

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**July 10, 2019  
6:00 PM**

**Kathy Jones  
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the June 5, 2019 and June 19, 2019 Planning Commission meetings.**
- 4. Public Hearings:**
  - a. Zoning application [2019-415] for 2,348 lots (approximately 920 acres), as shown on accompanying map, to be rezoned City Core Overlay (CCO), Murfreesboro Planning Department applicant**
  - b. Zoning application [2019-416] to amend the Spring Creek PRD to increase the number of single-family, attached units on approximately 74.5 acres located along Asbury Lane, Beazer Homes applicant. (project planner- Margaret Ann Green)**
  - c. Zoning application [2019-417] for approximately 2.2 acres located along Manson Pike to be rezoned from RM-16 and GDO-1 to CF and GDO-1, Egbert Rebeiro applicant. (project planner- Margaret Ann Green)**
  - d. Zoning application [2019-439] for approximately 2.5 acres located along West Northfield Boulevard and Sulphur Springs Road to be rezoned from RS-10 to PCD (Sanders Corner PCD), Henry & Linda Brendle applicants. (project planner- Margaret Ann Green)**
  - e. Annexation Petition and Plan of Services [2019-506] for approximately 11 acres located along Florence Road, Saraswat Family Trust applicants. (project planner- Margaret Ann Green)**

# **MURFREESBORO PLANNING COMMISSION AGENDA**

**PAGE 2**

**July 10, 2019**

- f.** Zoning application [2019-420] for approximately 11 acres located along Florence Road and Pointer Place to be zoned PRD (Shelton Crossing PRD) simultaneous with annexation, Alcorn Properties LLC applicant. (project planner- Margaret Ann Green)
- g.** Zoning application [2019-404] for approximately 1.2 acres located along Bridge Avenue and Power Avenue to be rezoned from RM-12 to PRD (Bridge Avenue Villages PRD), Mustafa Shaban applicant. (project planner: Dianna Tomlin)
- h.** Zoning application [2019-418] for approximately 0.4 acres located along North Maple Street and West Lokey Avenue to be rezoned from RD to PRD (Maple Key Townhomes PRD), Buford Powell applicant. (project planner: Dianna Tomlin)
- i.** Zoning application [2019-419] for approximately 13.9 acres located along North Tennessee Boulevard to be rezoned from CF to PRD (Brookwood Point PRD), Ole South Properties, Inc. applicant. (project planner: Amelia Kerr)
- j.** Zoning application [2019-409] for approximately 2.88 acres located at 1126 Rucker Lane to amend the Marymont Springs PUD to add “tavern” use, Jeff and Sherris Brown applicants. (project planner: Marina Rush)

## **5. Staff Reports and Other Business:**

## **6. Adjourn.**

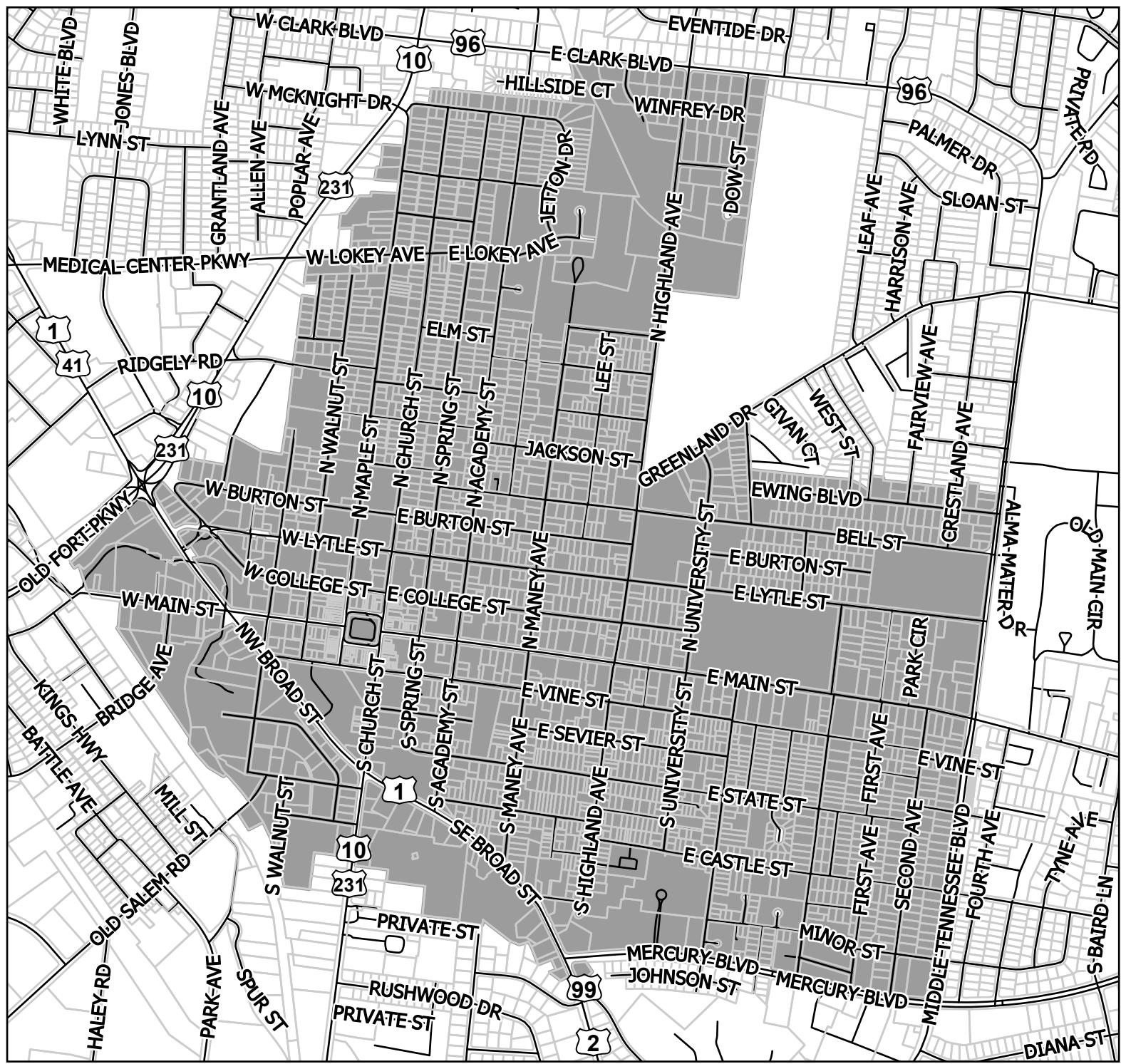
**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.a. Zoning application [2019-415] for 2,348 lots (approximately 920 acres), as shown on accompanying map, to be rezoned City Core Overlay (CCO), Murfreesboro Planning Department applicant**

The purpose of this Zoning Map amendment is to expand the City Core Overlay (CCO) district to include 2,348 lots located in and around the Downtown area. If the map amendment is approved, the affected properties would be subject to the CCO regulations set forth in the Zoning Ordinance. Each lot in the CCO would be assigned to one of eleven pattern areas. Standards for land use, lot layout, building design, landscaping, and parking would be determined by pattern area. Underlying zoning for these properties would not be affected by the map amendment.

Earlier this year, the Planning Commission recommended approval of a Zoning Ordinance text amendment that would create new standards for the CCO district. The amendment will be considered by the City Council in August.

The Planning Commission should conduct a public hearing for this item and then formulate a recommendation to the City Council.



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.b. Zoning application [2019-416] to amend the Spring Creek PRD to increase the number of single-family, attached units on approximately 74.5 acres located along Asbury Lane, Beazer Homes applicant. (project planner- Margaret Ann Green)**

The subject property is located along the west side of Asbury Lane and along I-24. The property is currently under development with a mixture of single-family attached and single-family detached lots. The property is bounded on its southwest side by I-24 and on its south side by property zoned RS-15 (Single-Family Residential District), both of which are located within the City limits. Further to the south, Asbury Lane intersects with Medical Center Parkway. To the north of the subject property is the Confederate Glen single-family residential subdivision located in the unincorporated County. To the east of the subject property, across Asbury Lane is a single-family residence on a large, mostly undeveloped tract located in the unincorporated County. Also to the east, across Asbury Lane, are the Ridgefield and Bridleview county single-family residential subdivisions and the currently under development Kingsbury PRD. Overall Creek flows through the subject parcel, and a large portion of the property is encumbered by Overall Creek and its floodway and floodplain.

**Existing PRD**

The subject property was originally annexed and zoned as a PRD in 2006. The original Purlingbrook PRD consisted of 168 townhome units. The Purlingbrook PRD was amended in 2008 to reduce the number of townhome units to 159 and to incorporate some other site design changes. Then again in 2016, the PRD was amended to reduce the density and allow for both single-family detached homes on individual lots of record in addition to for-sale townhome units by reducing the number of townhome units from 159 to 90 and allowing 48 single-family residential detached lots.

**Proposed PRD**

The proposed amendment to the PRD is to allow the reduction to the minimum required width of the townhomes from 24-feet wide to 20-feet wide and to increase the number of townhomes permitted from 90 to 101 for a total of 149 dwelling units.

The applicants requested to maintain an exemption from the requirement to install a trash compactor. Planning Commission directed the applicant to incorporate a trash compactor into the plans due to the increase in dwelling units.

The Spring Creek PRD program book is included with the agenda materials. The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to City Council.



*Creating a better quality of life*

**City of Murfreesboro**  
**Planning and Engineering Department**  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

<b>Zoning &amp; Rezoning Applications – other than rezoning to planned unit development</b>	<b>\$700.00</b>
<b>Zoning &amp; Rezoning Applications – Planned Unit Development, initial or amended</b>	<b>\$950.00</b>

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

**APPLICANT:** Civil Site Design Group, PLLC Attn: Kyle Griffin, P.E.

Address: 2305 Kline Ave, Suite 300 City/State/Zip: Nashville, TN, 37211

Phone: (615) 248-9999 E-mail address: [kyleg@civil-site.com](mailto:kyleg@civil-site.com)

**PROPERTY OWNER:** Beazer Homes LLC

Street Address or property description: Asbury Lane

and/or Tax map #: 79 Group: Parcel (s): 55

Existing zoning classification: PRD

Proposed zoning classification: PRD Acreage: 74.5

Contact name & phone number for publication and notifications to the public (if different from the applicant): Kyle Griffin, P.E.

E-mail: [KyleG@civil-site.com](mailto:KyleG@civil-site.com)

**APPLICANT'S SIGNATURE (required):** 1786/08/17

**DATE:** 5/16/19

\*\*\*\*\*For Office Use Only\*\*\*\*\*

**Date received:**   **MPC YR.:**   **MPC #:** 2019-416e

**Amount paid:** \$ 950.00 **Receipt #:** 293218

Revised 7/20/2018

May 16, 2019

Mr. Donald Anthony  
City of Murfreesboro  
Director of Planning  
111 W. Vine St.  
Murfreesboro, TN 37130

**RE: Spring Creek at Asbury Lane  
Planned Residential Development Amendment  
Asbury Lane  
Map 79, Parcel 55**

Dear Mr. Anthony,

On behalf of our client, Beazer Homes – Nashville Division, we are respectfully request approval of the included planned residential development amendment. With this minor amendment we are requesting approval for 47 single family homes plus 101 townhome units for a total of 148 residential units. The current master plan allows for 138 units while still the original approved master plan allowed 159 units (all townhomes).

Please find enclosed the following items as required by the Preliminary Master Development Plan checklist:

1. A completed Application Form.
2. \$950.00 check to cover the review fee
3. Ten (10) copies of the amended planned residential development.

We respectfully request favorable recommendation at the June Planning Commission Meeting. If you need any additional information, please do not hesitate to call me. Thank you for your assistance with this project.

Respectfully Submitted  
**Civil Site Design Group, PLLC,**



*Kyle*  
RECEIVED  
MAR 16 2019

Kyle Griffin, P.E.  
Project Engineer

Cc: Matt Williams Beazer Homes – Nashville Division

CSDG No. 16-073-01

# Spring Creek

at Asbury Lane

A PLANNED UNIT DEVELOPMENT

DEVELOPED BY:  
BEAZER HOMES - NASHVILLE DIVISION  
201 CORPORATE CENTER DRIVE, STE 180  
FRANKLIN, TN 37067  
ATTN: MATT WILLIAMS

REV: 07-01-19  
DATE: 05-16-19

1. EXISTING PROJECT SUMMARY AND PLAN
2. PROPOSED CONDITIONS SUMMARY
3. ILLUSTRATIVE MASTER PLAN
4. SITE CONCEPT PLAN
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7. CURRENT ZONING MAP
8. EXISTING UTILITIES
9. AERIAL AND TOPOGRAPHICAL INFORMATION
10. ROADWAY INFORMATION
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12. 20' & 24' TOWNHOMES ARCHITECTURAL ELEVATIONS
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14. 24' TOWNHOME FLOORPLANS
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16. SINGLE FAMILY ELEVATIONS AND FLOORPLAN
17. SINGLE FAMILY ELEVATIONS AND FLOORPLAN
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20. SINGLE FAMILY ARCHITECTURAL RENDERINGS
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22. TOWNHOME ARCHITECTURAL RENDERINGS
23. SECTION 13(D) (2) (9) (1-15)
24. SECTION 13(D) (2) (9) (1-15)
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Murfreesboro, Rutherford County, Tennessee



#### Existing Conditions

Spring Creek at Asbury Lane is 74.5 acres in size and is currently zoned as planned residential with single family and multi-family attached condominium use with 138 proposed units at a density of 1.9 du/acre. The site is surrounded by existing single-family developments to the north and east and Interstate 24 to the southwest.

#### History of the Spring Creek at Asbury Lane Development

Spring Creek at Asbury Lane was originally annexed and approved as a planned development in December of 2006. The original plan was then amended in April of 2008 to include the following major improvements: A decrease in total density from 2.3 du/acre to 2.16 du/acre, increased setbacks along Overall Creek to meet water quality standards, increased building setbacks from Asbury Lane & the northern property line, and a different product mix. In October of 2016 the plan was amended to include a single family portion of the development that decreased the total density from 2.16 du/acre to 1.9 du/acre. On behalf of Beazer Homes - Nashville Division we are submitting an amendment to the planned residential development proposing to replace the existing PRD zoning plan with the PRD zoning plan described in the following pages.

## EXISTING PROJECT SUMMARY & PLAN

### SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee

### Proposed Development Amendments

The revised Spring Creek at Asbury Lane - PRD will offer more product types in an effort to provide potential buyers with more options to better suit their needs. In particular, we are requesting to add a 20' wide townhome product option for this development. While still maintaining the minimum required townhome unit square footage of 1,250 sq.ft. from the previously approved plan, we would be able to increase the overall lot yield to 148 units from the 138 units that are currently permitted. After the last plan was approved a favorable alta survey revealed an additional 3.6 acres of land. The new site acreage was increased to 78.1± acres and because of this, the new proposed overall gross density remains at 1.9 du/ac. While this site currently offers a robust amenity package for a development of this size with the existing cabana, pool, and extensive walking trails, this new plan will also offer the addition of a fenced in dog park. All of the proposed townhomes will be fee-simple for sale units. These units shall have slab on grade or crawlspace foundations and each townhome unit will have a minimum of a 1 car garage. This development will now offer residence approximately 54.5 acres of natural open space.

### Items Remaining Unchanged

- Minimum townhome square footage to remain at 1,250 sq. ft.
- All townhome driveways to remain 12' wide and 18' deep measured from face of garage to sidewalk or face of garaged to back of curb
- The architectural standards remain the same. All buildings shall consist of 100% masonry (brick, stone, or Hardie-Plank). No vinyl shall be permitted except eaves and soffits.
- Townhomes and single family units shall have a max building height of 3 stories or 35'.
- The increased setbacks along Overall Creek from the previous approval are to remain to meet water quality standards.
- The increased minimum building setbacks along Asbury Lane and the northern property line from the previous approval are to remain in place.
- We are still proposing a variety of housing types and maintaining significant architectural and aesthetic improvements.

## PROPOSED CONDITIONS SUMMARY

### SPRING CREEK at ASBURY



## ILLUSTRATIVE MASTER PLAN

# SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee



#### SITE DATA:

DEVELOPER: BEAZER HOMES - NASHVILLE DIVISION  
 ACREAGE: 78.1 Ac±  
 TAX MAP: 079 PARCEL: 055  
 CURRENT ZONING: PRD  
 PROPOSED ZONING: PRD

#### DWELLING UNITS:

SINGLE FAMILY LOTS: 47 LOTS  
 TOWNHOME UNITS: 101 UNITS  
 TOTAL: 148

#### MIN. SETBACKS. (SINGLE FAMILY LOTS)

FRONT	20'
SIDE (INTERIOR LOT)	5'
SIDE (CORNER LOT)	15'
REAR(INTERIOR LOT)	20'
REAR (CORNER LOT)	10'

TOTAL DENSITY PROPOSED: 1.9 UNITS/Ac.  
 MIN. SINGLE FAMILY LOT SIZE: 4,500 S.F. (45'W x 100'D)  
 MIN. TOWNHOME UNIT PAD: 930 S.F. (20'W x 46.5'D)

MIN. SINGLE FAMILY SQUARE FOOTAGE = 1,850 S.F.  
 MIN. TOWNHOME SQUARE FOOTAGE = 1,250 S.F.

