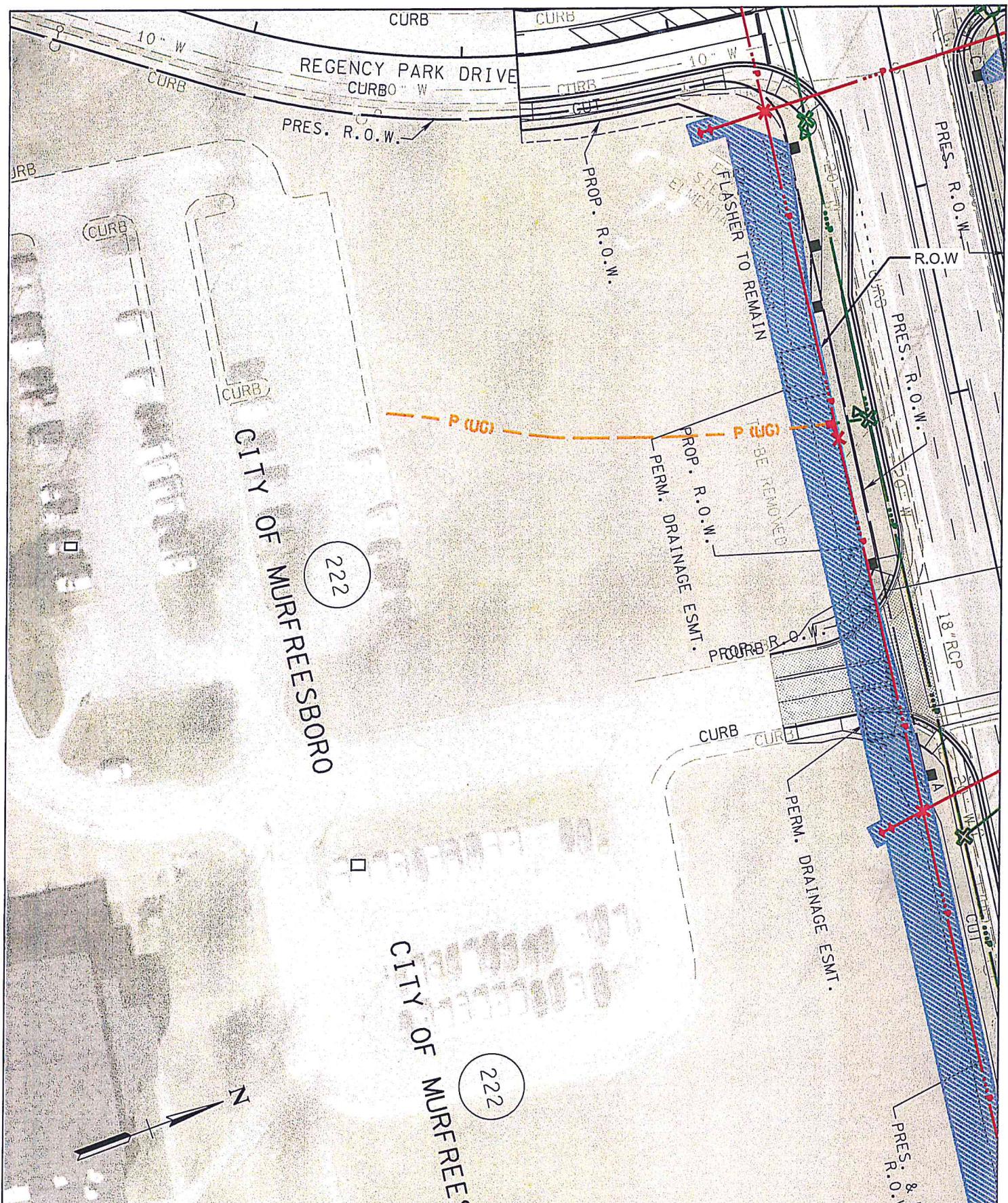
NOTE: PROPERTY LINES WERE COMPILED FROM TDOT DRAWINGS AND DO NOT REPRESENT AN ACTUAL BOUNDARY SURVEY OF AFFECTED PROPERTIES.

