

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**DECEMBER 4, 2019
6:00 PM**

**Kathy Jones
Chair**

1. Call to order

2. Determination of a quorum.

3. New Business:

- a.** Mandatory Referral/Right of Way abandonment [2019-726] to consider the abandonment of a small portion of Williams Drive right-of-way, Volunteer Behavior Health applicant. (Project Planner: Margaret Ann Green)
- b.** Zoning application [2019-443] for approximately 2.41 acres located along Franklin Road west of Rucker Lane to be rezoned from CF to PCD (Tire World PCD), Tire World, Inc. applicant. (Project Planner: Marina Rush)
- c.** Zoning application [2019-439] for approximately 0.3 acres located along East Vine Street and Kerr Avenue to be rezoned from RS-8 to RS-4, Will Crunk applicant. (Project Planner: Amelia Kerr)
- d.** Annexation plan of services and annexation petition [2019-515] for approximately 1.6 acres located along Yearwood Avenue, Greenland Partners, LLC applicant. (Project Planner: Amelia Kerr)
- e.** Zoning application [2019-442] for approximately 0.68 acres located along Yearwood Avenue and North Rutherford Boulevard to be rezoned from RS-15 to PCD (East Side Village PCD) and approximately 1.15 acres to be zoned PCD simultaneous with annexation Greenland Partners, LLC applicant. (Project Planner: Amelia Kerr)

4. Staff Reports and Other Business:

5. Adjourn.

MURFREESBORO PLANNING COMMISSION

STAFF COMMENTS, PAGE 1

DECEMBER 4, 2019

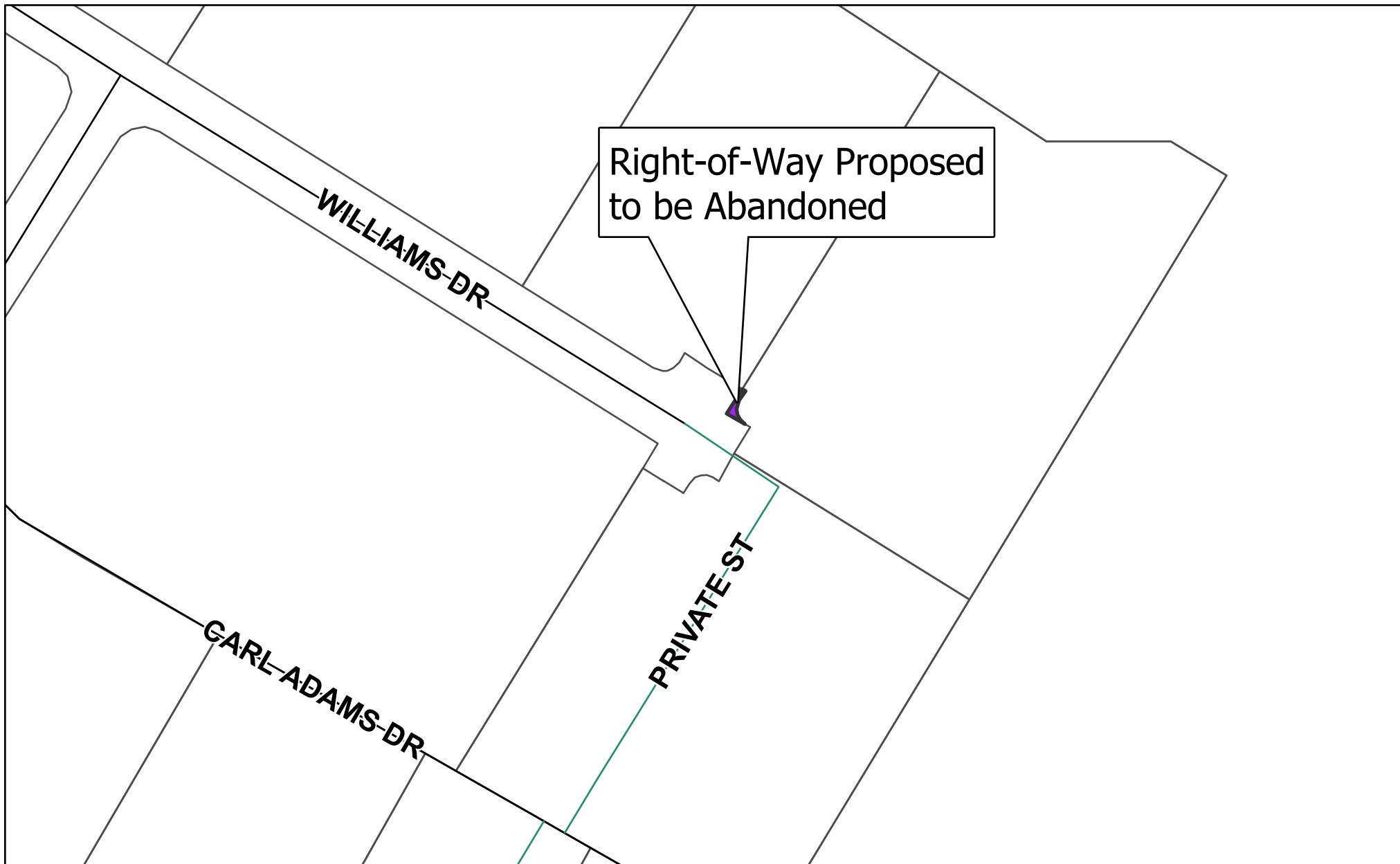
PROJECT PLANNER MARGARET ANN GREEN

3.a. Mandatory Referral/Right of Way abandonment [2019-726] to consider the abandonment of a small portion of Williams Drive right-of-way, Volunteer Behavior Health applicant.

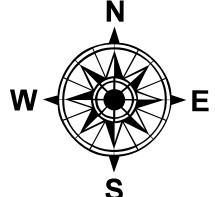
The subject right-of-way consists of a segment of Williams Drive right of way. This segment of right of way is a very small portion of Williams drive that is located at a previously anticipated intersection. Due to a change in the street connectivity to the adjacent Fountains development, this small portion of right of way is no longer needed and staff has instructed the applicant to request abandonment. This request is consistent with previously approved right of way abandonments.

Staff has conducted a right-of-way abandonment study. The impacts of this right-of-way abandonment request appear to be minimal and easements will be maintained for the nearby 8-inch sewer main.

Any approvals are subject to the applicant providing the City Legal Department any necessary documentation to prepare the quitclaim deed and for recording the quitclaim deed. A plat depicting the abandonment and relocation of the subject property must be recorded. And, utility easements must be dedicated, as needed, to accommodate any existing utilities, including water and sewer mains.



Proposed Abandonment of Williams Drive Right-of-Way



0 100 200 400 600 Feet



City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborontn.gov



Memorandum

To: All Department Heads
From: Margaret Ann Green, AICP Principal Planner
Date: November 18, 2019
Re: Right of way abandonment along Williams Drive

Please find attached an illustration of a small portion of Williams Drive right-of-way located at the hammerhead of Williams Drive, adjacent to Lot 6 of the Waterstone Office Park. The City of Murfreesboro is considering abandoning this portion of Williams Drive right-of-way. Matt Taylor with SEC, on behalf of Volunteer Behavioral Health, is the applicant for this request. A site plan was approved on October 16, 2019 for a 32,000 square foot medical office and hospital located on the adjacent 2.3 acre property. Please advise me of any utility lines you may have in this area that may need easements and of any impact this right of way abandonment may have on your department by the end of the day on **November 22, 2019**. If you have any questions regarding this letter, please don't hesitate to call me at (615) 893-6441 or e-mail me at mgreen@murfreesborotn.gov.



MEMORANDUM

DATE: November 19, 2019
TO: Margaret Ann Green
FROM: Valerie H. Smith, PE
RE: Right-of-Way Abandonment
Williams Drive

Pursuant to your request of November 18, 2019, we submit the following information on the location of existing water, sanitary sewer and repurified water mains in the subject abandonment area:

WATER & REPURIFIED WATER MAINS

The existing water and repurified water mains are not near enough to the abandonment area to be concerned.

SEWER MAINS

There is an existing 8" sewer main within a few feet of the abandonment area as shown on the site plan submitted by SEC, Inc. The Department requests that the entire abandonment area be reserved as public utility easement (PUE), should the right of way be abandoned per the request.

pc: Darren Gore
Greg Harvey
Anita Heck

October 14, 2019

Mrs. Margaret Ann Green
City of Murfreesboro Planning Dept.
111 West Vine Street
Murfreesboro, TN 37133-1139

RE: Waterstone Lot 6
Right-of-Way Abandonment Mandatory Referral
SEC Project No. 05090

Dear Margaret Ann,

Please find the attached documents to support the mandatory referral request to abandon a portion of right-of-way along Williams Drive.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or mtaylor@sec-civil.com.

Sincerely,

Matt Taylor

Matt Taylor, P.E.
SEC, Inc.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 4, 2019**

PROJECT PLANNER: MARINA RUSH

3.b. Zoning application [2019-443] for approximately 2.41 acres located along Franklin Road west of Rucker Lane to be rezoned from CF to PCD (Tire World PCD), Tire World, Inc. applicant.

The subject property is located along the south side of Franklin Road (Highway 96) and west of Rucker Lane. It is 2.41 acres and can be identified as Tax Map 93, Parcel 68.01. The applicant, Randy Lopez of Tire World, Inc., is requesting to rezone the property from Commercial Fringe (CF) to Planned Commercial District (PCD) to allow for development of two buildings for a Tire World tire store and corporate office.

Adjacent Land Use and Zoning

The adjacent zoning to the east is CF, to the west and south is RS-15 (Single Family Residential) and RM (Rutherford County - medium density residential), and to the north is RS-15. Surrounding development is primarily commercial to the east, including the new Toot's restaurant, River Oaks Community Church to the west and south, cluster of duplexes to the west, and vacant and agricultural land to the north.

Tire World PCD:

Tire World, Inc. proposes to develop their corporate headquarters and a Tire World store with tire service on the 2.41 acres. Both buildings will be 1-story and comprised primarily of brick, and metal accents and EIFS as secondary materials. The site plan depicts stubs for future access to the adjacent properties to the west and east. In addition, a Type "D" landscape buffer is depicted along the west and south property lines. The applicant is not requesting any exceptions to zoning standards.

The request for the rezoning is because "Motor Vehicle Service" is not a permitted land use within the CF zoning district. The Planned Development would allow for the proposed motor vehicle service use and ensure the development will be buffered from adjoining residential and church land uses.

Future Land Use Map:

The future land use map of the *Murfreesboro 2035 Comprehensive Plan* indicates that "Auto-Urban (General) Commercial" is the most appropriate land use character for the project area, as shown on the map below. The general characteristics are commercial uses devoted to vehicular access, circulation and parking, and compatible zoning districts recommended are CH and PCD. The zoning requested PCD and vehicular service use are consistent with the Future Land Use designation.



Action Needed:

The applicant will be available at the Planning Commission hearing to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing after which it will need to discuss the matter and formulate a recommendation for the City Council.



Site Data:

Total Land Area:	±2.41 Acres
Total Open Space Required:	±0.48 Acres (20%)
Total Open Space Provided:	±0.93 Acres (39%)
Usable Open Space	±0.73 Acres (31%)
Stormwater (Detention)	±0.20 Acres (8%)

Total Building Floor Area =	14,000 sf (13.3%)
Service/Retail:	11,000 sf (10.4%)
Office Building:	3,000 sf (2.9%)
Parking/Drive Aisle Area	±1.04 Acres (43.2%)

Parking:

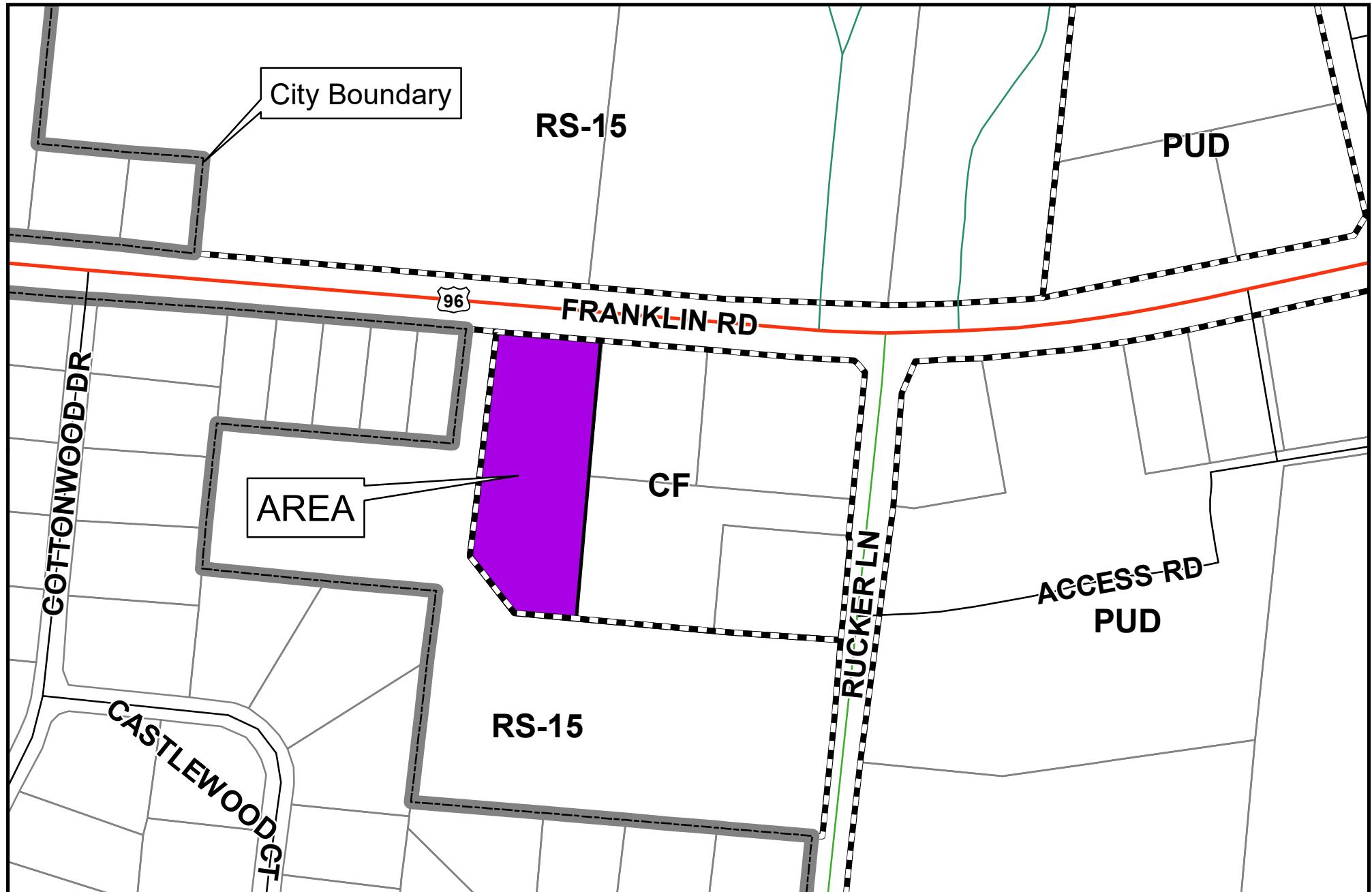
Office Building: (3,000 SF) 1 Space / 300 sf =	10 Spaces
Sales Area: (1,375 SF) 1 Space / 300 sf =	5 Spaces
Service Bays: (16 Stalls) 2 Spaces / Stall =	32 Spaces
Total Parking Required:	47 Spaces
Total Spaces Provided:	74 Spaces (+)



SEC, Inc.

SEC Project #13304

Murfreesboro, Tennessee

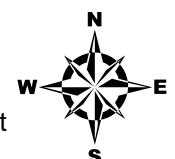


Zoning Request for Property Along Franklin Road CF to PCD (Tire World PCD)

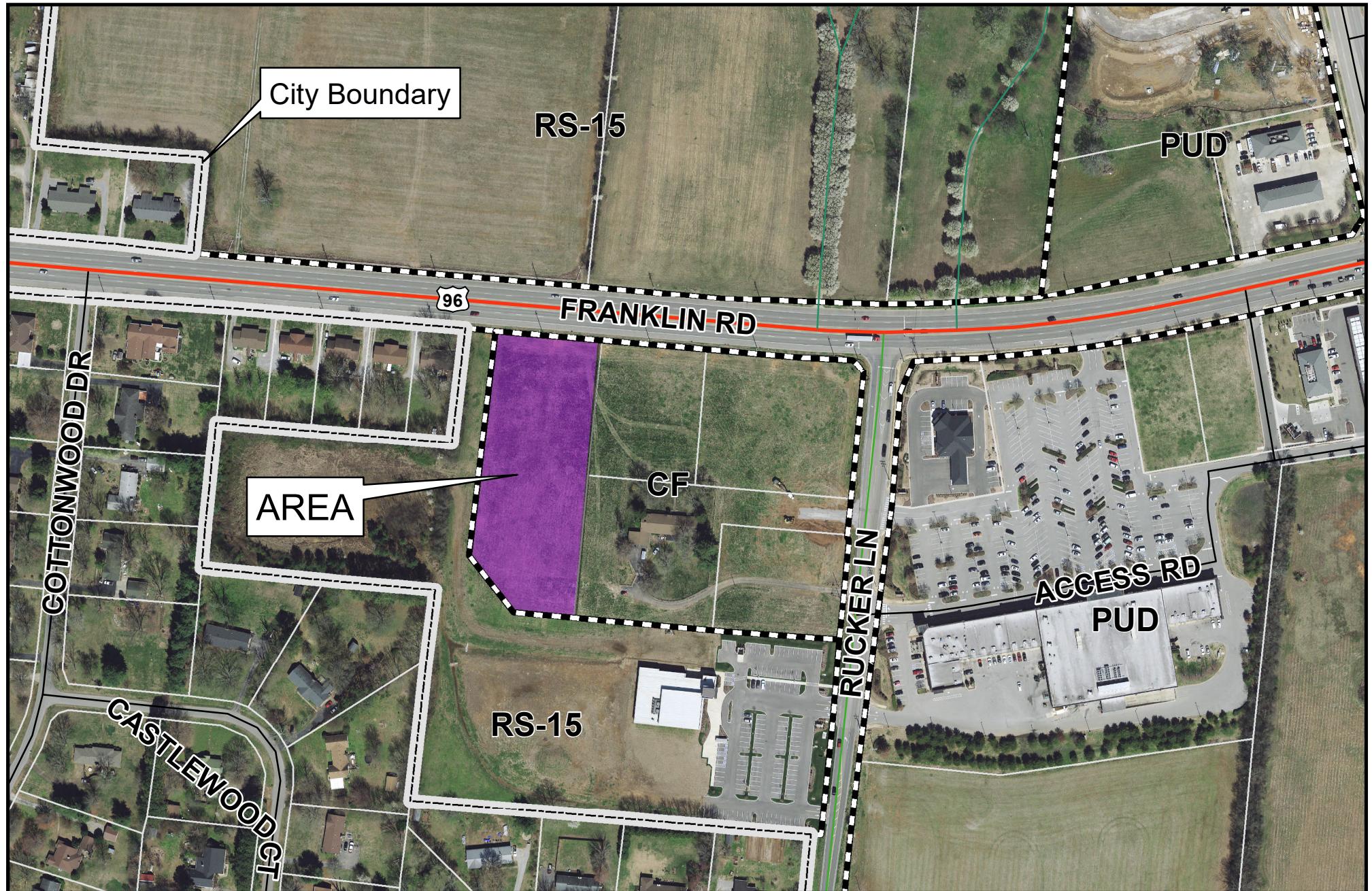


0 250 500 1,000 1,500 Feet

Path: X:\FILE_ROOM_FOLDERS\Rezonings\2019\2019-443_Tire_World\Rezoning Map.mxd



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov



Zoning Request for Property Along Franklin Road CF to PCD (Tire World PCD)



0 250 500 1,000 1,500 Feet



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov



TIRE WORLD

REQUEST FOR REZONING TO PLANNED COMMERCIAL DEVELOPMENT (PCD)
Murfreesboro, Tennessee

Initial Submittal

October 17, 2019

Resubmittal #1

November 13, 2019 for the November 20, 2019
Planning Commission Workshop Meeting

Resubmittal #2

November 22, 2019 for the December 4, 2019
Planning Commission Public Hearing Meeting

SEC, Inc.

SEC Project #13304



SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

Address: 850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

Company Name: Tire World, Inc.
Profession: Applicant
Attn: Randy Lopez
Phone: (615) 396-9039
Email: rlopez@tireworld.us
Web: http://www.tireworld.us/

Address: 1406 N.W. Broad Street
Murfreesboro, Tennessee 37129

Company Name: David L. Human, AIA
Profession: Architect
Attn: David L. Human
Phone: (770) 314-8510
Email: david.human.aia@gmail.com

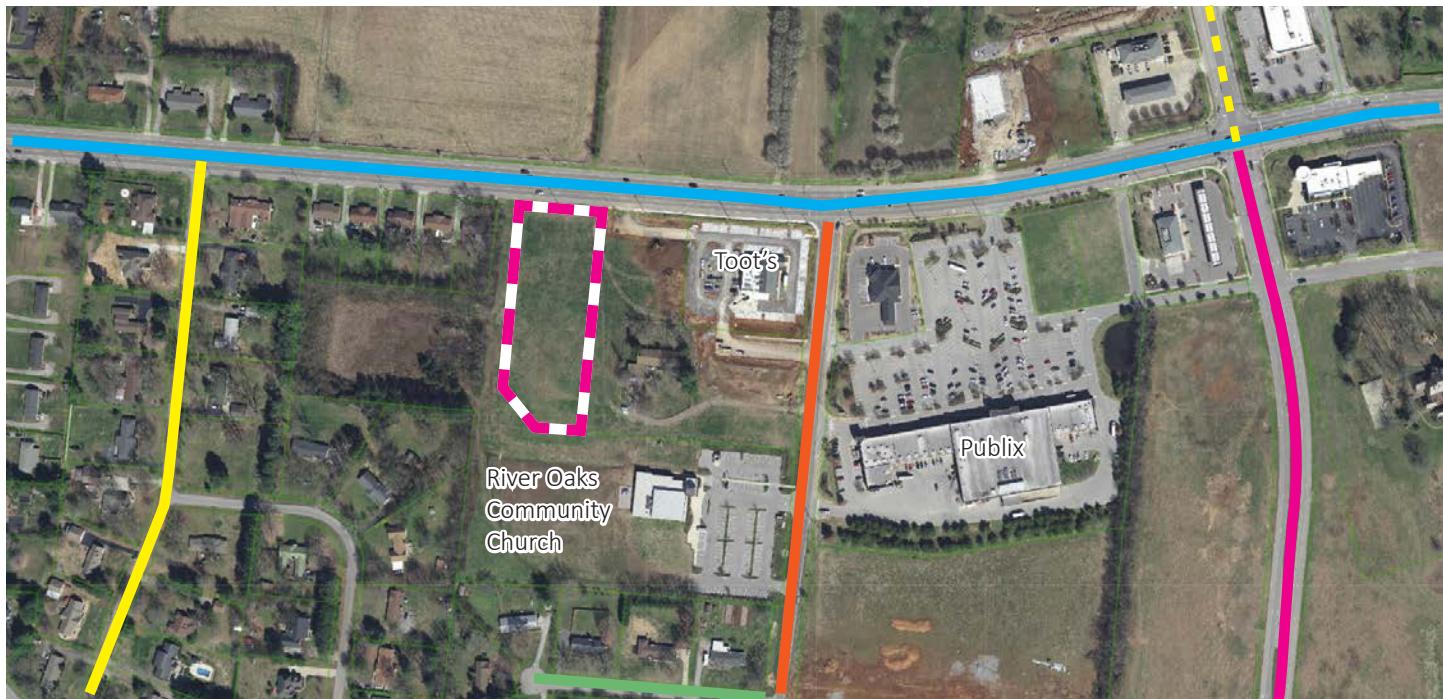
Address: 5401 Pickens Road
Rock Springs, GA 30127



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AERIAL PHOTOGRAPH

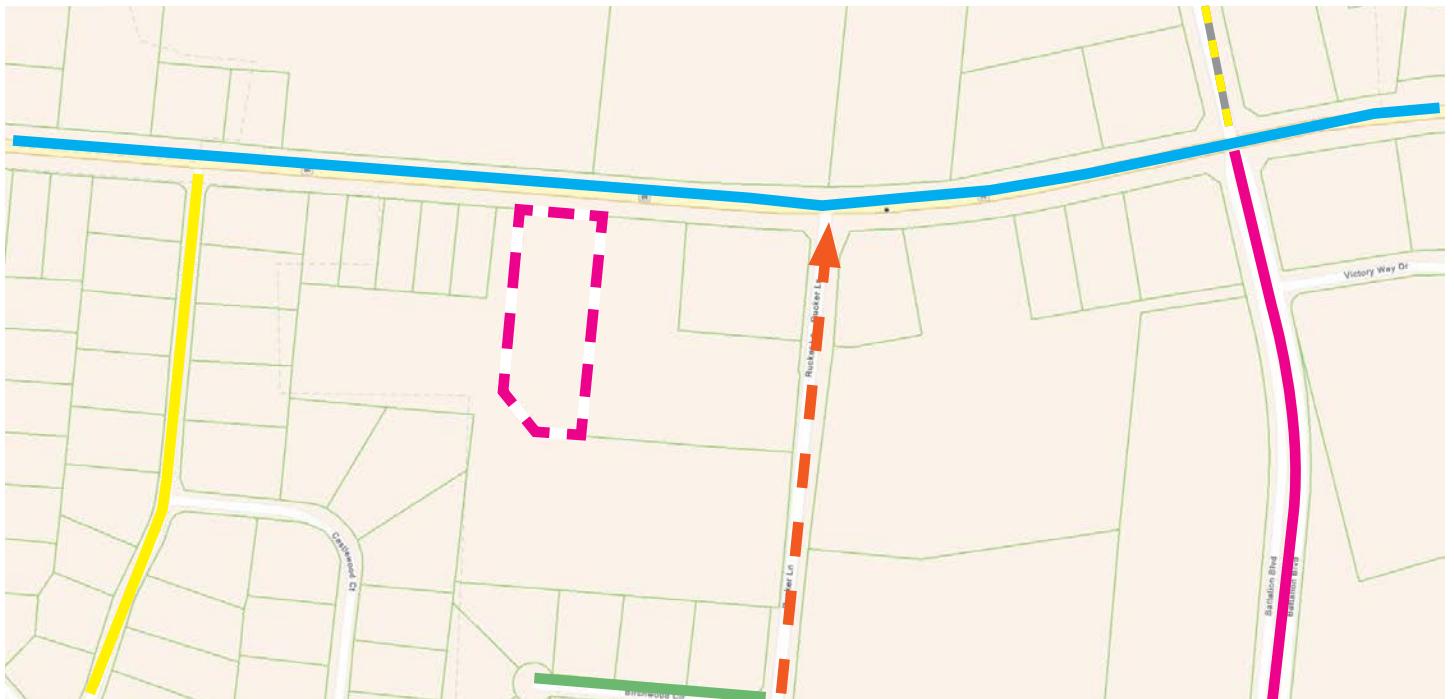
Not To Scale 

 Franklin Road (Highway 96)	 Rucker Lane	 Site
 Cottonwood Drive	 Battalion Boulevard	
 Birchwood Circle	 Fortress Boulevard	

Tire World, Inc. respectfully requests rezoning of a portion of the Anthony Togyre Property located to the west of the intersection of Highway 96 (Franklin Road) and Rucker Lane, from Commercial Fringe (CF) to Planned Commercial District (PCD) to create Tire World Corporate Headquarters. The property is located along the southern side of Franklin Road (S.R. 96), just to the west of Rucker Lane. The site is identified as part of Parcel 68.01 of Tax Map 93, and is approximately 2.41 acres. This request is to rezone the property from CF to PCD.

Since 1983, the locally owned Tire World has been providing Middle Tennessee with the highest quality tires and automotive service. This site will be the fifth location in Rutherford County, and they are excited to be opening this location allowing the company to continue to serve Rutherford County.

The development will consist of two buildings for a new Tire World Corporate Headquarters site on 2.41 acres. The larger building that fronts onto Highway 96 will be the Tire Store, and the second building towards the rear of the site will be its corporate headquarters office building. Both buildings will be 1-story with facades comprised of primarily brick, with EIFS and metal accents. The site is located along the south side of Franklin Road just to the west of the new Toot's Restaurant. The site will have primary access from Franklin Road via a shared access drive created with Toot's, which will cross the frontage of an undeveloped tract of land between the proposed Tire World and Toot's. A possible future access stub on the west side of the site, will connect to the proposed access drive on the River Oaks Community Church property to the west of this site. The entrance will incorporate monument signage at Franklin Road with an optional secondary monument sign at the west access stub once the connection is built. The site will provide several patio areas for customers and employees to enjoy the outdoors, while waiting on their vehicles and taking a break from work. A Type 'D' Buffer shall be installed along the western and southern perimeter of the site, to help mitigate visual impact on adjoining properties.