F.A.R. = 0.10  
 L.S.R. = 9.7  
 O.S.R. = 7.1

#### BUILDING MIX

24' TOWNHOME				
BUILDING TYPE	# OF BUILDINGS	UNITS PER TYPE	END UNITS	INTERIOR UNITS
5 UNIT	6	30	12	18
6 UNIT	1	6	2	4
TOTALS	7	36	14	22

20' TOWNHOME				
BUILDING TYPE	# OF BUILDINGS	UNITS PER TYPE	END UNITS	INTERIOR UNITS
5 UNIT	2	10	4	6
6 UNIT	2	12	4	8
7 UNIT	5	35	10	25
8 UNIT	1	8	2	6
TOTALS	10	65	20	45

PROPOSED ASBURY R.O.W. DEDICATION: 1.90 Ac  
 INTERNAL R.O.W. AREA: 2.57 Ac  
 SINGLE FAMILY LOT AREA: 6.48 Ac  
 TOWNHOME AREA: 12.65 Ac  
 OPEN SPACE AREA: 54.50 Ac  
 TOTAL LAND AREA: 78.10 Ac

#### PARKING CALCULATIONS:

REQUIRED: (47) SINGLE FAMILY UNITS x 4 PARKING SPACES / UNIT = 188 SPACES  
 (88) 3 BEDROOM TOWNHOMES x 1.1 SPACES / BEDROOM = 290.4 SPACES  
 (13) 2 BEDROOM TOWNHOMES x 1.1 SPACES / BEDROOM = 28.6 SPACES  
 TOTAL REQUIRED PARKING SPACES = 507 SPACES

PROPOSED: (47) SINGLE FAMILY UNITS (2 GARAGE \* & 2 DRIVEWAY) = 188 SPACES  
 (101) 2 & 3 BEDROOM TOWNHOMES (1 GARAGE \* & 1 DRIVEWAY) = 202 SPACES  
 GUEST PARKING AREAS = 117 SPACES  
 TOTAL PROPOSED PARKING SPACES = 507 SPACES

#### VARIANCE TO STANDARD ZONING REQUIREMENTS:

ALLOWANCE FOR GARAGE SPACES TO COUNT TOWARD MINIMUM PARKING REQUIREMENTS FOR SINGLE FAMILY.

\* THIS PLAN IS COMMITTING TO RESTRICTING THE USE OF ALL GARAGES SO THAT THEIR PRIMARY USE WILL NOT BE FOR THE PARKING OF BOATS, RV'S, HOUSEHOLD STORAGE, ETC.; RATHER IT WILL BE FOR VEHICULAR PARKING. THE GARAGES IN THE SINGLE FAMILY PORTION OF THE DEVELOPMENT SHALL BE AVAILABLE FOR THE PARKING OF TWO (2) VEHICLES AT ALL TIMES, AND THE GARAGES IN THE TOWNHOME PORTION OF THE DEVELOPMENT SHALL BE AVAILABLE FOR THE PARKING OF ONE (1) VEHICLE AT ALL TIMES. IN ADDITION TO BEING A ZONING REQUIREMENT, THIS COMMITMENT WILL ALSO BE INCLUDED IN THE RESTRICTIVE COVENANTS AND ENFORCED BY THE HOMEOWNERS ASSOCIATION.

\* BEAZER HOMES AGREES TO PROVIDE OVERSIZED SINGLE FAMILY HOME GARAGES WITH A MINIMUM DEPTH OF 23'.

\* ALL ROW IN THE SINGLE-FAMILY PORTION OF THE DEVELOPMENT WILL BE 50' WIDE WITH 36' OF PAVEMENT.

## SITE CONCEPT PLAN

### SPRING CREEK at ASBURY

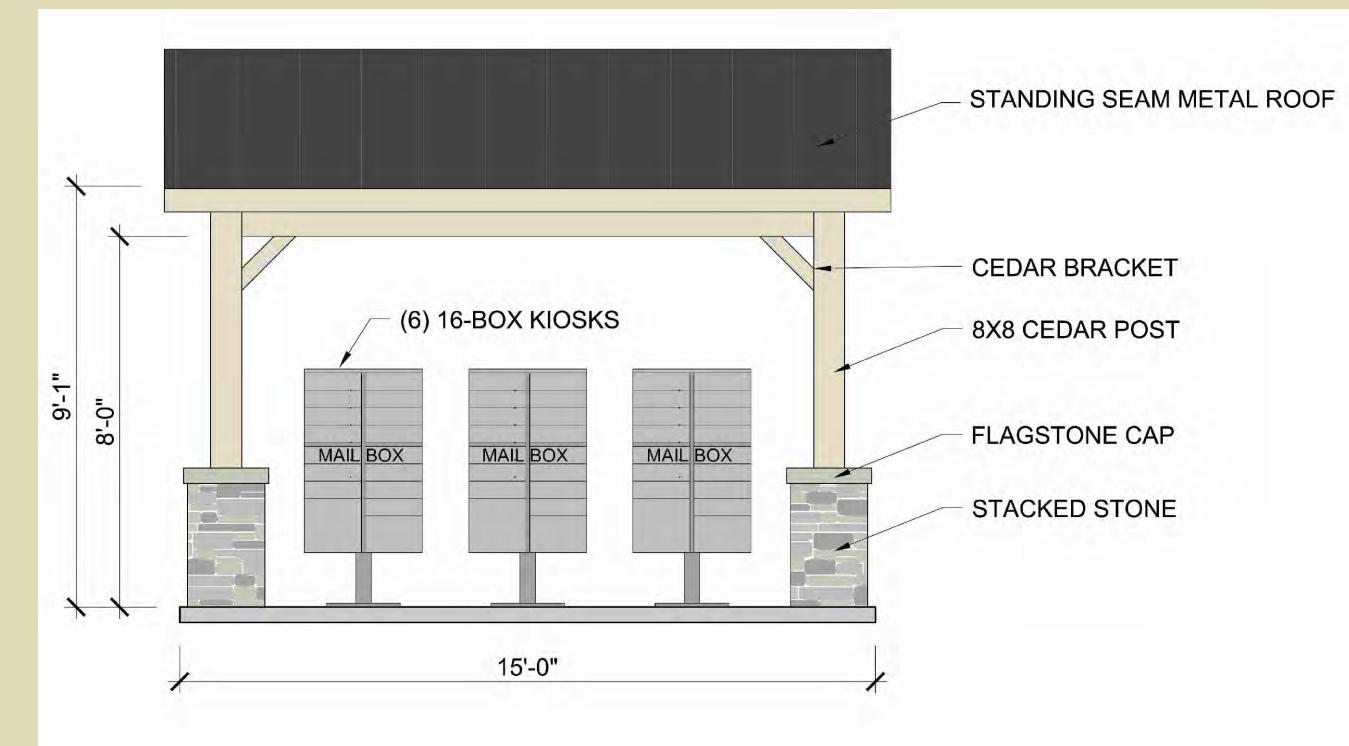
Murfreesboro, Rutherford County, Tennessee



EXISTING ENTRANCE FEATURES



ACTUAL LIGHT FIXTURE AND  
STREET SIGNS

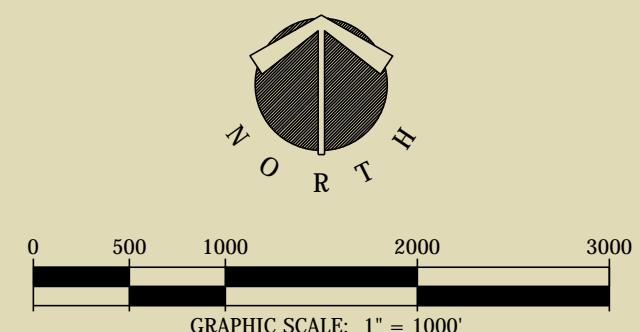


APPROVED MAIL KIOSK FOR TOWNHOMES-  
CURRENTLY UNDER CONSTRUCTION

## MASTER PLAN CHARACTERISTICS

### SPRING CREEK at ASBURY

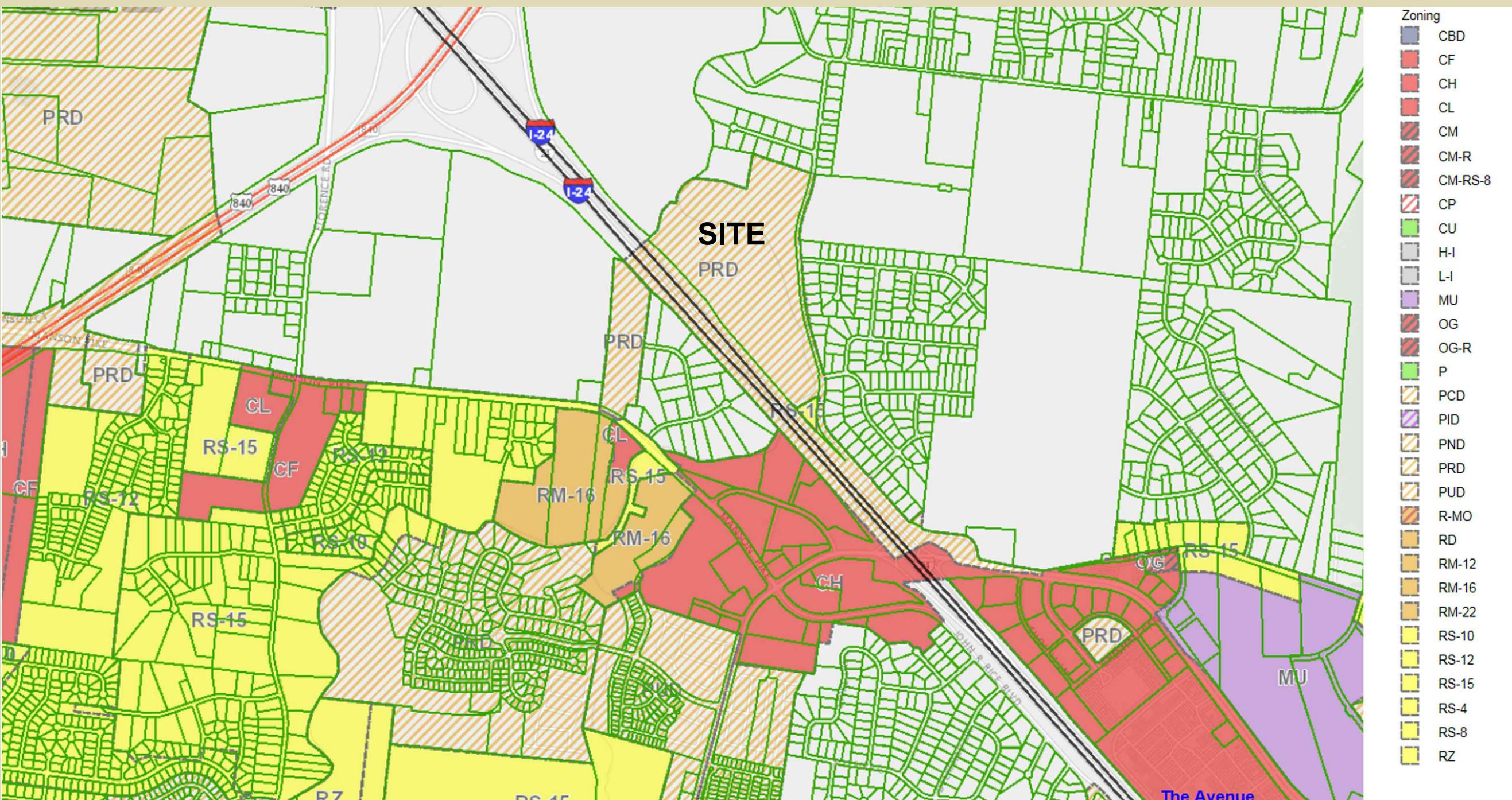
Murfreesboro, Rutherford County, Tennessee



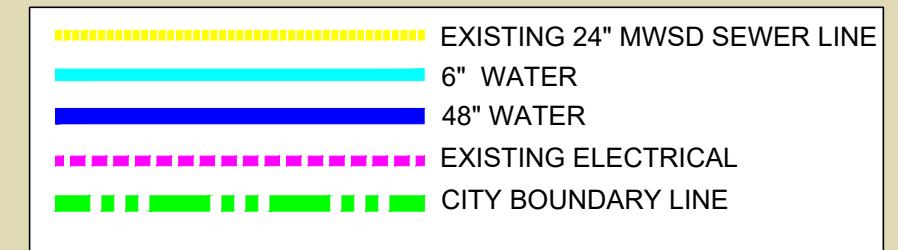
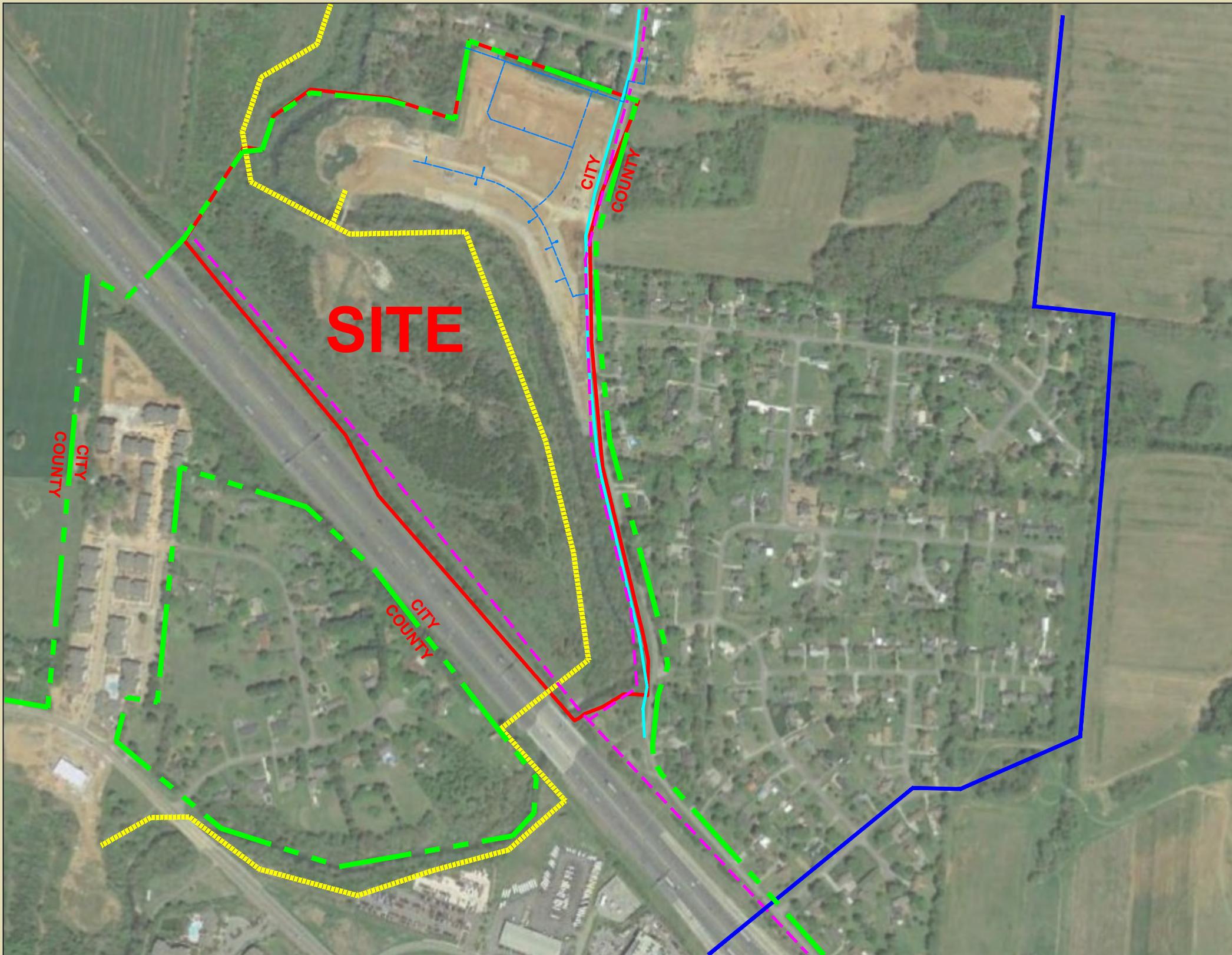
## LOCATION MAP

### SPRING CREEK at ASBURY

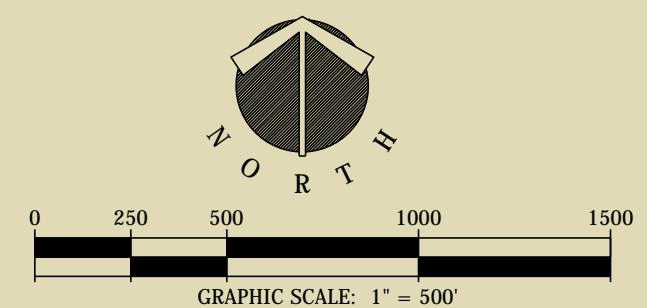
Murfreesboro, Rutherford County, Tennessee