MIDDLE
TENNESSEE
ELECTRIC

COUNTY OF: RUTHERFORD
STATE OF: TENNESSEE
COUNTY CODE: 075
MAP NUMBER: 058 GRO
DEED BOOK: 00224 PAG

EXHIBIT A

PARCEL NO.: 099.01



LEGEND

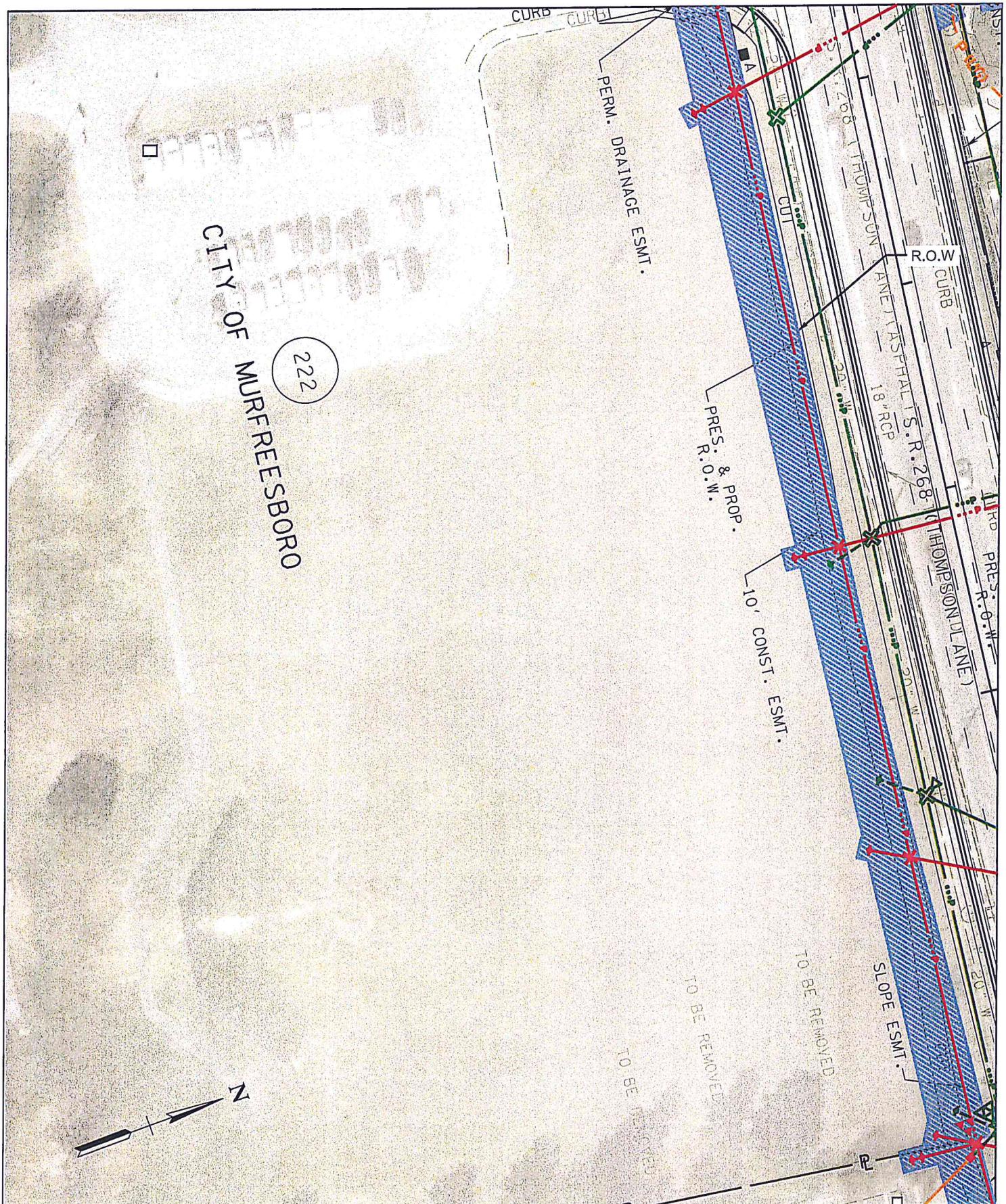
—•—•P— EXISTING ELECTRIC UTILITY TO BE REMOVED	● PROPOSED UTILITY POLE
—•—•P— EXISTING ELECTRIC UTILITY TO REMAIN	■ PROPOSED MTE EASEMENT
—•—P— PROPOSED ELECTRIC UTILITY	
○ EXISTING UTILITY POLE TO BE REMOVED	
□ EXISTING UTILITY POLE TO REMAIN	

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MIDDLE TENNESSEE ELECTRIC	COUNTY OF: RUTHERFORD STATE OF: TENNESSEE COUNTY CODE: 075 MAP NUMBER: 058 DEED BOOK: 505	EXHIBIT B GROUP NO.: PAGE: 483	PARCEL NO.: 069.02
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LEGEND

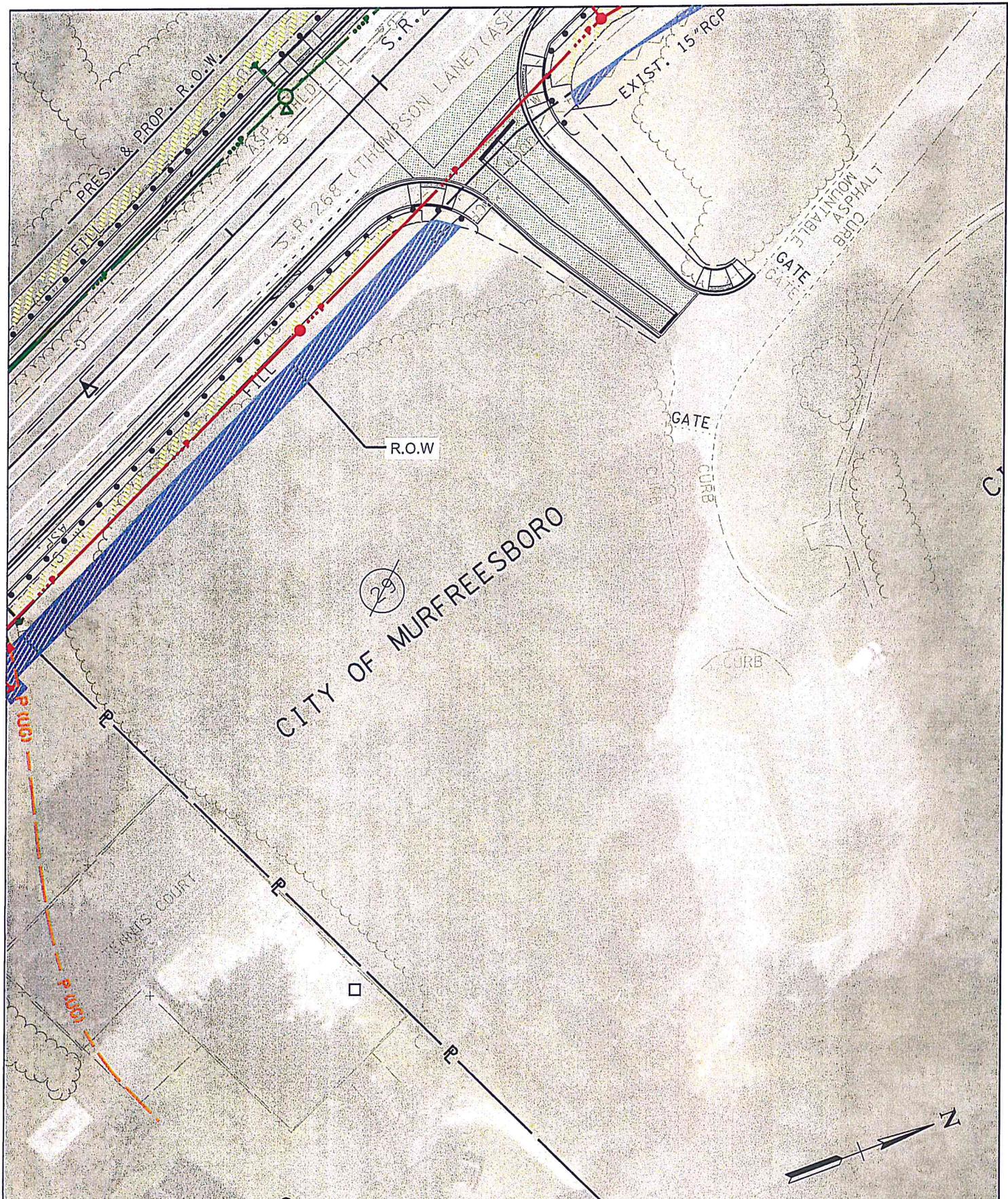
- - - P - - EXISTING ELECTRIC UTILITY TO BE REMOVED	● PROPOSED UTILITY POLE
- - - P - - EXISTING ELECTRIC UTILITY TO REMAIN	
- - - P - - PROPOSED ELECTRIC UTILITY	
○ EXISTING UTILITY POLE TO BE REMOVED	
□ EXISTING UTILITY POLE TO REMAIN	

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2. This Exhibit was prepared in accordance with existing field evidence and recorded information. It is not intended to be a Boundary Survey compliant with the minimum standard detail requirements of the State of Tennessee.