2040 MAJOR THOROUGHFARE PLAN

Not To Scale 

 Franklin Road (Highway 96)	 Rucker Lane (To be improved to 3-lane)
 Cottonwood Drive	 Battalion Boulevard
 Birchwood Circle	 Fortress Boulevard

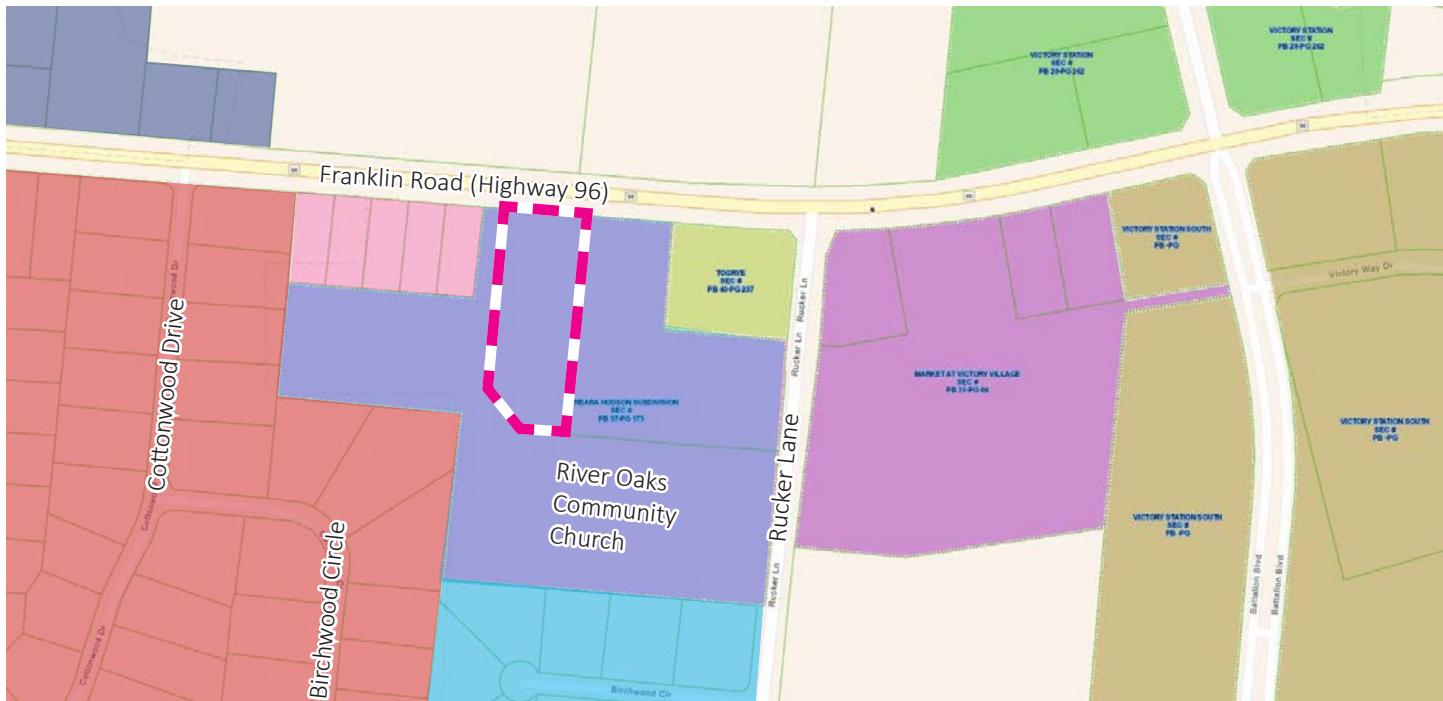


The property has/will have access to the existing public rights-of-way of Franklin Road (S.R. 96) via a shared access drive along Franklin Road. The shared access was installed with the recently opened Toot's restaurant on the southwest corner of Rucker Lane and Franklin Road. This access point will also be utilized by the vacant property between Toot's and this project, while providing an access point to Rucker Lane.

A possible second access point for this project will utilize a shared common access easement on the narrow piece of land owned by River Oaks Community Church that runs along the western side of this site. Although the church has not constructed this access drive, this project is proposing to tie into the future drive for an additional access point back to Franklin Road, once it's constructed.

An additional future access point will be provided when the adjacent parcel of property directly to the east is developed. That property has a shared common access easement that extends to the eastern side of the Tire World property. This access easement, when fully constructed through the adjacent property, will allow for access back to Rucker Lane.

Rucker Lane has been committed in the 2040 Murfreesboro Major Thoroughfare Plan to be improved to a 3-lane road.

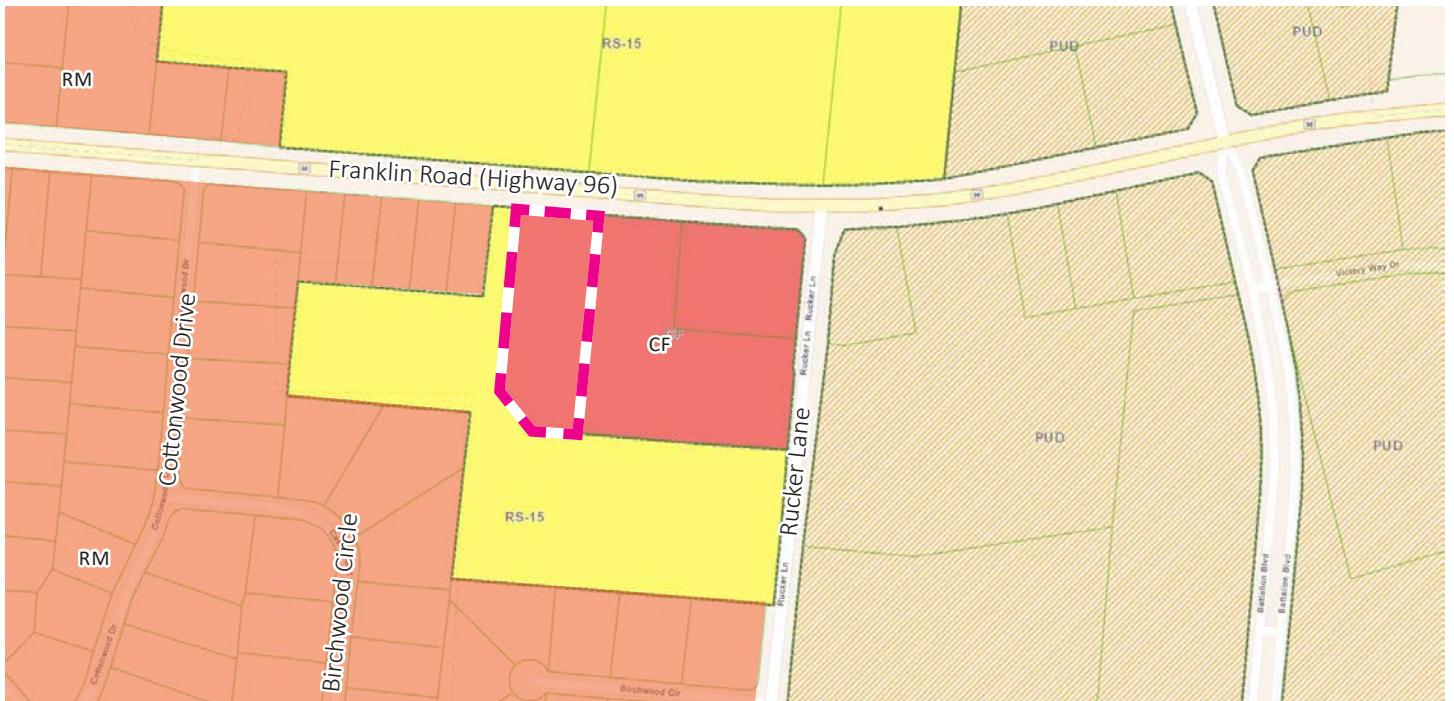


SUBDIVISION MAP

Not To Scale 

 Barbara Hudson Subdivision	 Victory Station South	 Green Meadows
 Togrye	 Victory Station	 H.C. Wilson Jr.
 Market At Victory Village	 Brownview Acres	 Duplexes
 Site		

Tire World PCD is surrounded by a mixture of subdivisions and non-residential commercial properties. Directly to the north across Franklin Road is the Melton Family LLC property consisting of a large agricultural fields, a home, and some barns. Along the west and south boundaries of the development is the River Oaks Community Church. East of the site is an undeveloped lot, while further to the east is the new Toot's restaurant. East, across Rucker Lane, is the Market At Victory Village. This subdivision contains several commercial businesses, with the largest being Publix grocery store. West of the project site, past the access easement that belongs to the River Oaks Community Church, is the Green Meadows subdivision. This county subdivision consists primarily of single story homes with masonry front elevations. There are five duplex lots along Highway 96 between the church property and the Green Meadows subdivision. These duplex lots are located in the county, and are all brick, single-story residences.



ZONING MAP

Not To Scale

- RS-15 Residential Single-Family
- CF Commercial Fringe
- PUD Planned Unit Development
- RM Medium Density Residential- Rutherford County

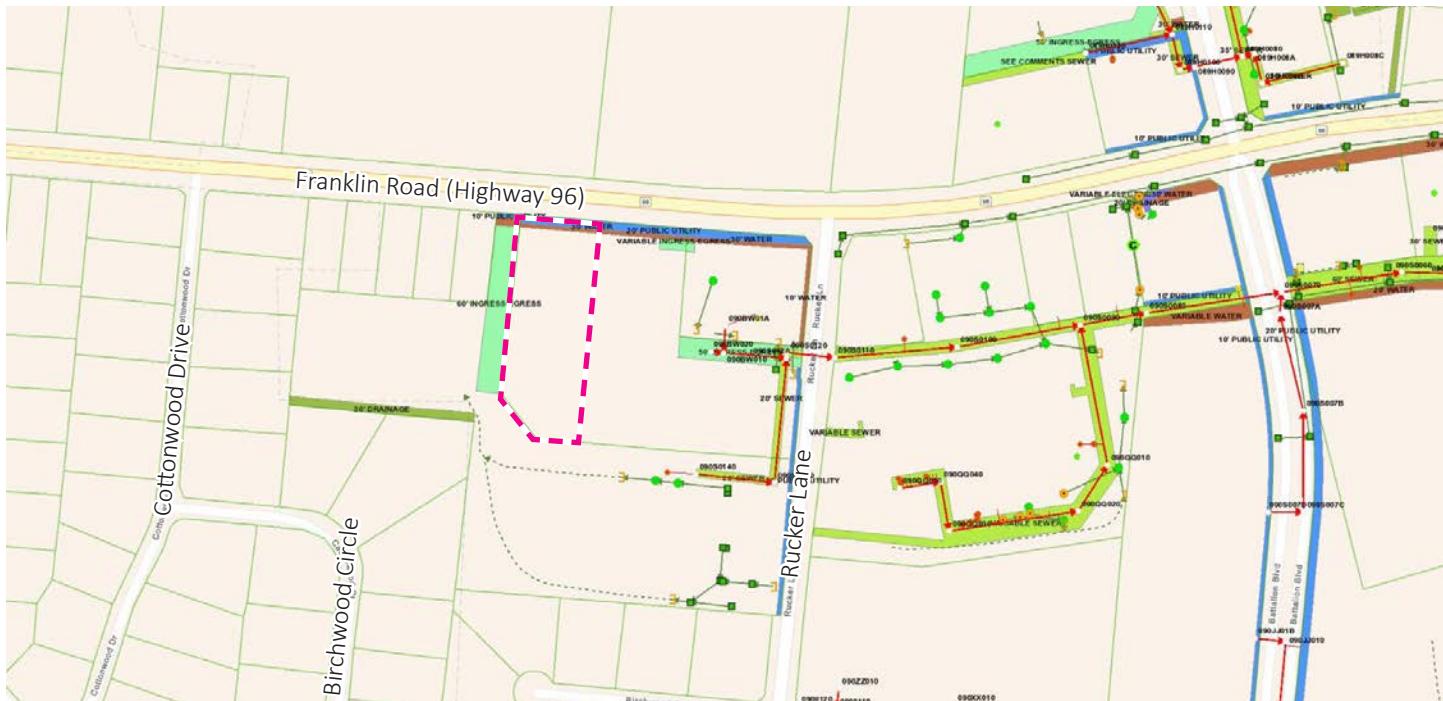


The surrounding area consists of a mixture of zoning types and uses. The land to the east is zoned Commercial Fringe (CF), which is associated with the commercial subdivision this project and Toot's are a part of. The River Oaks Community Church property to the west and south of the site, is zoned Residential Single-Family (RS-15) with a special use permit. The Green Meadows subdivision and duplex lots west of the church property are currently zoned Residential Medium Density (RM) in Rutherford County. The properties to the north of Franklin Road are zoned RS-15, although mainly agricultural in character. East across Rucker lane is the Market at Victory Station PUD, consisting of an assortment of commercial properties.

2035 Land Use Plan

The Land Use Plan classifies this property as Auto-Urban (General) Commercial Character (GC). One of the Development Types outlined in the GC Character Area is automobile service-related enterprises. A major design characteristic of the GC Character Area is that major portions of the site is devoted to vehicular access, circulation and parking. It also outlines that the architecture has less emphasis on building articulation, and having large banks of windows. The proposed PCD matches most of the standards outlined above for the GC Character area, as well as other design elements outlined in the Land Use Plan Guidelines. Overall, the proposed PCD will provide a service to the residents of this area of the city, that is consistent with the 2035 Land Use Plan.





UTILITY MAP

Not To Scale

WATER	PUBLIC UTILITY EASEMENT
SEWER	WATER EASEMENT
STORMWATER	INGRESS-EGRESS EASEMENT
ELECTRIC	DRAINAGE EASEMENT
	Site



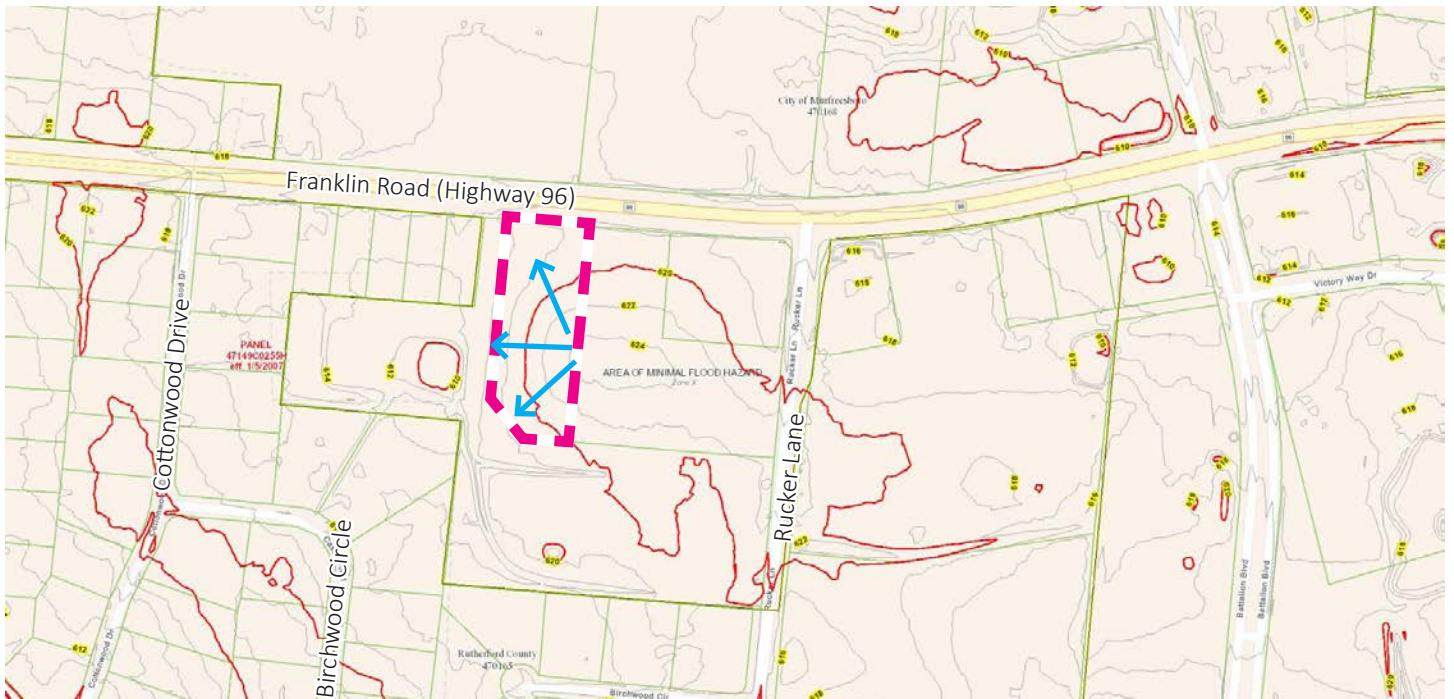
Water service will be provided by the Consolidated Utility District. There is an existing 20 inch water line along the south side of Franklin Road. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resource Department. Sanitary sewer service can connect to an existing 8" gravity sewer line within the shared access easement south of Toot's. The property owner is responsible for extending the sewer to the site.



Electric service will be provided by the Middle Tennessee Electric Membership Corporation. Service will be extended from overhead electric lines along the south side of Franklin Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

WATER FLOW DIRECTION

INTERMEDIATE CONTOURS

INDEX CONTOURS



The topographic map above shows the site's topographic high point generally at middle of the eastern property line. From this high point, the property drains towards the north, south, and west. Stormwater that drains to the north, flows towards Franklin Road. Stormwater that drains to the south and west sheet flows towards the church property. No floodway or floodplain exist on site as per FEMA Flood Panel 47149C0255H eff. 1/5/2007.

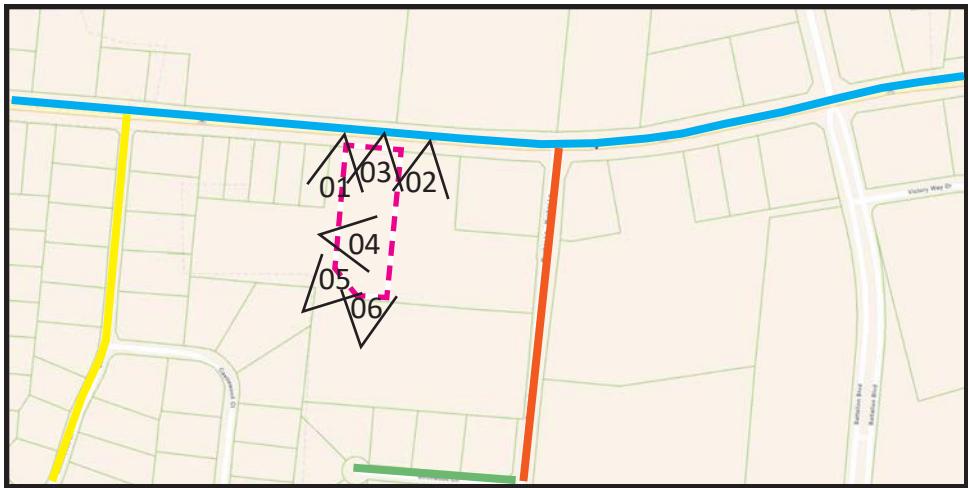
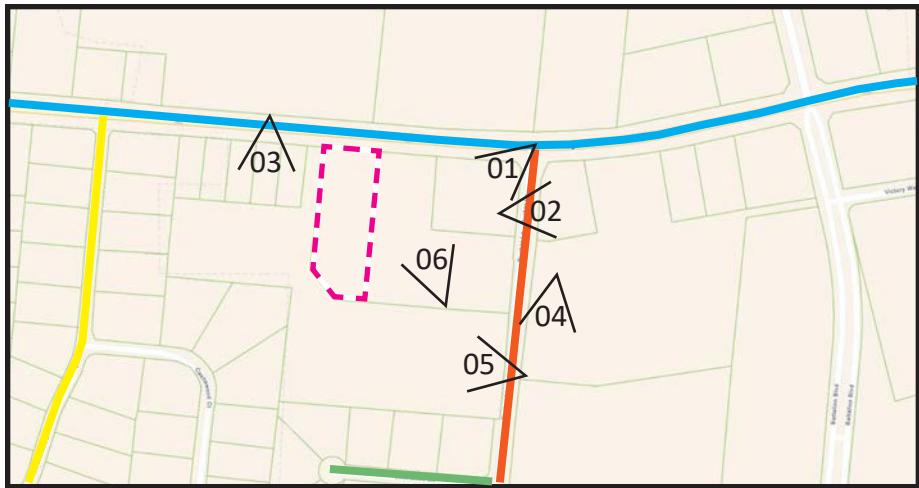


PHOTO DIRECTION MAP

Not To Scale

- Franklin Road (Highway 96)
- Rucker Lane
- Cottonwood Drive
- Birchwood Circle





Franklin Road (Highway 96)

Rucker Lane

Cottonwood Drive

Birchwood Circle

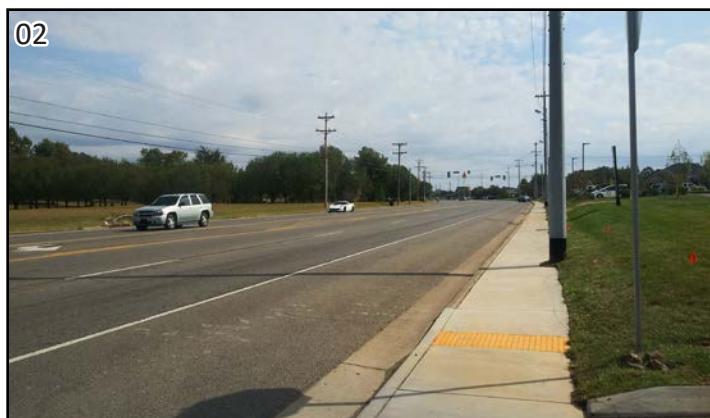
Site



PHOTO DIRECTION MAP

Not To Scale

- Franklin Road (Highway 96)
- Rucker Lane
- Cottonwood Drive
- Birchwood Circle





Site Data:

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Parking/Drive Aisle Area	±1.04 Acres (43.2%)

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Office Building:	
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Sales Area:	
(1,375 SF) 1 Space / 300 sf =	5 Spaces
Service Bays:	
(16 Stalls) 2 Spaces / Stall =	32 Spaces
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SEC, Inc.

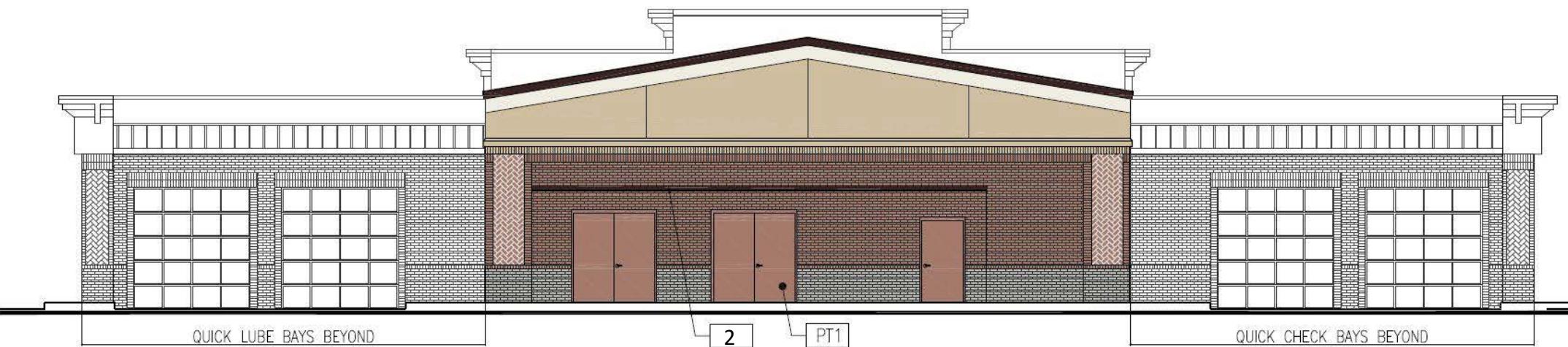
SEC Project #13304

Murfreesboro, Tennessee

Tire Store Building



Exterior Elevation - North (Facing Highway 96)



Exterior Elevation - South (Facing HQ Office Building)

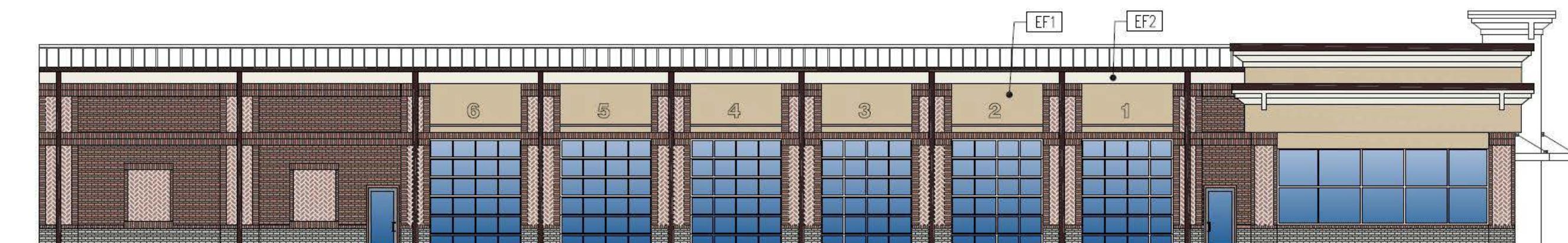
EXTERIOR FINISHES:
 BR1: BORAL BRICK, "INNSBROOK"
 BR2: BORAL BRICK, "SANDY HILL"
 EF1: EIFS COLOR "KEYSTONE GRAY"
 EF2: EIFS COLOR "GRECIAN IVORY"
 PT1: PAINT TO MATCH BR1
 MT1: METAL, PACCLAD "DK BRONZE"
 SF1: STOREFRONT "CLEAR"

KEY NOTES:
 1-GARAGE DOORS FACING FRANKLIN RD
 SHALL HAVE FROSTED GLASS AND REMAIN
 CLOSED EXCEPT WHEN MOVING VEHICLES
 2-LOW ROOF ABOVE USED TIRE AREA

Tire Store Building



Exterior Elevation - West (Facing River Oaks Community Church Future Driveway Connection and Duplexes Along Highway 96)



Exterior Elevation - East (Facing Toot's)

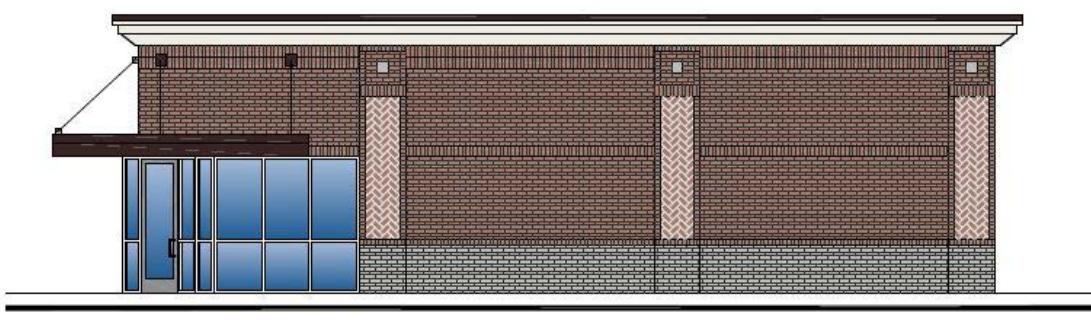
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KEY NOTES:
 1-GARAGE DOORS FACING FRANKLIN RD
 SHALL HAVE FROSTED GLASS AND REMAIN
 CLOSED EXCEPT WHEN MOVING VEHICLES
 2-LOW ROOF ABOVE USED TIRE AREA

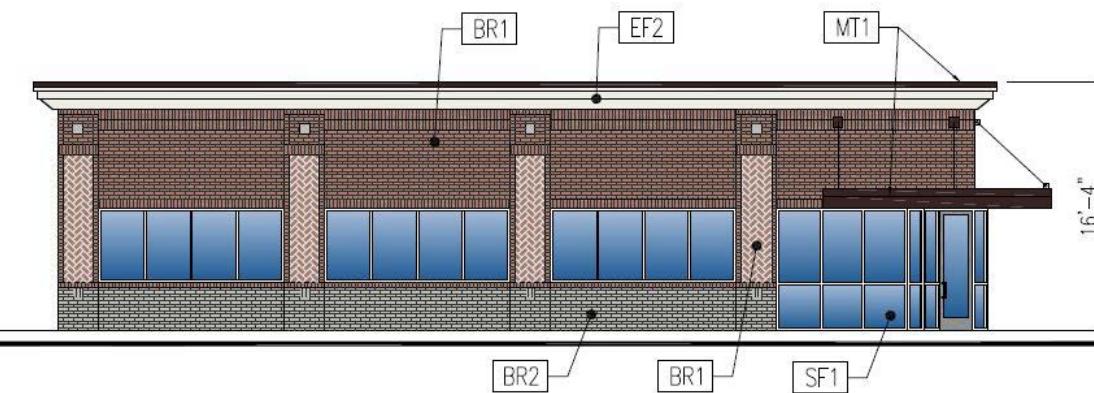
Corporate Headquarters Office Building

EXTERIOR FINISHES:

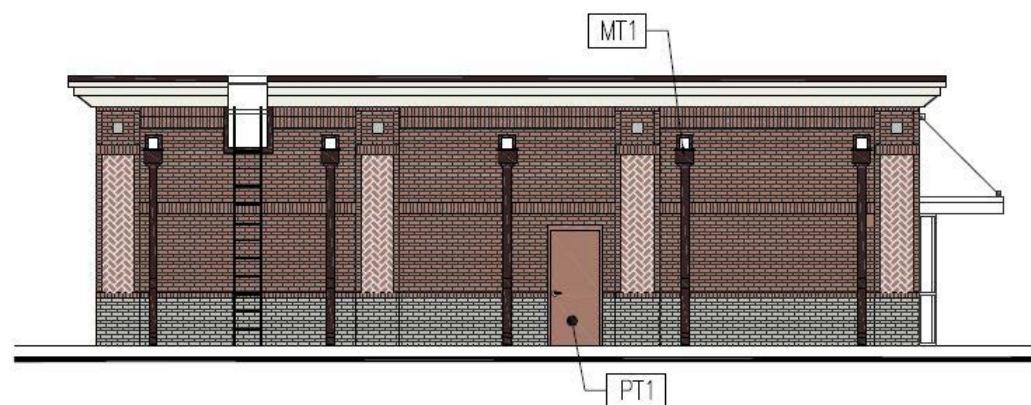
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BR2: BORAL BRICK, "SANDY HILL"
EF1: EIFS COLOR "KEystone GRAY"
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PT1: PAINT TO MATCH BR1
MT1: METAL, PACCLAD "DK BRONZE"
SF1: STOREFRONT "CLEAR"



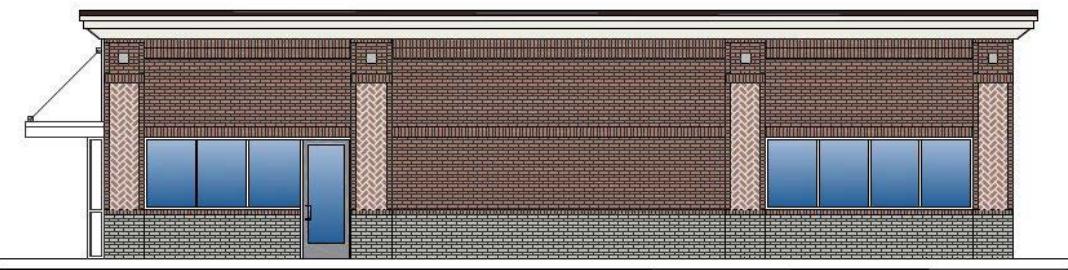
HQ Office Exterior Elevation - North (Facing Tire Store)



HQ Office Exterior Elevation - East (Facing Toot's)



HQ Office Exterior Elevation - South (Facing River Oaks Community Church)



HQ Office Exterior Elevation- West (Facing River Oaks Community Church Future Driveway Connection/Duplexes)

Architectural Characteristics:

The building architecture has been designed to be functional for the intended uses, while maintaining a neighborhood commercial character to blend with surrounding residential, commercial, and public/institutional developments.