## ZONING MAP



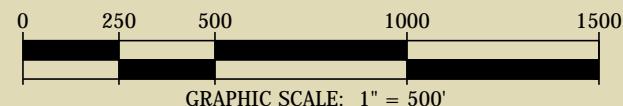
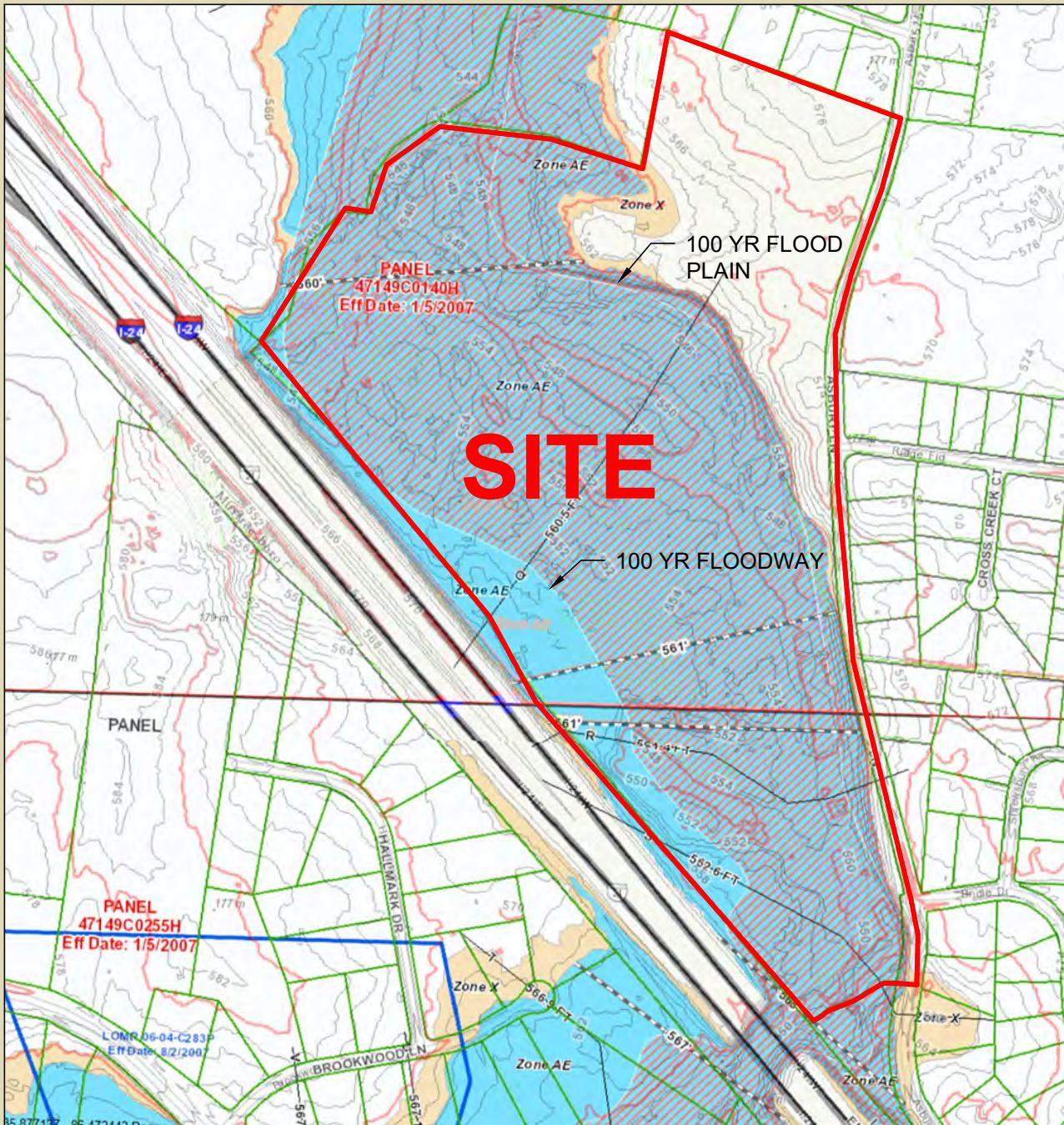
1. ALL UTILITIES WITHIN THE DEVELOPMENT WILL BE UNDERGROUND.
2. CURRENTLY, CONSOLIDATED UTILITY DISTRICTS EXISTING WATER INFRASTRUCTURE ALONG ASBURY LANE PROVIDES ADEQUATE DOMESTIC AND FIRE FLOWS. WE ARE PROPOSING TO SPRINKLE ALL OF THE TOWNHOMES.
3. SANITARY SEWER SERVICE TO BE PROVIDED BY MURFREESBORO WATER AND SEWER DEPARTMENT.
4. SOLID WASTE DISPOSAL WILL BE PROVIDED BY A PRIVATE CARRIER FOR ALL TOWNHOME UNITS. THE CITY WILL PROVIDE SOLID WASTE SERVICES TO THE SINGLE FAMILY LOTS.



## EXISTING UTILITIES

### SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee

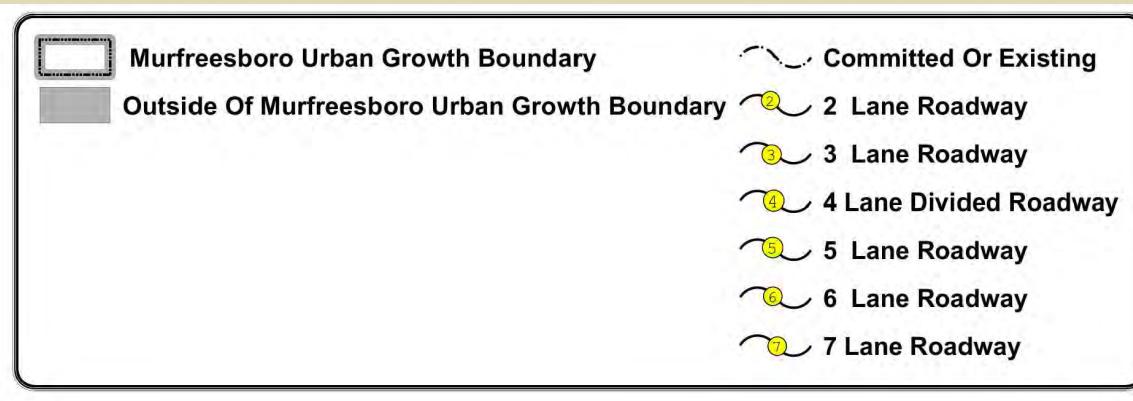
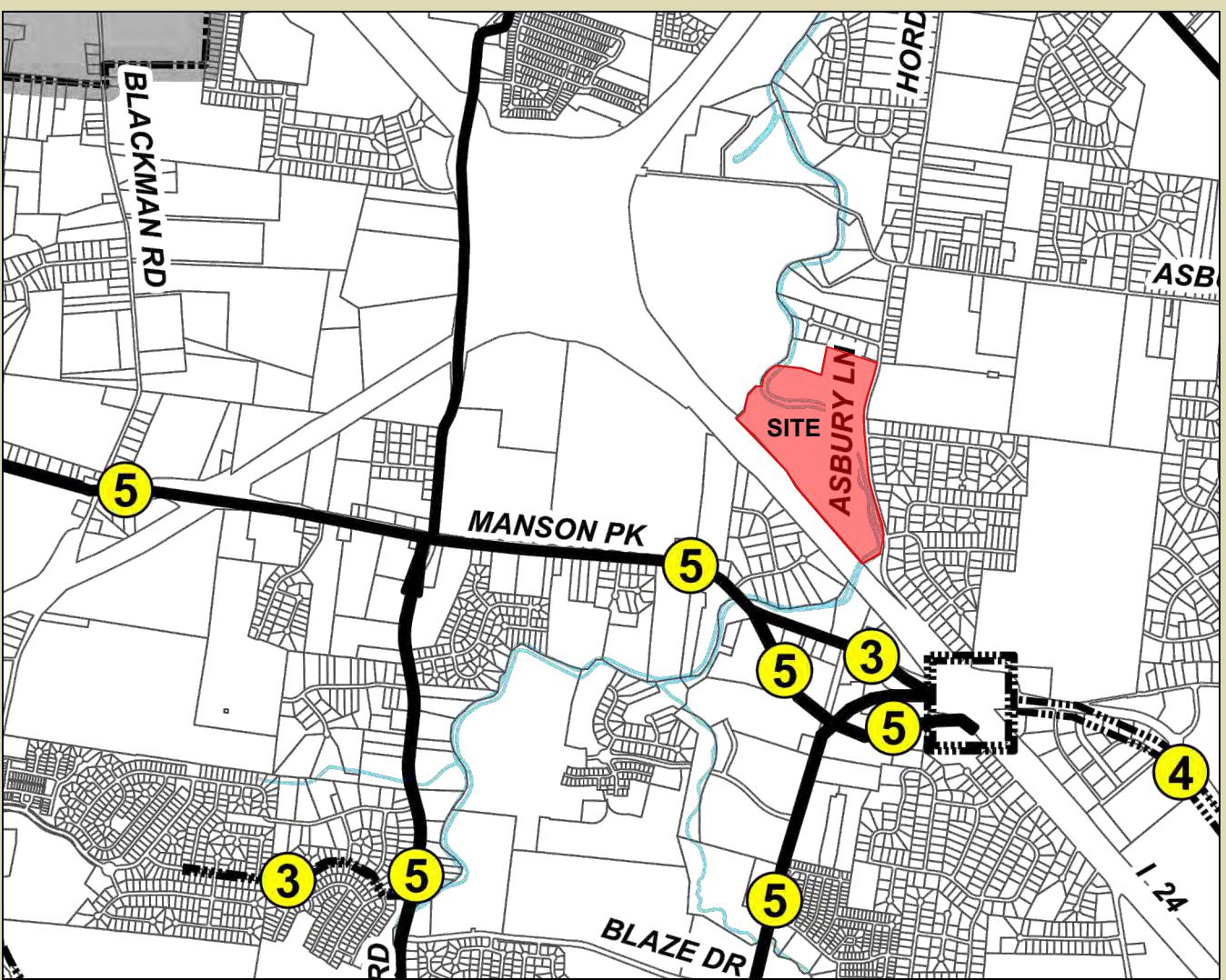


## TOPOGRAPHICAL & AERIAL INFORMATION

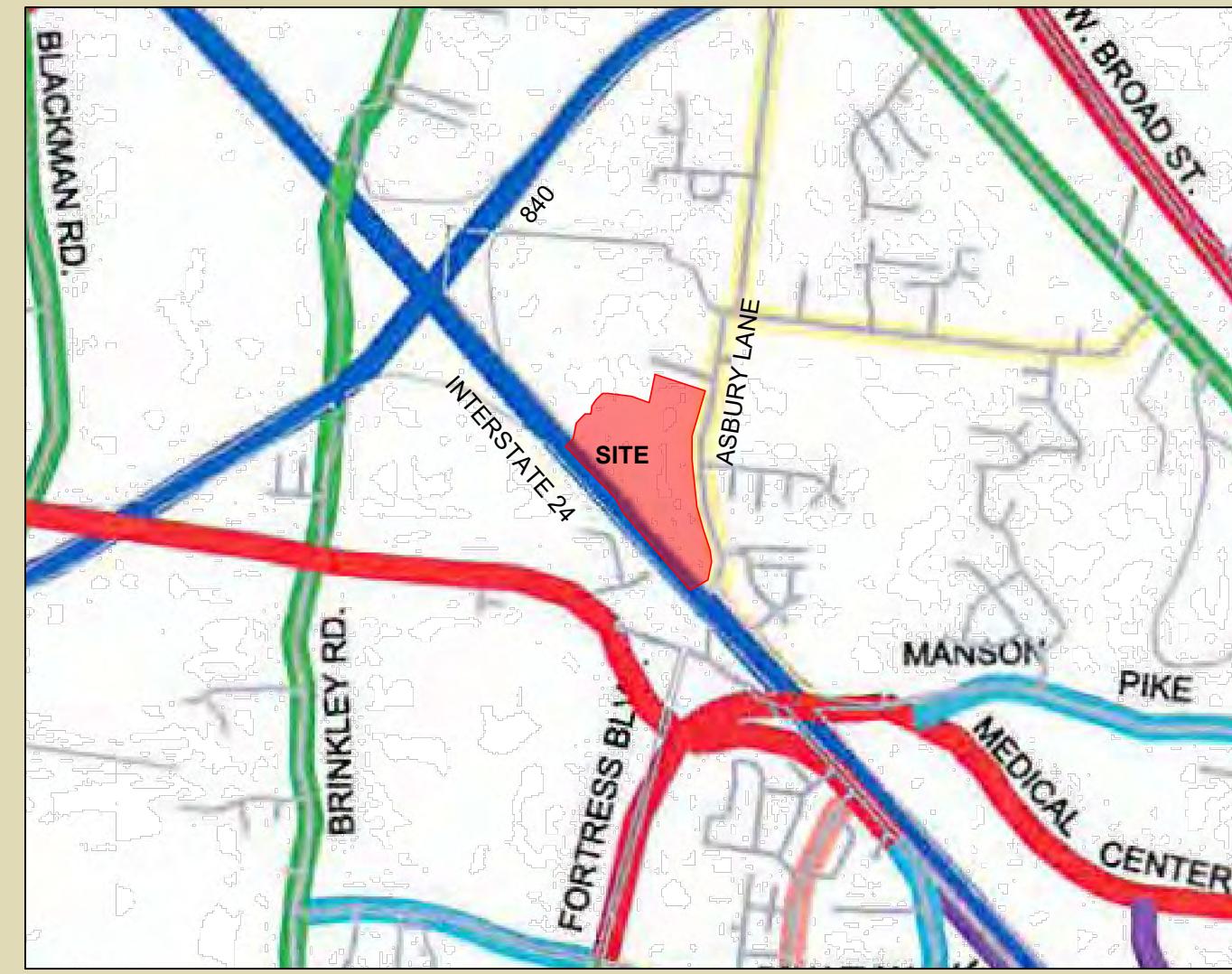
### CIVIL SITE

### SPRING CREEK at ASBURY

### MAJOR THOROUGHFARE PLAN



### ROADWAY CLASSIFICATION MAP



ASBURY LANE IS PRESENTLY CLASSIFIED AS A RESIDENTIAL COLLECTOR ON THE ROADWAY CLASSIFICATION PLAN WITH A R.O.W. WIDTH OF 50'. A LEFT TURN LANE INTO THE DEVELOPMENT WILL BE PROVIDED FROM THE NORTHWEST. DETAILED CONSTRUCTION PLANS WILL BE PROVIDED WITH SITE PLAN APPROVAL. THE MAJOR THOROUGHFARE PLAN DOES NOT CALL FOR THE UPGRADE OF THIS ROADWAY. THE ROADWAY WITHIN PURLINGBROOK TOWNHOME SECTION WILL BE PRIVATE AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. THE DEVELOPER WILL PARTICIPATE WITH THE CITY ON THE UPGRADE OF ASBURY LANE ADJACENT TO THIS DEVELOPMENT.



## ROADWAY INFORMATION

### SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee

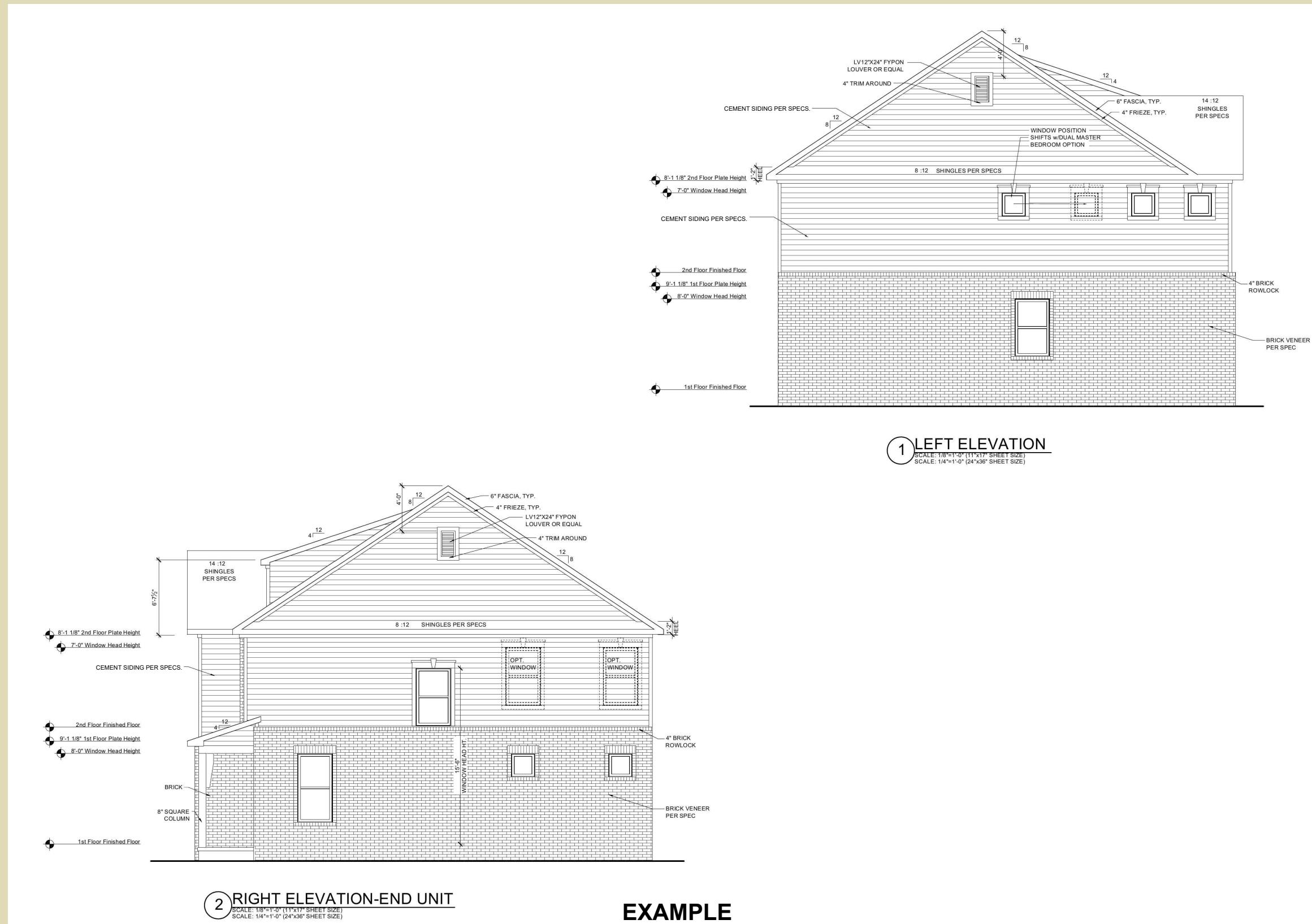


THE ELEVATIONS ON THE FOLLOWING PAGES  
REPRESENT THE GENERAL PRODUCT THAT IS  
PROPOSED TO BE BUILT. HOWEVER, THERE  
MAY BE MINOR DESIGN CHANGES OR NEW  
HOUSE PLANS INTRODUCED IN THE FUTURE  
THAT ARE NOT CONTAINED IN THIS BOOK.