NOTE: PROPERTY LINES WERE COMPILED FROM TDOT DRAWINGS AND DO NOT REPRESENT AN ACTUAL BOUNDARY SURVEY OF AFFECTED PROPERTIES.

MIDDLE TENNESSEE ELECTRIC	COUNTY OF: RUTHERFORD STATE OF: TENNESSEE COUNTY CODE: 075 MAP NUMBER: 058 DEED BOOK: 505	EXHIBIT B PAGE 2 GROUP NO.: PAGE: 483	PARCEL NO.: 069.02
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LEGEND

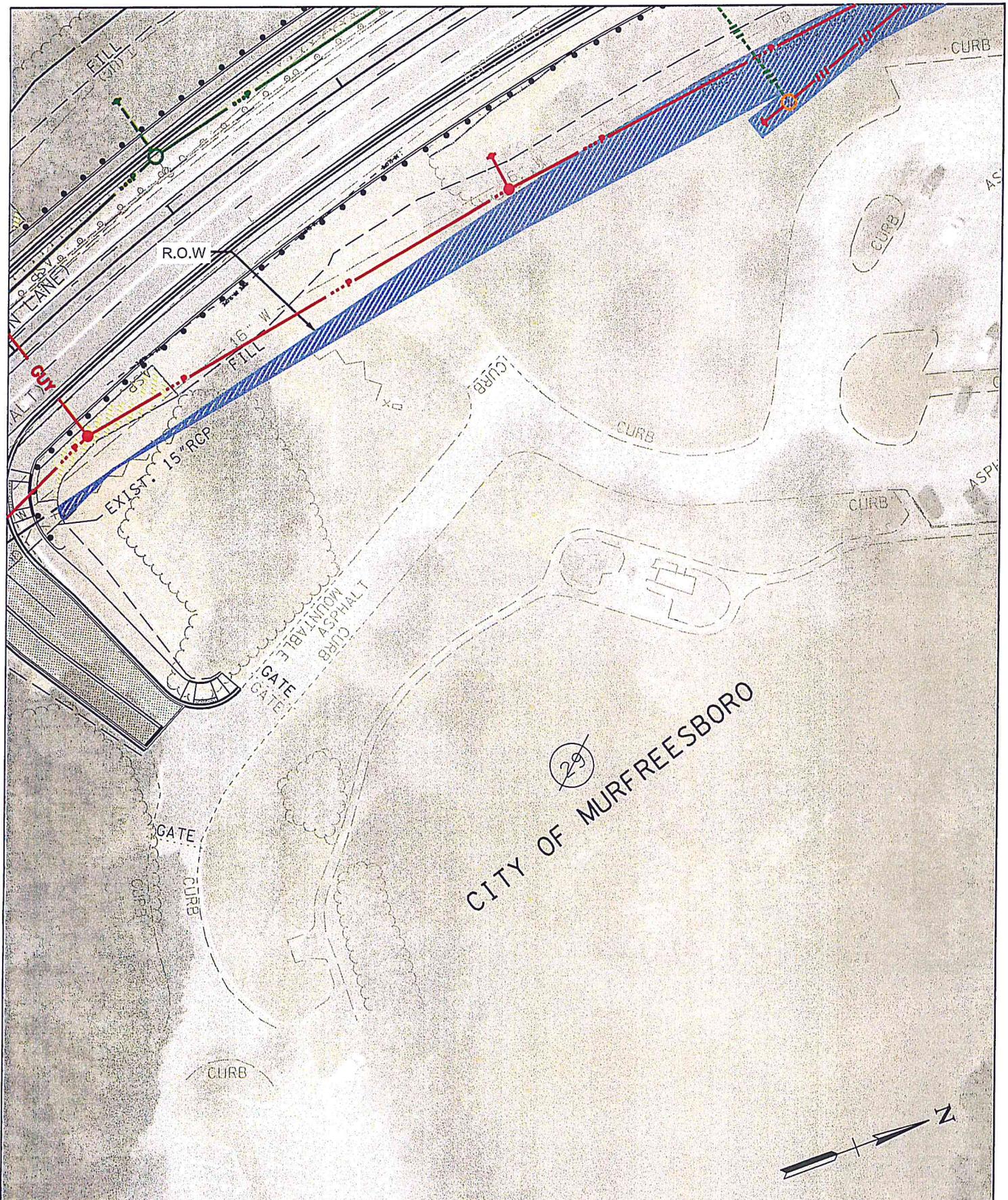
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—•—P—	EXISTING ELECTRIC UTILITY TO REMAIN		
—P—	PROPOSED ELECTRIC UTILITY		
○	EXISTING UTILITY POLE TO BE REMOVED		
□	EXISTING UTILITY POLE TO REMAIN		

Easement Notes:

1. MTE has the right to install and operate, on the Easement Tract, utility lines and related equipment for the utility service that MTE provides.
2. This Exhibit was prepared in accordance with existing field evidence and recorded information. It is not intended to be a Boundary Survey compliant with the minimum standard detail requirements of the State of Tennessee.

NOTE: PROPERTY LINES WERE COMPILED FROM TDOT DRAWINGS AND DO NOT REPRESENT AN ACTUAL BOUNDARY SURVEY OF AFFECTED PROPERTIES.