Building Standards:

- Building heights shall not exceed 30 feet in height
- Single Story Buildings
- Flat with parapet
- Masonry materials (brick, stone, and cementitious materials) will be the primary building material.
- Architectural materials and colors will be reviewed at the time of a site plan submittal by Murfreesboro planning staff and the Planning Commission.
- Garage doors facing Franklin Road shall have frosted glass and remain closed, except when moving vehicles into and out of the service bays

Building Elevation Materials:

Front Elevations:

Side Elevations:

Rear Elevations:

All Elevations:

All Masonry (Brick, Stone, E.I.F.S)

All Masonry (Brick, Stone, E.I.F.S)

All Masonry (Brick, Stone, E.I.F.S)

Metal Flashing Accents



Example of Brick
(different colors and patterns will be allowed)



Example of the Standing Seam Metal Roof
(different colors and patterns will be allowed)



Example of
E.I.F.S.
(Different colors, textures will be allowed)



Example of the Metal Trim/Wall Accent
(different colors and patterns will be allowed)

Development Standards

Minimum Site Characteristics - Commercial Lot:

- All parking areas shall be located at least 8 feet from the eastern property line, 10 feet from the northern property line along Franklin Road, and 15 feet from the western and southern property line. All parking areas to be screened from public right-of-way by landscaping and/or in combination with berms.
- Any solid waste enclosures will be constructed of materials consistent with building architecture, and be at least 8 feet tall with opaque gates.
- Type 'D' Buffer will be constructed along the western and southern property line.
- Commercial buildings shall have pedestrian connections to Franklin Road.
- Buildings will have a well-defined architectural base by use of different materials, colors and change in pattern or a combination of these techniques.
- Building elevations will have articulation or multiple building planes along street facing elevations.
- Monument signage located at entrances along roadways to have materials consistent with building architecture and accented with landscaping and lighting.
- Monument signage shall have a max height of 8 feet and shall calculate display area as per the Murfreesboro Sign Ordinance.
- All mechanical equipment (i.e. HVAC and transformers) to be screened with landscaping. If mechanical equipment is located on the roof, then they shall be screened from view.
- All on-site utilities will be underground.
- On-site lighting styles will complement the commercial development, and will comply with city lighting standards to prevent light pollution, while accenting buildings and providing safety.
- Parking will comply with Murfreesboro's Zoning Ordinance for uses outlined here on Page 18.
- All buildings on the commercial lot will have consistent materials & architecture to create an overall theme for the development, that blends with the residential development.

Allowable Uses

- Tire Sales
- Tire Installation and Repair
- Quick Lube Oil Change
- Automotive Repair
- Financial Service
- Motor Vehicle Service
- Offices
- Retail Shop, other than enumerated elsewhere
- Vehicle Wash

Minimum Building Setbacks:

Front (Franklin Road):	42 feet
Side(East):	10-feet
Side(West):	25-feet
Rear:	25-feet



Example of Monument Sign



Pursuant to the 2040 City of Murfreesboro's Major Thoroughfare Plan (MTP), Rucker Lane is the only road slated for improvements. Currently built at as a 2-lane roadway, Rucker Lane is committed to be improved to a 3-lane roadway. Franklin Road is a 5-lane major arterial roadway that will be impacted the most by this development.

As stated above, the primary means of ingress/egress from this site will be onto Franklin Road. The entrance is proposed to utilize an existing shared drive that connects to Franklin Road. Currently this drive is shared with Toot's and would give the site access to Rucker Lane via interconnectivity through Toot's Property. The development has included a potential secondary means of ingress/egress from the development via a future connection to the River Oak Community Church driveway. An additional future driveway connection will give this site a third access point via a shared common driveway through the undeveloped property to the east of the this site. This future driveway will allow for connection back to Rucker Lane.

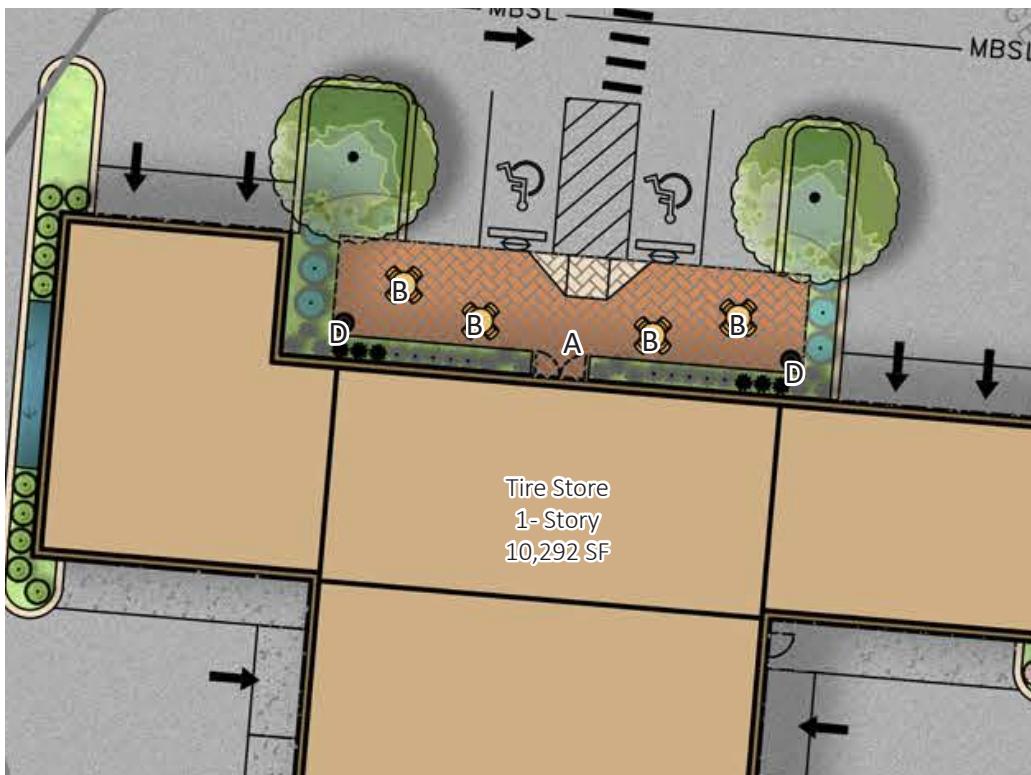




With this request, Tire World will be dedicating over 0.90 acres (over 30% of the site) to open space. The open space areas will be comprised of detention areas, landscaped planting areas, and seating areas. The seating areas are throughout the site in the form of plazas or patios. A patio is located at the main entrance and will be accessible to the public. The southern side of the tire store shall include an employee patio area. The employee patio will be furnished with tables & chairs with umbrellas, smoking receptacles, and trash cans. A large seating area is located around the office building. This space, and the seating areas at the entrance of the tire store, will provide upgraded hardscape materials in the form of pavers and/or stamped concrete, tables & chairs with umbrellas, benches, smoking receptacles, and trash cans. The Franklin Road entrance area will incorporate masonry signage and will be anchored with landscaping.

Formal Open Space area(s) will comply with the current standards for formal open spaces as outlined in the Murfreesboro Design Guidelines.

-  Open Space (39%)
-  Formal Open Space (4%)



Tire Story Customer Entrance Plaza

A Pavers and/or Stamped Concrete

B Table and Chairs w/ Umbrella

C Benches

D Trash Cans/ Smoking Receptacle

The formal open space located to the north of the Tire World building will provide a plaza for customers waiting for their vehicles. The patio area will include covered, permanent seating.



A Pavers and/or Colored Concrete

B Table and Chairs w/ Umbrella

C Benches

D Trash Cans/ Smoking Receptacle

The formal open space located to the south east of the Tire World building will be a smaller, more intimate patio space with permanent seating enclosed by evergreen plant materials.



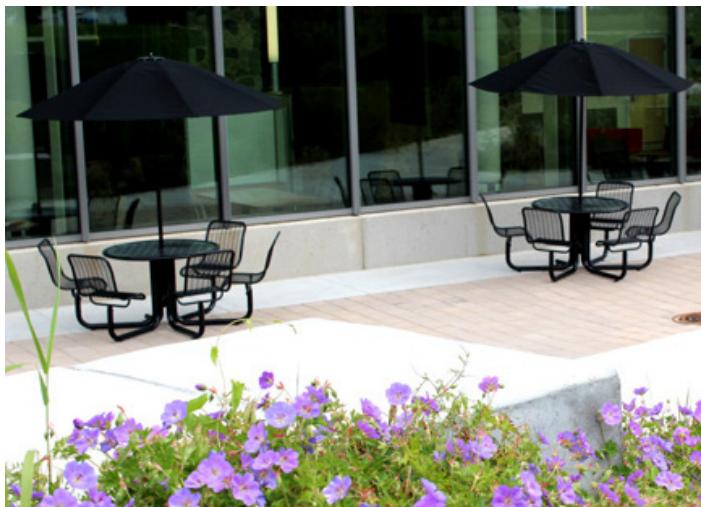
A Pavers and/or Colored Concrete

B Table and Chairs w/ Umbrella

C Benches

D Trash Cans/ Smoking Receptacle

The formal open space located to the north and east of the office building will incorporate multiple seating areas. The majority of these seating areas are enhanced with planting materials to provide a more aesthetic appeal while the remainder of the seating has been simplified to provide a varied and alternating sense of place.



Example of Table and Chairs with Umbrella



Example of Seating Bench



Example of Pavers



Example of Colored Concrete



Example of Smoking Receptacle/ Trash Can



Type 'D' Landscape Buffer



not to scale

LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES



(A)



(B)

- (A) *Ulmus parvifolia 'Emer II' / 'Emer II' Alle Elm*
- (B) *Zelkova serrata 'Green Vase' / Sawleaf Zelkova*
- (C) *Buxus x 'Green Mountain' / Boxwood*
- (D) *Prunus laurocerasus 'Otto Luyken' / Luykens Laurel*
- (E) *Lagerstroemia indica 'GAMAD VII' / Berry Dazzle Crape Myrtle*
- (F) *Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass*
- (G) *Liriope spicata 'Silver Dragon' / Creeping Lily Turf*
- (H) *Setcreasea pallida 'Purple Heart' / Purple Heart Setcreasea*
- (I) *Iberis sempervirens 'Little Gem' / Little Gem Candytuft*
- (J) *Liriope muscari 'Variegata' / Variegated Lily Turf*
- (K) *Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia*
- (L) *Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae*
- (M) *Cryptomeria Japonica 'Radians' / Japanese Cedar*
- (N) *Viburnum x pragense/ Prague Viburnum*
- (O) *Prunus laurocerasus 'Schipkaensis' / Schipka Laurel*

LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES



(C)



(D)



(E)



(F)



(G)



(H)



(I)



(J)

LANDSCAPE BUFFER: EVERGREEN TREES



LANDSCAPE BUFFER: EVERGREEN SHRUBS



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the employees and patrons, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Landscaping Characteristics:

- All parking areas shall be located at least 8 feet from the eastern property line, 10 feet from the northern property line along Franklin Road, and 15 feet from the western and southern property line. All parking areas to be screened from public right-of-way by landscaping and/or in combination with berms.
- The western and southern boundaries of the development shall incorporate a 15 foot wide Type 'D' Landscape Buffer, which is planted consisting of a double staggered row of evergreen trees planted 8 feet on center to provide screening for the adjacent properties and their residents. Evergreen trees will be a minimum of 6 feet tall at the time of planting. In addition to the evergreen trees, single row of evergreen shrubs will fill in the gaps between the evergreen trees during the first few years of the buffer till the trees mature and fill in the buffer. The evergreen shrubs will be a minimum 3 feet tall at the time of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The fronts and sides at the base of buildings will have at least 3 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- Detention ponds shall be screened from R.O.W. and adjacent lots only.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4-8 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 6 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 16-17 lists standards and exhibits showing the concept plan which shows each of these items.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 13-15 lists standards and exhibits showing the concept plan which shows each of these items.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of Rezoning approval.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CF. The surrounding properties have a mixture of residential, commercial, and public/institutional uses. The concept plan and development standards combined with the architectural requirements of the building shown within this booklet, complement the type of developments in the surrounding area and is envisioned to complete the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

SETBACKS	CF	PCD	DIFFERENCE
Front Setback	42.0'	42.0'	0.0'
Side Setback (East)	10.0'	10.0'	0.0'
Side Setback (West)	25.0'	25.0'	0.0'
Rear Setback	25.0'	25.0'	0.0'
Maximum Building Height	45.0'	30.0'	-15.0'

Response: The applicant is requesting the following exceptions within this PCD.

9.) a tabulation setting forth: (aa) maximum total square feet of building floor area proposed for commercial uses and for industrial uses, by general type of use; (bb) maximum total land area, expressed in acres and as a percent of the total development area, proposed to be devoted to commercial and/or industrial uses; minimum public and private open space; streets and offstreet parking and loading areas; and, (cc) a tabulation of the maximum floor area to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio).

Response: This requirement has been addressed in the chart below. Site percentages can be found on page 13.

TOTAL SITE AREA	105,069 s.f.
TOTAL MAXIMUM FLOOR AREA	14,000 s.f.
TOTAL LOT AREA	105,069 s.f.
TOTAL BUILDING COVERAGE	14,000 s.f.
TOTAL COMMERCIAL AREA	11,000 s.f.
TOTAL OFFICE AREA	3,000 s.f.
TOTAL DRIVE/ PARKING AREA	47,059 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	58,010 s.f.
TOTAL OPEN SPACE	41,751 s.f.
FLOOR AREA RATIO (F.A.R.)	0.13

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this site is within the 100-year floodplain, according to the current FEMA Map Panel 47149C0255H Eff. Date 01/05/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 18 discusses the Major Thoroughfare Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Rob Molchan of SEC, Inc. The developer/ applicant is Tire World, Inc. Contact info for both is provided on Page 2.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 14-16 show the architectural character of the proposed buildings and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 2, 2019
PROJECT PLANNER: AMELIA KERR**

3.c. Zoning application [2019-439] for approximately 0.3 acres located along East Vine Street and Kerr Avenue to be rezoned from RS-8 to RS-4, Will Crunk applicant.

The subject property is located at 712 East Vine Street, at the southwest corner of East Vine Street and Kerr Avenue. The property, which totals 0.3-acres, is developed with a duplex and is zoned RS-8 (Single-Family Residential District 8). The applicant has requested rezoning to RS-4 (Single-Family Residential District 4) for the subject property. The RS-4 zone permits single-family residential lots of four thousand (4,000) square-feet in area in the existing older parts of the City. The applicant intends to subdivide the subject property into three (3) single-family lots. The minimum lot requirements in the RS-4 zone dictate that each lot consist of at least 4,000 square feet with a minimum 40-foot lot width and a maximum of 40% lot coverage. It should be noted that revised City Core Overlay (CCO) District regulations are currently pending before the City Council, and if approved as proposed, will impact certain bulk requirements such as lot coverage and building setbacks.

Adjacent Zoning and Land Uses

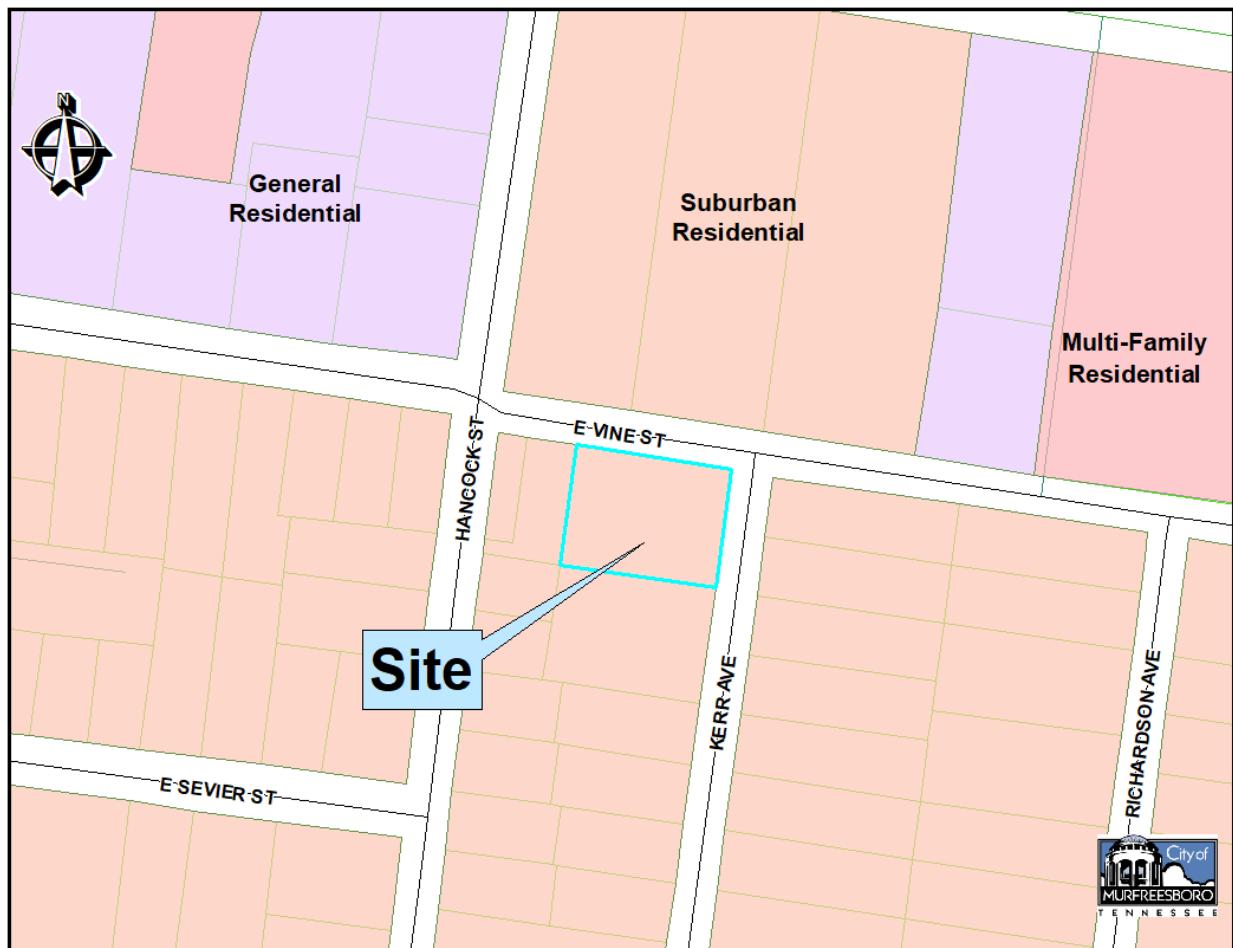
This property is located one block south of East Main Street and adjacent properties across the street to the north of the subject property are zoned Residential Single-Family-15 (RS-15). Across the street on Kerr Avenue to the east of the subject property, properties are zoned RS-8, while the parcels adjacent to the subject property to the south and west are zoned RS-4. Further to the east at the corner of East Vine Street and Hancock Street there are three (3) parcels zoned Commercial Local (CL) District. This property is also located within the CCO which allows some limited commercial uses in the RS-4 zone by right or with a special use permit. Revised CCO regulations, which would eliminate the allowance of these commercial uses, however, are pending before the City Council.

Future Land Use Map

The future land use map contained in the Murfreesboro 2035 Comprehensive Plan, which was adopted in July 2017, recommends that the subject property develop with a *Suburban Residential* land use character. This classification intends to

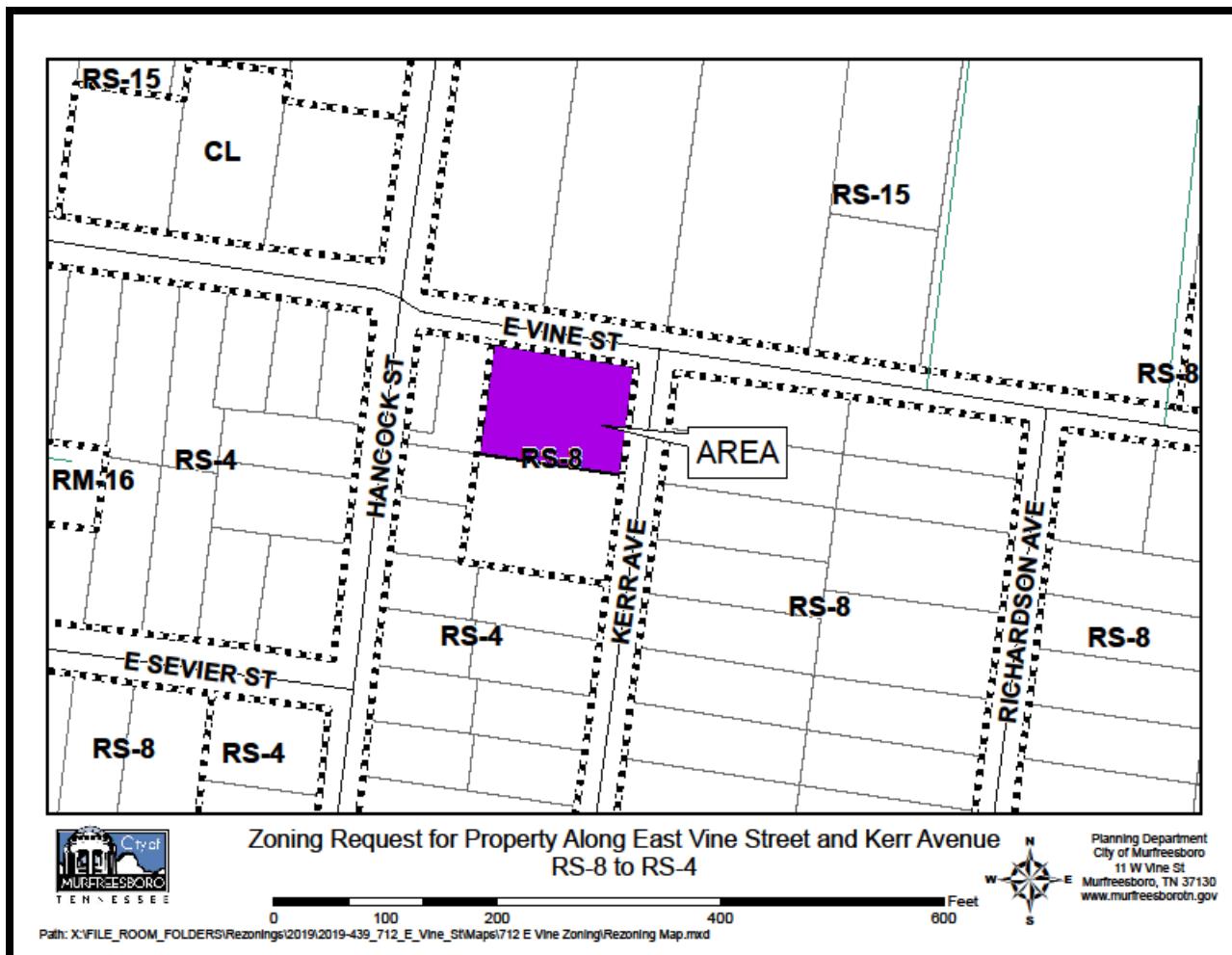
serve a transition from urban to rural residential development and is predominantly located along the periphery of the City. The comprehensive plan calls out RS-15, RS-12, and RS-10 as existing zoning districts that are compatible with this designation. 2.0-3.54 dwelling units per acre is the recommended density.

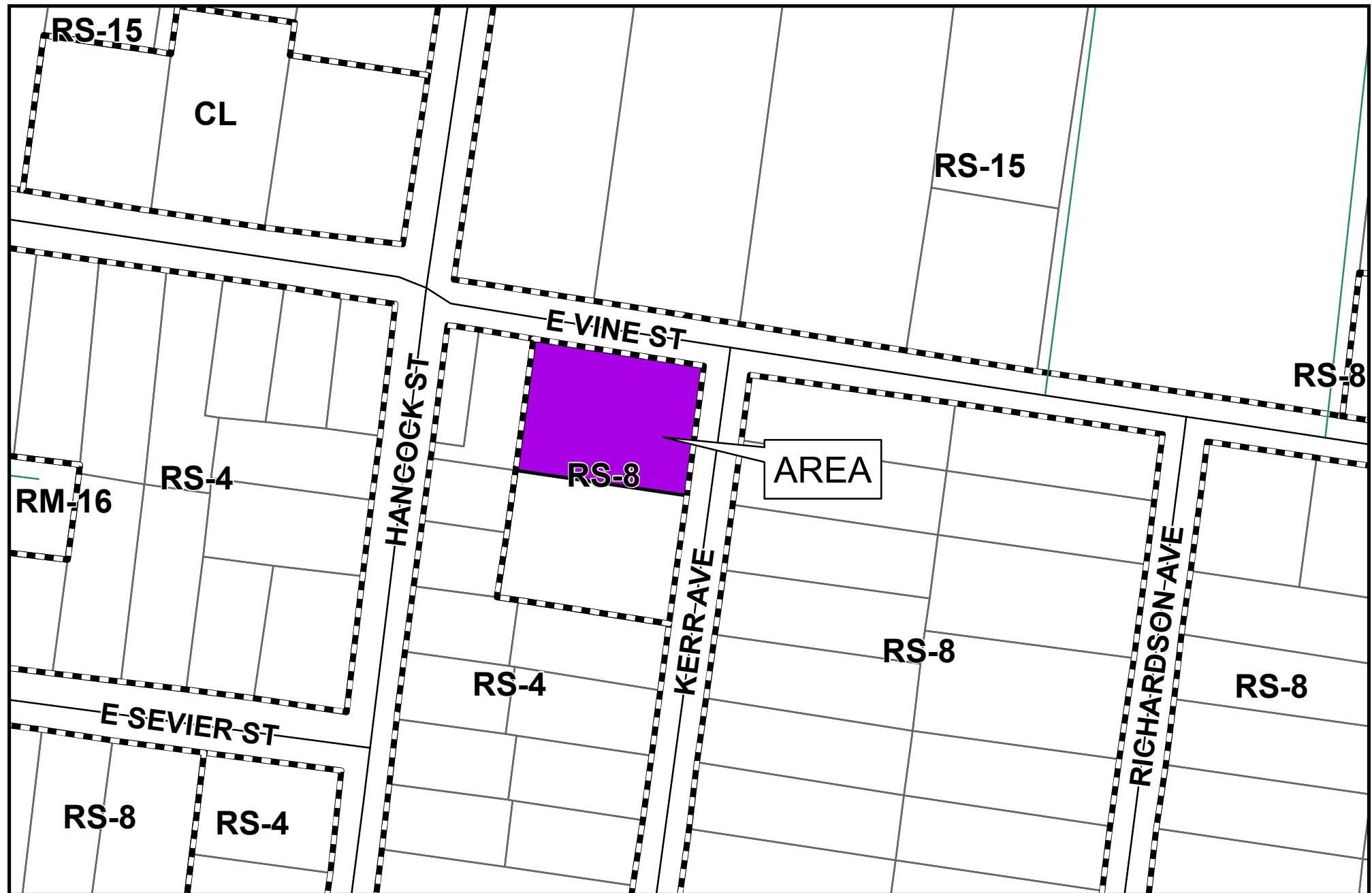
Neither the existing RS-8 or the proposed RS-4 zones are counted among the compatible existing zoning districts. The single-family residential detached dwellings that would be enabled by the RS-4 zone are consistent with the types of uses recommended in the *Suburban Residential* land use character. However, the RS-4 zone will enable a greater density than recommended by the comprehensive plan. The applicant proposes to subdivide the property to create three (3) single-family lots, which would be a density of ten (10) dwelling units per acre. Much of what is already developed in the vicinity of the subject parcel is already inconsistent with the *Suburban Residential* land use character with respect to density. The Planning Commission will need to consider whether the recommended land use character is fitting for this property and the surrounding area and whether this is an appropriate instance to deviate from the future land use map.



Action Needed:

The Planning Commission will need to conduct a public hearing and discuss this zoning request and then formulate a recommendation to City Council.