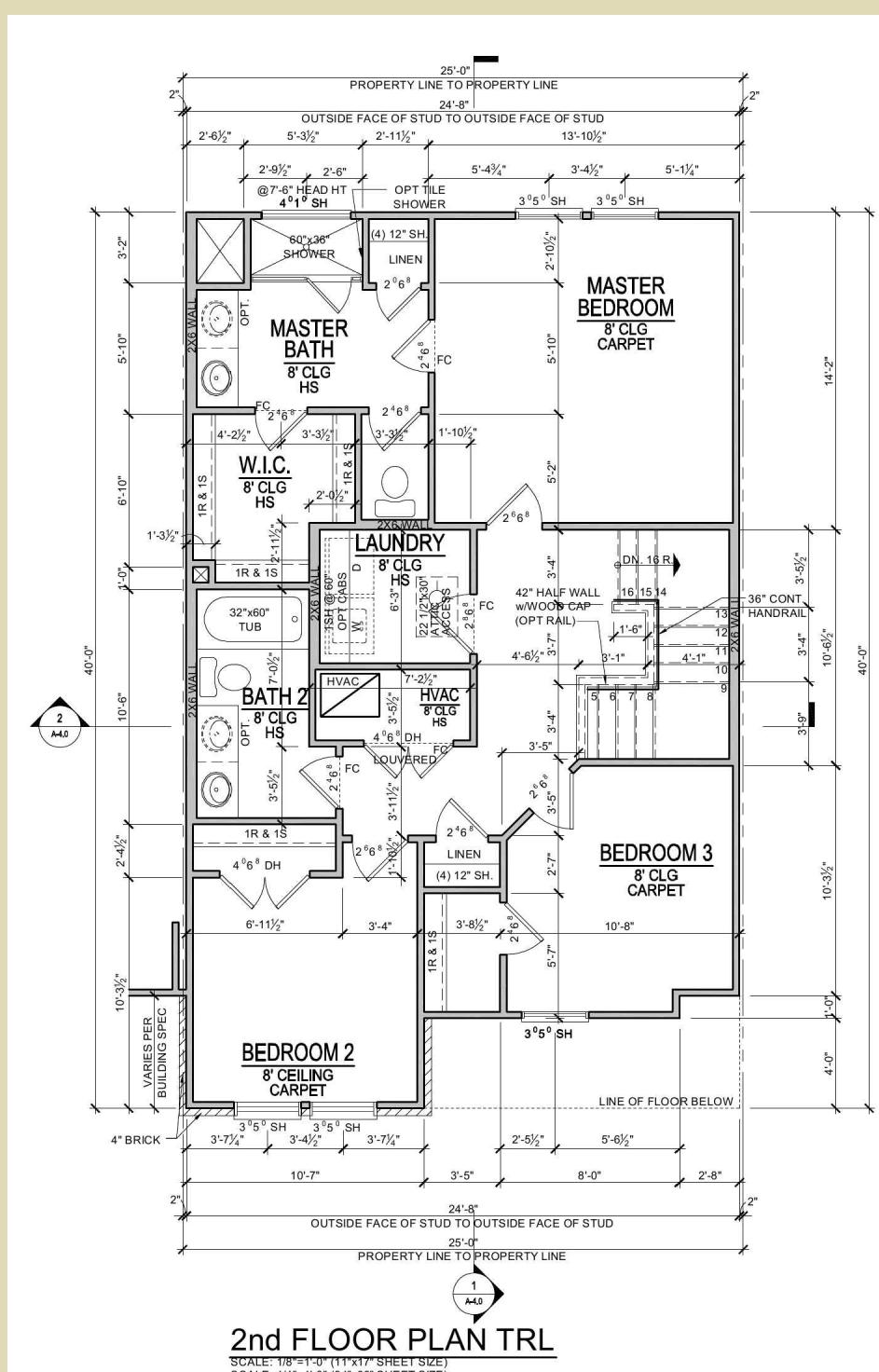
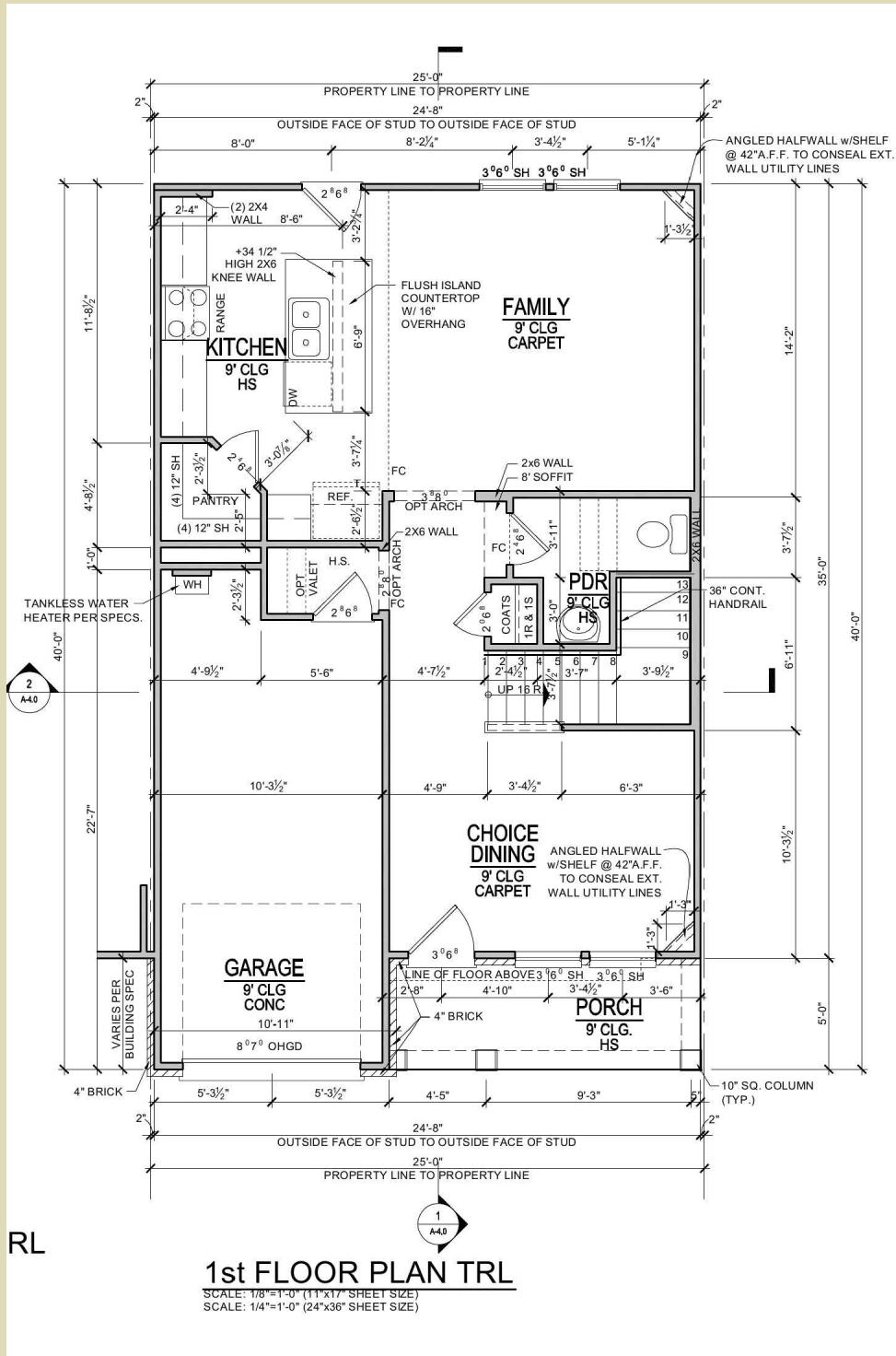
## 20' & 24' TOWNHOME ELEVATION PLANS



## 20' & 24' TOWNHOME ELEVATION PLANS



## 20' & 24' TOWNHOME ELEVATION PLANS

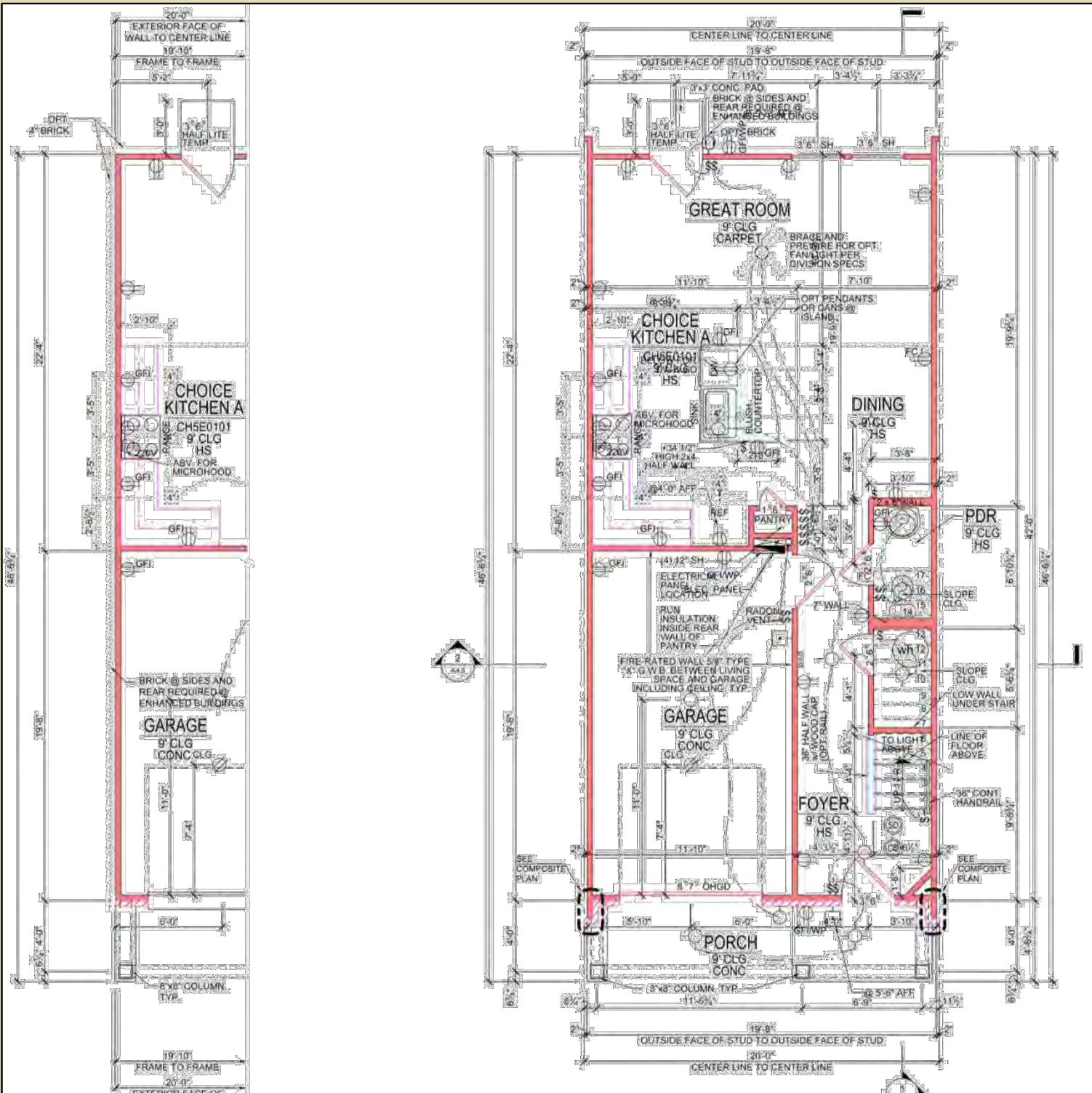


## EXAMPLE

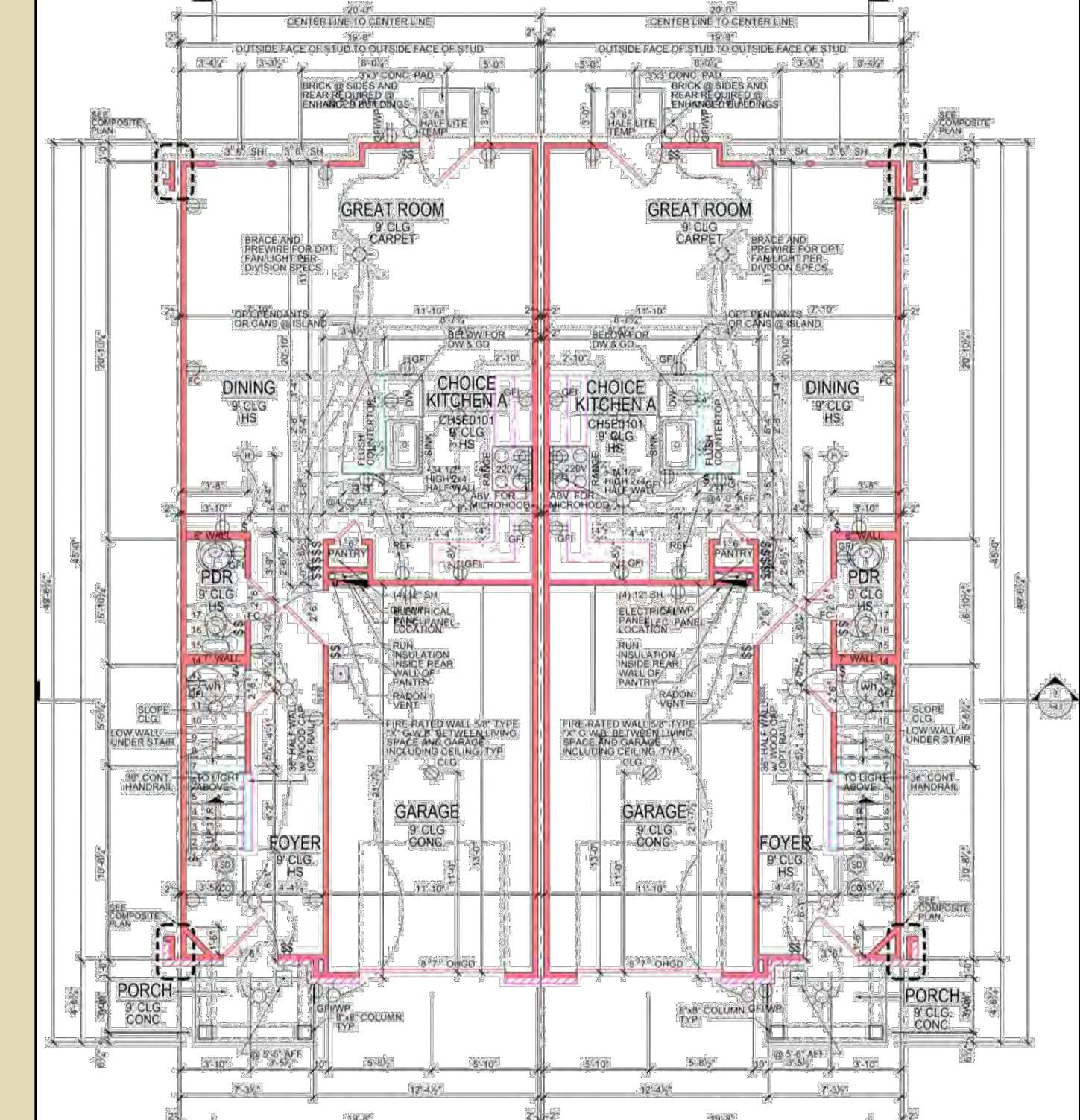
# 24' TOWNHOME FLOORPLANS

## SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee



1st FLOOR PLAN TRI/TRM (MIRRORED)