MIDDLE TENNESSEE ELECTRIC	COUNTY OF: RUTHERFORD STATE OF: TENNESSEE COUNTY CODE: 075 MAP NUMBER: 069 DEED BOOK: 562	EXHIBIT C PAGE 1 GROUP NO.: PAGE: 653 PARCEL NO.: 057.01
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LEGEND

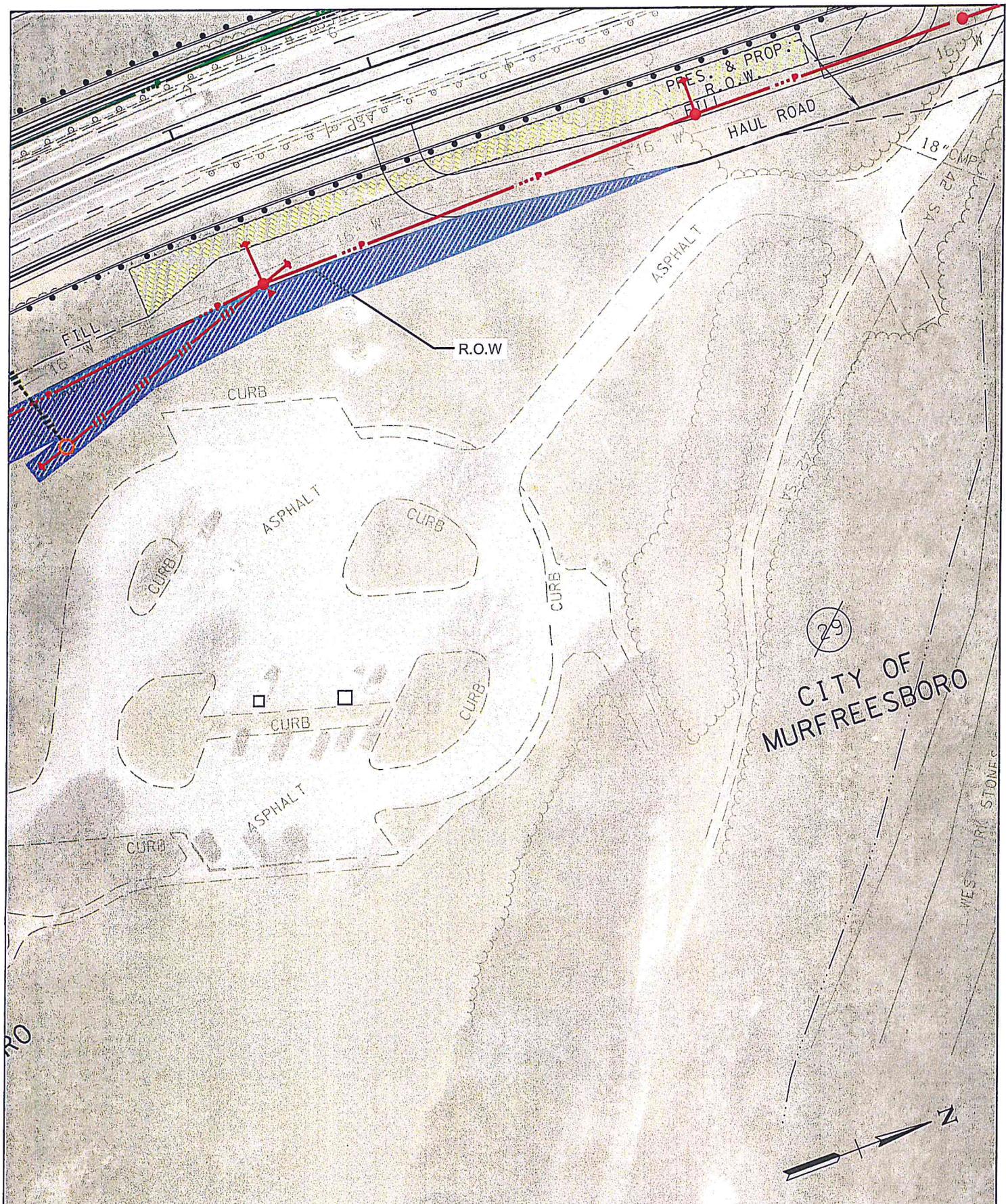
- - - P - - EXISTING ELECTRIC UTILITY TO BE REMOVED	● PROPOSED UTILITY POLE
- - - P - - EXISTING ELECTRIC UTILITY TO REMAIN	■ PROPOSED MTE EASEMENT
--- P --- PROPOSED ELECTRIC UTILITY	
○ EXISTING UTILITY POLE TO BE REMOVED	
□ EXISTING UTILITY POLE TO REMAIN	

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MIDDLE TENNESSEE ELECTRIC	COUNTY OF: RUTHERFORD STATE OF: TENNESSEE COUNTY CODE: 075 MAP NUMBER: 069 DEED BOOK: 562	EXHIBIT C PAGE 2 GROUP NO.: PAGE: 653 PARCEL NO.: 057.01	
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LEGEND

EXISTING ELECTRIC UTILITY TO BE REMOVED	PROPOSED UTILITY POLE
EXISTING ELECTRIC UTILITY TO REMAIN	PROPOSED MTE EASEMENT
PROPOSED ELECTRIC UTILITY	
EXISTING UTILITY POLE TO BE REMOVED	
EXISTING UTILITY POLE TO REMAIN	