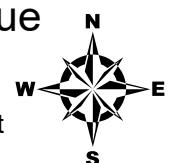




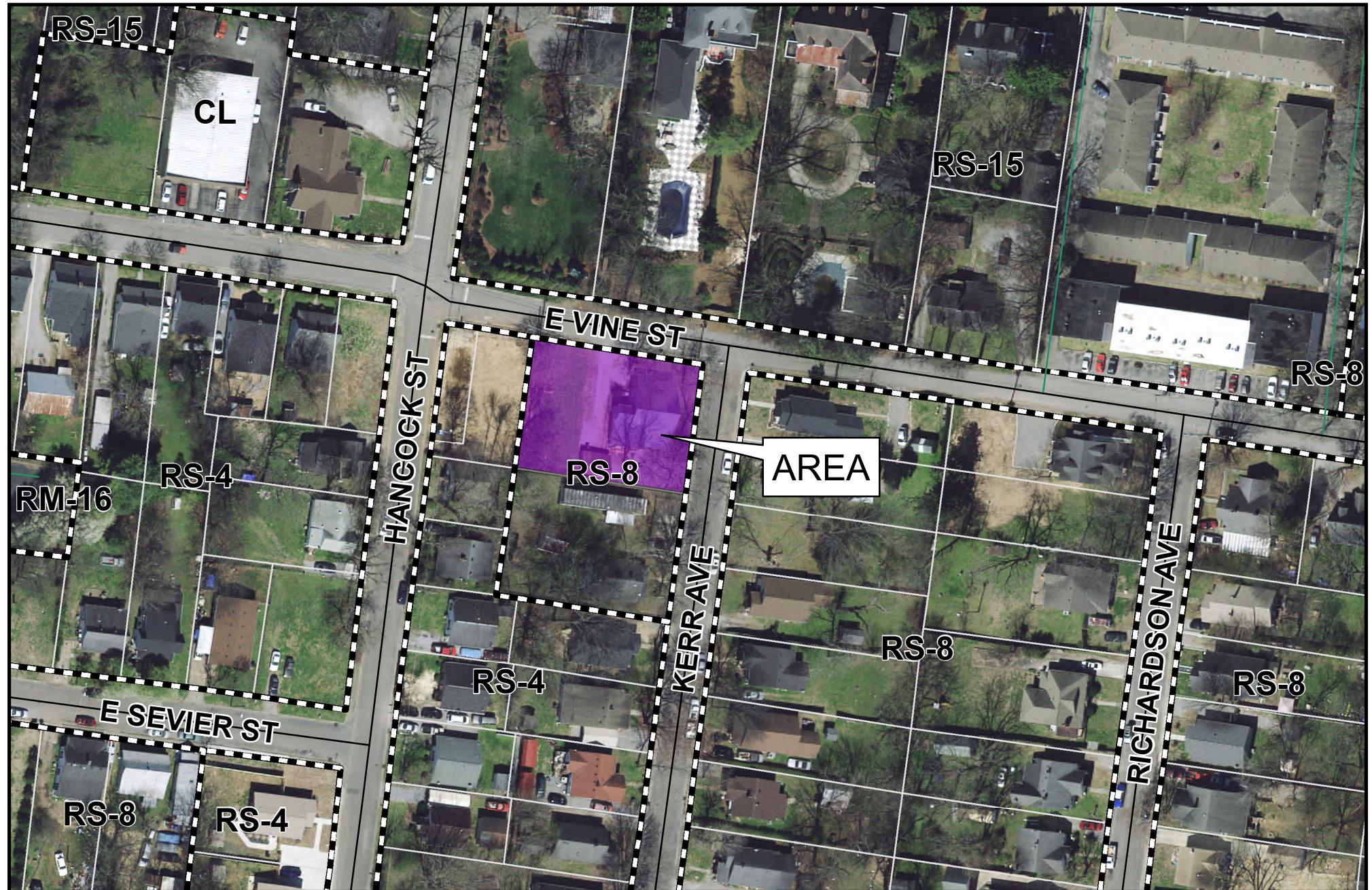
Zoning Request for Property Along East Vine Street and Kerr Avenue
RS-8 to RS-4



0 100 200 300 400 500 600 Feet



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov



Zoning Request for Property Along East Vine Street and Kerr Avenue
RS-8 to RS-4



0 100 200 300 400 500 600 Feet

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W E S
Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
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Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Will Crunk

Address: 7112 Crossroads Blvd City/State/Zip: Brentwood, TN, 37027

Phone: 615-873-1795 E-mail address: will@crunkeng.com

PROPERTY OWNER: Dogwood Properties LLC

Street Address or property description: 712 E Vine St, Murfreesboro, TN 37130

and/or Tax map #: _____ Group: _____ Parcel (s): 091M-H-003.00-000

Existing zoning classification: RS-8

Proposed zoning classification: RS-4 Acreage: 0.30 Ac

Contact name & phone number for publication and notifications to the public (if different from the applicant):

E-mail: _____

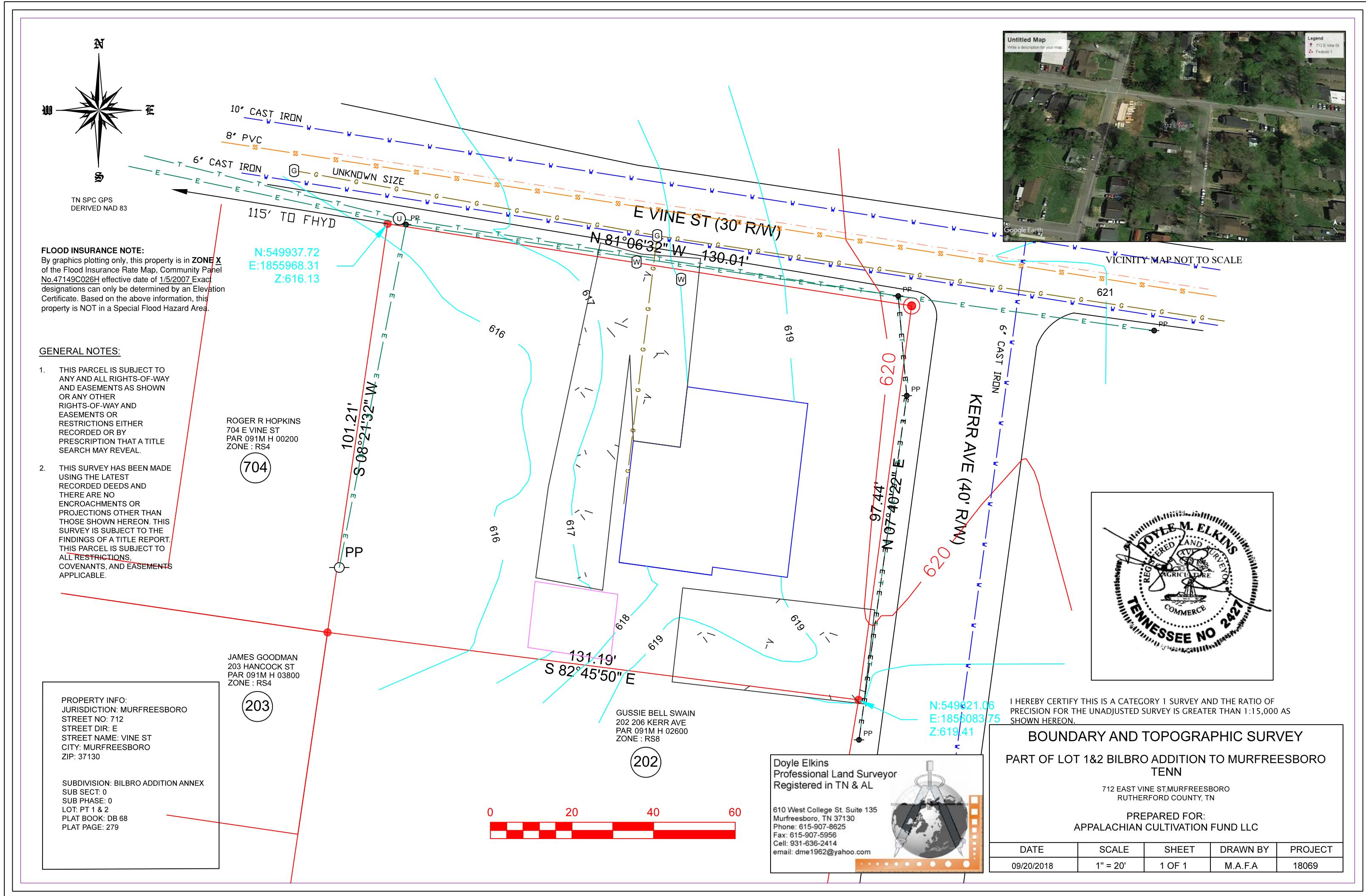
APPLICANT'S SIGNATURE (required): Will W. Crunk

DATE: 10-17-2019

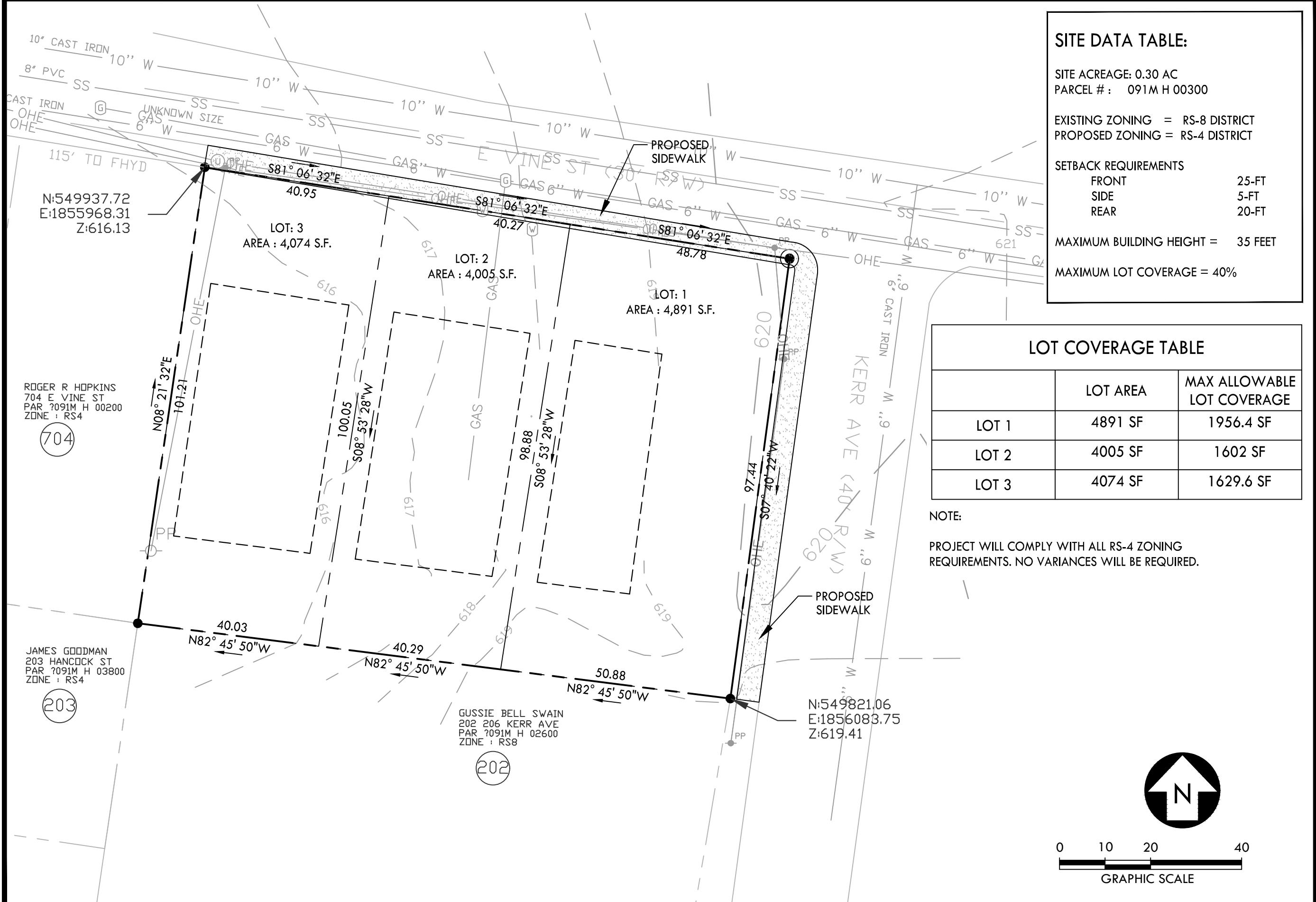
*****For Office Use Only*****

Date received: _____ **MPC YR.:** _____ **MPC #:** _____

Amount paid: _____ **Receipt #:** _____



Drawing Path: P:\Projects\2019\19051 - 712 E Vine St\DWG\Construction\xref\spbase.dwg



712 E VINE STREET

MURFREESBORO, TENNESSEE

CRUNK ENGINEERING LLC
1894 GENERAL GEORGE PATTON DRIVE
SUITE 600
FRANKLIN, TN 37067
(615) 873-1795
WWW.CRUNKENGEN.COM



C1.0

CONCEPT PLAN

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 4, 2019
PROJECT PLANNER: AMELIA KERR**

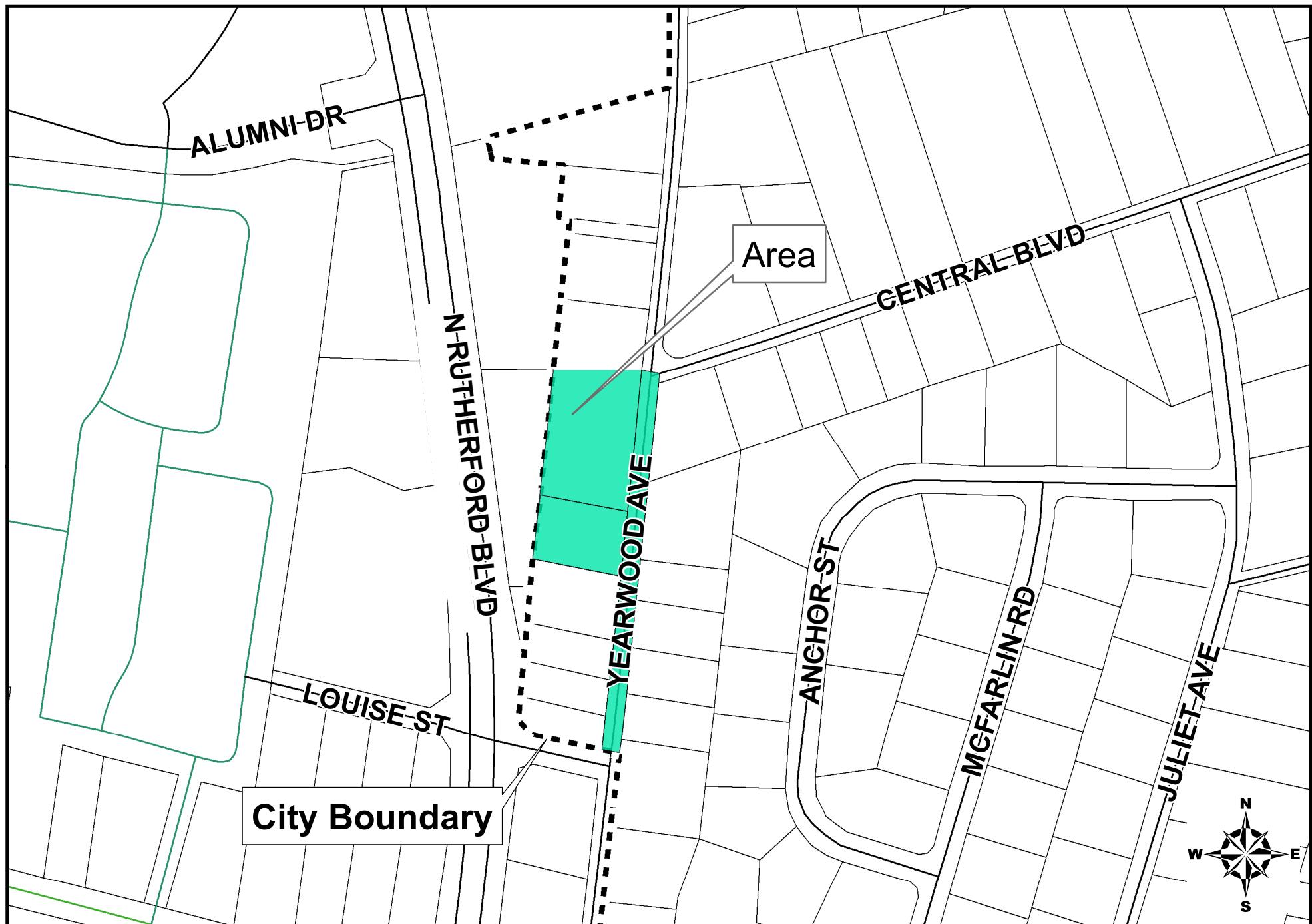
3.d. Annexation plan of services and annexation petition [2019-515] for approximately 1.6 acres located along Yearwood Avenue, Greenland Partners, LLC applicant.

The subject property is located on the west side of Yearwood Avenue north of East Main Street and Louise Street. The study area consists of approximately 1.6 acres, including one entire parcel (213 Yearwood Avenue) and a portion of another (219 Yearwood Avenue). The eastern portion of the parcel at 219 Yearwood Avenue is within the unincorporated county, while the western portion of the parcel is within the City limits. Each parcel is developed with a single-family dwelling. The property owner has filed a written petition to have the remainder of the property at 219 Yearwood Avenue and the entire parcel at 213 Yearwood Avenue annexed into the City Limits. The study area is located within the City's Urban Growth Boundary and is contiguous with the existing City limits on its north and west boundaries. In addition to the two parcels, which total 1.15 acres, approximately 0.45 acres (650 linear feet) of Yearwood Avenue right-of-way (ROW) is included in the study area.

Staff has prepared a plan of services for the annexation of the property. It has been included in the agenda packet. It indicates that the City will be able to provide services to the subject property upon annexation. Upon annexation, the City would become responsible for operation and maintenance of the segment of Yearwood Avenue included in the study area. In addition, the Murfreesboro Water Resources Department states that the developer would be responsible for extending public gravity sewer from Louise Street north along Yearwood Drive to the subject property and he/she would assume all financial responsibility for all main line extensions. Additionally, the proposed development is within an area that currently has very limited sewer capacity and only low sewer users will be allowed to fill the tenant spaces.

Action Needed

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this annexation petition and plan of services and then formulate a recommendation for the City Council. An application to have the property zoned PCD simultaneous with the annexation has also been filed. The zoning request will be the next item on the agenda.



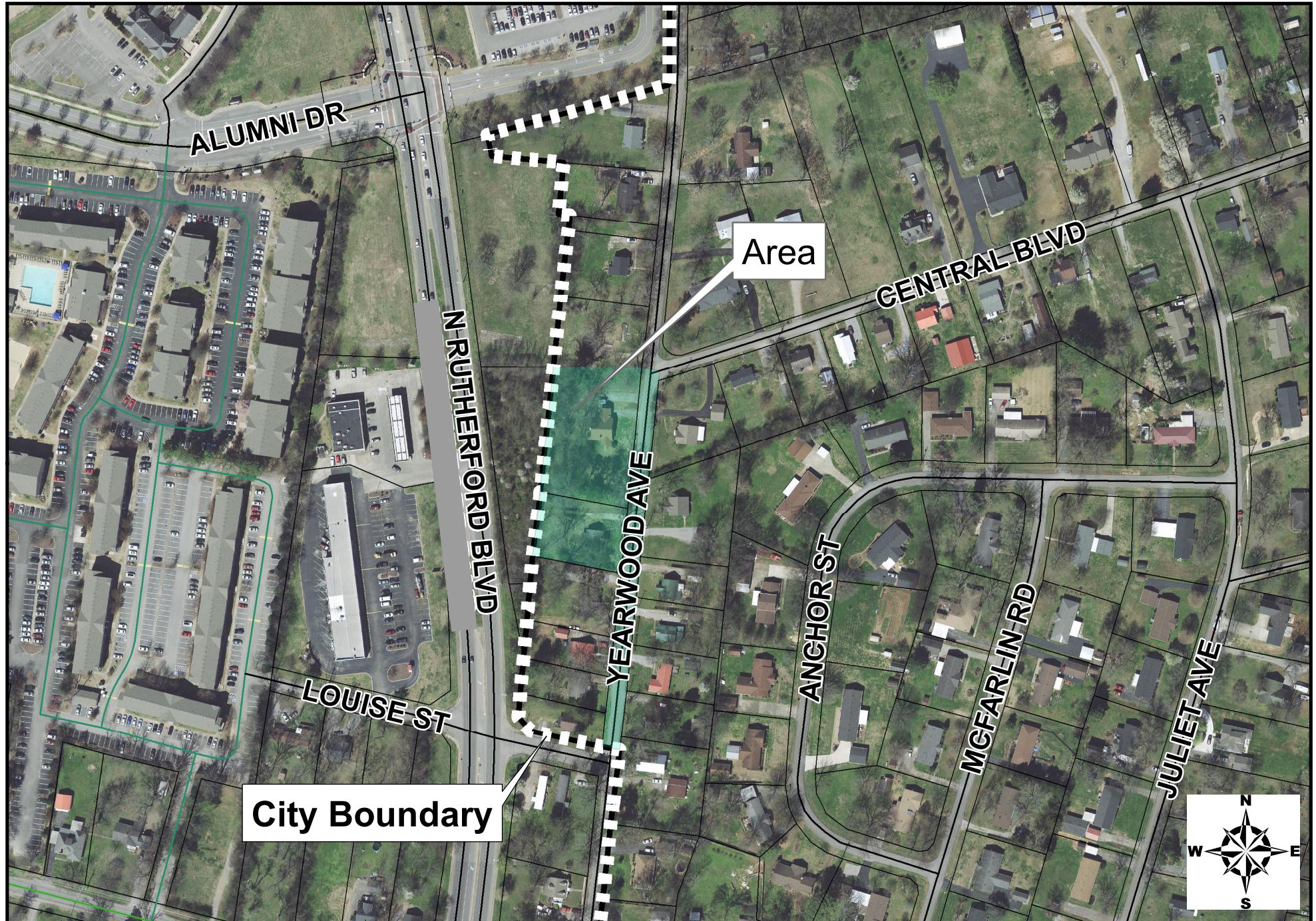
City Boundary

Annexation Request for Property Along Yearwood Avenue

0 50 100 200 300 400 500
Feet



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



City Boundary

Area

0 50 100 200 300 400 500
Feet

Annexation Request for Property Along Yearwood Avenue

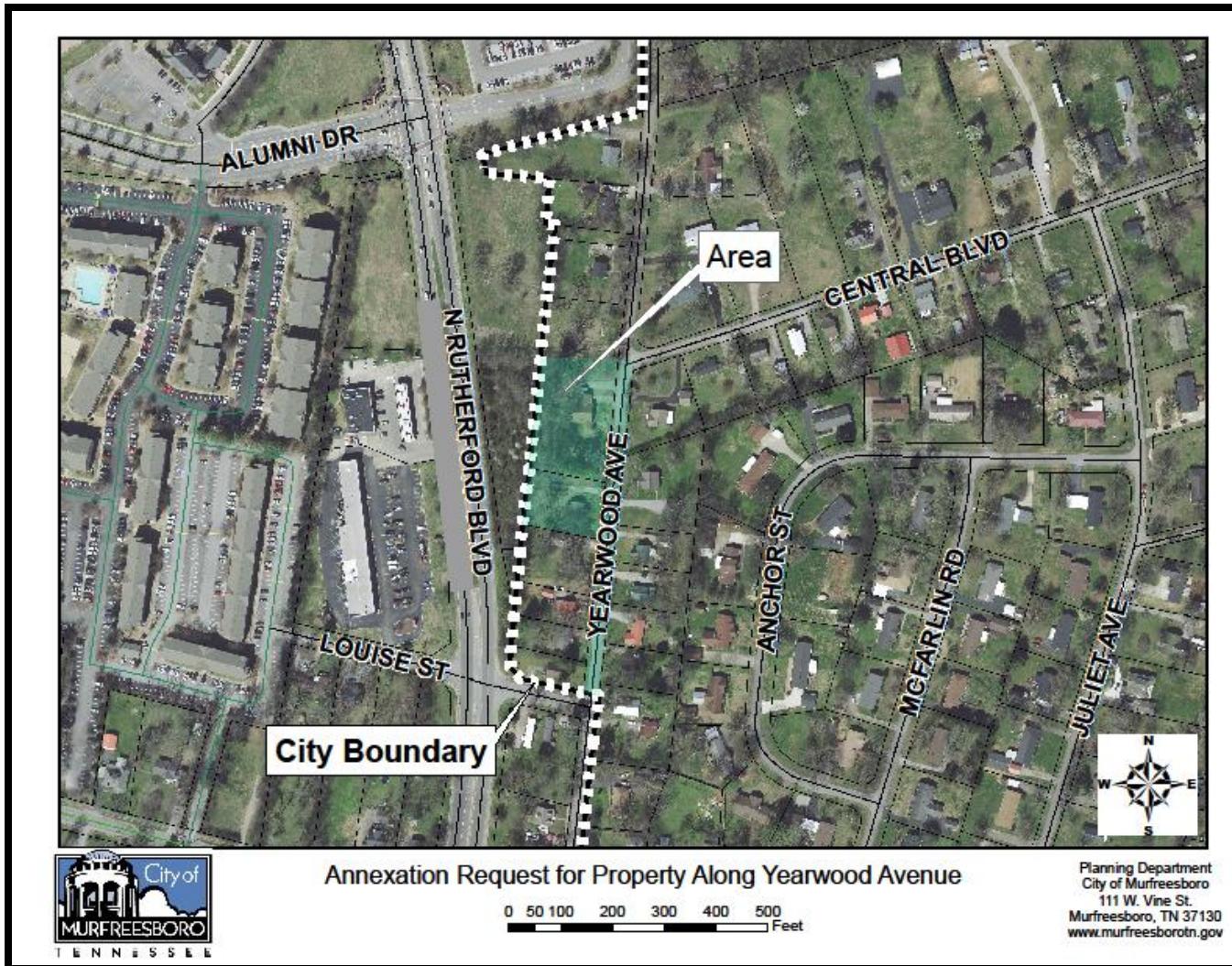


Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesboroth.gov

ANNEXATION REPORT FOR PROPERTY LOCATED ALONG YEARWOOD AVENUE INCLUDING PLAN OF SERVICES (2019-515)



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
December 4, 2019**



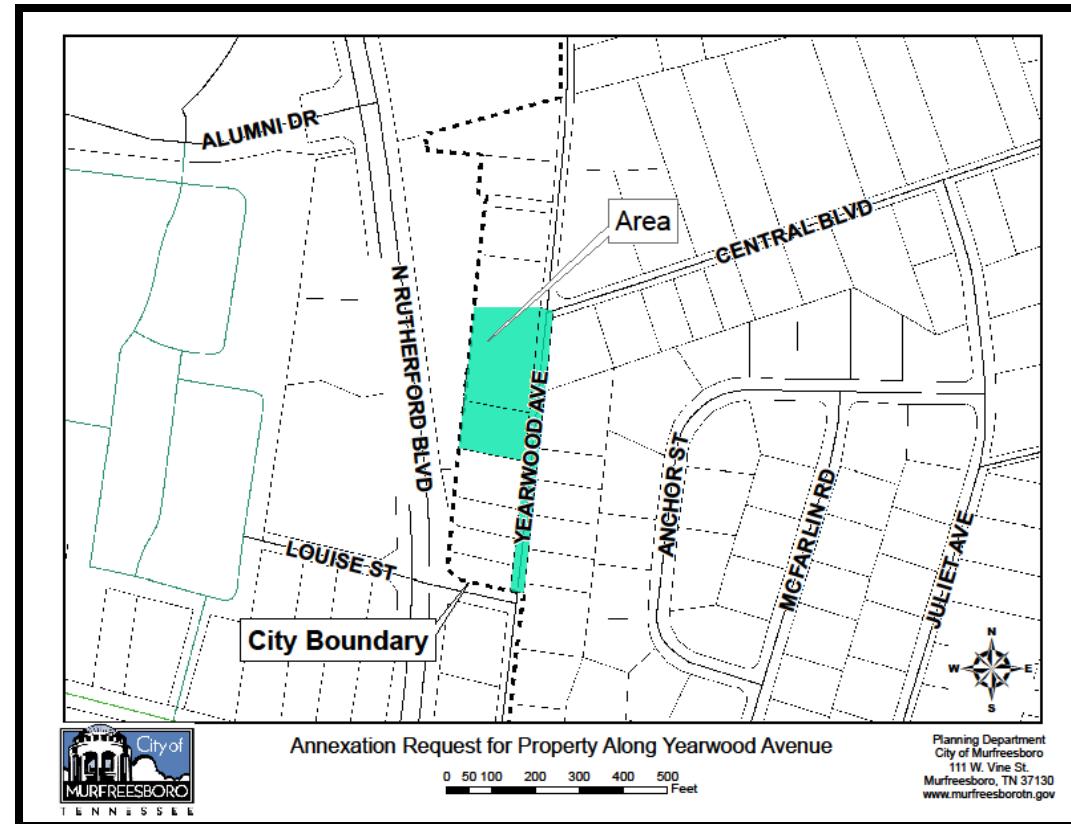
INTRODUCTION

OVERVIEW

The applicant, Greenland Partners, LLC, has requested annexation of two (2) parcels located along the west side of Yearwood Avenue. The area studied in this Plan of Services is approximately 1.6 acres, including approximately 0.45 acres (650 linear feet) of Yearwood Avenue right-of-way (ROW):

- Tax Map 103C, Group A, Part of Parcel 00400 (219 Yearwood Avenue)
- Tax Map 103C, Group A, Parcel 00500 (213 Yearwood Avenue)

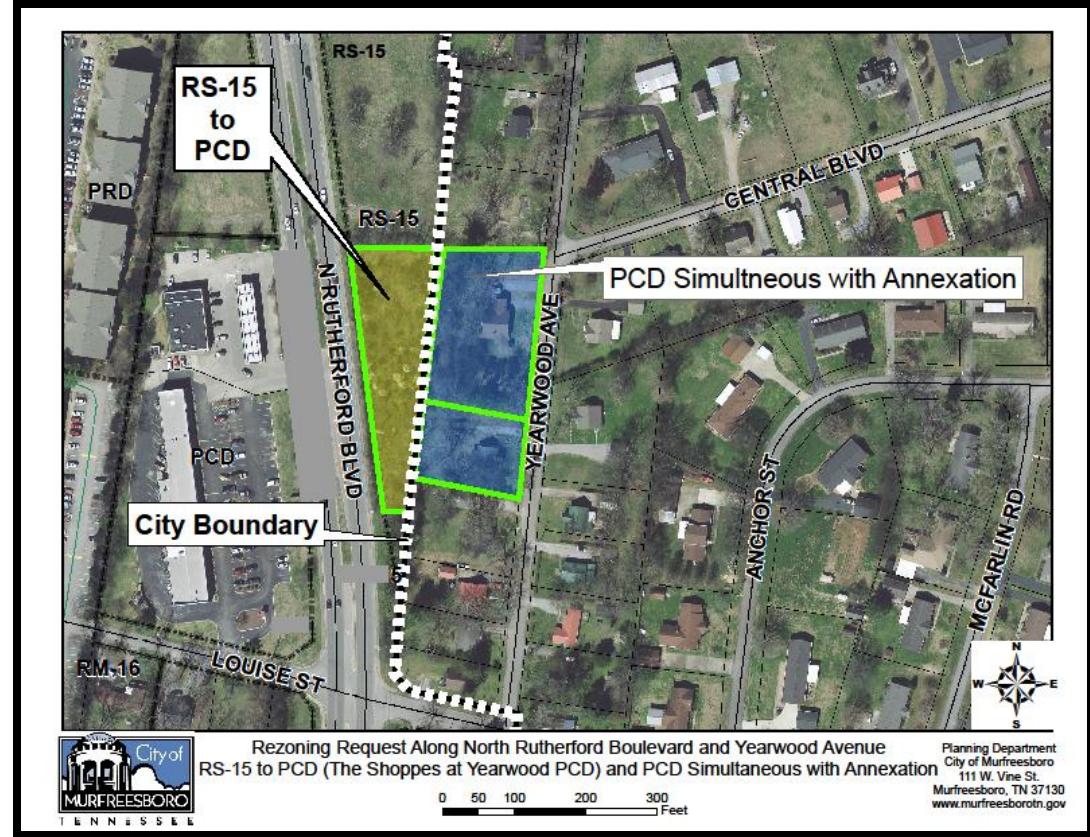
The study area lies within the City of Murfreesboro's Urban Growth Boundary. Adjacent properties to the west are within the existing City limits. The adjacent property to the east lies within the unincorporated County.