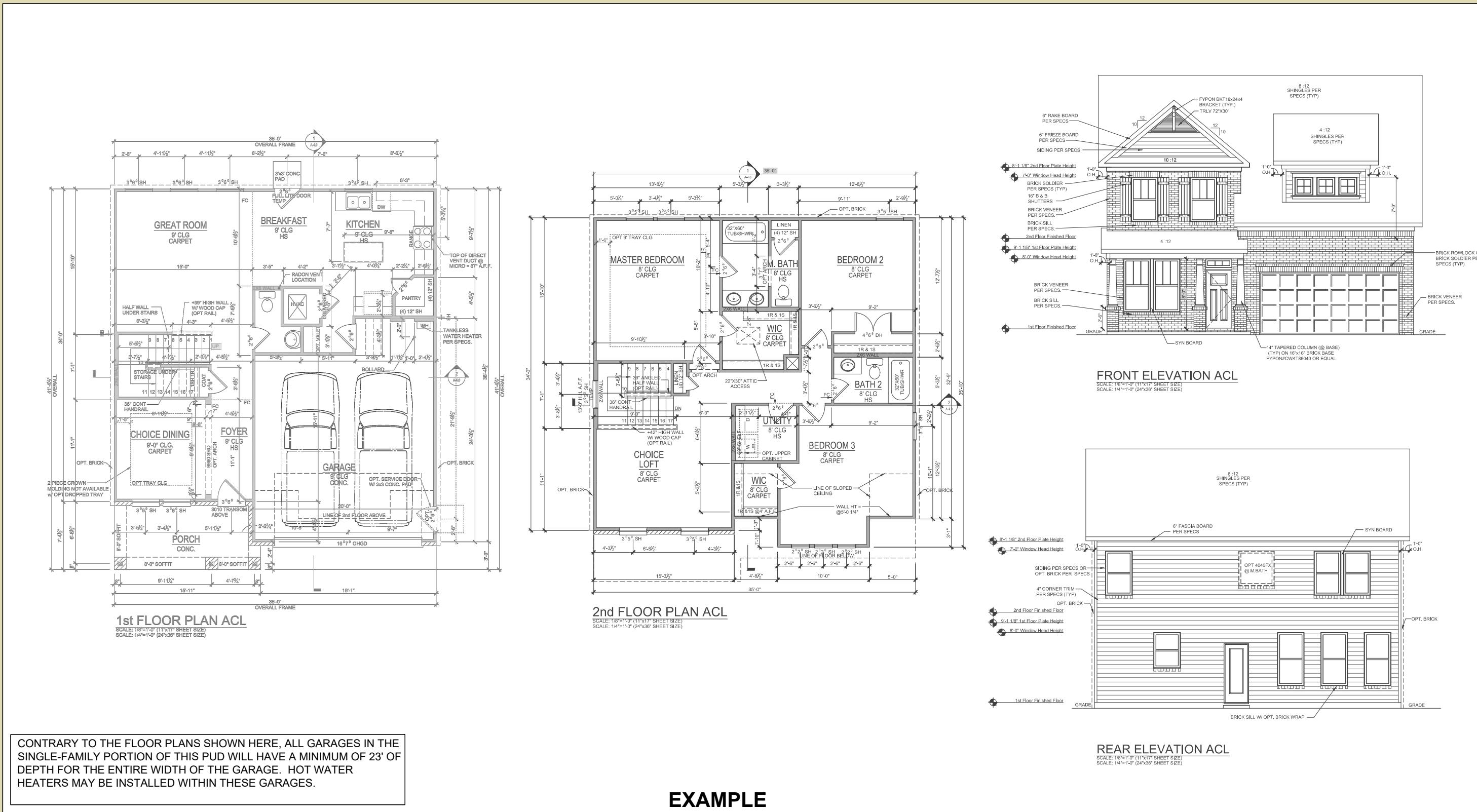


EXAMPLE

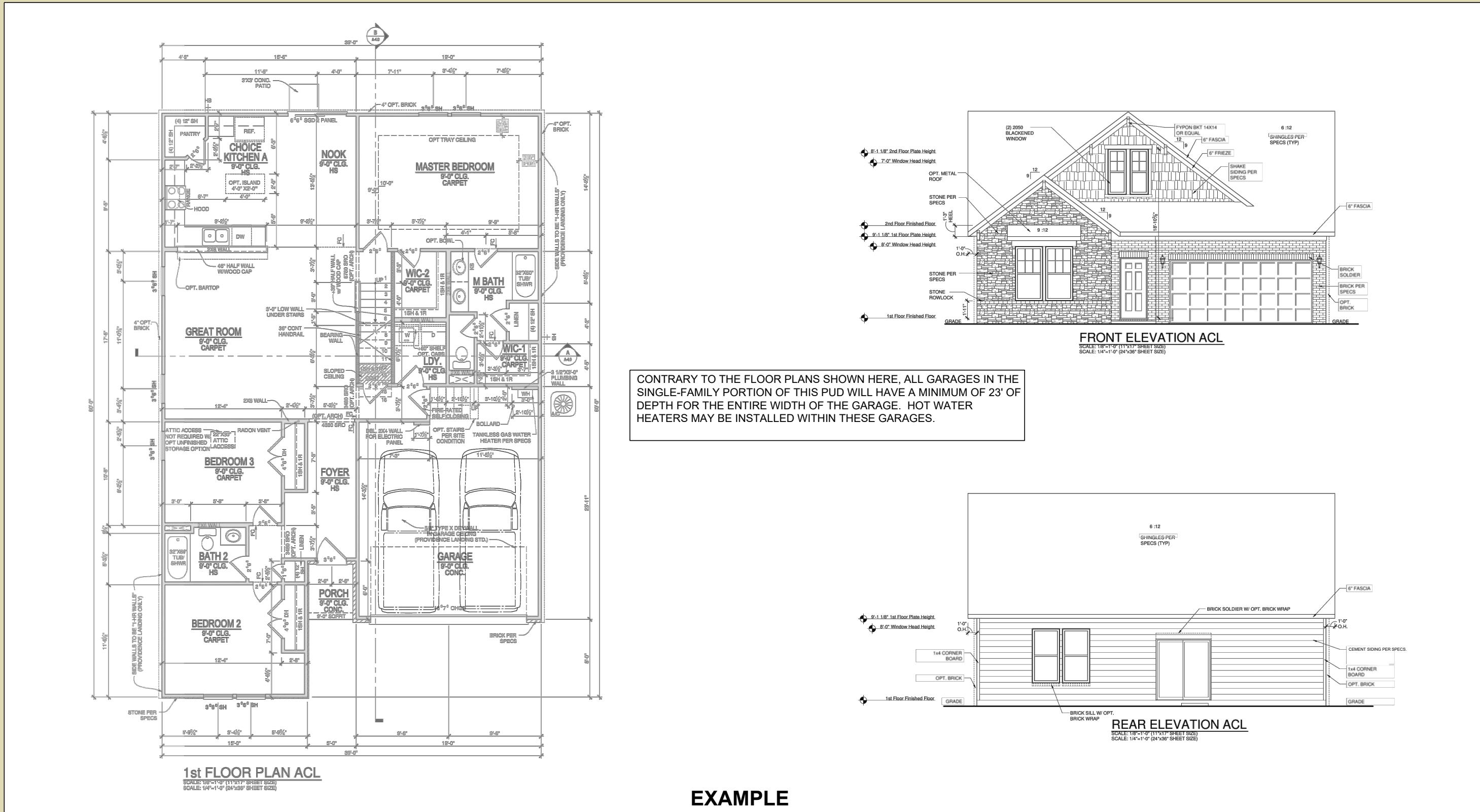
## 20' TOWNHOME FLOORPLANS

### SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee



# SINGLE FAMILY ELEVATIONS & FLOORPLAN



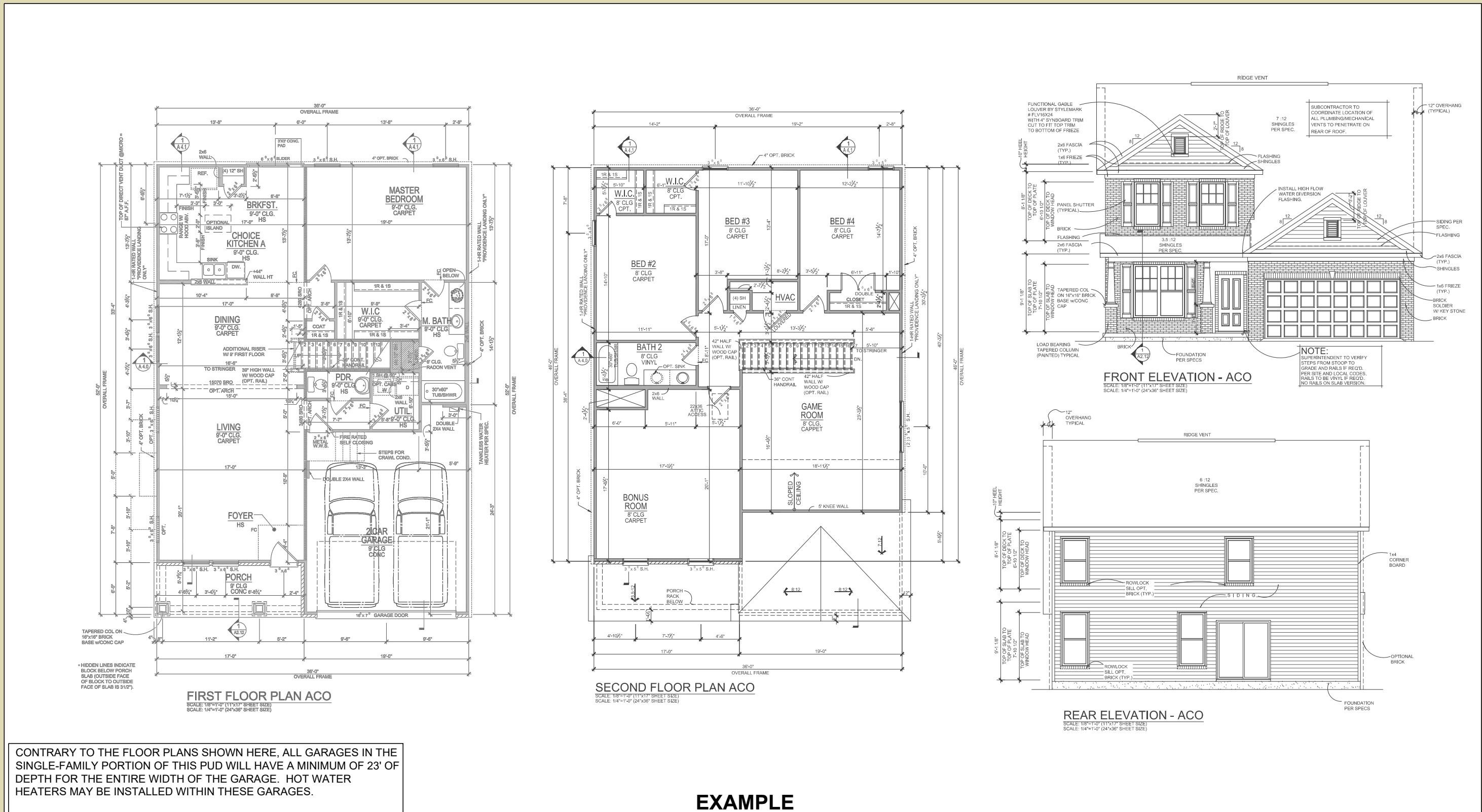
# SINGLE FAMILY ELEVATIONS & FLOORPLAN

## CIVIL-SITE

DESIGN GROUP

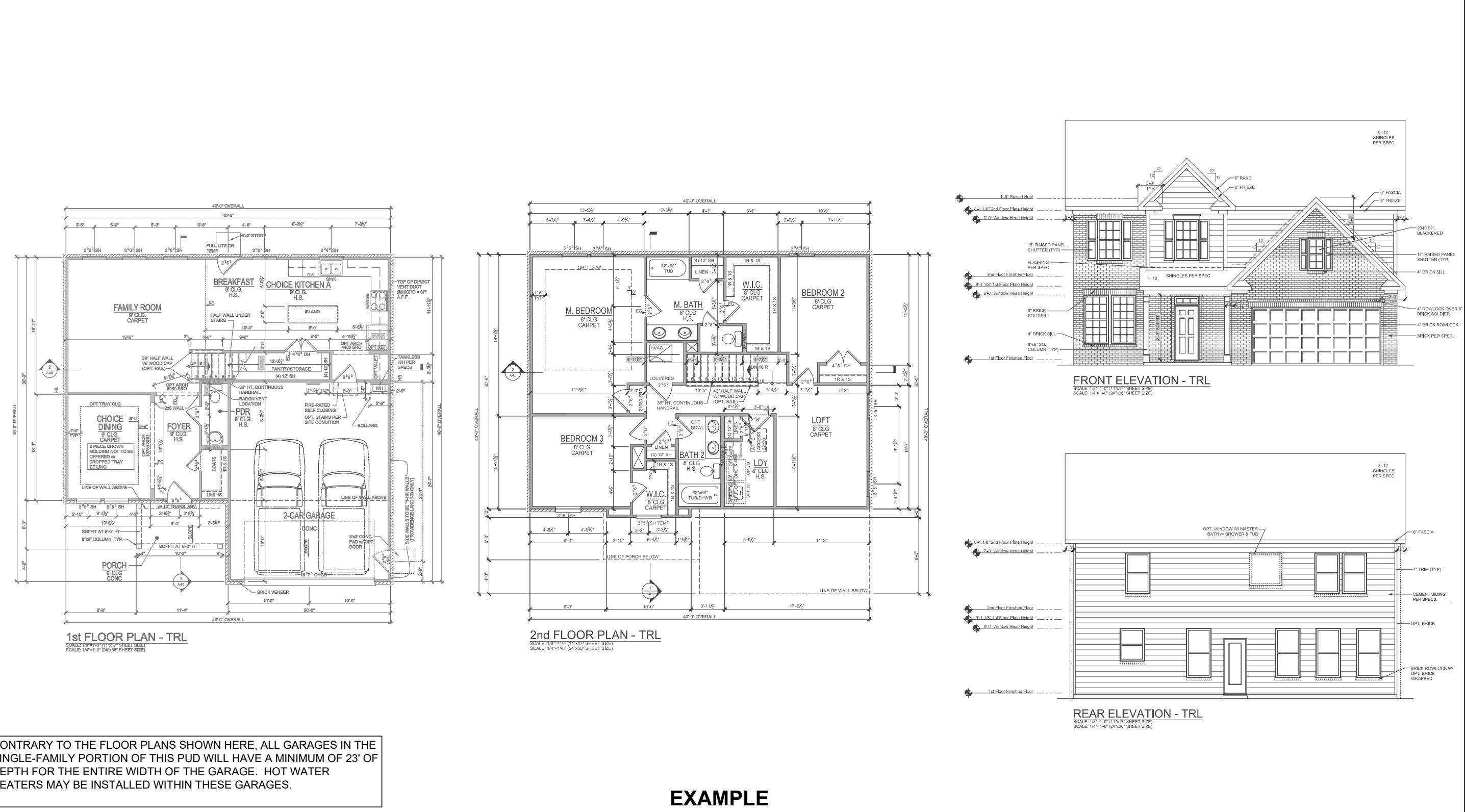
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2305 Klime Avenue, Suite 300 - Nashville, Tennessee 37211  
 615.248.9999 www.Civil-Site.com



## EXAMPLE

# SINGLE FAMILY ELEVATIONS & FLOORPLAN



# SINGLE FAMILY ELEVATIONS & FLOORPLAN

## CIVIL-SITE



EXISTING SINGLE FAMILY

S I N G L E   F A M I L Y   A R C H I T E C T U R A L   R E N D E R I N G S

**CIVIL•SITE**  
DESIGN GROUP

SPRING CREEK at ASBURY



EXISTING SINGLE FAMILY

## S I N G L E   F A M I L Y   A R C H I T E C T U R A L   R E N D E R I N G S



EXAMPLE 20' PRODUCT



EXISTING 24' PRODUCT

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TOWNHOME ARCHITECTURAL RENDERINGS

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CIVIL•SITE

DESIGN GROUP

ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS

2305 Klime Avenue, Suite 300 - Nashville, Tennessee 37211

615.248.9999 [www.Civil-Site.com](http://www.Civil-Site.com)

SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee

1. A map showing available utilities, easements, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit showing available utilities is given on page 8. An exhibit showing public R.O.W. is given on page 10.

2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extend of water courses, wetlands, floodway, and floodplains on or within one hundred (100) feet of the subject property; existing drainage pattern; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** An exhibit is given on page 9 f& 27 that shows the existing contours and drainage patterns along with an aerial photograph of the area. A significant portion of this site is located within the 100 yr floodplain line for overall creek.

3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and aerials on pages 6, 9, & 10 give the location of existing structures on the subject property and the surrounding properties. An exhibit on page 7 gives the zoning of those same properties.

4. A drawing defining the general location and maximum number of lots, parcels or other sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** Pages 3-4, & 26-30 lists standards and exhibits showing the concept plan which shows each of these items.

5. A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** Page 4 lists this information

6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio) and the O.S.R. (open space ratio)

**Response:**

FLOOR AREA RATIO (F.A.R.)

TOTAL MAXIMUM FLOOR AREA =  $(2,800 \text{ SF} \times 47) + (2000 \text{ SF} \times 101) = 333,600 \text{ SF}$   
 TOTAL SITE AREA = 3,401,985 SF  
 F.A.R. =  $333,600 \text{ SF} / 3,401,985 \text{ SF} = 0.10$

LIVABILITY SPACE RATIO (L.S.R.)

TOTAL MAXIMUM FLOOR AREA = 333,600 SF  
 TOTAL SITE AREA = 3,401,985 SF  
 TOTAL DRIVE/PARKING AREA = 154,655 SF  
 TOTAL LIVEABLE SPACE =  $3,401,985 \text{ SF} - 154,655 \text{ SF} = 3,247,330 \text{ SF}$   
 L.S.R. =  $3,247,330 \text{ SF} / 333,600 \text{ SF} = 9.7$

OPEN SPACE RATIO (O.S.R.)

TOTAL OPEN SPACE = 2,374,020 SF  
 TOTAL MAXIMUM FLOOR AREA = 333,600 SF  
 O.S.R. =  $2,374,020 \text{ SF} / 333,600 \text{ SF} = 7.1$

7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of the neighboring property in accordance with the applicable regulations of this article.

**Response:** the property is currently zoned PRD. The surrounding areas have a mixture of single family residential properties zoned (RS-15 & county – medium density residential). This revised planned residential development offers a number single family lots in addition to the different sized townhome products. We feel that by providing single family lots and different sized townhome units we will not only provide buyers with more options to better suit their needs by we will also be more consistent with the surrounding neighborhood characteristics.