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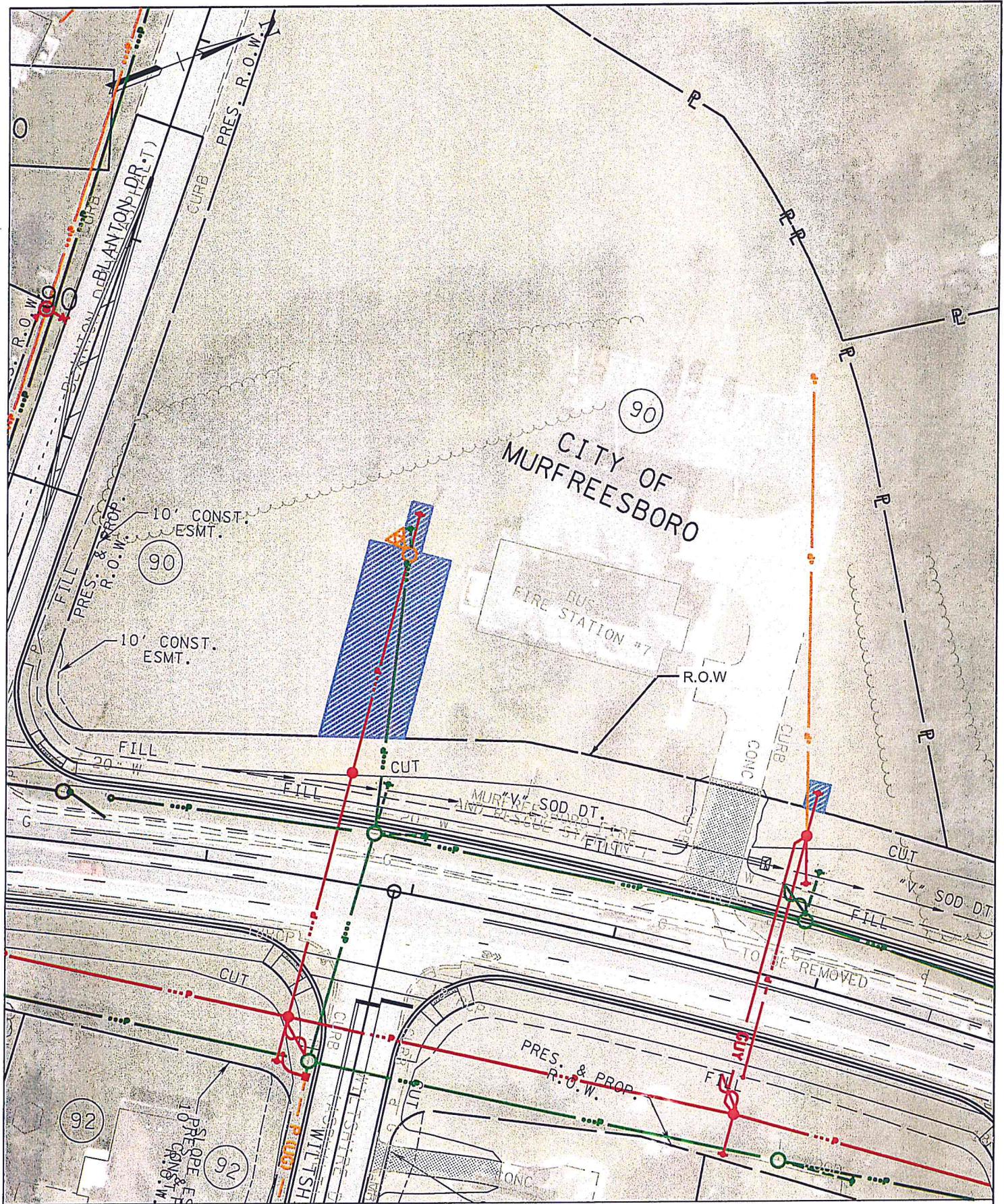
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MIDDLE
TENNESSEE
ELECTRIC

COUNTY OF: RUTHERFORD
STATE OF: TENNESSEE
COUNTY CODE: 075
MAP NUMBER: 069
DEED BOOK: 562

GROUP NO.:
PAGE: 653

**EXHIBIT C
PAGE 3**
PARCEL NO.: 057.01



LEGEND

-  EXISTING ELECTRIC UTILITY TO BE REMOVED
-  EXISTING ELECTRIC UTILITY TO REMAIN
-  PROPOSED ELECTRIC UTILITY
-  EXISTING UTILITY POLE TO BE REMOVED
-  EXISTING UTILITY POLE TO REMAIN
-  PROPOSED UTILITY POLE
-  PROPOSED MTE EASEMENT

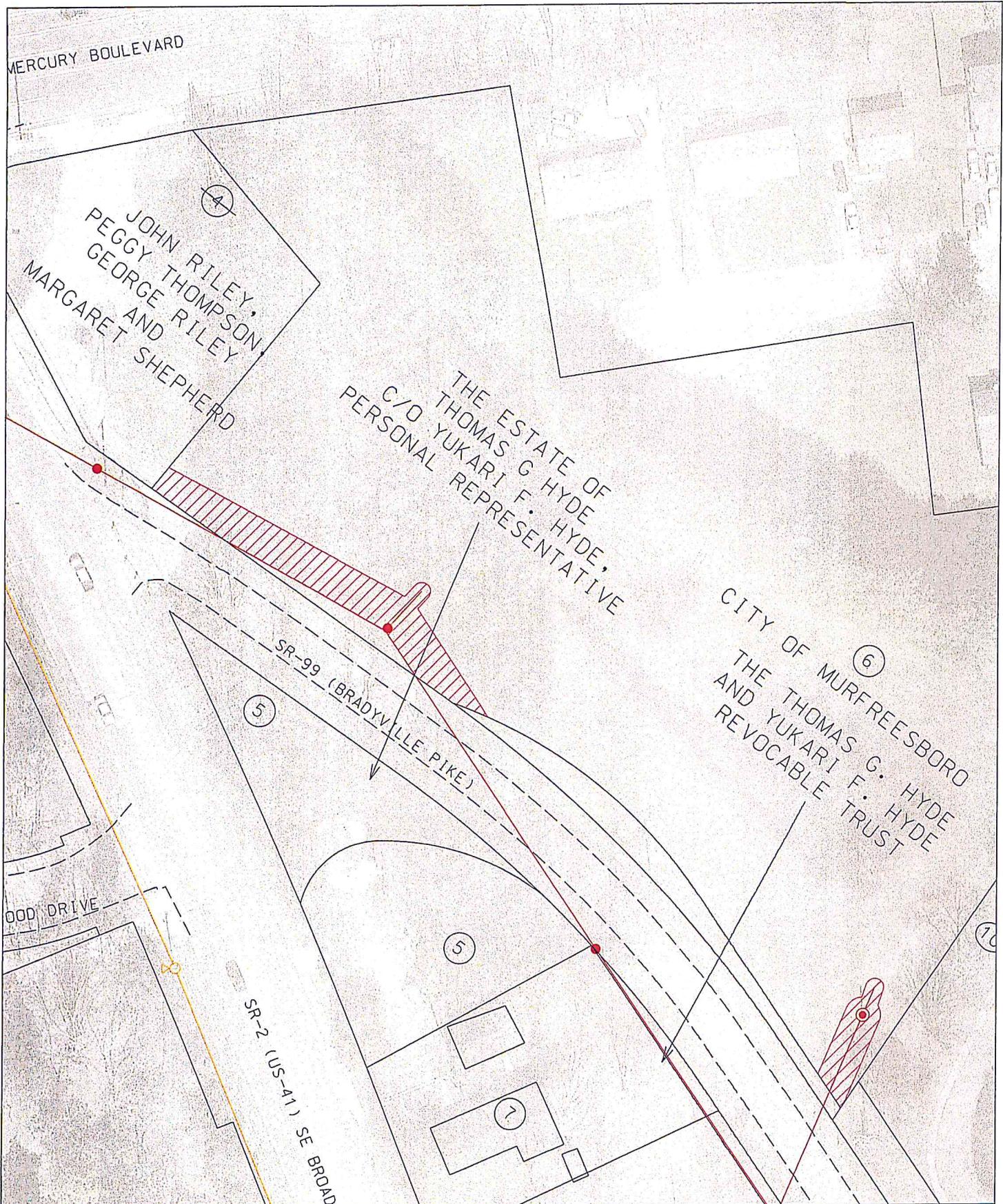
Easement Notes:

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MIDDLE TENNESSEE ELECTRIC	COUNTY OF: RUTHERFORD	EXHIBIT D
	STATE OF: TENNESSEE	
	COUNTY CODE: 075	
	MAP NUMBER: 069	GROUP NO.: PARCEL NO.: 056.00
	DEED BOOK: 424	PAGE: 72-76



Easement Notes:

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NOTE: PROPERTY LINES WERE COMPILED FROM TDOT DRAWINGS AND DO NOT REPRESENT AN ACTUAL BOUNDARY SURVEY OF AFFECTED PROPERTIES.

Middle Tennessee Electric	COUNTY OF: RUTHERFORD STATE OF: TENNESSEE COUNTY CODE: 75 MAP NUMBER: 102D DEED BOOK: 113	EXHIBIT E GROUP NO.: M PAGE: 429 PARCEL NO.: 04102
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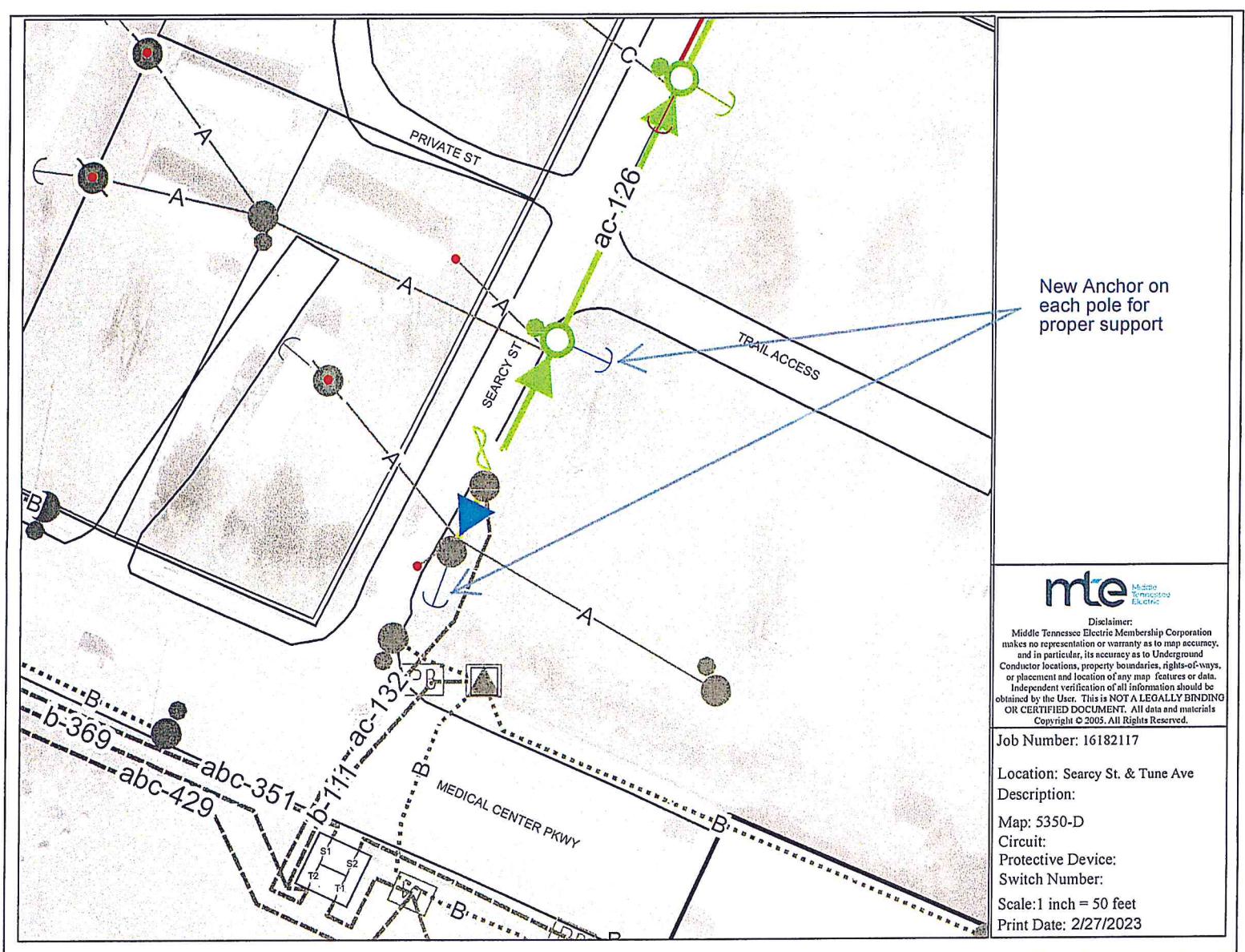


EXHIBIT F

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

MARCH 15, 2023

1:00 PM

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

STAFF PRESENT

Greg McKnight, Executive Dir. Dev't Services
Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Marina Rush, Principal Planner
Holly Smyth, Principal Planner
Brad Barbee, Planner
Joel Aguilera, Planner
Amelia Kerr, Planner
Carolyn Jaco, Recording Assistant
Gabriel Moore, Project Engineer
Jennifer Knauf, Project Engineer
Roman Hankins, Assistant City Attorney

1. Call to order.

Chair Kathy Jones called the meeting to order at 1:00 p.m.