CITY ZONING

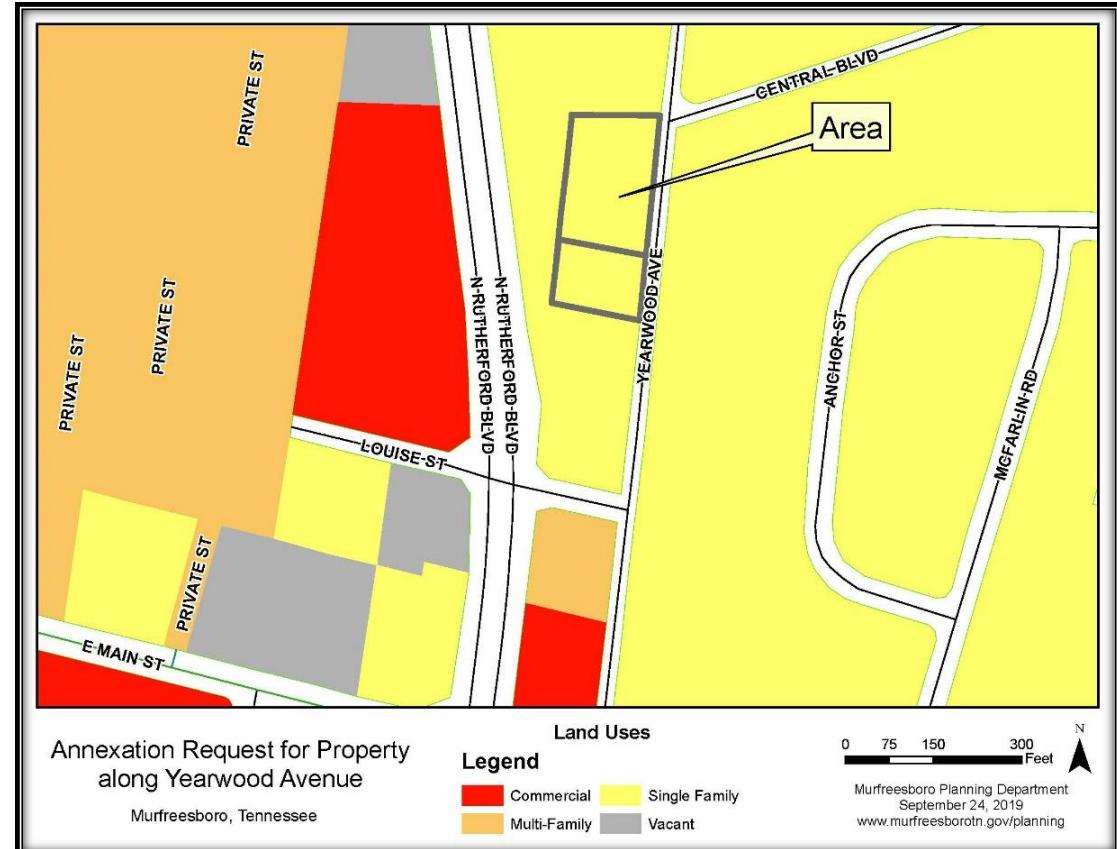
The applicant has requested rezoning to PCD (Planned Commercial District) for the study area simultaneous with annexation. The study area is presently zoned RM (Residential – Medium Density) in the unincorporated County.

Adjacent property to the north, south, and east of the study area lies within the unincorporated County and is zoned RM. Property located to the west is within the City and zoned RS-15 (Single-Family Residential District). The parcel across North Rutherford Boulevard to the west, which is within the City limits, is zoned PCD.



PRESENT AND SURROUNDING LAND USE

The study area has 2 existing single-family residential structures. The property to the north is undeveloped property. Adjacent properties to the east and south are developed with single-family dwellings. Property to the west across North Rutherford Boulevard is developed with commercial uses.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2020 will be due on December 31, 2021. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Greenland Partners, LLC	0.75	\$25,000	\$146,200	\$171,200	\$551.86
Greenland Partners, LLC	0.43	\$32,500	\$53,900	\$86,400	\$278.51

These figures are for the property in its current state. They will change if and when the property develops.

PLAN OF SERVICES

POLICE PROTECTION

The Murfreesboro Police Department can provide police services to the property as it currently exists immediately upon the effective date of annexation. This property is located in Police Zone #5.

ELECTRIC SERVICE

The property is located within Murfreesboro Electric Department (MED) service boundary area and currently provide electricity for the single-family residences at this location. MED states there are existing electric facilities along North Rutherford Boulevard and along Yearwood Avenue.

STREET LIGHTING

According to MED, street lighting already exists along South Rutherford Boulevard. Yearwood is in the county and no streetlights are installed. Streetlights can be installed along Yearwood Avenue with a request by the City Transportation Department.

STREETS AND ACCESS

Public Roadway System

The annexation study area has access to Yearwood Avenue. Approximately 650 linear feet of Yearwood Avenue right-of-way (ROW) is included in the study area. Yearwood Avenue is an existing 2-lane, ditch section street. Upon annexation, the City would become responsible for operation and maintenance of this street. Based on a 20-year repaving cycle, the annualized

maintenance cost is \$750 with State Street Aid and General Fund as funding sources. The addition of the ROW will also result in \$170 of capital cost with State Street Aid and General Fund as funding sources. Any new connections to the roadway must be approved by the City Engineer. Additionally, development along this roadway may require improvements to include widening for turning lanes and ROW/easement dedication in accordance with the City's Substandard Street requirements. Any future public roadway facilities to serve the study area must be constructed to City standards.

Regional Traffic and Transportation Conditions

The intersection south of this property is North Rutherford Boulevard and East Main Street. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan (MTP) shows North Rutherford Boulevard to be operating at a Level of Service C at this intersection. The 2040 Level of Service Model indicates that North Rutherford Boulevard would fall to Level of Service of D without the proposed improvements recommended in the 2040 MTP. The 2040 Level of Service Model shows North Rutherford Boulevard falls to Level of Service of D with the proposed improvements recommended in the 2040 MTP.

The intersection to the north of this property is North Rutherford Boulevard and Alumni Drive. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan (MTP) shows North Rutherford Boulevard to be operating at a Level of Service C at the intersection using average daily traffic (ADT) counts. The 2040 Level of Service Model indicates that North Rutherford Boulevard falls to Level of Service of D without the proposed improvements recommended in the 2040 MTP. 2040 Level of Service Model shows North Rutherford Boulevard operates at a

Level of Service of C with the proposed improvements recommended in the 2040 MTP.

SOLID WASTE COLLECTION

The two single-family dwellings in the study area will be able to be serviced by the Murfreesboro Solid Waste Department. The day of service will be Monday. The carts (2 x \$53.30) cost is \$106.60. There is a monthly service fee of \$7.50 per cart. This fee will appear on the Water Resource's billing or CUD billing. If the anticipated commercial use of the study area proceeds, the Murfreesboro solid Waste Department will not be impacted, and no costs are anticipated as a result of this annexation. Future developments will be required to utilize a private hauler.

BUILDING AND CODES

The study area will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

RECREATION

This annexation should not have any impact on Murfreesboro's Parks and Recreation Department as it is proposed to be zoned and developed with commercial uses. Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

This annexation will have no effects on Murfreesboro City Schools as it is proposed to be zoned and developed with commercial uses. Students within this study area will be within and accepted at Hobgood Elementary School.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

WATER SERVICE

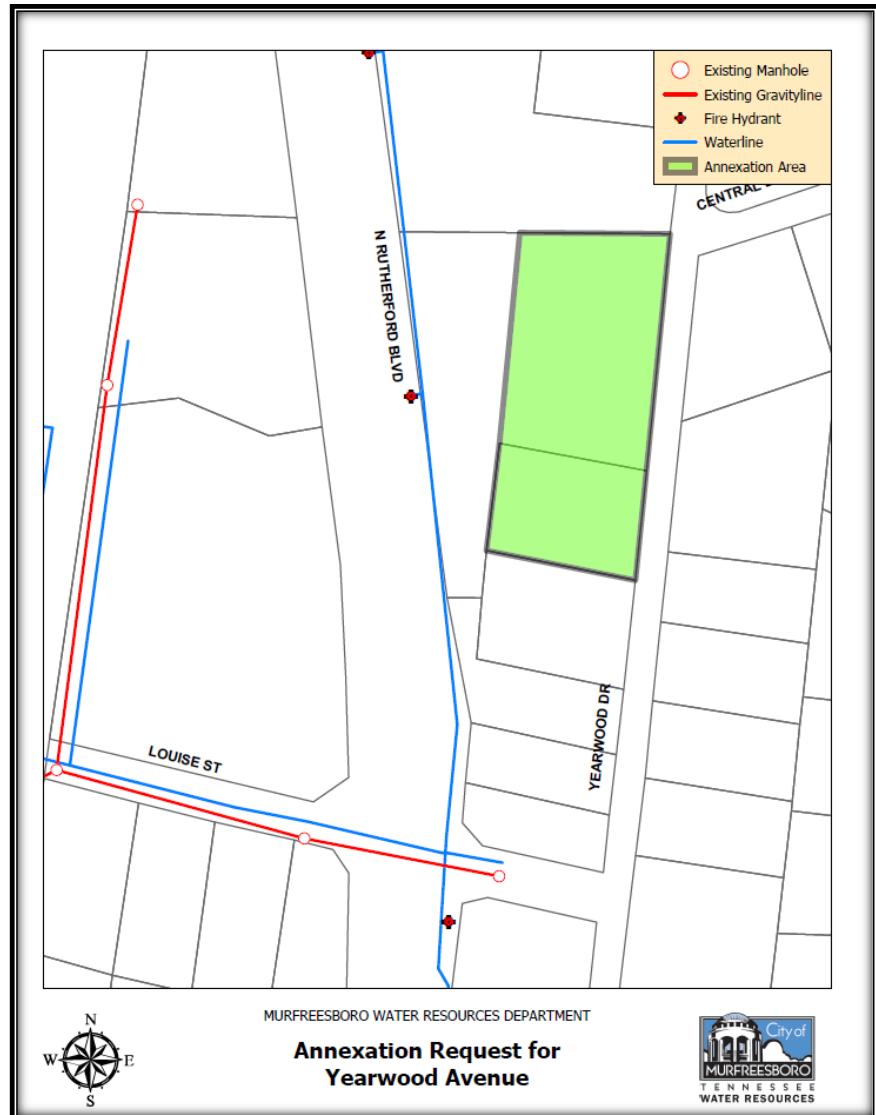
The subject annexation is within the Murfreesboro Water Resources Departments' (MWRD) water service area. Both the Consolidated Utility District (CUD) and Water Resources Board approved for these properties to be served by MWRD. There is an existing 16" water main parallel to Rutherford Blvd, along the eastern right of way, that will serve these properties as they redevelop. Currently, CUD provides water services for the residential dwellings and will continue to service properties until such time that redevelopment occurs.

SANITARY SEWER SERVICE

Per MWRD's current definition of "available", public sanitary sewer is not available to the properties requesting annexation. In order to access sanitary sewer, the developer must extend public gravity sewer from Louise Street north along Yearwood Avenue to the north end of the property as redevelopment occurs.

In addition to the above plan of services, this proposed development is within an area that currently has very limited sewer capacity. MWRD has instructed the developer that only low sewer users will be allowed to fill the proposed commercial tenant spaces, such as retail users or equivalent, and the developers will be required to request "Will Serve" letters for each planned tenant.

All main line extensions are the financial responsibility of the developer and may be extended in accordance with the Development Policies and procedures of the Murfreesboro Water Resources Department.

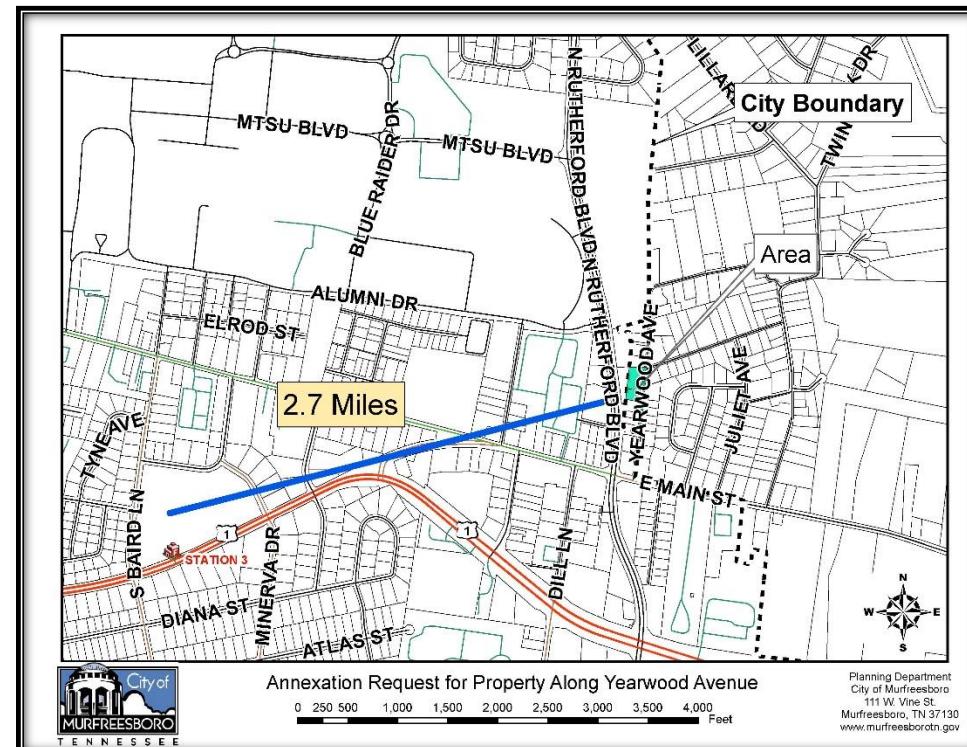


FIRE AND EMERGENCY SERVICE

Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services upon annexation. There are two (2) fire stations with the ability to provide emergency services to the study area; Fire Station #3, located at 1511 Mercury Boulevard is 1.6 miles from the study area, and Fire Station #8 located at 1730 East Northfield Boulevard is 2.7 miles from the study area. MFRD will be able to provide fire protection to the existing single-family dwellings and any commercial development upon annexation. The existing houses be able to receive fire protection immediately upon annexation.

PLANNING, ENGINEERING, AND ZONING SERVICES

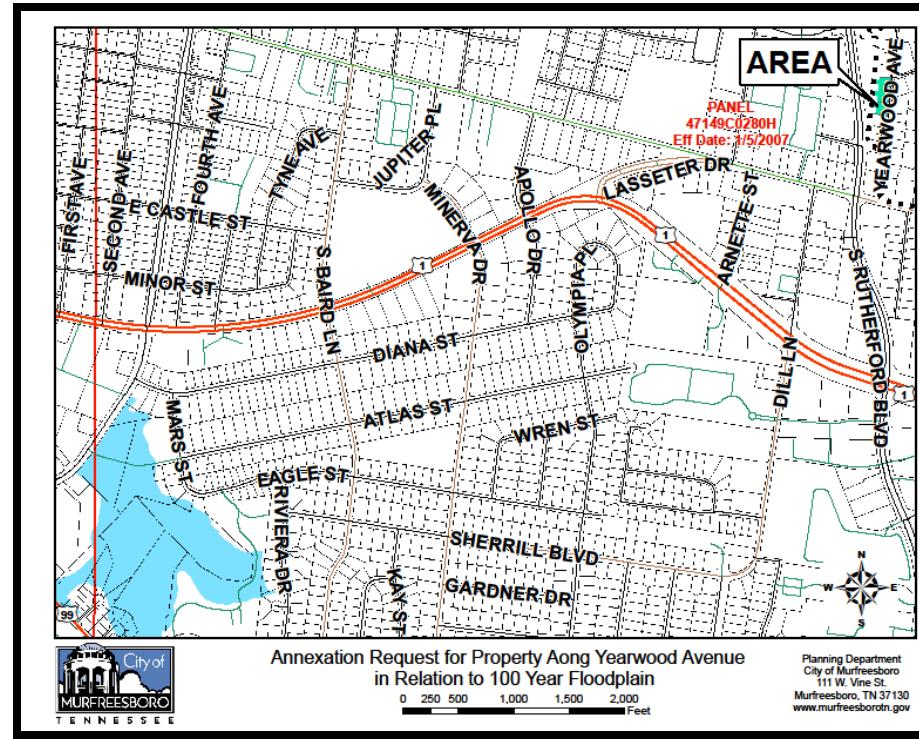
The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations



FLOODWAY

The study area is not located within the floodway and 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The map shows the 100-year floodplain boundary in blue.



DRAINAGE

Property and Development

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

Improvement to North Rutherford Boulevard to add a left-turn lane into the site should be included. Right-of-way permit and bond will be required for all work within the ROW of North Rutherford Boulevard. Improvements to Yearwood Avenue and ROW and easement dedication should be incorporated in the development plans

Public Drainage System

Existing public drainage systems serving the study area are integral to the existing North Rutherford Boulevard. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

The study area drains to the ROWs of North Rutherford Boulevard and Yearwood Avenue and then to a pond located on MTSU property.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has 2 single-family residences and will generate approximately \$78 per year in revenue for the Stormwater Utility Fee.

The subject property is proposed to be developed for a Planned Commercial District (PCD) on approximately 1.83 acres. Based on this development scenario and property limitations, it is anticipated that the site will generate \$400 annually in revenue for the Stormwater Utility Fund including anticipated fee credits upon full buildout.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that the study area will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Greenland Partners, LLC

Address: 1207 Greenland Drive City/State/Zip: Murfreesboro, TN 37130

Phone: 615-300-2594 E-mail address: mbhazlett@mail.com

PROPERTY OWNER: Greenland Partners, LLC

Street Address or property description: 213 and 219 Yearwood Avenue, Murfreesboro, TN 37130

and/or Tax map #: 103C Group: A Parcel (s): 4.00 and 5.00

Existing zoning classification: RS-15 and RM in the county

Proposed zoning classification: PCD Acreage: 1.83 Acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): Rob Molchan - SEC, Inc. 615-890-7901

E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): 

DATE: 10-17-19

*****For Office Use Only*****

Date received: 10-17-19 MPC YR.: MPC #:

Amount paid: \$1,450.00 Receipt #: 279168

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. GREENLAND PARTNERS LLC OWNER 213 YEWWOOD AVE.
OF MURFREESBORO, TN 37131
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Wm H. H. H. Status: MEMBER Date: 10-15-19

1207 GREENLAND DRIVE MURFREESBORO, TN 37130

Mailing Address (if not address of property to be annexed)

2. GREENLAND PARTNERS LLC OWNER 219 YEWWOOD
OF MURFREESBORO, TN 37130
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Wm H. H. H. Status: MEMBER Date: 10-15-19

1207 GREENLAND DRIVE MURFREESBORO, TN 37130

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: X Yes

Power of Attorney applies and is attached: Yes X No

Name and Address of New Owner:
Greenland Partners, LLC
1207 Greenland Drive
Murfreesboro, TN 37130

Send Tax Statements To:
SAME

THIS INSTRUMENT PREPARED BY:
(Please Return Document to this Address)
J.D. Kious, Attorney
Lawyers Land & Title Services, LLC
500 North Walnut St.
Murfreesboro, TN 37130
File No.: MC-18070861

Map and Parcel: 103C-A-004.00

WARRANTY DEED

For and in consideration of the sum of ten dollars (\$10.00), cash in hand paid by the hereinafter named GRANTEE, and other good and valuable considerations, the receipt of which is hereby acknowledged, **William Harry Fryar, unmarried**, hereinafter called the GRANTOR, has bargained and sold, and by these presents does transfer and convey unto **Greenland Partners, LLC, a Tennessee limited liability company**, hereinafter called the GRANTEE, its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to-wit:

BEING a tract of land in the City of Murfreesboro, 13th Civil District, Rutherford County, Tennessee, and being further known as Parcel 4 of Group A, on Property Map 103C, of the Rutherford County Property Assessor's Mapping System, said tract being the lands of Barry K. Dillon, as record in Will Book 37, Page 472, and being bounded as follows: on the West by the eastern right-of-way of South Rutherford Boulevard, (100' wide); on the North by lands of Ronald R. Coleman and Lynn C. Moss, Record Book 134, page 179; on the East by the western right-of-way of Yearwood Avenue (40' wide), the lands of George C. and Mary R. Hixson, Deed Book 129, Page 478 (Parcel5) and Deed Book 103, page 204 (Parcel6), the lands of Patti L. Blansett, Will Book 23, page 401, Elma Lou Cashion, Deed Book 617, page 645, and the lands of Stephen J. Long, Record Book 375, page 2570; and on the South by the northern right-of-way of Louise Street (40' wide). All references made therein are of the Register's Office, Rutherford County, Tennessee. Said tract being more particularly described as follows:

BEGINNING at a 2 inch iron pipe found in the western right-of-way of Yearwood Avenue, located 240 feet South of the intersection of the centerlines of Yearwood Avenue and Central Boulevard, said pipe being the northeast corner of Hixson, Parcel5; thence with the north line of Hixson, N 84° 34' 41" W, 153.07 feet to a 2 inch iron pipe found, said pipe being the northwest corner of Hixson, Parcel5; thence with the west line of Hixson, Parcels 5 and 6, S 05° 25' 24" W, 203.99 feet to an iron pipe found, said pipe being the southwest corner of Hixson, Parcel6, and the northwest corner of Blansett; thence with the west line of Blansett, S 06° 29' 42" W, 66.08 feet to a steel rod found, said rod being the southwest corner of Blansett, and the northwest corner of Cashion; thence with the west line of Cashion and Long, S 06° 43' 48" W, 103.58 feet to an iron pin set in the north right-of-way of Louise Street, said pin being the southwest corner of Long, and the southeast corner of the herein described tract; thence with the north right-of-way of Louise Street, N 39° 43' 54" W, 3.50 feet to an iron pin set at the intersection of the north right-of-way of Louise Street and the east right-of-way of South Rutherford Boulevard, said pin being the southwest corner of this tract; thence with the east right-of-way of South Rutherford Boulevard, and a curve to the left, having a radius of 2,341.83 feet, an arc length of 207.11 feet and a chord bearing and distance of N 02° 48' 47" W, 207.05 feet to an iron pin found; thence N 05° 27' 37" W, 9.51 feet to an iron pin set; thence, N 06° 05' 19" W, 50.84 feet to an iron pin set; thence, N 06° 50' 40" W, 50.48 feet to an iron pin set; thence N 07° 10' 32" W, 40.81 feet to an iron pin set; thence, N 07° 13' 18" W, 246.05 feet to an iron pin set, said pin being the southwest corner of Coleman and Moss, and the northwest corner of the herein described tract; thence with the south line of Coleman and Moss, S 88° 02' 52" E, 162.21 feet to a 2 inch iron pipe found; thence S 87° 52' 42" E, 116.13 feet to a 1 inch iron pipe found in the western right-of-way of Yearwood Avenue, being the southeast corner of Coleman and Moss, and the northeast corner of the herein described tract; thence with said western right-of-way, S 06° 17' 23" W, 238.69 feet to the point of beginning.

THE herein described tract of land contains 70,596 square feet or 1.621 acres, more or less, by a survey performed by S.E.C., Inc. on September 5, 2002.

Being the same property conveyed to William Harry Fryar by Warranty Deed filed for record on August 21, 2017 in Record Book 1600, page 1409, of the Register's Office of Rutherford County, Tennessee.

This conveyance is subject to the following: All matters shown on the survey dated September 5, 2002, by S.E.C., Inc..

This conveyance is further subject to: (1) all applicable zoning ordinances (2) utility, sewer, drainage and other easements of record, (3) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record, (4) building restrictions, and (5) other matters of public record.

This is improved property known as: 219 Yearwood Ave, Murfreesboro, TN 37130

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns forever; and I do covenant with the said GRANTEE that I am lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and I do further covenant and bind myself, my successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS my hand this 24th day of October, 2018.

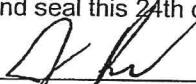


William Harry Fryar

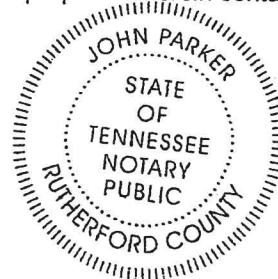
State of Tennessee
County of Rutherford

Personally appeared before me, William Harry Fryar with whom I am personally acquainted, and who acknowledged that he executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal this 24th of October, 2018.

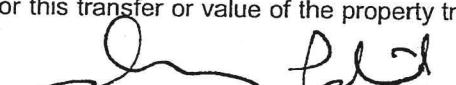


Notary Public
My Commission Expires: 11-20-21



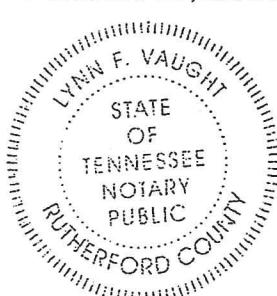
AFFIDAVIT

I hereby swear or affirm that the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$575,000.00.



Affiant Signature

Subscribed and sworn to before me, this 24th day of October, 2018.



Lynn F. Vaught
Notary Public
My Commission Expires: 3/18/2019

True Copy Certification

I, Lynn Vaught, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

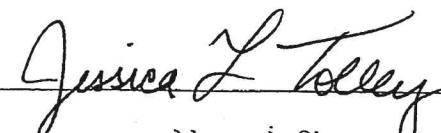


Signature

State of Tennessee

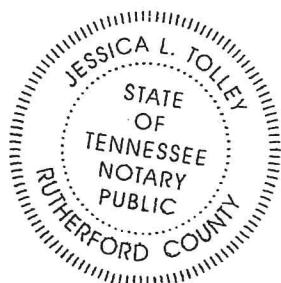
County of Rutherford

Personally appeared before me, the undersigned, a notary public for this county and state, Lynn Vaught who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

My Commission Expires: 12-16-18



Heather Dawbarn, Register
Rutherford County Tennessee
Rec #: 977056 Instrument #: 2174992
Rec'd: 15.00 Recorded
State: 2127.50 10/25/2018 at 12:22 PM
Clerk: 1.00 in Record Book
Other: 2.00
Total: 2145.50 1722

Pages 1318-1320

Name and Address of New Owner:
Greenland Partners, LLC
1207 Greenland Drive
Murfreesboro, TN 37130

Send Tax Statements To:
SAME

THIS INSTRUMENT PREPARED BY:
(Please Return Document to this Address)
J.D. Kious, Attorney
Lawyers Land & Title Services, LLC
500 North Walnut St.
Murfreesboro, TN 37130
File No.: MC-18070862

Map and Parcel: 103C-A-009.00
130C-A-007.00,
103C-A-007.00-001
103C-A-006.00
103C-A-005.00

WARRANTY DEED

For and in consideration of the sum of ten dollars (\$10.00), cash in hand paid by the hereinafter named GRANTEE, and other good and valuable considerations, the receipt of which is hereby acknowledged, **WLF Properties, Inc., a Tennessee corporation**, hereinafter called the GRANTOR, has bargained and sold, and by these presents does transfer and convey unto **Greenland Partners, LLC, a Tennessee limited liability company**, hereinafter called the GRANTEE, its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to-wit:

TRACT 1:

BEING a house and lot known as 203 Yearwood Avenue, Murfreesboro. Located in the 13th Civil District, Rutherford County, Tennessee. Bounded on the north by Alvie H. Carter (Deed Book 388, page 59); on the east by Yearwood Avenue; on the south by Louise Street; and on the west by new Northfield Boulevard.

Beginning at a pipe found at the intersection of the north margin of Louise Street and the west margin of Yearwood Avenue, said pipe being the SE corner of this lot; thence with the north margin of Louise Street N 80 degrees 18 minutes 57 seconds W 128.86 feet to a pin; thence 44 degrees 30 minutes 36 seconds W 32.56 feet to a pin on the east margin of Northfield Boulevard; thence with the east margin of Northfield Boulevard N 05 degrees 36 minutes 32 seconds W 44.4 feet to a pin being the NW corner of this lot thence with the south line of Carter S 80 degrees 54 minutes 45 seconds E 158.72 feet to a pipe on the west margin of Yearwood Avenue being the NE corner of this lot; thence with the west margin of Yearwood Avenue S 02 degrees 16 minutes 45 seconds W 64.0 feet to the pipe at beginning, containing 9479 square feet.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on March 6, 2008 in Record Book 825, page 2890, of the Register's Office of Rutherford County, Tennessee.

TRACT 2:

BEING a house and lot of ground fronting 64 feet on the west side of Yearwood Avenue and beginning at a point on the west side of Yearwood Avenue 276 feet South of the extreme northwest corner of Block "C" of the Yearwood Addition the southeast corner of a lot conveyed by G.C. Jakes and wife, to R.D. Craddock and wife; thence westwardly with the south line of Cradduck lot 150 feet to a point in the east line of a lot conveyed to Franklin Medlock; thence southward with Medlock's line 62-1/2 feet to the northwest corner of another lot owned by G.C. Jakes' and wife; thence Eastwardly with Jakes' North line 150 feet to the west side of Yearwood Avenue, jakes' northeast corner; thence Northwardly with the west side of Yearwood Avenue 64 feet to the point of beginning and BEING composed of the south part of Lot

No. 24, all of Lot No. 23 and a strip off of the north parts of Lots Nos. 17 to 22, inclusive of block "C" of the Yearwood Addition as shown by plat of record in Deed Book 75, page 270, of the Register's Office of Rutherford County, Tennessee.

Also conveyed is a small irregular shaped tract at the rear line of the above described property which is approximately 65 feet across the east and west lines and approximately 30 feet across the Northerly boundary and 20 feet across the Southerly boundary. That tract is bounded on the East by the above described property and the West by property of James Fuller.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on March 6, 2008 in Record Book 825, page 2907, of the Register's Office of Rutherford County, Tennessee.