## SECTION 13(D)(2)(9)(1-15)

8. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development, for this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This development proposed the creation of an HOA to enforce the proposed CCR's.

9. A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The development proposed a variance from the current ordinance which does not allow garages to count toward minimum parking requirements for single family lots

10. The nature and extent of any overlay zone as described in section 24 of this article and any special flood hazard area as described in section 34 of this article.

**Response:** This property is not in the Airport Overlay District (AOD), Battlefield Protection District (BPD), Gateway Design Overlay District (GDO), Historical District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-floodplain, according to the current FEMA map panel.

11. The location and proposed improvements of any street depicted on the Murfreesboro major thoroughfare plan as adopted and as it may be amended from time to time.

**Response:** Page 10 shows the major thoroughfare plan.

12. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Ryan Lovelace, Principal of Civil Site Design Group, PLLC. Developer / Applicant is Matt Williams of Beazer Homes. Contact info for both is provided on cover sheet.

13. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of the proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of the exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Pages 11-22 show the architectural character of the proposed homes with garages shown and building materials listed.

14. If a development entrance sign is proposed, the application shall include a description of lighting, landscaping, and construction materials.

**Response:** Page 5 shows the proposed main entrance example landscaping, entrance monument, and light fixtures. All elements of the sign will be in accordance with the City of Murfreesboro's sign ordinance.

## SECTION 13(D)(2)(9)(1-15)

# SPRING CREEK

## PLANNED UNIT DEVELOPMENT

ASBURY LANE  
MURFREESBORO, RUTHERFORD COUNTY, TN

### SHEET INDEX

C1.00  
COVER  
OVERALL MASTER PLAN  
MASTER PLAN  
C1.01  
UTILITY PLAN  
C2.00  
GRADING AND DRAINAGE PLAN  
C3.00  
PHASING PLAN  
C4.00



### OWNER / DEVELOPER

BEAZER HOMES - NASHVILLE DIVISION  
201 CORPORATE CENTER DRIVE, STE 180  
FRANKLIN, TN 37067  
CONTACT: MATT WILLIAMS

### ENGINEER

CIVIL SITE DESIGN GROUP, PLLC  
2305 KLINE AVENUE, STE 300  
NASHVILLE, TN 37211  
CONTACT: RYAN LOVELACE, P.E.  
PHONE NUMBER: 615-248-9999



DATE: MAY 16, 2019  
JOB NO.: 16-073-01

P M D P C O V E R

S P R I N G C R E E K a t A S B U R Y

Murfreesboro, Rutherford County, Tennessee



# OVERALL PLAN

# SPRING CREEK at ASBURY

## Murfreesboro, Rutherford County, Tennessee



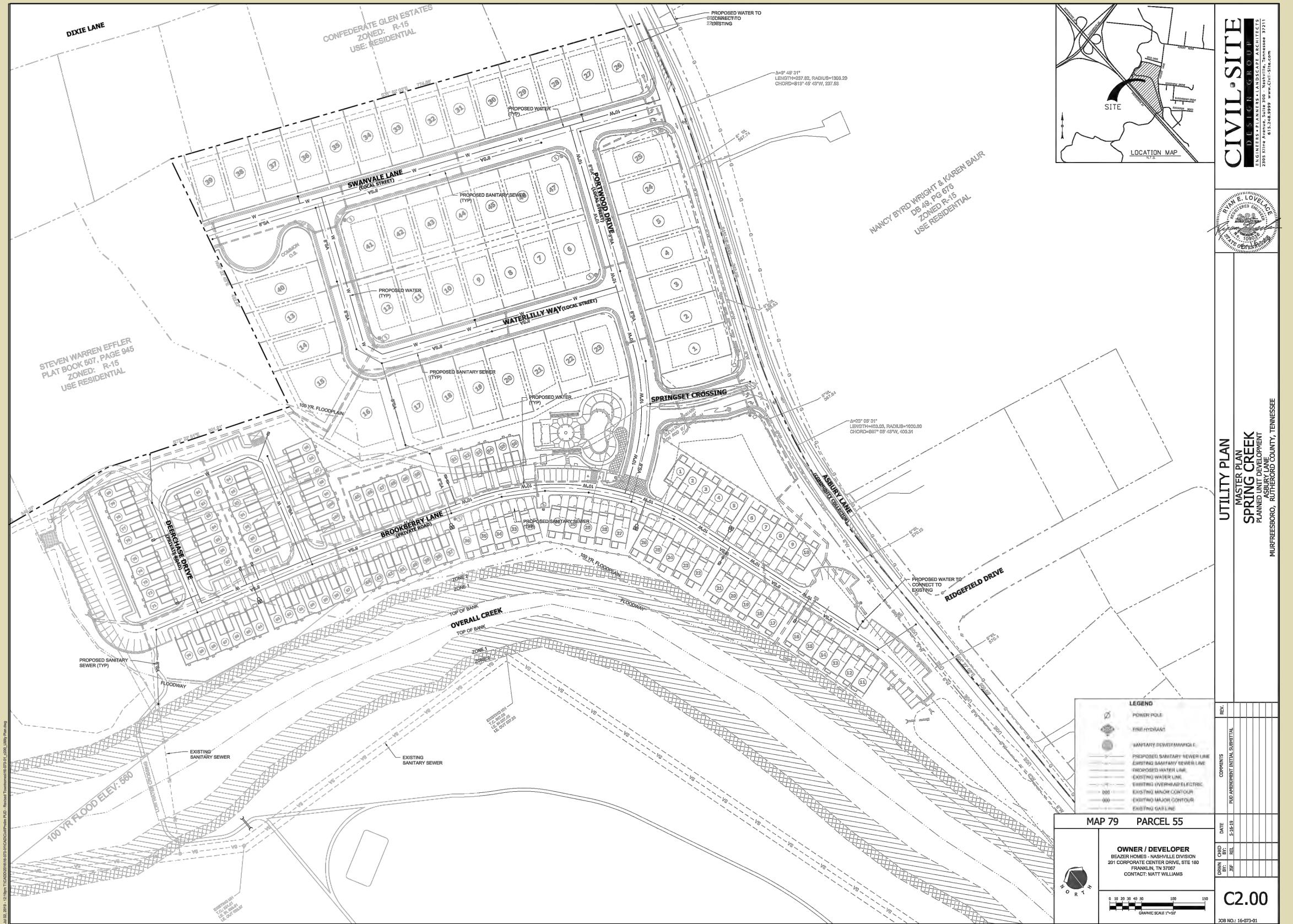
# MASTER PLAN

# CIVIL•SITE

**D E S I G N G R O U P**  
**E N G I N E E R S • P L A N N E R S • L A N D S C A P E A R C H I T E C T S**  
**2305 Kline Avenue, Suite 300 - Nashville, Tennessee 37211**  
**615.289.9900 [www.CivilSite.com](http://www.CivilSite.com)**

# SPRING CREEK at ASBURY

## Murfreesboro, Rutherford County, Tennessee

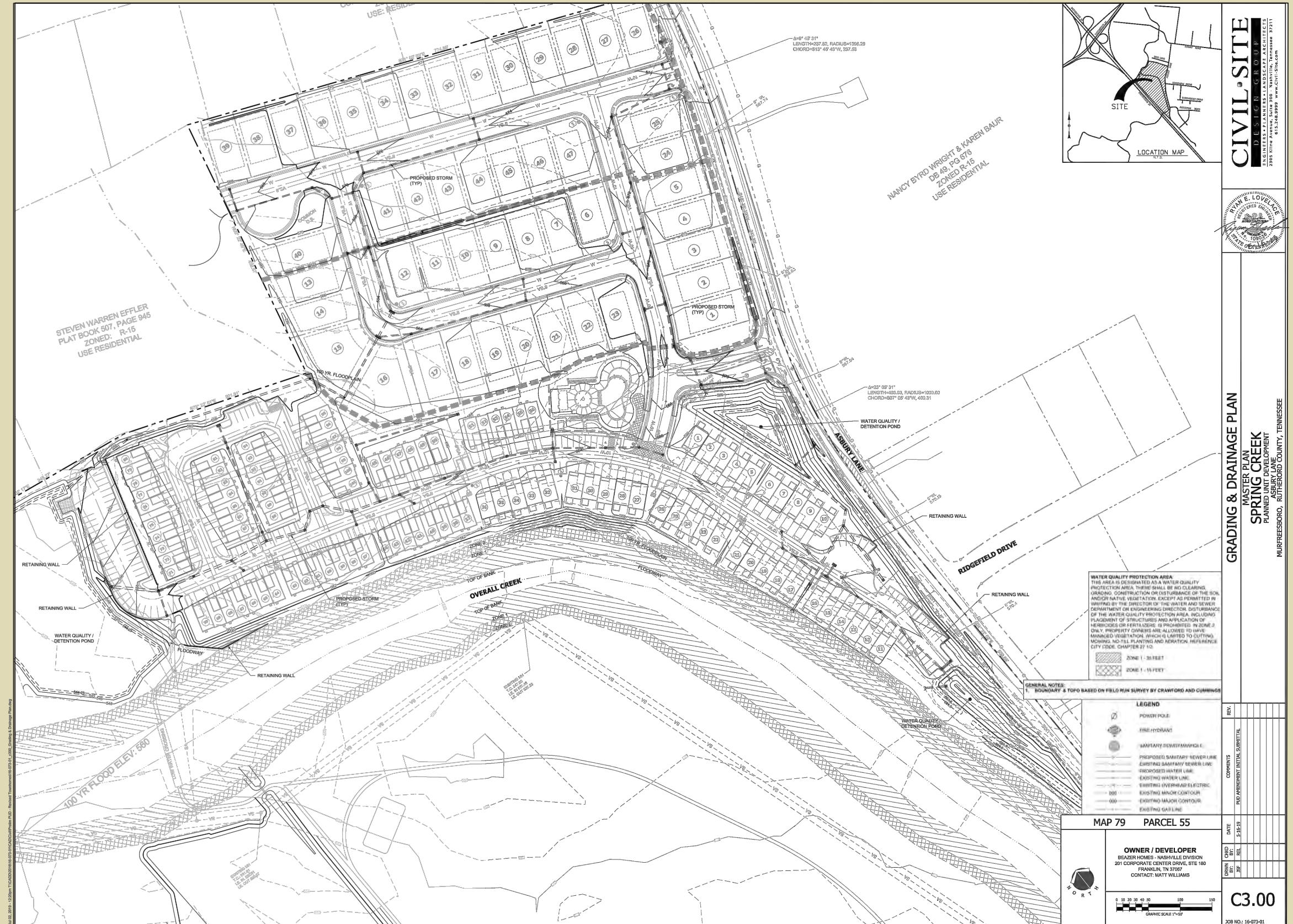


# UTILITY PLAN

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## SPRING CREEK at ASBURY

## Murfreesboro, Rutherford County, Tennessee

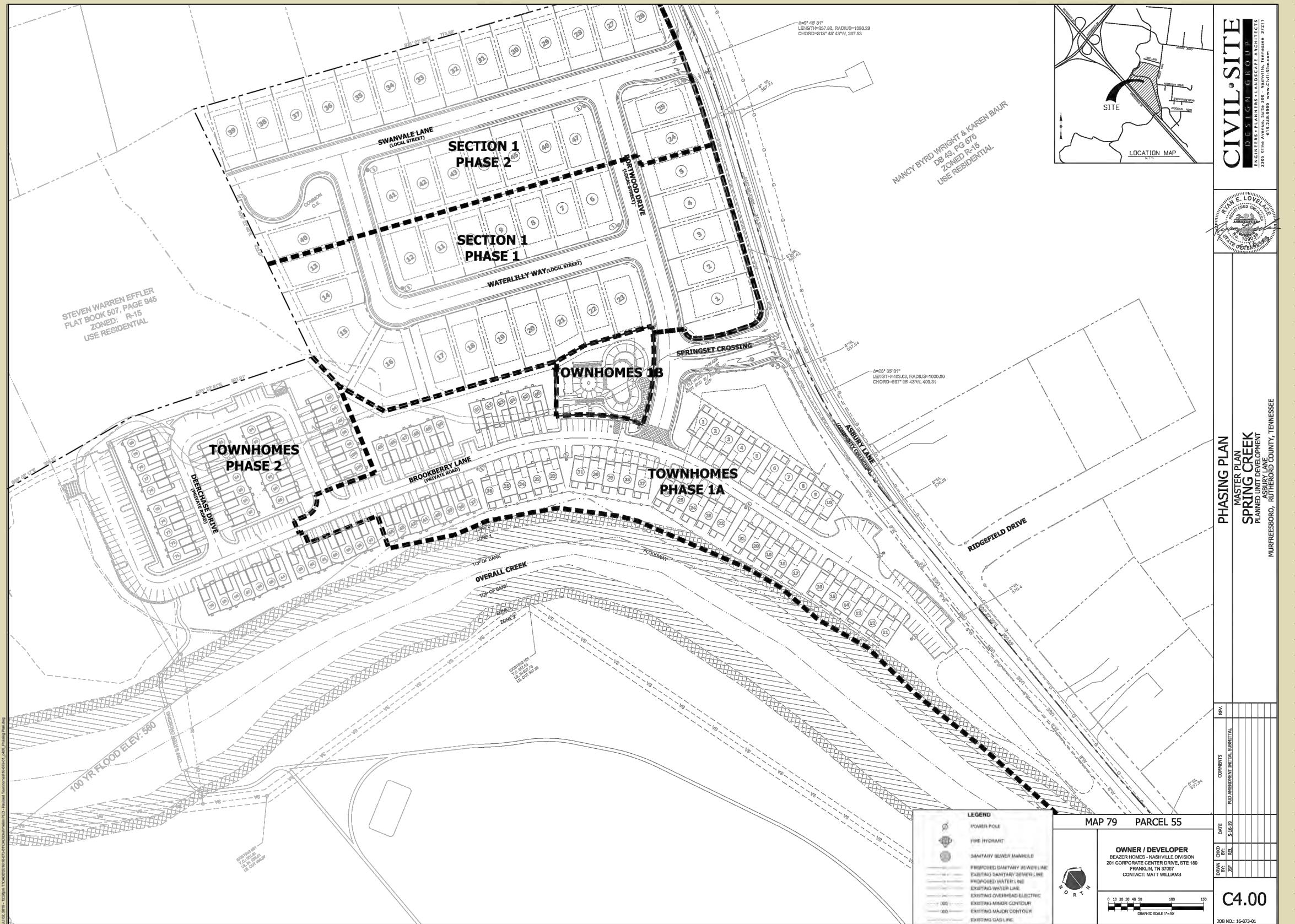


# GRADING & DRAINAGE PLAN

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## SPRING CREEK at ASBURY

## Murfreesboro, Rutherford County, Tennessee



# PHASING PLAN

## SPRING CREEK at ASBURY

Murfreesboro, Rutherford County, Tennessee

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.c. Zoning application [2019-417] for approximately 2.2 acres located along Manson Pike to be rezoned from RM-16 and GDO-1 to CF and GDO-1, Egbert Rebeiro applicant. (project planner- Margaret Ann Green).**

The subject property is located along the south side of Manson Pike, across from Springfield apartments PRD and just north of Vantage Murfreesboro apartments. The property is a vacant, undeveloped parcel that is approximately 3.6 acres and it is identified on Tax Map 079 Parcel 101.05.

The subject property is owned by the Charles R Smotherman and is under contract with Egbert Rebeiro, who has applied for this zoning change request. The applicant has not indicated a proposed development for the site but believes CF (Commercial Fringe District) is more appropriate than RM-16 (Multi-family Residential District). The CF district is intended to permit the development and continued maintenance of general commercial uses along highways and major arterial streets which tend not to be a nuisance to immediately surrounding residential development. The CF district has additional standards that are applicable, they are as follows:

1. Drive-up windows shall be permitted only when developments with such are located a minimum distance of 200-feet from any property line of land zoned in the RS, RD, RS-A, or PRD classification or the residential portion of land zoned in the PUD classification.
2. Where developments have a common side or rear lot line with properties in the RS, RD, RS-A, or PRD classification or the residential portion of land zoned in the PUD classification, dumpster and garbage collection areas shall be located on-site the maximum distance feasible from the residential properties.
3. The sale or distribution of gasoline, diesel, and other fuels for motor vehicles will be permitted in this district only when developments for such are setback a minimum of 200-feet from any property zoned in the RS, RD, RS-A, or PRD classifications or the residential portion of land zoned in the PUD classification.
4. On-site lighting for parking areas and loading areas shall be arranged in such a manner as to minimize intrusion of the lighting into areas zoned for residential purposes.

## Future Land Use Map

The Murfreesboro 2035 Future Land Use Map indicates that Multi Family Residential uses are the most appropriate land use for the subject property. The proposed zoning does not appear to be consistent with the *Future Land Use Map*.