2. Determination of a quorum.

Chair Kathy Jones determined that a quorum was present.

3. Approve minutes of the February 15, 2023 & March 1, 2023 Planning Commission meetings.

Mr. Chase Salas moved to approve the minutes of the February 15, 2023 and March 1, 2023 Planning Commission meetings; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

Chase Salas

Shawn Wright

Nay: None

4. Consent Agenda:

Beau Monde [2023-1007] preliminary plat for 4 lots on 1.4 acres zoned PRD located along Haynes Drive, Blue Sky Construction developer.

Enterprise, Lot 1 [2023-2011] final plat for 1 lot on 4.7 acres zoned CH located along Franklin Road and Bob Kelley Drive, 2000 Pingree Real Estate Holdings, LLC developer.

Waites Creek Crossing, Section 2, Phase 1A [2023-2013] final plat for 12 lots on 3.3 acres zoned RS-A, Type 1 located along Ashers Fork Drive, O'Brien Loyd Venture developer.

Waites Creek Crossing, Section 2, Phase 1B [2023-2014] final plat for 20 lots on 2.6 acres zoned RS-A, Type 1 located along Ashers Fork Drive, O'Brien Loyd Venture developer.

Waites Creek Crossing, Section 2, Phase 2A [2023-2015] final plat for 5 lots on 1.6 acres zoned RS-A, Type 1 located along Blackwater Drive, O'Brien Loyd Venture developer.

Waites Creek Crossing, Section 2, Phase 2B [2023-2019] final plat for 10 lots on 1.3 acres zoned RS-A, Type 1 located along Blackwater Drive, O'Brien Loyd Venture developer.

Seals Way, Resubdivision of Lot 2 [2023-2016] final plat for 2 lots on 1.8 acres zoned H-I located along Seals Way and Park Avenue, Swanson Development, LP developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

West Point, Lot 22 [2023-2009] final plat for 1 lot on 2 acres zoned L-I located along Beasie Road, Charlie B. Mitchell, Jr. developer.

Samsonite Development, Resubdivision of Lots 6 & 9 and the Resubdivision of Lot 1 of the Murphy Subdivision [2023-2017] final plat for 3 lots on 12.5 acres zoned H-I located along Middle Tennessee Boulevard and Captain Joe Fulghum Drive, Swanson Development, LP developer.

Thos. Henry White Farm, Resubdivision of Lots 1-6 [2023-2018] final plat for 1 lot on 9.26 acres zoned H-I located along Northwest Broad Street and North Thompson Lane, 84 Properties, LLC developer.

Alexander Square, Resubdivision of Lot 1 [2023-2012] final plat for 2 lots on 4.7 acres zoned CH located along South Rutherford Boulevard and John Bragg Highway, Alexander Square Partnership developer.

Murphy Subdivision, Lot 1 [2023-3020] site plan for site modifications at an existing 6,000 ft² office and warehouse building on 0.72 acres zoned H-I located at 539 Middle Tennessee Boulevard, Swanson Development, LP developer.

Mandatory Referral [2023-708] to consider the abandonment of a drainage easement located on property at North Thompson Lane, Bradyville Pike and Searcy Street, Middle Tennessee Electric applicant. *(Ed. Note: The heading for this item was incorrect in the published agenda, and the attachments were inadvertently omitted from the agenda packet. As a result, even though the approval of this item was included in the motion to approve the consent agenda, its approval is moot because the information provided was inaccurate and incomplete.)*

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

Mandatory Referral [2023-709] to consider the dedication of right-of-way & temporary construction easements to TDOT along New Salem Highway, City of Murfreesboro applicant.

Mandatory Referral [2023-710] to consider the dedication of right-of-way & temporary construction easements to TDOT along Thompson Lane, City of Murfreesboro applicant.

There being no further discussion, Ms. Jami Averwater moved to approve the Consent Agenda subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

5. GDO:

On Motion

Clari Park, Lot 1 (Whataburger) [2022-6017 & 2022-3127] initial design review of a 3,318 ft² restaurant with drive-thru located on 1.4 acres zoned CH and GDO-1 located along Medical Center Parkway and Willowoak Trail, Whataburger Restaurants, LLC developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

The Planning Commission expressed their concerns with the design presented for the proposed drive-thru. The traffic flow along Willowoak Trail would be negatively impacted by the drive-thru, creating problems with overflow of traffic onto Willowoak Trail. In addition, the overflow of traffic from the drive-thru should be located entirely on the Whataburger parking lot.

Ms. Morgan Salsman (project engineer), Mr. Micah Gates (landscape architect), and other members of the design team were in attendance representing the application. Mr. Micah Gates explained the traffic management plan.

There being no further discussion, Mr. Shawn Wright moved to defer the initial design review so the applicant could continue working to address overflow traffic related to the drive-thru; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

**Clari Park, Lot 4 (Black Rifle Coffee) [2023-6003 & 2023-3019] initial design review
of a 2,720 ft2 drive-in restaurant located on 1.1 acres zoned CH & GDO-1 located
along Medical Center Parkway and Roby Corlew Lane, Blacktide Development, LLC
developer.** Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

MARCH 15, 2023

Mr. Matt Hamilton (landscape architect) and other members of the design team were in attendance representing the application. Mr. Matt Hamilton explained the traffic management plan for the proposed drive-thru.

There being no further discussion, Ms. Jami Averwater moved to approve the initial design review subject to all staff comments including adding striping for improvements to the traffic pattern for this site; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

6. Plats and Plans:

On Motion

Hy-Vee – New Salem [2023-3021] site plan for 116,000 ft2 grocery store and a 6,000 ft2 convenience store with fueling station on 28.5 acres zoned CH and RM-16 located along New Salem Highway and Barfield Road, Hy-Vee, Inc. developer. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Ms. Rush distributed to the Planning Commissioners additional staff comments that addressed revisions which had been made to the proposed site plan. She recommended

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

approval of the site plan subject to all staff comments, including the additional staff comments, and for the applicant to continue working with staff on addressing these comments prior to the issuance of permits.

Mr. Matt Taylor (design engineer), Mr. Randy Downs (project manager), and Mr. Phil Hoey (real estate manager) were in attendance representing the application. Mr. Matt Taylor stated they would continue working with staff on this proposal.