TRACT 3:

Parcel 1:

Lying and being on the west side of Yearwood Avenue, and fronting approximately 110 feet, more or less, on said avenue, then extending westward, the north and south boundary lines being approximately 150 feet, more or less, and the west line being approximately 108 1/2 feet, more or less; and being bounded generally on the north by R.D. Craddock property; on the East by Yearwood Avenue; on the South by H.B. Bond property; on the West by Medlock and Craddock property, and being the same property conveyed to C.E. Whitehurst and wife, Ella F. Whitehurst, by deed of William D. Sandford and wife, Florence C. Sanford, dated July 6, 1948, and of record in Deed Book No. 102, at page 167, Register's Office of Rutherford County, Tennessee.

Parcel 2:

A certain lot or parcel of real estate situated on the West side of Yearwood Avenue and beginning at an iron pin at C.E. Whitehurst's southeast corner and running thence North with Yearwood Avenue 111 feet more or less to an iron pin, being the northeast corner of the lot herein described; thence in a westerly direction with Craddock's line 150 feet more or less to an iron pin; thence in a southerly direction with Craddock's line 97 feet more or less to an iron pin; thence 150 feet more or less with Whitehurst's line to the beginning.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on December 21, 2007 in Record Book 807, page 3336, of the Register's Office of Rutherford County, Tennessee.

This conveyance is subject to the following: Warranty Deed, and Temporary Construction Easement of record in Deed Book 388, page 38, said Register's Office (Tract 1 & 2); All matters of plat of Yearwood Addition of record in Deed Book 75, page 270, said Register's Office (Tract 1 & 2); All matters including but not limited to restrictions set out in Deed Book 102, page 340 and Deed Book 129, page 478, said Register's Office (Tract 3).

This conveyance is further subject to: (1) all applicable zoning ordinances (2) utility, sewer, drainage and other easements of record, (3) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record, (4) building restrictions, and (5) other matters of public record.

This is improved property known as: 203 Yearwood Ave, Murfreesboro, TN 37130, 207 Yearwood Ave, Murfreesboro, TN 37130 and 209 and 213 Yearwood Ave., Murfreesboro, TN 37130

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns forever; and we do covenant with the said GRANTEE that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS our hand this 24th day of October, 2018.

WLF Properties, Inc.

BY:

Stephen J. Long
Director

State of Tennessee

County of Rutherford

Personally appeared before me, a notary public in and for the state and county aforementioned, Stephen J. Long, with whom I am personally acquainted or proved to me on the basis of satisfactory evidence, and who, upon oath, acknowledged himself to be Director of WLF Properties, Inc. and that he as such Director executed the foregoing instrument for the purposes therein contained, by signing the name of the company by himself as Director.

Witness my hand and seal this 24th of October, 2018.

Notary Public

My Commission Expires: 11-20-21



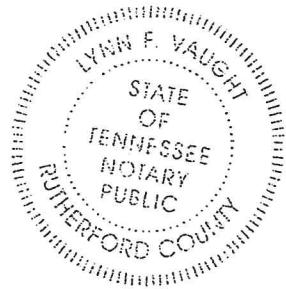
AFFIDAVIT

I hereby swear or affirm that the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$575,000.00.

John Parker
Affiant Signature

Subscribed and sworn to before me, this 24th day of October, 2018.

Lynn F. Vaught
Notary Public
My Commission Expires: 03/18/2018



True Copy Certification

I, Lynn Vaught, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.



Signature

State of Tennessee

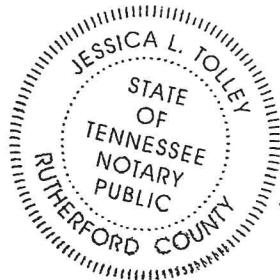
County of Rutherford

Personally appeared before me, the undersigned, a notary public for this county and state, Lynn Vaught who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

My Commission Expires: 12-16-18



Heather Dawbarn, Register
Rutherford County Tennessee
Rec #: 977056 Instrument #: 2174991
Rec'd: 20.00 Recorded
State: 2127.50 10/25/2018 at 12:22 PM
Clerk: 1.00 in Record Book
Other: 2.00
Total: 2150.50 1722

Pages 1314-1317

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 4, 2019
PROJECT PLANNER: AMELIA KERR**

3.e. Zoning application [2019-442] for approximately 0.68 acres located along Yearwood Avenue and North Rutherford Boulevard to be rezoned from RS-15 to PCD (East Side Village PCD) and approximately 1.15 acres to be zoned PCD simultaneous with annexation, Greenland Partners, LLC applicant.

The subject property is located at 213 and 219 Yearwood Drive. The property is located to the east of South Rutherford Boulevard and to the west of Yearwood Avenue, and is north of East Main Street and Louise Street and south of Alumni Drive. The property is approximately 1.83 acres and is identified as Tax Map 103C, Group A, Parcels 4.00 and 5.00. A portion of the requested property along the western boundary is within the city and is zoned Single-Family Residential (RS-15) District. The remainder of the requested property is zoned RM (Residential Medium Density) in the unincorporated county. Currently, each parcel contains a single-family dwelling. The applicant wishes to rezone the property to PCD (Planned Commercial District). The proposed PCD would consist of an 11,000 square foot multi-tenant commercial center.

The development is requesting to have direct access to South Rutherford Boulevard via a single access point. Also, the request is being made for a secondary point of access on Yearwood Avenue to gain access to the signalized intersection to the south at East Main Street and South Rutherford Boulevard. The proposed development would include one (1) single-story multi-tenant commercial building with a drive-thru proposed at the north end of the building. Primary exterior materials would include brick, stone, cementitious siding and E.I.F.S. Setbacks for the development would be 42' on the front facing South Rutherford Boulevard, 42' on front facing Yearwood Avenue, and 10' on both sides. Amenities would include 0.68 acres of usable open space and 0.11 acres for open space devoted to stormwater/detention areas, with formal open space consisting of a paver plaza with bench seating.

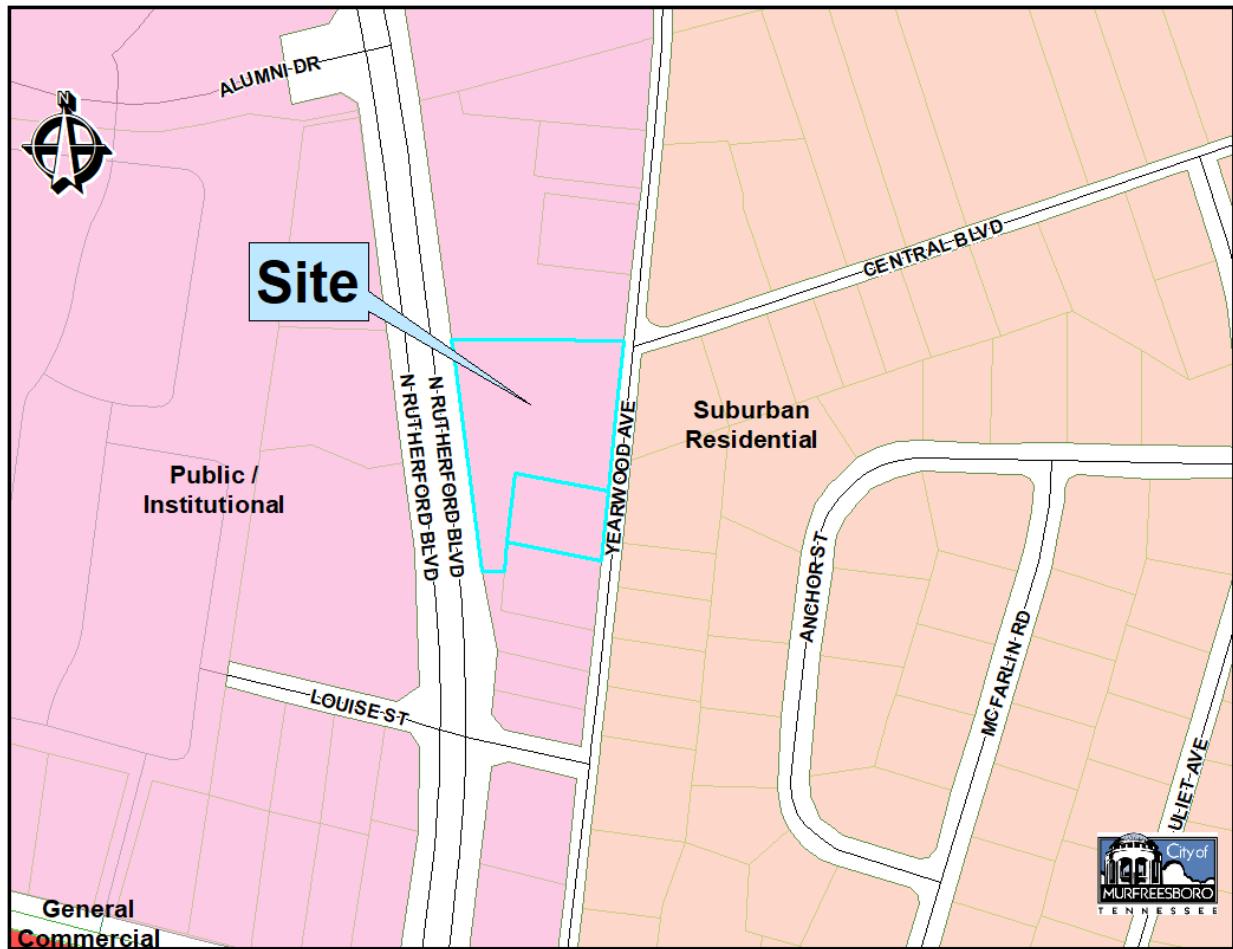
Adjacent Zoning and Land Uses

Surrounding properties to the north, east, and south are zoned County RM and are developed with the Yearwood Addition single-family residential subdivision. West of the property directly across North Rutherford Boulevard is the University Square PCD, which is developed with a multi-tenant commercial building and a gas station. Further to the north is property owned by MTSU, which is zoned CU (Colleges and

Universities District) and developed with a parking lot. The proposed development would include a fifteen-foot Type D buffer along the northern, eastern, and southern boundaries adjacent to the Yearwood Addition residential subdivision.

Future Land Use Map

The future land use map of the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that Public/Institutional is the most appropriate land use character for the subject property, as shown on the map in your agenda package.

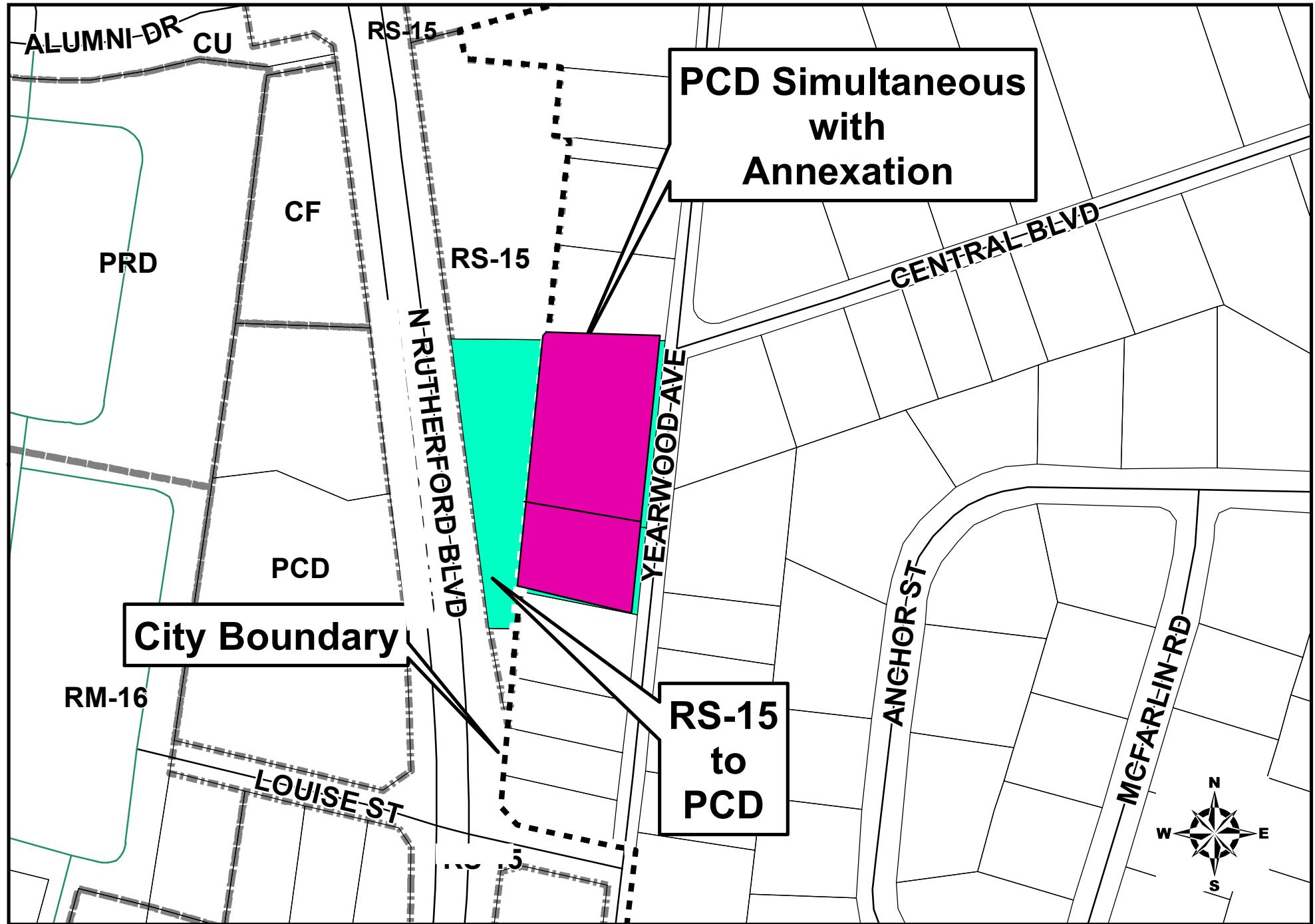


Compatible existing zoning districts are CU (College and University) and PND (Planned Institutional Development). Examples of development types in the Public/Institutional land use character include government buildings, hospitals, and schools and universities. Staff believes this recommendation was made in the future land use map due to the proximity of the property to MTSU. The proposed zoning is not consistent with the recommendation of the future land use map for this property. Because MTSU does not have ownership or control of the property,

however, it may not be feasible for it to develop in the manner recommended by the comprehensive plan. The Planning Commission will need to determine whether this is an appropriate instance to deviate from the recommendations of the future land use map.

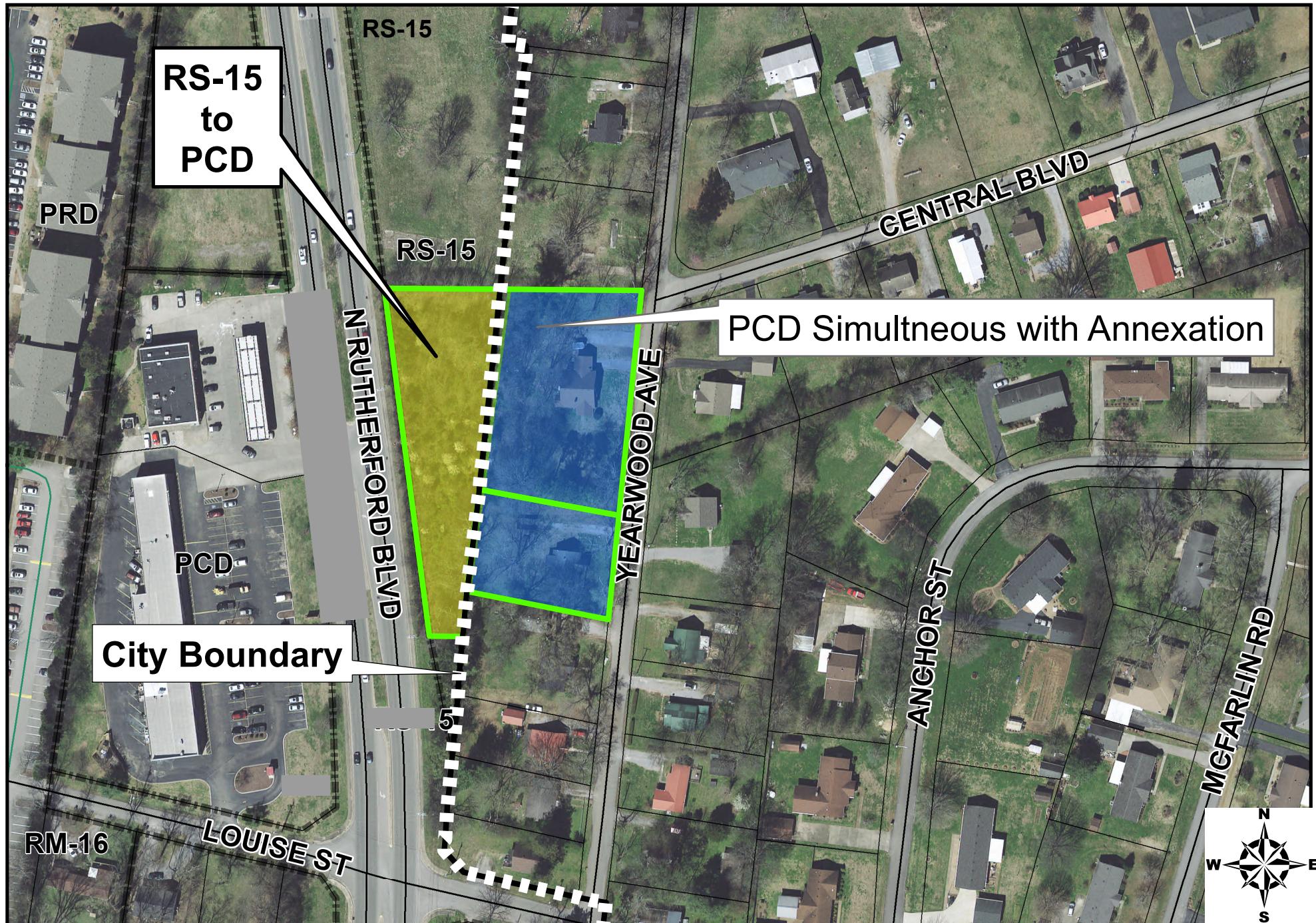
Action Needed

A copy of the pattern book has been included in the agenda materials. The applicant will be available at the Planning Commission meeting to make a presentation regarding the proposed rezoning and to answer questions. The Planning Commission will need to conduct a public hearing and discuss this zoning request and then formulate a recommendation to City Council.



Rezoning Request Along North Rutherford Boulevard and Yearwood Avenue
RS-15 to PCD (East Side Village PCD) and PCD Simultaneous with Annexation

Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesboron.gov



Rezoning Request Along North Rutherford Boulevard and Yearwood Avenue
RS-15 to PCD (East Side Village PCD) and PCD Simultaneous with Annexation

Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Greenland Partners, LLC

Address: 1207 Greenland Drive City/State/Zip: Murfreesboro, TN 37130

Phone: 615-300-2594 E-mail address: mbhazlett@mail.com

PROPERTY OWNER: Greenland Partners, LLC

Street Address or property description: 213 and 219 Yearwood Avenue, Murfreesboro, TN 37130

and/or Tax map #: 103C Group: A Parcel (s): 4.00 and 5.00

Existing zoning classification: RS-15 and RM in the county

Proposed zoning classification: PCD Acreage: 1.83 Acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): Rob Molchan - SEC, Inc. 615-890-7901

E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): 

DATE: 10-17-19

*****For Office Use Only*****

Date received: 10-17-19 MPC YR.: MPC #:

Amount paid: \$1,450.00 Receipt #: 279168

Name and Address of New Owner:
Greenland Partners, LLC
1207 Greenland Drive
Murfreesboro, TN 37130

Send Tax Statements To:
SAME

THIS INSTRUMENT PREPARED BY:
(Please Return Document to this Address)
J.D. Kious, Attorney
Lawyers Land & Title Services, LLC
500 North Walnut St.
Murfreesboro, TN 37130
File No.: MC-18070861

Map and Parcel: 103C-A-004.00

WARRANTY DEED

For and in consideration of the sum of ten dollars (\$10.00), cash in hand paid by the hereinafter named GRANTEE, and other good and valuable considerations, the receipt of which is hereby acknowledged, **William Harry Fryar, unmarried**, hereinafter called the GRANTOR, has bargained and sold, and by these presents does transfer and convey unto **Greenland Partners, LLC, a Tennessee limited liability company**, hereinafter called the GRANTEE, its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to-wit:

BEING a tract of land in the City of Murfreesboro, 13th Civil District, Rutherford County, Tennessee, and being further known as Parcel 4 of Group A, on Property Map 103C, of the Rutherford County Property Assessor's Mapping System, said tract being the lands of Barry K. Dillon, as record in Will Book 37, Page 472, and being bounded as follows: on the West by the eastern right-of-way of South Rutherford Boulevard, (100' wide); on the North by lands of Ronald R. Coleman and Lynn C. Moss, Record Book 134, page 179; on the East by the western right-of-way of Yearwood Avenue (40' wide), the lands of George C. and Mary R. Hixson, Deed Book 129, Page 478 (Parcel5) and Deed Book 103, page 204 (Parcel6), the lands of Patti L. Blansett, Will Book 23, page 401, Elma Lou Cashion, Deed Book 617, page 645, and the lands of Stephen J. Long, Record Book 375, page 2570; and on the South by the northern right-of-way of Louise Street (40' wide). All references made therein are of the Register's Office, Rutherford County, Tennessee. Said tract being more particularly described as follows:

BEGINNING at a 2 inch iron pipe found in the western right-of-way of Yearwood Avenue, located 240 feet South of the intersection of the centerlines of Yearwood Avenue and Central Boulevard, said pipe being the northeast corner of Hixson, Parcel5; thence with the north line of Hixson, N 84° 34' 41" W, 153.07 feet to a 2 inch iron pipe found, said pipe being the northwest corner of Hixson, Parcel5; thence with the west line of Hixson, Parcels 5 and 6, S 05° 25' 24" W, 203.99 feet to an iron pipe found, said pipe being the southwest corner of Hixson, Parcel6, and the northwest corner of Blansett; thence with the west line of Blansett, S 06° 29' 42" W, 66.08 feet to a steel rod found, said rod being the southwest corner of Blansett, and the northwest corner of Cashion; thence with the west line of Cashion and Long, S 06° 43' 48" W, 103.58 feet to an iron pin set in the north right-of-way of Louise Street, said pin being the southwest corner of Long, and the southeast corner of the herein described tract; thence with the north right-of-way of Louise Street, N 39° 43' 54" W, 3.50 feet to an iron pin set at the intersection of the north right-of-way of Louise Street and the east right-of-way of South Rutherford Boulevard, said pin being the southwest corner of this tract; thence with the east right-of-way of South Rutherford Boulevard, and a curve to the left, having a radius of 2,341.83 feet, an arc length of 207.11 feet and a chord bearing and distance of N 02° 48' 47" W, 207.05 feet to an iron pin found; thence N 05° 27' 37" W, 9.51 feet to an iron pin set; thence, N 06° 05' 19" W, 50.84 feet to an iron pin set; thence, N 06° 50' 40" W, 50.48 feet to an iron pin set; thence N 07° 10' 32" W, 40.81 feet to an iron pin set; thence, N 07° 13' 18" W, 246.05 feet to an iron pin set, said pin being the southwest corner of Coleman and Moss, and the northwest corner of the herein described tract; thence with the south line of Coleman and Moss, S 88° 02' 52" E, 162.21 feet to a 2 inch iron pipe found; thence S 87° 52' 42" E, 116.13 feet to a 1 inch iron pipe found in the western right-of-way of Yearwood Avenue, being the southeast corner of Coleman and Moss, and the northeast corner of the herein described tract; thence with said western right-of-way, S 06° 17' 23" W, 238.69 feet to the point of beginning.

THE herein described tract of land contains 70,596 square feet or 1.621 acres, more or less, by a survey performed by S.E.C., Inc. on September 5, 2002.

Being the same property conveyed to William Harry Fryar by Warranty Deed filed for record on August 21, 2017 in Record Book 1600, page 1409, of the Register's Office of Rutherford County, Tennessee.

This conveyance is subject to the following: All matters shown on the survey dated September 5, 2002, by S.E.C., Inc..

This conveyance is further subject to: (1) all applicable zoning ordinances (2) utility, sewer, drainage and other easements of record, (3) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record, (4) building restrictions, and (5) other matters of public record.

This is improved property known as: 219 Yearwood Ave, Murfreesboro, TN 37130

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns forever; and I do covenant with the said GRANTEE that I am lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and I do further covenant and bind myself, my successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS my hand this 24th day of October, 2018.

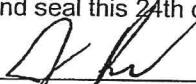


William Harry Fryar

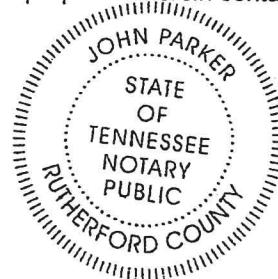
State of Tennessee
County of Rutherford

Personally appeared before me, William Harry Fryar with whom I am personally acquainted, and who acknowledged that he executed the foregoing instrument for the purposes therein contained.

Witness my hand and seal this 24th of October, 2018.

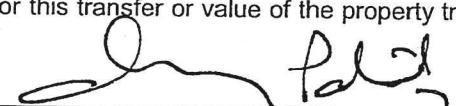


Notary Public
My Commission Expires: 11-20-21



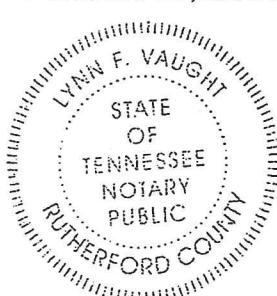
AFFIDAVIT

I hereby swear or affirm that the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$575,000.00.



Affiant Signature

Subscribed and sworn to before me, this 24th day of October, 2018.



Lynn F. Vaught
Notary Public
My Commission Expires: 3/18/2019

True Copy Certification

I, Lynn Vaught, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

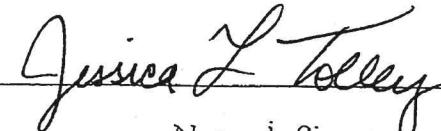


Signature

State of Tennessee

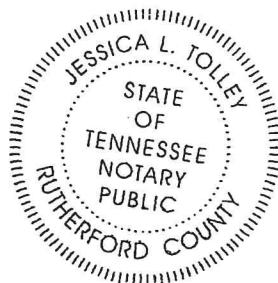
County of Rutherford

Personally appeared before me, the undersigned, a notary public for this county and state, Lynn Vaught who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

My Commission Expires: 12-16-18



Heather Dawbarn, Register
Rutherford County Tennessee
Rec #: 977056 Instrument #: 2174992
Rec'd: 15.00 Recorded
State: 2127.50 10/25/2018 at 12:22 PM
Clerk: 1.00 in Record Book
Other: 2.00
Total: 2145.50 1722

Pages 1318-1320

Name and Address of New Owner:
Greenland Partners, LLC
1207 Greenland Drive
Murfreesboro, TN 37130

Send Tax Statements To:
SAME

THIS INSTRUMENT PREPARED BY:
(Please Return Document to this Address)
J.D. Kious, Attorney
Lawyers Land & Title Services, LLC
500 North Walnut St.
Murfreesboro, TN 37130
File No.: MC-18070862

Map and Parcel: 103C-A-009.00
130C-A-007.00,
103C-A-007.00-001
103C-A-006.00
103C-A-005.00

WARRANTY DEED

For and in consideration of the sum of ten dollars (\$10.00), cash in hand paid by the hereinafter named GRANTEE, and other good and valuable considerations, the receipt of which is hereby acknowledged, **WLF Properties, Inc., a Tennessee corporation**, hereinafter called the GRANTOR, has bargained and sold, and by these presents does transfer and convey unto **Greenland Partners, LLC, a Tennessee limited liability company**, hereinafter called the GRANTEE, its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to-wit:

TRACT 1:

BEING a house and lot known as 203 Yearwood Avenue, Murfreesboro. Located in the 13th Civil District, Rutherford County, Tennessee. Bounded on the north by Alvie H. Carter (Deed Book 388, page 59); on the east by Yearwood Avenue; on the south by Louise Street; and on the west by new Northfield Boulevard.

Beginning at a pipe found at the intersection of the north margin of Louise Street and the west margin of Yearwood Avenue, said pipe being the SE corner of this lot; thence with the north margin of Louise Street N 80 degrees 18 minutes 57 seconds W 128.86 feet to a pin; thence 44 degrees 30 minutes 36 seconds W 32.56 feet to a pin on the east margin of Northfield Boulevard; thence with the east margin of Northfield Boulevard N 05 degrees 36 minutes 32 seconds W 44.4 feet to a pin being the NW corner of this lot thence with the south line of Carter S 80 degrees 54 minutes 45 seconds E 158.72 feet to a pipe on the west margin of Yearwood Avenue being the NE corner of this lot; thence with the west margin of Yearwood Avenue S 02 degrees 16 minutes 45 seconds W 64.0 feet to the pipe at beginning, containing 9479 square feet.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on March 6, 2008 in Record Book 825, page 2890, of the Register's Office of Rutherford County, Tennessee.

TRACT 2:

BEING a house and lot of ground fronting 64 feet on the west side of Yearwood Avenue and beginning at a point on the west side of Yearwood Avenue 276 feet South of the extreme northwest corner of Block "C" of the Yearwood Addition the southeast corner of a lot conveyed by G.C. Jakes and wife, to R.D. Craddock and wife; thence westwardly with the south line of Cradduck lot 150 feet to a point in the east line of a lot conveyed to Franklin Medlock; thence southward with Medlock's line 62-1/2 feet to the northwest corner of another lot owned by G.C. Jakes' and wife; thence Eastwardly with Jakes' North line 150 feet to the west side of Yearwood Avenue, jakes' northeast corner; thence Northwardly with the west side of Yearwood Avenue 64 feet to the point of beginning and BEING composed of the south part of Lot

No. 24, all of Lot No. 23 and a strip off of the north parts of Lots Nos. 17 to 22, inclusive of block "C" of the Yearwood Addition as shown by plat of record in Deed Book 75, page 270, of the Register's Office of Rutherford County, Tennessee.