MAP 4.2

### Future Land Use Map

#### LAND USES

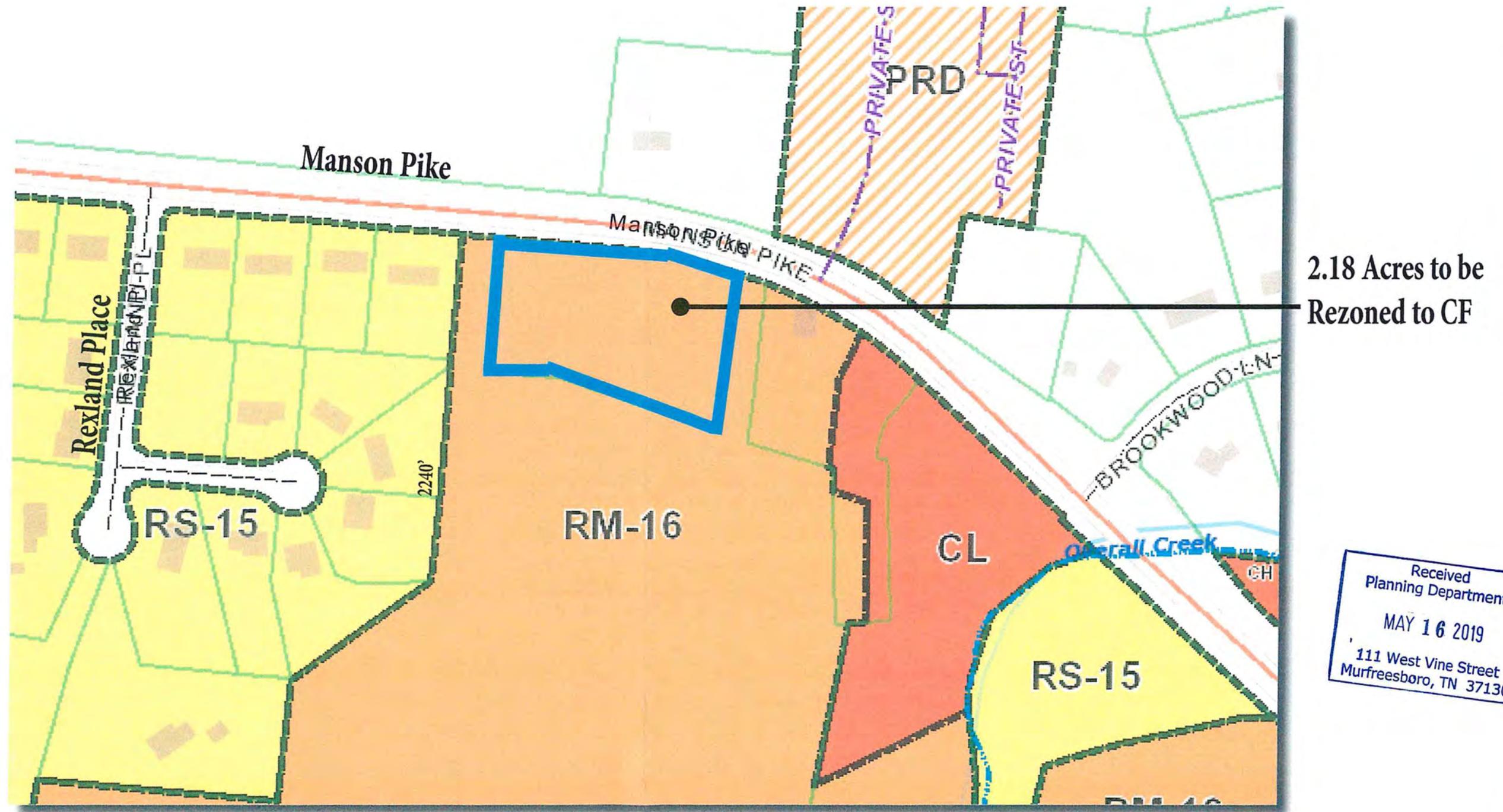
##### *Proposed Land Uses*

	Undeveloped
	Parks
	Suburban Estate
	Suburban Residential
	Auto Urban Residential
	Multi Family Residential
	General Commercial
	Neighborhood Commercial
	Urban Commercial / Mixed Use
	Central Business District
	Business Park
	Light Industrial
	Heavy Industrial
	Public / Institutional

Higher density residential uses such as attached and multiple-family housing (up to three stories in height), and manufactured home communities also have this character due to their density, limited open space, relative amount of impervious surface devoted to buildings and parking lots, and increased building enclosure. Multi-family residential developments are typically setback from road frontages, with buildings surrounded by surface parking lots and oriented inward toward recreational / social amenities, such as swimming pools, cabanas, etc. The proposed density is 19.93 dwelling units per acre.

The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to City Council.

# Reibero Rezoning Exhibit





*Creating a better quality of life*

**City of Murfreesboro**  
**Planning and Engineering Department**  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

<b>Zoning &amp; Rezoning Applications – other than rezoning to planned unit development</b>	<b>\$700.00</b>
<b>Zoning &amp; Rezoning Applications – Planned Unit Development, initial or amended</b>	<b>\$950.00</b>

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

Received  
Planning Department  
MAY 16 2019  
111 West Vine Street  
Murfreesboro, TN 37130

**To be completed by applicant:**

APPLICANT: HUDDLESTON - STEELE INC

Address: 2115 NW BROAD ST. City/State/Zip: MURFREESBORO, TN 37129

Phone: 615. 893. 4084 E-mail address: rountree. associates @ yahoo.com

PROPERTY OWNER: CHARLES SMOTHERMAN

Street Address or property description: MASON PIKE

and/or Tax map #: 79 Group: \_\_\_\_\_ Parcel (s): 101. 05

Existing zoning classification: FM-16

Proposed zoning classification: CF Acreage: 2.18 ± AC.

Contact name & phone number for publication and notifications to the public (if different from the applicant): HUDDLESTON - STEELE INC.

E-mail: rountree. associates @ yahoo.com

APPLICANT'S SIGNATURE (required): Clyd Rount

DATE: 5. 15. 2019

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: 2019-414

Amount paid: 700.00 Receipt #: 2934e20

5.15.2019

Mr. Donald Anthony  
Planning Director  
City of Murfreesboro  
111 W. Vine Street  
Murfreesboro, TN 37130

Re: Rezoning Request

Described as Tax Map 79 and parcels 101.05 consisting of 2.18 +/- acres. .

Dear Mr. Anthony:

On behalf of our client, Dr. Reibero, we hereby request to rezone a 2.18 +/- acre tract of land located Mason Pike the current RM-16 zoning to the requested CF zoning. The property located at Tax Map 79 and parcels 101.05, consisting of 2.18 +/- acres. We currently have no use for the site but are aware that the development of the site will be subject to the GDO-1 overlay design criteria.

Please let me know if you need any additional information and thank you for your assistance with this request.

Sincerely,



Clyde Rountree, RLA

HUDDLESTON-STEEL ENG., INC.



This instrument prepared by:  
Thomas N. Jones & Associates  
By: Thomas N. Jones, Attorney  
339 Main Street, Suite 100  
Franklin, TN 37064

Heather Dawbarn, Register  
Rutherford County Tennessee  
Rec #: 973086      Instrument #: 2169367  
Rec'd: 30.00      Recorded  
State: 0.00 9/25/2018 at 9:12 AM  
Clerk: 0.00 in Record Book  
Other: 2.00  
Total: 32.00 1713  
Pages 1148-1153

ADDRESS OF NEW OWNER:  
Charles R. Smotherman  
316 N. Front Street  
Murfreesboro, TN 37130

SEND TAX BILLS TO:  
Same

MAP AND PARCEL NO.:  
078-046.03 & 079-101  
079-101.02

**QUITCLAIM DEED**

FOR AND IN CONSIDERATION of the sum of One Dollars (\$1.00) cash in hand paid by Grantee and in pursuant to the terms and conditions of said Property Settlement Agreement approved in the Divorce Decree in the Circuit Court for Rutherford County Tennessee, case number 69311 and being filed of record in the Register's Office of Rutherford County, Tennessee in Book 1572, Page 2676, I, **Belinda Sue Smotherman**, (hereinafter refer to as "Grantor"), by these presents, do hereby remise, release and forever quitclaim unto **Charles Randy Smotherman**, (being one and the same as Charles Randal Smotherman), (hereinafter refer to as "Grantee") his heirs and assigns any and all interests for whatever I may have in and to the following described property located in Rutherford County, Tennessee, described as follows, to-wit:

Being Lot No. 1 and Lot No. 2, of the Final Plat of Vantage Murfreesboro Subdivision, as shown on Plat of record in Plat Cabinet 42, Page 95, in the Register's Office of Rutherford County, Tennessee, to which plan reference is hereby made for a more particular description.

Also described as follows:  
thence North 67° West 39 poles to a point in the center of Overall's Creek, at 0. L. Crouse's NE corner; thence with his line North 54° West leaving the creek 8.2 poles to a 10 inch locust tree in fence line; thence North 81 ° West 7.1 poles to a cedar tree in fence line; thence North 88° 30' West 18.4 poles to a 15 inch elm tree at fence; thence North 2.5° East 33.1 poles to stake; thence South 88° 30' East 46.2 poles to the SW corner of the Smith tract, another cedar post corner; thence North 2° East 42 poles

to the center of the Manson Pike; thence with the center of same South 88 1/40, East 127.3 poles to angle in same at SW corner of the Washington farm; thence South 71 ° East 9.7 poles with the pike; thence South 57.5° East 31.8 poles; thence South 15° East 8.2 poles to the point of beginning, containing 104.4 acres, more or less by survey made by John D. Kerr on March 2, 1943; and being the same property a one-half interest in which was conveyed to Robert P. Todd and wife, Edna Todd, and the other one half interest to Gladys I. Fann, who is now Gladys I. Bell, by deed dated April 20, 1945, from H. N. Dunaway and wife, of record in Book 94 page 362, Register's Office Rutherford County, Tennessee.

**INCLUDED IN THE ABOVE LEGAL DESCRIPTION BUT EXPRESSLY EXCLUDED FROM THIS CONVEYANCE** is that property more particularly described in conveyances of record in Deed Book 128, Page 189; Deed Book 225, Page 401, Deed Book 329, Page 683, Page 685 & Page 687, as corrected in Deed Book 331, Page 89; Deed Book 350, Page 826; Deed Book 449, Page 423; Deed Book 451, Page 22 & Page 27; Deed Book 482, Page 322; Deed Book 556, Page 531; Record Book 270, Page 1284; Record Book 1233, Page 2936; Record Book 1157, Page 1634; and in Record Book 1505, Page 3748, said Register's Office. Being the same property conveyed to Charles Randy Smotherman, a one-third (1/3) undivided interest; a one-third (1/3) undivided interest to Jeffrey Smotherman, a one-twelfth (1/12) undivided interest to Charles Randy Smotherman as Custodian for Kimley Brooke Smotherman under the Uniform Transfer to Minors Act; a one-twelfth (1/12) undivided interest to Charles Randy Smotherman as Custodian for Andrea Nicole Smotherman under the Uniform Transfer to Minors Act; a one-twelfth (1/12) undivided interest to Jeffrey Smotherman as Custodian for Sarah Elizabeth Smotherman under the Uniform Transfer to Minors Act; and a one-twelfth (1/12) undivided interest to Jeffrey Smotherman as Custodian for Andrea Brooke Smotherman under the Uniform Transfer to Minors Act by Warranty Deed from Bettie Smotherman Lofton (Formerly Bettie Lester Smotherman) of record in Deed Book 644, page 305, in the Register's Office of Rutherford County, Tennessee.

Being the same property conveyed to Kimley Brooke Smotherman, a one-twelfth (1/12) undivided interest, from Charles Randy Smotherman as Custodian for Kimley Brooke Smotherman under the Uniform Transfer to Minors Act, of record in Book 1705, Page 3360, in the Register's Office of Rutherford County, Tennessee.

Being the same property conveyed to Andrea Nicole Smotherman Richardson, a one-twelfth (1/12) undivided interest, from Charles Randy Smotherman as Custodian for Andrea Nicole Smotherman under the Uniform Transfer to Minors Act, of record in Book 1705, Page 3356, in the

Register's Office of Rutherford County, Tennessee.

Being the same property conveyed to Sarah Elizabeth Smotherman, a one-twelfth (1/12) undivided interest, from Jeffrey Smotherman, as Custodian for Sarah Elizabeth Smotherman under the Uniform Transfer to Minors Act, of record in Book 1705, Page 3352, in the Register's Office of Rutherford County, Tennessee.

Being the same property conveyed to Andrea Brooke Smotherman, a one-twelfth (1/12) undivided interest, from Jeffrey Smotherman as Custodian for Andrea Brooke Smotherman under the Uniform Transfer to Minors Act, of record in Book 1705, Page 3348, in the Register's Office of Rutherford County, Tennessee.

TRACT II:

Located in the 7th Civil District of Rutherford County, Tennessee. Bound on the North by Manson Pike, on the east by the remaining property of Bettie Smotherman Lofton (Deed Book 103, Page 223); on the South by Overall Creek; and on the west by the remaining property of Bettie Smotherman Lofton (Deed Book 103, Page 223); by Butler Manor, Section II (Plat Book 10, Page 77), and by Butler Manor, Section I (Plat Book 9, Page 34). Beginning at a P.k. nail set in the centerline of Manson Pike, said nail lying 0.61 mile east from the centerline of Brinkley Road, being the NW corner of this tract; thence with the centerline of Manson Pike S- 89° 05' 40"- E, 432.69 feet to a P.K, nail set; thence S- 89° 05' 40" E, 22.80 feet to a nail; thence with a curve to the right having a central angle of 07° 30' 10" and a radius of 485.53 feet for an arc length of 63.58 feet to a P.k, nail set being the NE corner of this tract; thence with the west fence line of the remaining property of Lofton S- 01 ° 00' 50"- W, passing thru an iron pin set 24' off centerline of road and continuing for a total distance of 344.58 feet to an iron pin set by post in fence line; thence S 03° 00' 10" W, 336.27 feet to an iron pin set by 12" Hackberry in fence line; thence S- 03° 00' 10" West, 955.31 feet to a point in the centerline of Overall Creek being the SE corner of this tract; thence with the centerline of Overall Creek against the flow S- 77° 12' 40"- W, 262.29 feet to a point; thence S- 74° 11' 00" W, 66.34 feet to a point; thence S- 84° 58' 20"- W, 143.54 feet to a point being the SW corner of this tract; thence with the east line of the remaining property of Lofton N- 01 ° 00' 30"- E, 85.00 feet to an iron pin set in fence line; thence N- 01 ° 00' 30"- E, 629.59 feet to an iron pin set; thence with the east line of the remaining property of Lofton - 01 ° 00' 30" -E, 416.00 feet to an iron pin found by fencepost; thence with the east line of Lot 11, Butler Manor, Section II N- 01 ° 00' 30"- E, 140.00 feet to an iron pin found by fencepost; thence N 02° 14' 50" W, 225.43 feet to an iron pin found by fencepost; thence with the east line of Lot 6, Butler Manor, Section IN-000 58' 00"- E, 210.00 feet to an iron pin set; thence N- 00° 58' 00" E, 30.00 feet to a P.k. nail set at the beginning, containing 19.05 acres, more or less, according to survey of Huddleston-

Steele Engineering, Inc., RLS #669, dated \_\_\_\_.

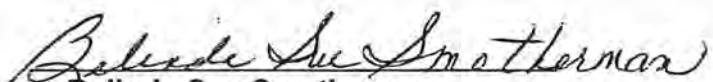
INCLUDED IN THE ABOVE LEGAL DESCRIPTION BUT EXPRESSLY EXCLUDED FROM THIS CONVEYANCE is that property more particularly described in a conveyance of record in Record Book 275, Page 1714 and in Record Book 1269, Page 1038, said Register's Office.

Being part of the same property conveyed to Charles R. Smotherman, Mildred F. Smotherman, and Jeffrey L. Smotherman, as tenants in common by Warranty Deed from Bettie Smotherman Lofton, unmarried of record in Deed Book 556, Page 531, in the Register's Office of Rutherford County, Tennessee.

Also, being part of the same property conveyed to Charles R. Smotherman and Jeffrey L. Smotherman by Quitclaim Deed from Mildred F. Smotherman of record in Record Book 1122, Page 3174, in the Register's Office of Rutherford County, Tennessee.

Said property is conveyed subject to such limitations, restrictions and encumbrances as may affect the premises as being of record. All conditions set forth in the above Divorce Degree has been met by Grantee and the said lien is hereby fully release.

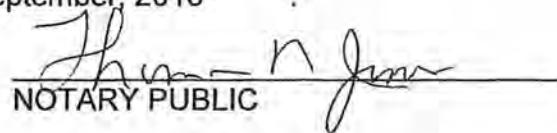
Witness my hand this 20<sup>th</sup> day of September, 2018

  
Belinda Sue Smotherman

STATE OF TENNESSEE  
COUNTY OF WILLIAMSON

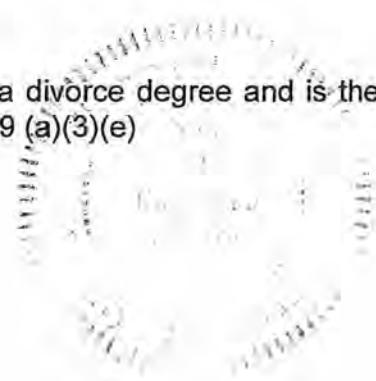
Before me, the undersigned, a Notary Public of the state and county mentioned, personally appeared, Belinda Sue Smotherman, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged herself to be the within named Bargainor, and who executed the foregoing instrument for the purpose therein contained.

Witness my hand this 20 day of September, 2018

  
NOTARY PUBLIC

My Commission Expires: 6-30-19

This property is being conveyed in accordance with a divorce decree and is therefore exempt from any privilege tax. T.C.A. Section 67-4-409 (a)(3)(e)



Certificate of Authenticity

I, Heather Wood, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

Heather Wood

Signature

State of Tennessee

County of Williamson

Personally appeared before me, Ashley Osgard, a notary public for this county and state, Heather Wood who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.