There being no further discussion, Mr. Shawn Wright moved to approve the site plan subject to all staff comments, including the additional comments provided at today's meeting, and the applicant continuing to work with staff on addressing staff comments prior to the issuance of permits; the motion was seconded by Ms. Jami Averwater and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Hy-Vee [2023-3022] integrated site plan review for 153,056 ft2 Neighborhood Shopping Center and 10,126 ft2 liquor store on 21.6 acres zoned CH & CF located along Memorial Boulevard and Haynes Drive, Hy-Vee, Inc. developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

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Mr. Matt Taylor (design engineer) and other members of the design team were in attendance representing the application. Mr. Matt Taylor stated they would continue working with staff on the public and private partnership on drainage, public infrastructure, public utility easements for a sewer line, etc.

Mr. Greg McKnight came forward to explain, if the site plan is approved, then any items not currently addressed would be resolved before any building permits are issued.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the site plan subject to all staff comments, including the additional comments provided at today's meeting, and the applicant continuing to work with staff on addressing staff comments prior to the issuance of permits; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Hy-Vee – Memorial Blvd. Subdivision [2023-1008] Master Plan & Integrated preliminary plat for 8 lots on 34.2 acres zoned CH & CF located west of Memorial Blvd and north of Haynes Drive, Hy-Vee, Inc. developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

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MARCH 15, 2023

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the master plan and preliminary plat subject to all staff comments, including the additional comments provided at today's meeting, and the applicant continuing to work with staff on addressing staff comments prior to the issuance of permits; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Palmer Heights, Resubdivision of Lots 1-9 (Hy-Vee Memorial) [2023-2010] final plat for 8 lots on 34.2 acres zoned CH and CF located along Memorial Boulevard and Haynes Drive, Hy-Vee developer. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Chase Salas moved to approve the final plat subject to all staff comments; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

Shawn Wright

Nay: None

Hy-Vee [2023-3028] site plan review for 5,400 ft2 gas station, 4,067 ft2 convenience store & 2,540 ft2 drive-thru restaurant on 2 acres zoned CH located along Memorial Boulevard, Hy-Vee Inc. developer. Ms. Margaret Ann Green presented the Staff Comments regarding this item, a copy which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and the design team were in attendance representing the application.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the site plan subject to all staff comments, including the additional comments provided at today's meeting, and the applicant continuing to work with staff on addressing staff comments prior to the issuance of permits; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

7. New Business:

Zoning application [2023-402] for approximately 22 acres located along Wenlon Drive to be rezoned from RM-12 to PRD (The Murph PRD), Eastman Residential

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton moved to schedule a public hearing for April 5, 2023; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-403] for approximately 17.98 acres located along East Northfield Boulevard and North Tennessee Boulevard to be rezoned from CF to PRD (Northfield Acres PRD – 14.7 acres) and PCD (Northfield Acres PCD – 3.28 acres), Haury & Smith Contractors, Inc. applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Chase Salas moved to schedule a public hearing for April 5, 2023; the motion was seconded by Vice-Chairman Ken Halliburton and carried by the following vote:

Aye: Kathy Jones

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

MARCH 15, 2023

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Annexation petition and plan of services [2023-502] for approximately 8.6 acres located along Manson Pike, Marsha Love applicant. Ms. Marina Rush presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright moved to schedule a public hearing for April 5, 2023; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Zoning application [2023-404] for approximately 8.2 acres located along Manson Pike to be zoned PND (Rutherford Collegiate Prep PND) simultaneous with annexation, Ryan Companies US, Inc. applicant. Ms. Marina Rush presented the Staff Comments

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) and school representatives were in attendance representing the application.

There being no further discussion, Ms. Jami Averwater moved to schedule a public hearing on April 5, 2023; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

8. Staff Reports and Other Business:

Mandatory Referral [2023-704] to consider the abandonment of a repurified water line easement on property located along Greshampark Drive and Medical Center Parkway, Chris Mabery of Ragan Smith on behalf of Hines Clari Park Land Holdings, LLC applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the mandatory referral subject to the conditions listed in the staff report; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

MARCH 15, 2023

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Mandatory Referral [2023-705] to consider the abandonment of a portion of a sanitary sewer easement on property located at the corner of New Salem Highway and Rivermont Way, Matt Taylor of SEC, Inc. applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater moved to approve the mandatory referral subject to the conditions listed in the staff report; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Mandatory Referral [2023-707] to consider the abandonment of a portion of a drainage easement, a temporary construction easement, and a public utility and drainage easement on property located at the northwest corner of Memorial

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

Boulevard and Haynes Drive, Matt Taylor with SEC, Inc. applicant. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Vice-Chairman Ken Halliburton moved to approve the mandatory referral subject to the conditions listed in the staff report; the motion was seconded by Mr. Chase Salas and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton
Jami Averwater
Bryan Prince
Chase Salas
Shawn Wright

Nay: None

Mandatory Referral [2023-706] to consider the abandonment of a drainage easement located on property at 539 Middle Tennessee Boulevard, Huddleston-Steele Engineering, Inc. on behalf of Joe Swanson, Jr. applicant. Mr. Joel Aguilera presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these Minutes by reference.

There being no further discussion, Mr. Chase Salas moved to approve the mandatory referral subject to the conditions listed in the staff report; the motion was seconded by Mr. Bryan Prince and carried by the following vote:

Aye: Kathy Jones
Ken Halliburton

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Mandatory Referral [2023-712] to consider the City's acquisition of Lot 82 of the Evergreen Farms Subdivision, City Administration Department applicant. Mr. Greg McKnight asked for approval of the mandatory referral and was available to answer any questions.

There being no further discussion, Ms. Jami Averwater moved to approve the mandatory referral subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried by the following vote:

Aye: Kathy Jones

Ken Halliburton

Jami Averwater

Bryan Prince

Chase Salas

Shawn Wright

Nay: None

Mr. Greg McKnight announced that City Manager Mr. Craig Tindall has appointed Ms. Jennifer Knauf, Project Engineer in the Planning Department, as Murfreesboro's Floodplain Administrator.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION MARCH 15, 2023

9. Adjourn.

There being no further business the meeting adjourned at 3:00 p.m.

Chair

Secretary

GM cj