Also conveyed is a small irregular shaped tract at the rear line of the above described property which is approximately 65 feet across the east and west lines and approximately 30 feet across the Northerly boundary and 20 feet across the Southerly boundary. That tract is bounded on the East by the above described property and the West by property of James Fuller.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on March 6, 2008 in Record Book 825, page 2907, of the Register's Office of Rutherford County, Tennessee.

TRACT 3:

Parcel 1:

Lying and being on the west side of Yearwood Avenue, and fronting approximately 110 feet, more or less, on said avenue, then extending westward, the north and south boundary lines being approximately 150 feet, more or less, and the west line being approximately 108 1/2 feet, more or less; and being bounded generally on the north by R.D. Craddock property; on the East by Yearwood Avenue; on the South by H.B. Bond property; on the West by Medlock and Craddock property, and being the same property conveyed to C.E. Whitehurst and wife, Ella F. Whitehurst, by deed of William D. Sandford and wife, Florence C. Sanford, dated July 6, 1948, and of record in Deed Book No. 102, at page 167, Register's Office of Rutherford County, Tennessee.

Parcel 2:

A certain lot or parcel of real estate situated on the West side of Yearwood Avenue and beginning at an iron pin at C.E. Whitehurst's southeast corner and running thence North with Yearwood Avenue 111 feet more or less to an iron pin, being the northeast corner of the lot herein described; thence in a westerly direction with Craddock's line 150 feet more or less to an iron pin; thence in a southerly direction with Craddock's line 97 feet more or less to an iron pin; thence 150 feet more or less with Whitehurst's line to the beginning.

Being the same property conveyed to WLF Properties, Inc., a Tennessee Corporation, by Warranty Deed filed for record on December 21, 2007 in Record Book 807, page 3336, of the Register's Office of Rutherford County, Tennessee.

This conveyance is subject to the following: Warranty Deed, and Temporary Construction Easement of record in Deed Book 388, page 38, said Register's Office (Tract 1 & 2); All matters of plat of Yearwood Addition of record in Deed Book 75, page 270, said Register's Office (Tract 1 & 2); All matters including but not limited to restrictions set out in Deed Book 102, page 340 and Deed Book 129, page 478, said Register's Office (Tract 3).

This conveyance is further subject to: (1) all applicable zoning ordinances (2) utility, sewer, drainage and other easements of record, (3) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record, (4) building restrictions, and (5) other matters of public record.

This is improved property known as: 203 Yearwood Ave, Murfreesboro, TN 37130, 207 Yearwood Ave, Murfreesboro, TN 37130 and 209 and 213 Yearwood Ave., Murfreesboro, TN 37130

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns forever; and we do covenant with the said GRANTEE that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS our hand this 24th day of October, 2018.

WLF Properties, Inc.

BY:

Stephen J. Long
Director

State of Tennessee

County of Rutherford

Personally appeared before me, a notary public in and for the state and county aforementioned, Stephen J. Long, with whom I am personally acquainted or proved to me on the basis of satisfactory evidence, and who, upon oath, acknowledged himself to be Director of WLF Properties, Inc. and that he as such Director executed the foregoing instrument for the purposes therein contained, by signing the name of the company by himself as Director.

Witness my hand and seal this 24th of October, 2018.

Notary Public

My Commission Expires: 11-20-21



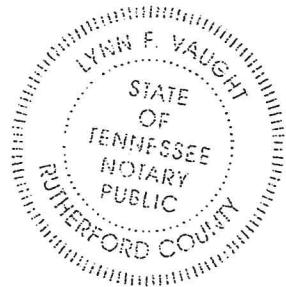
AFFIDAVIT

I hereby swear or affirm that the actual consideration for this transfer or value of the property transferred, whichever is greater, is \$575,000.00.

John Parker
Affiant Signature

Subscribed and sworn to before me, this 24th day of October, 2018.

Lynn F. Vaught
Notary Public
My Commission Expires: 03/18/2018



True Copy Certification

I, Lynn Vaught, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.



Signature

State of Tennessee

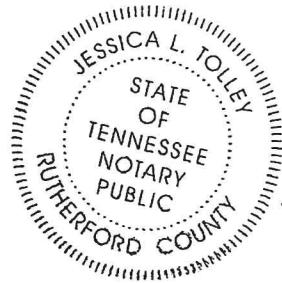
County of Rutherford

Personally appeared before me, the undersigned, a notary public for this county and state, Lynn Vaught who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



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Rutherford County Tennessee
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Total: 2150.50 1722

Pages 1314-1317



EAST SIDE VILLAGE

A REQUEST FOR REZONING AND ANNEXATION FOR A PLANNED COMMERCIAL DISTRICT (PCD)
Murfreesboro, Tennessee

Initial Submittal
October 17, 2019

Resubmittal
November 6, 2019 for November 20, 2019
Planning Commission Workshop Meeting

Resubmittal
November 27, 2019 for the December 4, 2019
Planning Commission Public Hearing Meeting

SEC, Inc.

SEC Project #19002

SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

Address: *850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129*

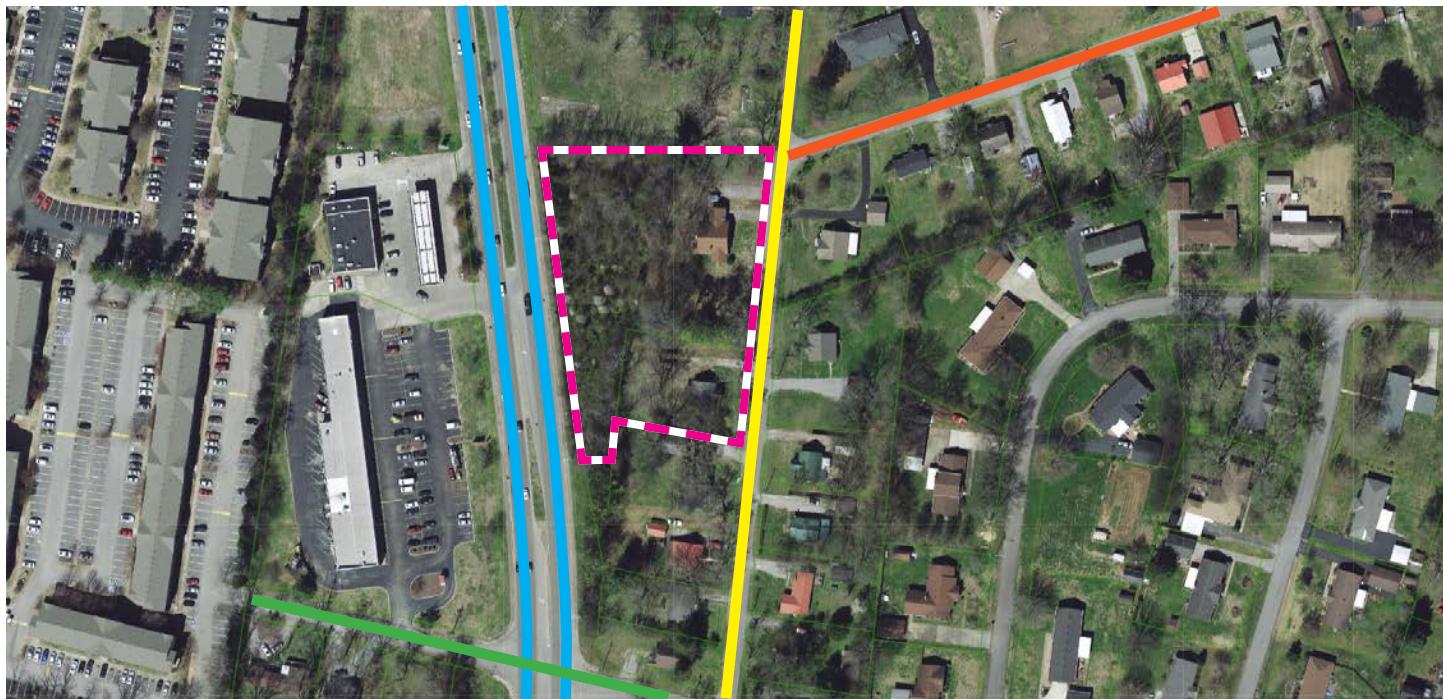
Company Name: Greenland Partners, LLC
Profession: Developer
Attn: Michael Hazlett
Phone: 615-300-2594
Email: mbhazlett@mail.com

Address: *1207 Greenland Drive
Murfreesboro, TN 37130*

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AERIAL PHOTOGRAPH

Not To Scale 

 North Rutherford Boulevard

 Louise Street

 Yearwood Avenue

 Central Boulevard

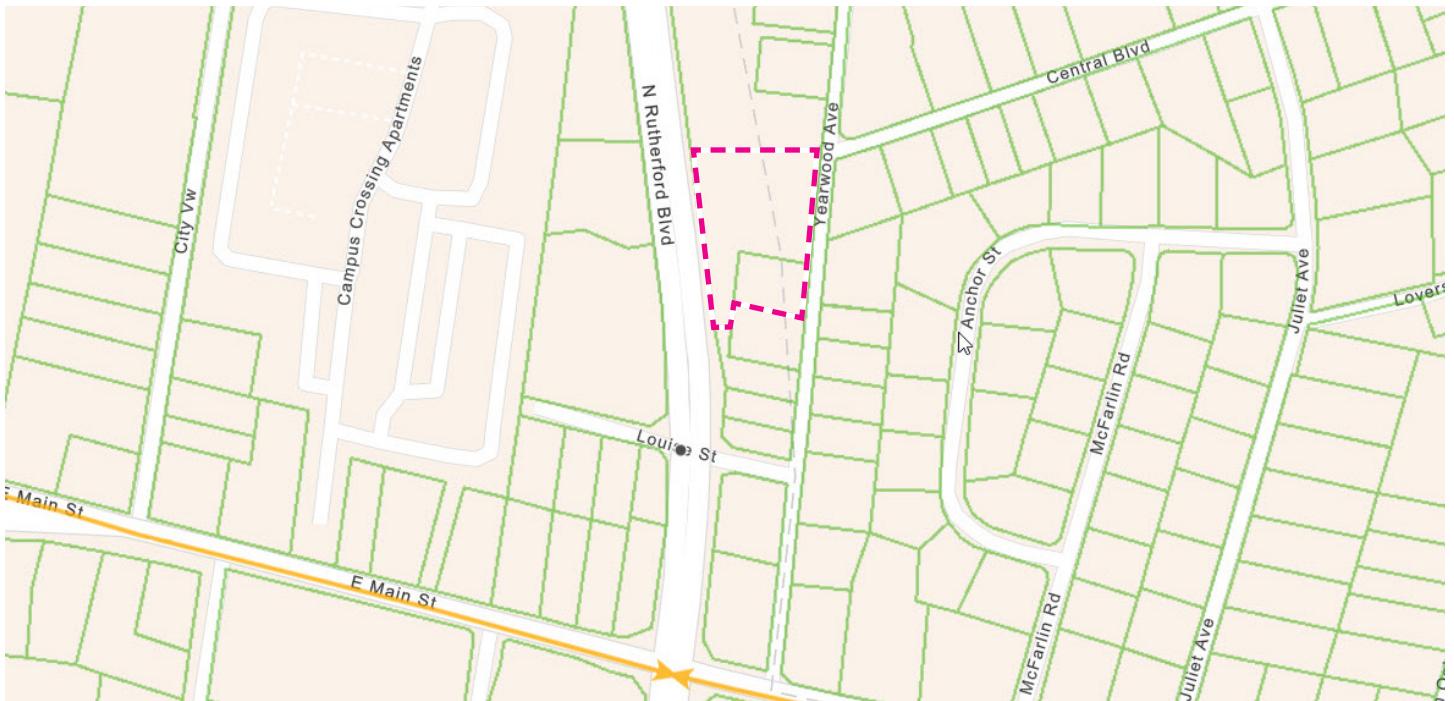


Site Boundary

Greenland Partners, LLC. respectfully requests annexation and rezoning of their properties at 213 and 219 Yearwood Avenue from Medium Density Residential (RM) in Rutherford County, and Single Family Residential District (RS-15) in the City of Murfreesboro to Planned Commercial District (PCD) City of Murfreesboro to create East Side Village. The western boundary of the property is defined by North Rutherford Boulevard, and the eastern boundary is defined by Yearwood Avenue. The southern boundary is three properties to the north of Louise Street. The northern boundary of the site closely aligns with the western terminus of Central Boulevard. The site is identified as Parcels 4.00 and 5.00 of Tax Map 103C Group A, and is approximately a total of 1.83 acres

The request is for annexation of approximately 1.15 acres between both parcels. Also this project is requesting approximately 1.15 acres to be rezoned from Medium Density Residential (RM) in Rutherford County, to Planned Commercial District (PCD) in the City of Murfreesboro. Additionally the project is requesting rezoning 0.68 acres from (RS-15) to (PCD).

The request for rezoning to PCD is to create East Side Village. The development will consist of a single story retail/office building that is approximately 11,100 sf. in size. This development will include a drive through tenant space on the northern part of the building. The proposed site shall include open space, detention areas, and open space along the front of the building. The building facades shall be constructed primarily of brick, cast stone, or natural/synthetic stone. An example sheet of materials and characteristics can be found on Page 14 of this book. The North Rutherford Boulevard entrance will incorporate signage and shall be anchored by landscaping. Space has been set aside at the Yearwood Avenue entrance for an optional development sign as well.



2040 MAJOR THOROUGHFARE PLAN

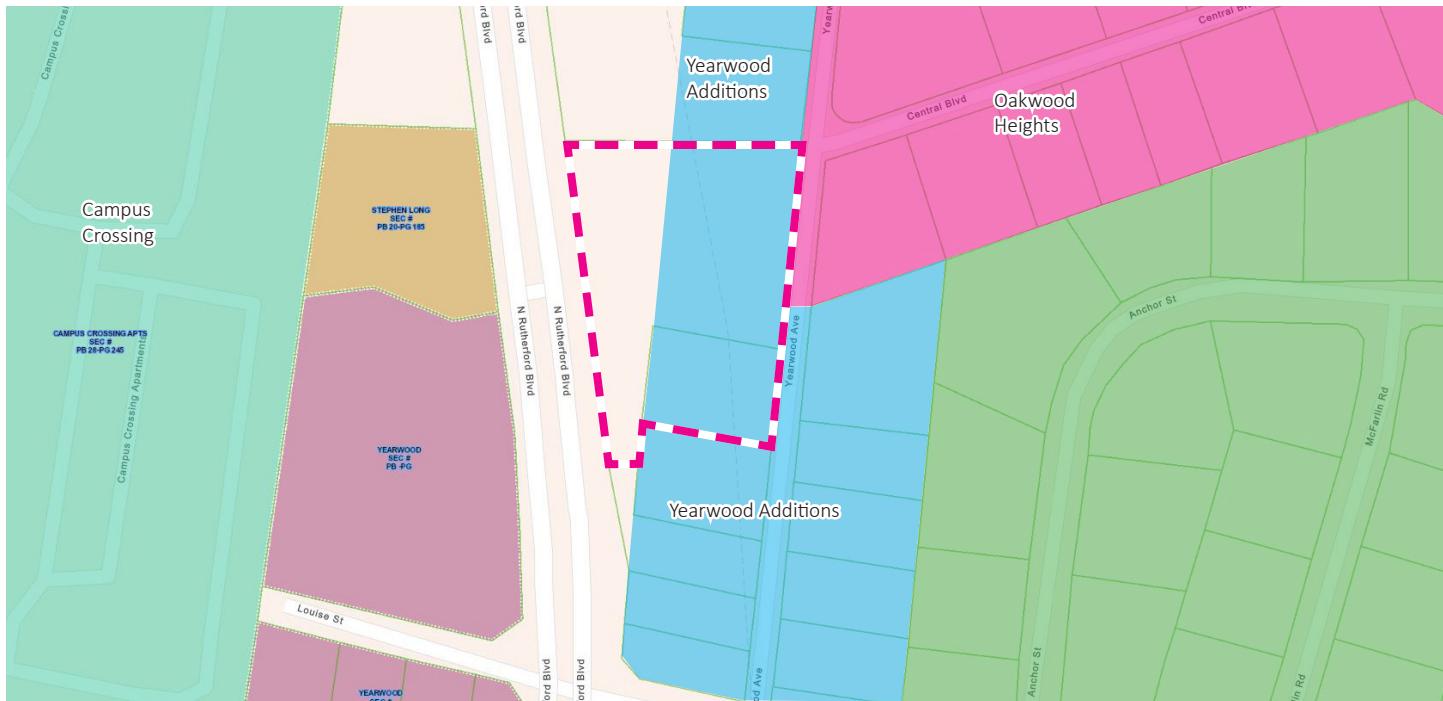
Not To Scale 

Recommended 3-Lane Improvement



Site Boundary 

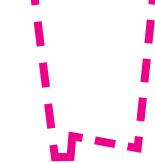
The property has/will have access to the existing public rights-of-way of North Rutherford Boulevard through a 3-lane entrance/exit, and two lane access-point onto the existing public rights-of-way of Yearwood Avenue. Neither of these roads are slated or committed to improvements. East Main Street at the North Rutherford Boulevard intersection to the south of the site is recommended to become a 3-lane roadway.



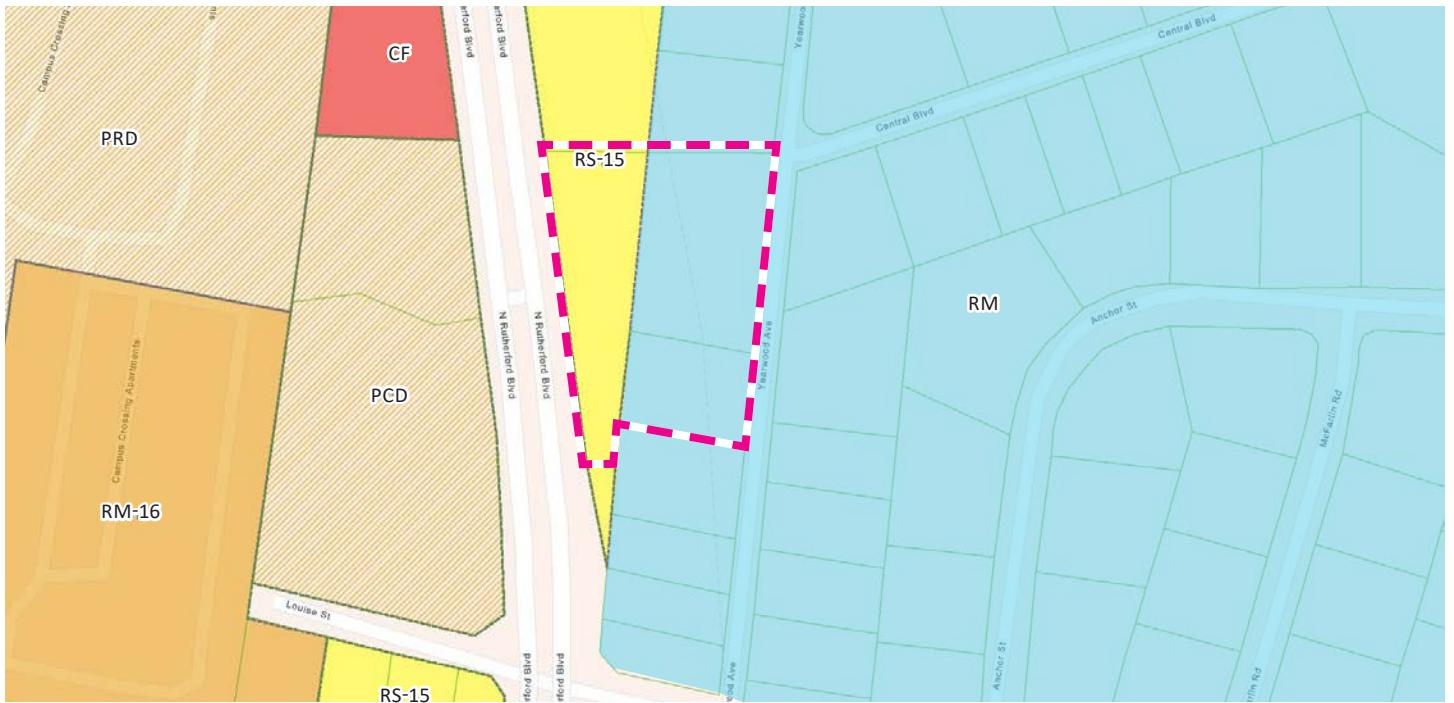
SUBDIVISION MAP

Not To Scale 

 Campus Crossing Apartments	 Yearwood Additions (Rutherford County)
 Yearwood Section	 Oakwood Heights (Rutherford County)
 Steven Long Section	 McFarlin (Rutherford County)



The property is surrounded by several existing subdivisions and commercial properties. A portion of the property is currently within the Yearwood Additions Subdivision. University Square shopping center and a Shell gas station are located to the west along the western side of North Rutherford Boulevard. Along the southeast corner of the site and the northern portion of the site is the remainder of the Yearwood Additions Subdivision. This residential area consists of single-family detached home with primarily vinyl siding. To the east of the site is the Oakwood Heights Subdivision, which consists of one to two story homes. These elevations of the homes consist primarily of vinyl, with some homes having masonry accents on the front elevations. Campus Crossing Apartments is located behind the shopping center to the west of the site. The apartment complex consists of primarily students attending MTSU. The main campus of MTSU is just to the northwest of the site along North Rutherford Boulevard.

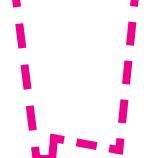


ZONING MAP

Not To Scale

- RS-15 Residential Single-Family
- RM-16 Residential Multi-Family
- CF Commercial Fringe

- RM Medium Density Residential (Rutherford County)
- PCD Planned Commercial Development
- PRD Planned Residential Development

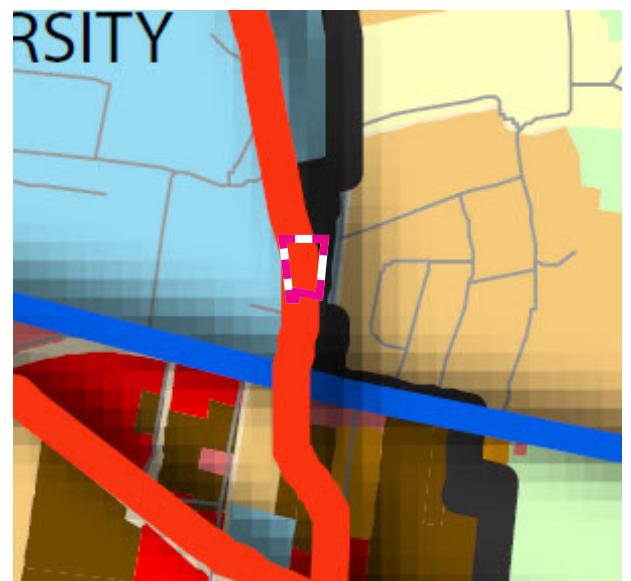


Site Boundary

The areas surrounding the project consist of a mixture of zoning types and uses. The lands to the east of Yearwood Avenue, to the north and south are zoned Medium Density Residential (RM) in Rutherford County. West of the site across North Rutherford Boulevard is a Planned Commercial District (PCD) consisting of the University Square Shopping Center and a Shell Gas Station. The western portion of the southern and northern boundary of the project is zoned Residential Single-Family (RS-15) in the City of Murfreesboro.

2035 LAND USE PLAN

The 2035 Murfreesboro Land Use Plan recommends these parcels to be developed under Public/Institution (PI) Land Use. The recommendation of an institutional land use on these properties is solely based on their proximity to the MTSU campus. The proposed Planned Commercial District (PCD) land use for these parcels differs from what the Land Use Plan recommends, although the design of the Land Use Plan may have anticipated these lots to be part of a campus expansion. Since these properties are cut off from the main body of the campus by a major roadway, these properties might have been recommended for a different type of land use. The proposed PCD land use will still blend into the overall institutional land use by providing the campus vital commercial establishment to serve the students, their families, the faculty and staff of MTSU. This PCD recommends a mix of commercial retail and services ideal to serve college campus.





UTILITY MAP

Not To Scale 



WATER



SEWER



STORMWATER



ELECTRIC



Site Boundary



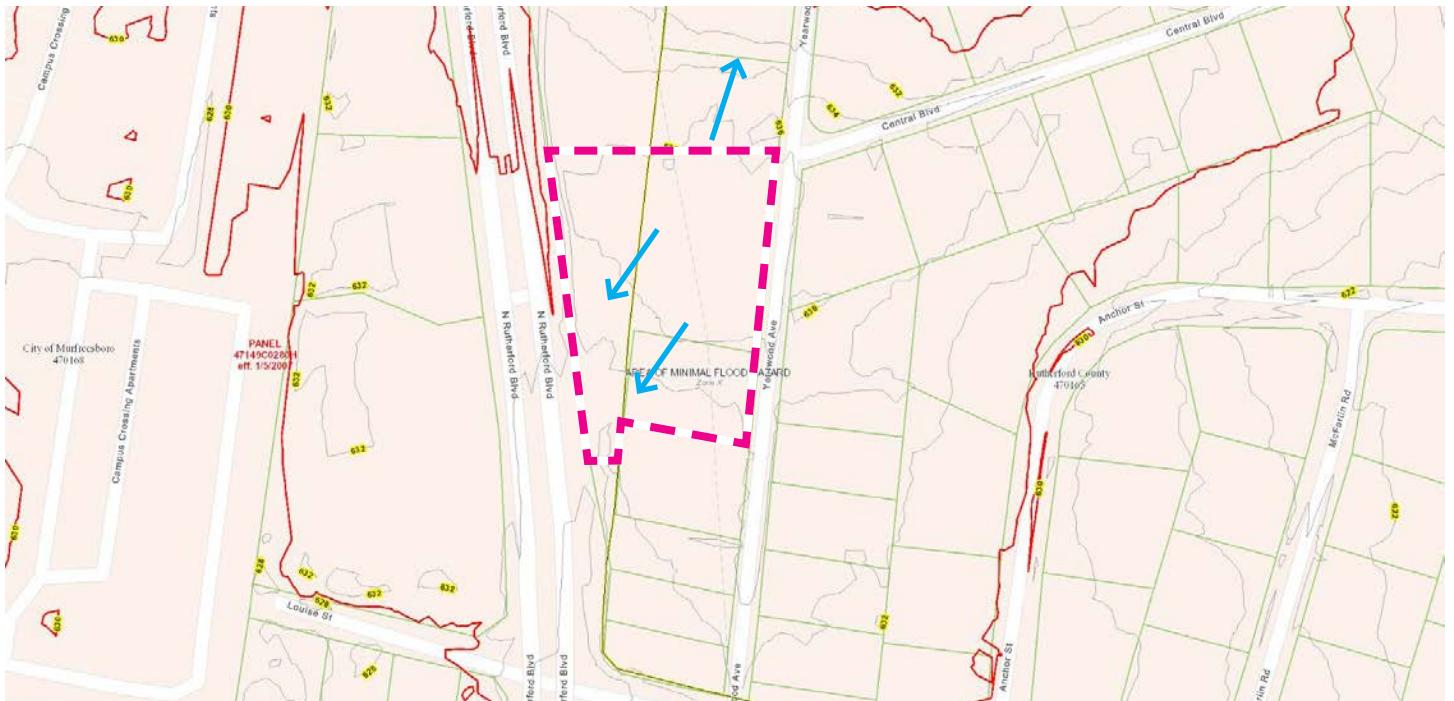
Water service will be provided by the Murfreesboro Water Resource Department. There is an existing 16 inch ductile iron water line along North Rutherford Boulevard with an existing 6" stub into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resource Department. Sanitary sewer service can connect to an existing 8" gravity sewer line within the R.O.W. of Louise Street. The developer will be responsible for extending the sewer service into the site.



Electric service will be provided by the Murfreesboro Electric Department. Service will be extended from North Rutherford Boulevard. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

WATER FLOW DIRECTION

INTERMEDIATE CONTOURS

INDEX CONTOURS

Site Boundary

The topographic map above shows the site's topographic high point generally at the north east corner of the property. From this high point, the property drains towards the southwest where it collects into the curb and gutter system of North Rutherford Boulevard. No portion of the site is within a floodplain or floodway as per FEMA Flood Panel #47149C0280H eff. 1/5/2007.

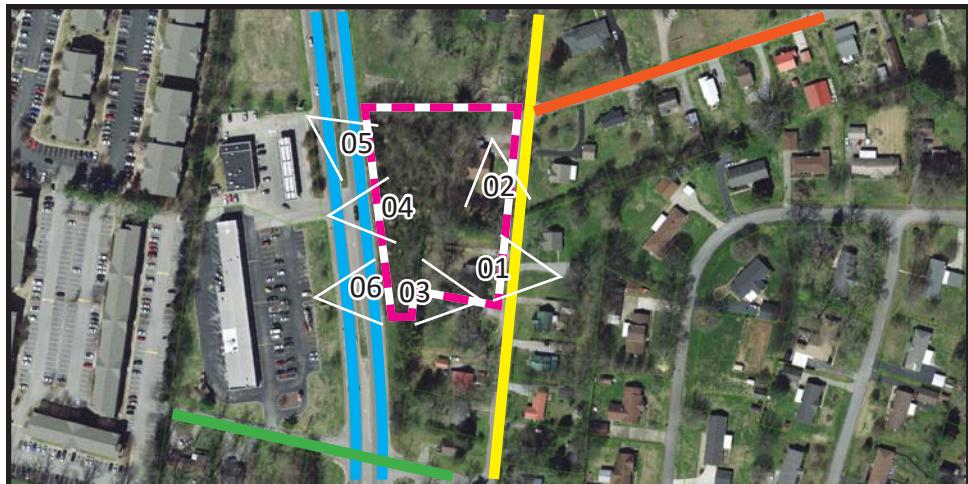


PHOTO DIRECTION MAP

Not To Scale



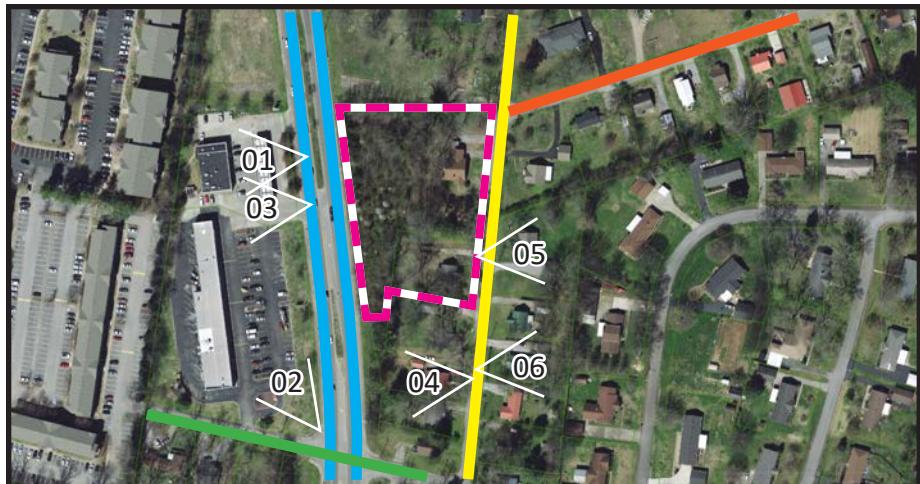


PHOTO DIRECTION MAP

Not To Scale



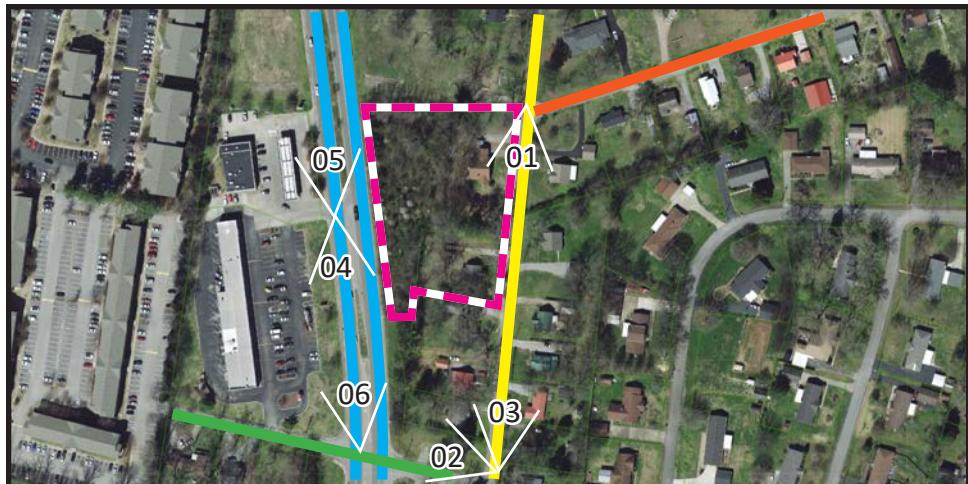
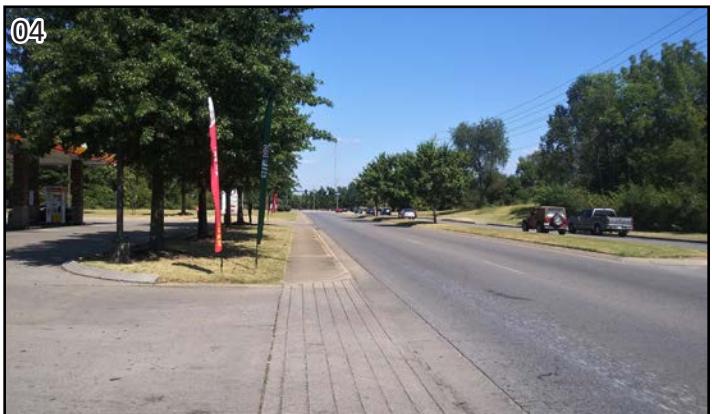


PHOTO DIRECTION MAP

Not To Scale

- █ North Rutherford Boulevard
- █ Central Boulevard
- █ Yearwood Avenue
- █ Louise Street





*Vegetation depicted on the conceptual site plans is strictly conceptual and do not delineate a location or quantity.



-50' 0' 50' 100'

SCALE 1" = 50'

SEC, Inc.

SEC Project #19002

Murfreesboro, Tennessee

Architectural Characteristics:

The building architecture has been designed to be functional for the intended uses, while maintaining a neighborhood commercial character to blend with surrounding residential and public/institutional developments.

Building Standards:

- Building heights shall not exceed 35 feet in height
- Parapet roof construction
- Buildings will have a well defined architectural base by use of different materials, colors or change in pattern or a combination of these techniques.
- The main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, changes in materials, changes in colors, and/or changes in building planes.
- Masonry materials (brick, stone, and cementitious siding) will be the primary building material.

Minimum Building Setbacks Internal to the Site:

North Rutherford Boulevard: 42-feet
Yearwood Avenue: 42-feet
Side: 10 feet

Building Materials Minimums:

Front Elevation (Facing North Rutherford Blvd): Masonry Materials (i.e. Brick, Stone, E.I.F.S.)
Front Elevation (Facing Yearwood Avenue): Masonry Materials (i.e. Brick, Stone, E.I.F.S.)
Side Elevations (Facing Adjacent Properties): Masonry Materials (i.e. Brick, Stone, E.I.F.S.)

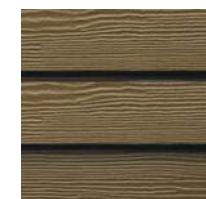
Primary Elevation Materials



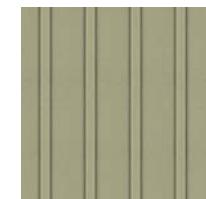
Example of Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Brick
(different colors and patterns will be allowed)



Example of Fiber Cement Board
(different colors and patterns will be allowed)



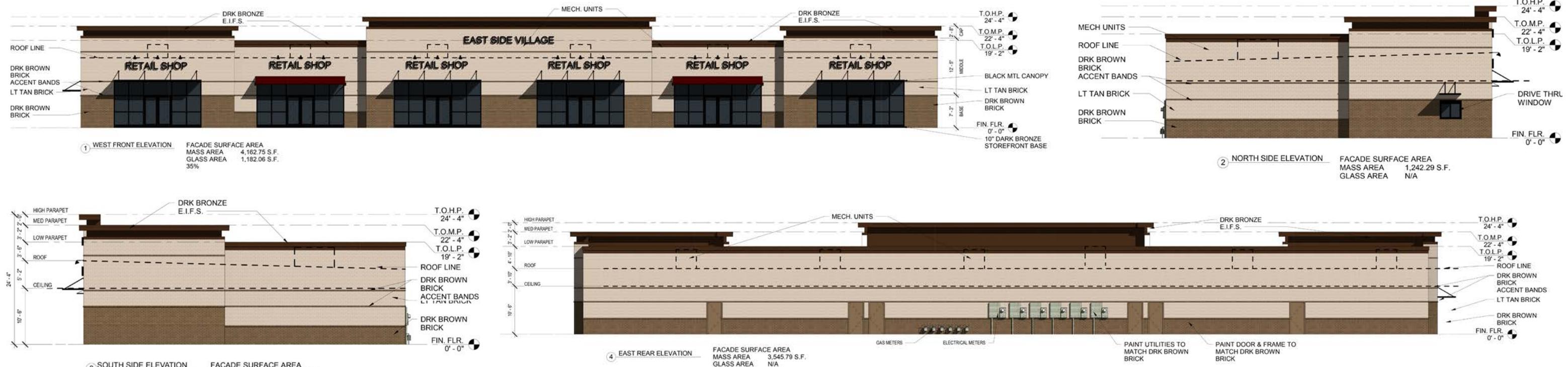
Example of Fiber Cement Board and Batten Siding
(different colors, patterns will be allowed)



Example of the Standing Seam Metal Roof (Accent Material)
(different colors and patterns will be allowed)



Example of E.I.F.S.
(different colors, patterns will be allowed)



(Final building design and architectural elevation materials/colors will be reviewed at the time of a site plan submittal by Murfreesboro planning staff and approved by the Planning Commission.)

While the immediate uses for the East Side Village are unknown at this time, the allowable uses for this development are outlined on Page 20. The list of allowable uses is based on the allowable uses listed under Commercial Fringe (CF) Zoning in the current zoning ordinance. Therefore, additional standards for those anticipated uses have been outlined here below. The proposed sites will provide for adequate parking, circulation, solid waste management, stormwater management and landscaping.

Development Standards:

- Building heights shall not exceed 35 feet in height.
- All parking will be located at least 10 feet from property line along North Rutherford Boulevard and 15' from the sides and rear of the property.
- The tenant space on the north end of the building will have a drive-thru window for uses such as restaurants, financial institutions, dry cleaners, etc.
- All parking areas to be screened from public right-of-way by landscaping and/or berms.
- Any solid waste enclosures shall be constructed of materials consistent with building architecture, be at least 8-feet tall, with opaque gates, and shall be screened with landscaping. Solid waste collection service shall be provided by a private hauler.
- The building shall have a well defined architectural base by use of different materials, colors or change in pattern or a combination of these techniques. The base of the building shall be accented with landscaping.
- The building shall have a pedestrian connection to North Rutherford Boulevard.
- Monument signage shall be placed at the North Rutherford Boulevard.
- Monument signage shall have materials consistent with the building architecture, and be accented with landscaping. Signage lighting will be exterior or push-thru style illumination.
- Building signage shall follow standards outlined in the City of Murfreesboro sign ordinance.
- All mechanical equipment located on the ground (i.e. hvac and transformers) to be screened with landscape or fencing.
- If mechanical equipment is located on the roof, then they shall be screened from view.
- All on-site utilities will be underground.
- On-site lighting will comply with City of Murfreesboro standards to prevent light pollution and provide safety for patrons and employees.
- Parking will comply with the City of Murfreesboro Zoning Ordinance.
- All parking will have curbing.
- Buildings shall have a minimum of 3' of foundation planting, except where access for drive-through windows is needed.
- Buildings shall have decorative lighting along the front of the building. The decorative lighting can be either attached to the face of the building or be pedestrian scale lighting along the sidewalks leading to the retail spaces.



Example of Possible Entrance Sign



Example of Solid Waste Enclosure



Example of Light Pole

Allowable Uses:

While the exact uses for East Side Village are unknown at this time, the allowable uses for this development are outlined below. The list of allowable uses is based on the allowable uses listed under Commercial Fringe (CF) Zoning in the current zoning ordinance. The allowable uses listed under the Commercial Fringe (CF) district, are intended to allow low impact commercial uses in relative close proximity to residential developments to provide commercial and retail uses and personal services for a relatively small area.

INSTITUTIONS	
Church ¹³	
Day-Care Center	
Nursery School	
Park	
Philanthropic Institution	
Public Building ¹³	
COMMERCIAL	
Amusements, Commercial Indoor	
Animal Grooming Facility	
Antique Mall	
Antique Shop <3,000 sq. ft.	
Apothecaries (pharmaceuticals only)	
Art or Photo Studio or Gallery	
Bakery, Retail	
Bank, Branch Office	
Bank, Drive-Up Electronic Teller	
Barber or Beauty Shop	
Beer, Packaged	
Book or Card Shop	
Business School	
Business and Communication Service	
Catering Establishment	
Clothing Store	
Coffee, Food, or Beverage Kiosk	
Commercial Center	
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	
Delicatessen	
Discount Store	
Dry Cleaning Pick-Up Station	
Financial Service	
Flower or Plant Store	
Gas Station	
Glass--Stained and Leaded	
Group Assembly, <250 persons	
TRANSPORTATION AND PUBLIC UTILITIES	
Health Club	
Interior Decorator	
Janitorial Service	
Karate, Instruction	
Keys, Locksmith	
Liquor Store	
Medical Offices	
Music or Dancing Academy	
Offices	
Optical Dispensaries	
Personal Service Establishment	
Pet Shops	
Pharmacies	
Photo Finishing	
Photo Finishing Pick-Up Station	
Reducing and Weight Control Service	
Restaurant and Carry-Out Restaurant	
Restaurant, Specialty	
Restaurant, Specialty -Limited	
Retail Shop, other than enumerated	
Specialty Shop	
Urgent Care	
Veterinary Office	
Veterinary Clinic	
Video Rental	
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	
Telephone or Communication Services	



Figure 16.1



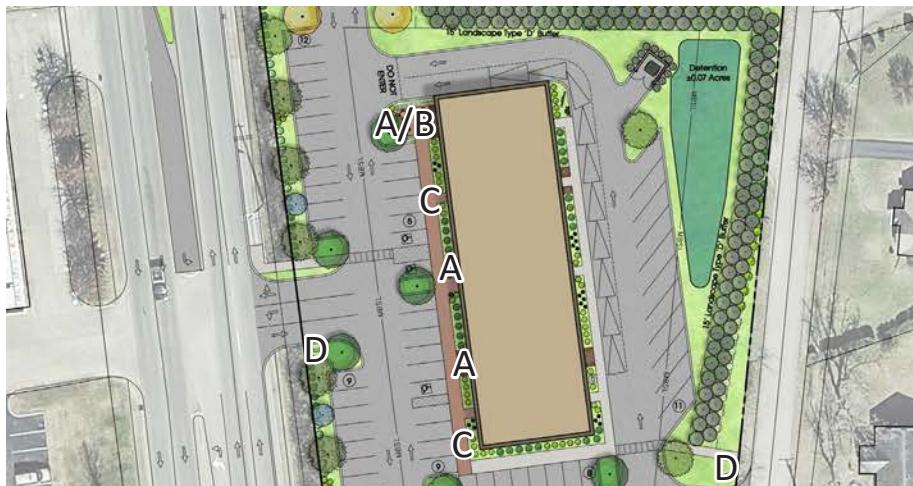
Figure 16.2

Pursuant to the City of Murfreesboro's 2040 Major Thoroughfare Plan (MTP), none of the roadways around this development are slated for improvements. North Rutherford Boulevard is a major thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 4-lane divided median cross-section with curb and gutter, along with sidewalks on both sides of the roadway. North Rutherford Boulevard will be improved to include a dedicated left turn lane in the median into the development.

As stated above, the primary means of ingress/egress from this site will be from North Rutherford Boulevard. Figures 16.1 and 16.2 show the entrance is proposed to incorporate three travel lanes for proper circulation into and out of the development onto North Rutherford Boulevard. There will be a dedicated left turn lane out of the development, as well as single lane for traffic entering the development. The other exit lane will be for right hand turns onto North Rutherford Boulevard as well as straight maneuvers to cross the roadway to the development on the west side of North Rutherford Boulevard. Figure 16.3 illustrates a secondary ingress/egress access from Yearwood Avenue. Figures 16.1 and 16.2 depict additional stubs for possible future connections to adjacent properties. This project will construct curb, gutter, and sidewalk southwest along Yearwood or pay fees in lieu of.



Figure 16.3



LOCATION MAP - AMENITIES

Not To Scale

A Outdoor Seating

B Outdoor Tables

C Open Space Hardscape

D Entry Signage

With this request, East Side Village will be dedicating .75 acres (over 40% of the site) to open space. The open space areas will be comprised of grass areas around the site, detention areas, and the formal open space along the front of the building. The formal open space along the front of the building could include elements such as; benches, trash cans, outdoor tables, and aesthetic plantings. Those items listed would be based on the types of tenants that occupy the building. Sidewalks along the front of the building shall have upgraded pavement materials to better define the shopping of the site. Such hardscape materials could include; decorative concrete, pavers, or concrete tiles that must be ADA accessible. The North Rutherford Boulevard entrance area shall incorporate a masonry sign, that will be anchored with landscaping. An optional secondary development sign is to be located at the Yearwood Avenue entrance. This signage will incorporate masonry materials consistent with the building's architecture, and will be anchored with landscaping.



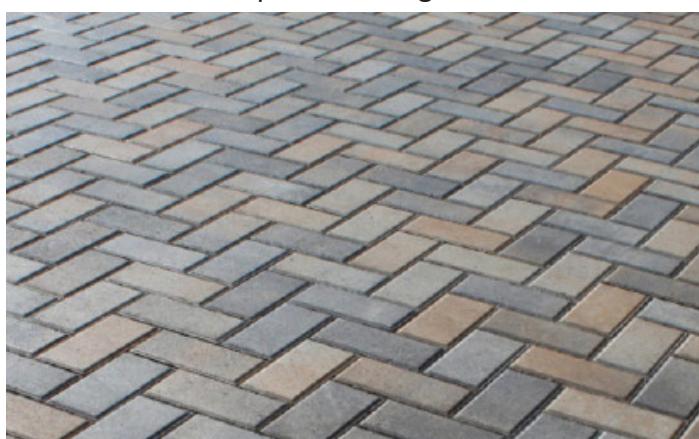
Example of Seating Bench



Example of Trash Can



Example of Bollard Light



Example of Paver



Example of Decorative Scored Concrete

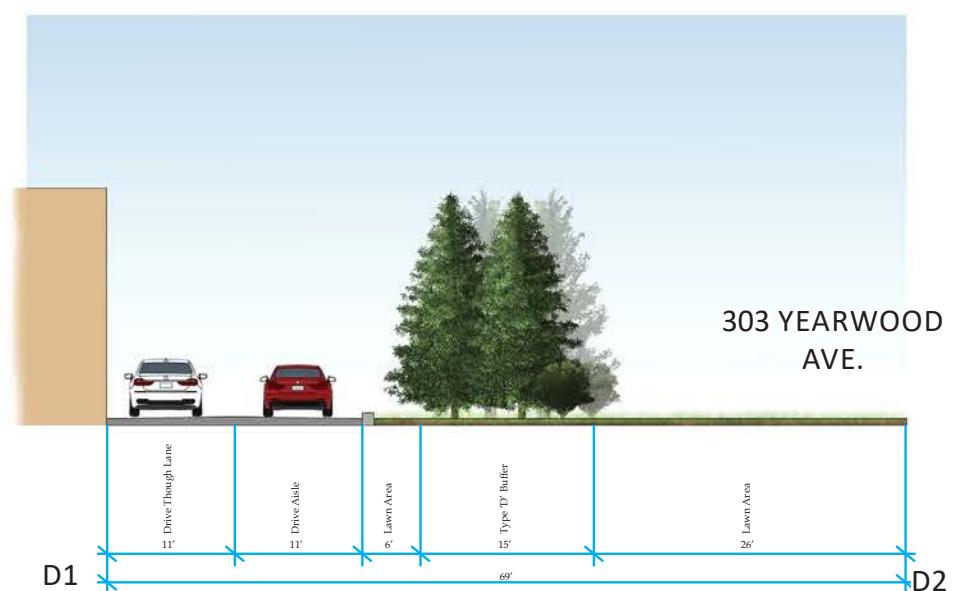
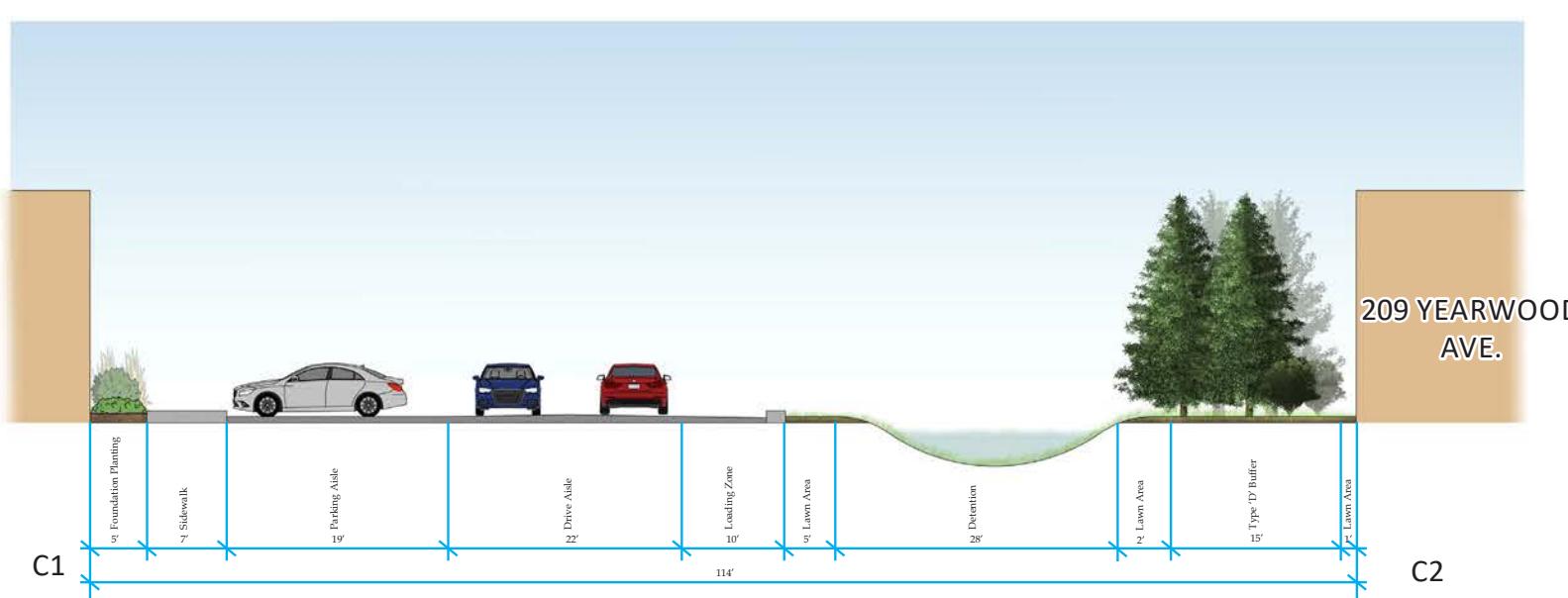
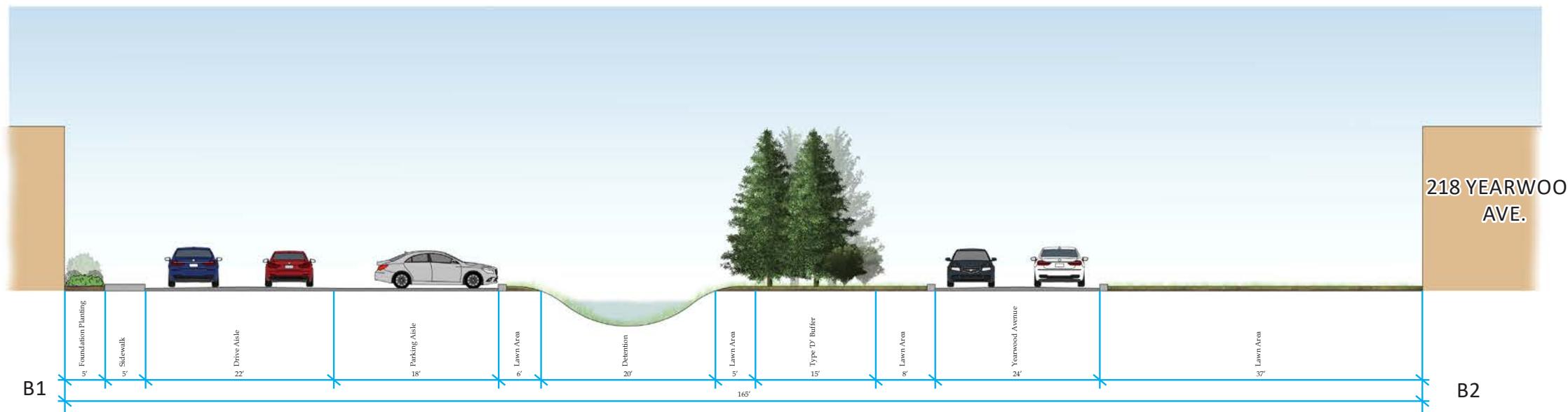
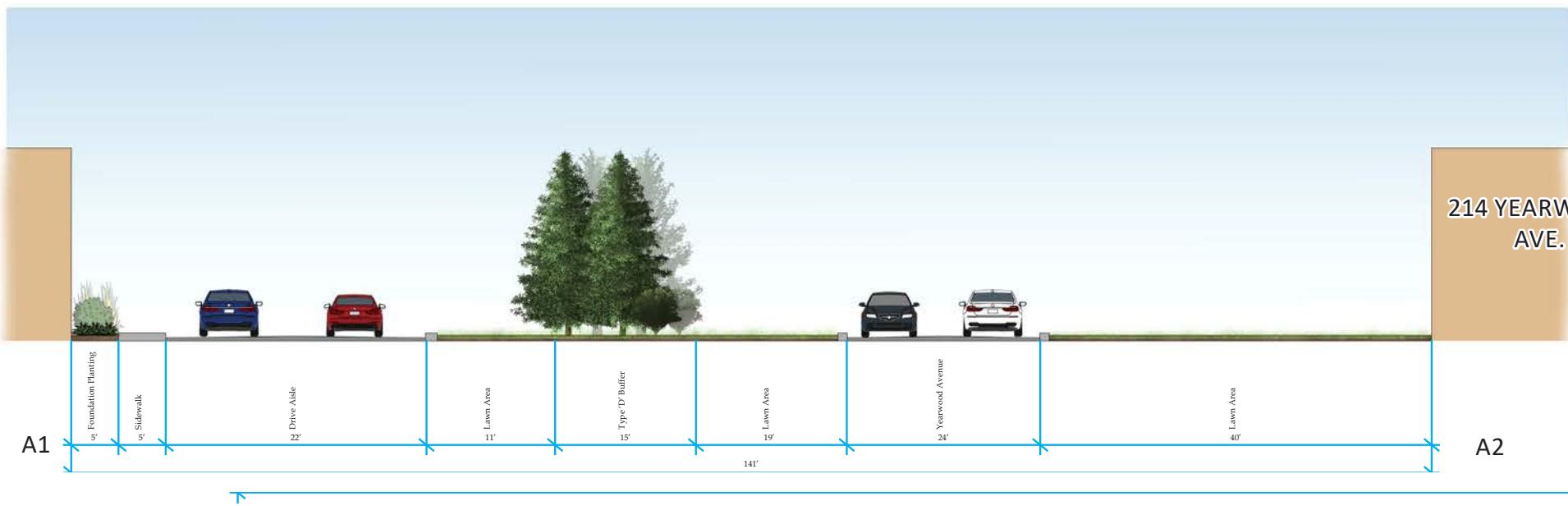


*Vegetation depicted on the conceptual site plans is strictly conceptual and do not delineate a location or quantity.



-50' 0' 50' 100'

PROPOSED PLANNED COMMERCIAL DISTRICT CONCEPTUAL SITE PLAN SECTIONS





Type 'D' Buffer

not to scale



LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES



(A)



(B)

- (A) *Ulmus parvifolia 'Emer II' / 'Emer II' Alle Elm*
- (B) *Zelkova serrata 'Green Vase' / Sawleaf Zelkova*
- (C) *Buxus x 'Green Mountain' / Boxwood*
- (D) *Prunus laurocerasus 'Otto Luyken' / Luykens Laurel*
- (E) *Lagerstroemia indica 'GAMAD VI' / Berry Dazzle Crape Myrtle*
- (F) *Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass*
- (G) *Liriope spicata 'Silver Dragon' / Creeping Lily Turf*
- (H) *Setcreasea pallida 'Purple Heart' / Purple Heart Setcreasea*
- (I) *Iberis sempervirens 'Little Gem' / Little Gem Candytuft*
- (J) *Liriope muscari 'Variegata' / Variegated Lily Turf*
- (K) *Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia*
- (L) *Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae*
- (M) *Cryptomeria Japonica 'Radians' / Japanese Cedar*
- (N) *Viburnum x pragense / Prague Viburnum*
- (O) *Prunus laurocerasus 'Schipkaensis' / Schipka Laurel*

LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES



(C)



(D)



(E)



(F)



(G)



(H)



(I)



(J)

LANDSCAPE BUFFER: EVERGREEN TREES



(K)



(L)



(M)

LANDSCAPE BUFFER: EVERGREEN TREES AND SHRUBS



(N)



(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided on this and the previous page.

Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and North Rutherford Boulevard. The site provides 15 feet along Yearwood Avenue and side property boundaries. Public rights-of-way shall be screened from parking by use of landscaping and/or berthing.
- A Type 'D' Landscape Buffer shall be installed along the Yearwood Avenue frontage, and a portion of the northern and southern perimeter of the property beyond the front of the proposed building. The buffer shall be 15 feet wide with a double staggered row of evergreen trees planted 8 feet on center to provide screening for the adjacent properties and their residents. Evergreen trees will be a minimum of 6 feet tall at the time of planting. In addition to the evergreen trees, a single row of evergreen shrubs will fill the gaps between the evergreen trees during the first few years of the buffer until the trees mature and fill in the buffer. The evergreen shrubs will be a minimum 3 feet tall at the time of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The fronts and sides at the base of buildings will have at least 3-foot wide landscape strip.
- Sides of buildings with drive through windows shall be exempt from the 3-foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro Landscape Ordinance.
- Detention ponds shall be screened from external lots and rights-of-ways only.
- Landscape and lawn areas shall be irrigated. Detention ponds do not require irrigation.

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1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4-8 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 6 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 13-15 lists standards and exhibits showing the concept plan which shows each of these items.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Pages 13-15 lists standards and exhibits showing the concept plan which shows each of these items.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of Rezoning approval.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RS-15 and RM. The surrounding area has a mixture of residential and commercial properties, and public/institutional uses. The concept plan and development standards combined with the architectural requirements of the building shown within this booklet, complement the type of developments in the surrounding area and are envisioned to complete the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

SETBACKS	CF	PCD	DIFFERENCE
Front Setback-N. Rutherford	42.0'	42.0'	0.0'
Front Setback-Yearwood Ave.	42.0'	42.0'	0.0'
Side Setback	10.0'	15.0'	+5.0'
Maximum Building Height	45.0'	35.0'	-10.0'

Response: No exceptions are requested at this time.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	77,963 s.f.
TOTAL MAXIMUM FLOOR AREA	11,100 s.f.
TOTAL LOT AREA	77,963 s.f.
TOTAL BUILDING AREA FOR COMMERCIAL	11,100 s.f.
TOTAL DRIVE/ PARKING AREA	31,004 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	46,959 s.f.
TOTAL OPEN SPACE	34,352 s.f.
FLOOR AREA RATIO (F.A.R.)	0.14
LIVABILITY SPACE RATIO (L.S.R.)	0.46
OPEN SPACE RATIO (O.S.R.)	0.86

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280H Eff. 01/05/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 16 discusses the Major Thoroughfare Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Rob Molchan of SEC, Inc. The developer/ applicant is Greenland Partners, LLC. Contact info for both is provided on Page 2.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 14 show the architectural character of the proposed buildings and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 15 and 17. The sign shall not exceed 8' in height and will have a maximum 40sqft of sign area as defined by the Murfreesboro sign ordinance.