Ashley Osgard

Notary's Signature

My Commission Expires: 11/9/2019

Notary's Seal (If on paper)



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.d. Zoning application [2019-439] for approximately 2.5 acres located along West Northfield Boulevard and Sulphur Springs Road to be rezoned from RS-10 to PCD (Sanders Corner PCD), Henry & Linda Brendle applicants. (project planner- Margaret Ann Green).**

The subject property is located north of West Northfield Boulevard and west of Sulphur Springs Road. The property is 2.5 acres and is identified on Tax Map 080F Group A Parcel 018.00. The contiguous surrounding properties are zoned RS-10 and are a part of established, single-family residential neighborhoods. Sinking Creek and its floodway are located directly east, just across Sulphur Springs Road. Just beyond Sinking Creek is a developed multi-family residential community (Saddlebrook). Northfield Elementary school is about 500 feet to the east of the subject property. The property to the south is zoned PCD (Northfield Village PCD) to allow self-storage and commercial development.

The property is zoned RS-10 (Single-Family Residential District) which permits single-family residential dwelling units with a minimum of 10,000 square feet and several institutional uses. The applicant wishes to rezone the property to PCD (Planned Commercial District) to sell the property with a commercial development entitlement. The property is 2.5 acres and allows two commercial buildings with a reduced rear setback (reduced from 20-feet to 15-feet). The PCD commits to not having service areas along the rear to help mitigate the impacts to adjacent single-family residential uses. A maximum of two buildings (9,006 square feet and 6,951 square feet) is permitted with two-story appearance. The buildings are designed to transition from the residential uses to the north to this commercial node.

**Below is a list of uses proposed to be PERMITTED**

- Adult Day Care Center
- Adult Day Care Home
- Animal Grooming Facility
- Art and Photo Gallery
- Bakery
- Barber Shop
- Book Shop
- Business and Communication Services
- Carry-out restaurant
- Catering Establishment
- Clothing Store
- Delicatessen
- Dry Cleaning
- Flower Shop
- Health Club
- Interior Design
- Karate Instruction
- Medical Laboratories
- Neighborhood Shopping Center
- Offices
- Optical Dispensaries
- Pet Shop
- Pharmacy
- Photo Finishing
- Reducing and Weight Control Service
- Restaurant
- Specialty Shop
- Specialty-Limited Restaurant
- Veterinary Clinic
- Veterinary Office

**Below is a list of uses proposed to be PROHIBITED:**

- Adult Cabaret
- Adult Entertainment
- Adult Motel
- Adult-only Bookstore
- Adult-only Motion Pictures Theater
- Airport/Heliport
- Amusements, Commercial Outdoor Motorized
- Amusements, Commercial Outdoor Motorized Except Carnivals
- Cemetery
- Drive-in-Theater
- Family Crisis Center
- Family Violence Shelter
- Fireworks Retailer
- Fraternity/ Sorority
- Kennels
- Laundry, Self-Service
- Livestock Auction
- Lumber, Building Material
- no drive-thru
- Pain clinic
- Pawn Shop
- Pet Cemetery
- Pet Funeral Home
- Plasma donation center
- Quick cash
- Rap Parlor
- Salvage and Surplus Merchandise
- Sauna
- Tattoo Parlor
- Tavern (however, restaurants serving alcoholic beverages shall be permitted)
- Taxidermy Studio
- Temporary Mobile Recycling Center
- Tobacco and E-Cigarettes or Vaporized Sales
- Towing

The Planning Commission should review the uses permitted and add to or remove those they think may be more appropriate.

**Future Land Use Map**

The Murfreesboro 2035 Future Land Use Map indicates that Auto Urban Residential (AUR) uses are the most appropriate land use for the subject property. The proposed zoning does not appear to be consistent with the *Future Land Use Map*.



# Future Land Use Map

## LAND USES

### *Proposed Land Uses*

	<i>Undeveloped</i>
	<i>Parks</i>
	<i>Suburban Estate</i>
	<i>Suburban Residential</i>
	<i>Auto Urban Residential</i>
	<i>Multi Family Residential</i>
	<i>General Commercial</i>
	<i>Neighborhood Commercial</i>
	<i>Urban Commercial / Mixed Use</i>
	<i>Central Business District</i>
	<i>Business Park</i>
	<i>Light Industrial</i>
	<i>Heavy Industrial</i>
	<i>Public / Institutional</i>

This designation pertains to current and future residential development and includes detached residential dwellings; attached housing types (subject to compatibility and open space standards, e.g., duplexes, triplexes, townhomes, patio homes); planned developments (with a potential mix of housing types and varying densities, subject to compatibility and open space standards), etc. The density proposed within this area is 3.54 to 8.64 dwelling units per acre.

A neighborhood meeting was held on Tuesday, June 25, 2019 at Kingwood Heights Church of Christ.

The Sanders Corner PCD program book is included with the agenda materials. The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to City Council.

## REZONING APPLICATION FORM



**City of Murfreesboro**  
**Planning and Engineering Department**  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

Received  
Planning Department

SEP 28 2017

111 West Vine Street  
Murfreesboro, TN 37130

### REZONING APPLICATION FORM \$600.00 per application

#### Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning.  
(Please attach to application.)
3. A \$600.00 non-refundable application fee.

For assistance or questions, please contact a planner at 615-893-6441.

#### To be completed by applicant:

APPLICANT: Henry and Linda Brendle

Address: 119 Lakewood Circle City/State/Zip: Smyrna, TN 37167

Phone: 615-962-2393 E-mail address: lindabrendle@att.net

PROPERTY OWNER: Family of Dr. W. J. Sanders/Louise S. Brendle

Street Address or  
property description: 1207 Sulphur Springs Rd / Murfreesboro  
and/or Tax map #: 080F Group: A Parcel (s): 018.00

Existing zoning classification: Single Family Residential

Proposed zoning classification: CH/CF Acreage: 2.5

Contact name & phone number for publication and notifications to the public (if different from the  
applicant): Clyde Rountree Huddleston-Steele  
E-mail: crountree

APPLICANT'S SIGNATURE (required): Linda Brendle

DATE: 8-21-17 9-11-17 LCB

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: 9/28 MPC YR.: 17 MPC #: 2017-439

Amount paid: 600 Receipt #: 3604136

Revised 1/2010



## CRS Data

## LOCATION

Property Address 1207 Sulphur Springs Rd  
Murfreesboro, TN 37129-1595

## Subdivision

County Rutherford County, TN

## PROPERTY SUMMARY

Property Type	Residential
Land Use	Residential
Improvement Type	Single Family Residential
Square Feet	1856

## GENERAL PARCEL INFORMATION

Parcel ID/Tax ID	080F A 018.00
Alternate Parcel ID	080F A 01800 00013080K
Account Number	R0045959
District/Ward	1
2010 Census Trct/Blk	413.02/2
Assessor Roll Year	2015



## CURRENT OWNER

*Name	Sanders Harvey A Jr Etal Timothy M Sanders Trustee
Mailing Address	519 Ellie Lee Dr Smyrna, TN 37167-4483

## SALES HISTORY THROUGH 09/02/2016

Date	Amount	Buyer/Owners	Buyer/Owners 2	Instrument	No. Parcels	Book/Page Or Document#
11/30/2004	\$3,191	Sanders Harvey A Trustee %Luise S Brendle		Partial Interest	476/2024	
11/30/2004		Sanders Harvey A Trustee %Luise S Brendle			476/2022	
11/30/2004	\$3,191	Sanders Harvey A Trustee %Luise S Brendle		Partial Interest	476/2020	
6/6/2000		Sanders Harvey A Trustee %Luise S Brendle			9/148	
4/27/1998		Sanders Harvey A Trustee %Luise S Brendle			621/321	
8/5/1987	\$1	Brendle Louise S		Accepted And Qualified	391/46	
7/2/1987		Brendle Reed Mrs			391/44	
7/1/1987		Brendle Reed Mrs			387/601	
3/21/1984		Brendle Reed Mrs			375/370	

## TAX ASSESSMENT

Appraisal	Amount	Assessment	Amount	Jurisdiction	Rate
Appraisal Year	2016	Assessment Year	2016	Murfreesboro	1.2066
Appraised Land	\$200,000	Assessed Land	\$50,000	Rutherford	2.68
Appraised Improvements	\$25,300	Assessed Improvements	\$6,325		
Total Tax Appraisal	\$225,300	Total Assessment	\$56,325		
		Exempt Amount			
		Exempt Reason			

## TAXES

Tax Year

City Taxes

County Taxes

Total Taxes

9/7/2016

## CRS Data - Property Report for Parcel/Tax ID 080F A 018.00

2015	\$679.62	\$1,509.51	\$2,189.13
2014	\$679.62	\$1,400.63	\$2,080.25
2013	\$715.50	\$1,444.85	\$2,160.35

**MORTGAGE HISTORY**

No mortgages were found for this parcel.

**PROPERTY CHARACTERISTICS: BUILDING****Building # 1**

Type	Single Family Residential	Condition	Average	Units	1
Year Built	1905	Effective Year	1964	Stories	1.5
BRs		Baths	F H	Rooms	
Total Sq. Ft.	1,856				
<b>Building Square Feet (Living Space)</b>		<b>Building Square Feet (Other)</b>			
<b>- CONSTRUCTION</b>					
Quality	Fair Plus	Roof Framing		Hip/Gable	
Shape		Roof Cover Deck		Composition Shingle	
Partitions		Cabinet Millwork			
Common Wall		Floor Finish		Allowance	
Foundation	18 Block	Interior Finish		Drywall	
Floor System		Air Conditioning			
Exterior Wall	Frame Stucco	Heat Type		Electric Rad	
Structural Framing		Bathroom Tile			
Fireplace		Plumbing Fixtures		3	
<b>- OTHER</b>					
Occupancy		Building Data Source		Inspection	

**PROPERTY CHARACTERISTICS: EXTRA FEATURES**

Feature	Size or Description	Year Built	Condition
Imp Shed	1000	1965	POOR
Porch-Screen	348		
Porch-Slab Roof Cel	348		
Porch-Slab Roof Cel	100		

**PROPERTY CHARACTERISTICS: LOT**

Land Use	Residential	Lot Dimensions	
Block/Lot		Lot Square Feet	108,900
Latitude/Longitude	35.874512°/-86.396908°	Acreage	2.5

**PROPERTY CHARACTERISTICS: UTILITIES/AREA**

Gas Source	Public	Road Type	Urban Paved
Electric Source	Public	Topography	Level
Water Source	Public	District Trend	Static
Sewer Source	Public	Special School District 1	
Zoning Code		Special School District 2	
Owner Type	Private		

**LEGAL DESCRIPTION**

Subdivision	Plat Book/Page
Block/Lot	District/Ward
Description	1

## FLOOD ZONE INFORMATION

Zone Code	Flood Risk	Description	FIRM Panel ID	FIRM Panel Eff. Date
X	Minimal	Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level.	47149C0260H	01/05/2007

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Information Deemed Reliable But Not Guaranteed.

# Sanders Corner

## SHEET INDEX

## PLANNED COMMERCIAL DEVELOPMENT

1. PROJECT SUMMARY
2. PROJECT SUMMARY
3. ZONING MAP
4. UTILITIES
5. EXISTING CONDITIONS
6. EXISTING CONDITIONS
7. AERIAL MAP
8. SITE
9. ARCHITECTURAL EXAMPLES
10. COMMERCIAL CENTER PERMITTED USES
11. COMMERCIAL CENTER PERMITTED USES
12. PLANNED DEVELOPMENT CRITERIA



Plans Prepared By:

**HS HUDDLESTON-STEELE  
ENGINEERING, INC.**

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

SUBMITTED 6.12.2019 FOR THE PLANNING COMMISSION WORKSHOP

**In 1910, Dr. W. J. Sanders, MD, DDS, a prominent local dentist, and his wife, Fannie Adams Sanders, purchased a farm at what is now 1207 Sulphur Springs Road. The land was at the rear of Dr. Carl Adams' farm which fronted 231 Lebanon Hwy. Dr. Sanders set about improving the property for use in raising poultry and dairy cows, eventually becoming a founding member of The Rutherford County Co-Operative Creamery. The Sander's homeplace has remained family-owned for 3 generations over a total of 107 years.**

**The march of time and progress over the intervening years has whittled down the old homeplace to one small tract of about 2.5 acres. The widening and expansion of Northfield Blvd. and other development projects have carved away acreage so that all that remains is a small lot where the old family farmhouse still stands, but which is sadly no longer livable. The remaining land together with what is now Northfield Boulevard was once the site of Mrs. Sanders' famous flower garden which regularly drew eager visitors from as far away as Nashville.**

**The Sanders Family descendants feel enormous pride in the property and have a very strong desire to see their family legacy become the site of a high quality development that will benefit neighbors - and the larger community - for generations to come. The accompanying pattern book serves as a rough plan that will allow Sanders Corner to continue to provide service to Murfreesboro just as it has since Dr. and Mrs. Sanders purchased it over a century ago.**

## Project Summary

### Sanders Corner PCD

PLANNED COMMERCIAL DEVELOPMENT

The 2.5 acre parcel of land has seen the expansion of West Northfield Boulevard to a four land divided street. The family has decided that it was time to sell the property and the associated maintenance on the old family homestead. The surrounding area has grown significantly, and the property now represents a potential commerical development. The client desires to preserve the existing vegetation along the rear property line to buffer neighbors from the new development. The future occupants of the building are projected to be those providing community services. The property to the south is a future self-storage facility; the property to the east is an apartment complex, to the north and the west are single family residents. On September 11, 2017, a neighborhood meeting was conducted, and the meeting was well attended. Several concerns were expressed regarding the location of the building in relationship to two adjacant homes to the north and the west.

#### Planning and Engineering



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

Huddleston-Steele Engineering, Inc.  
Attention: Clyde Rountree, RLA  
2115 N.W. Broad Street  
Murfreesboro, TN. 37129  
Phone: 615.893.4084

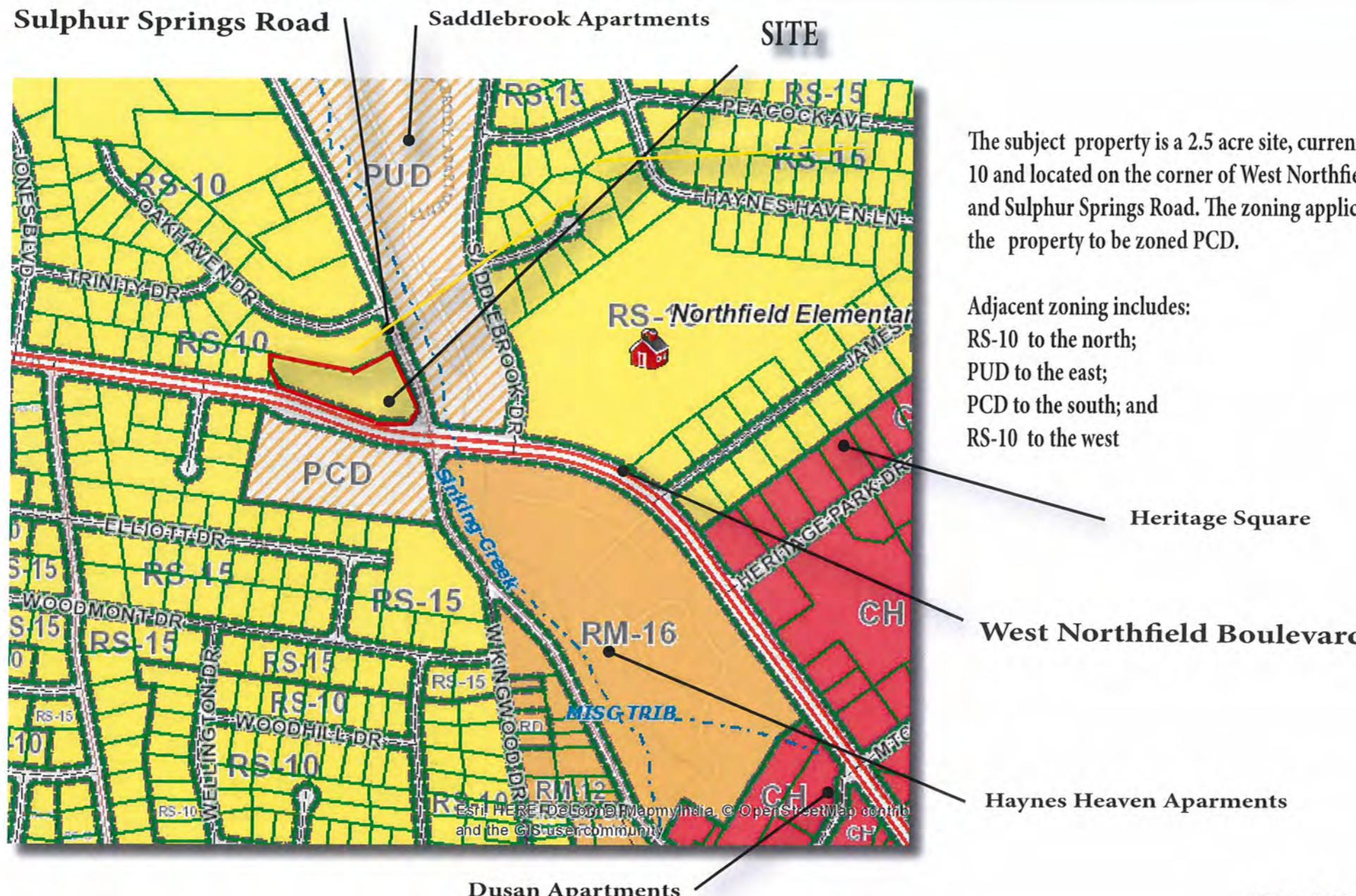
#### Owner's Representative

Larry Sims  
10 North Public Square  
Murfreesboro, TN. 37130  
(615) 893-5252

## Zoning Map

## Sanders Corner PCD

## PLANNED COMMERCIAL DEVELOPMENT

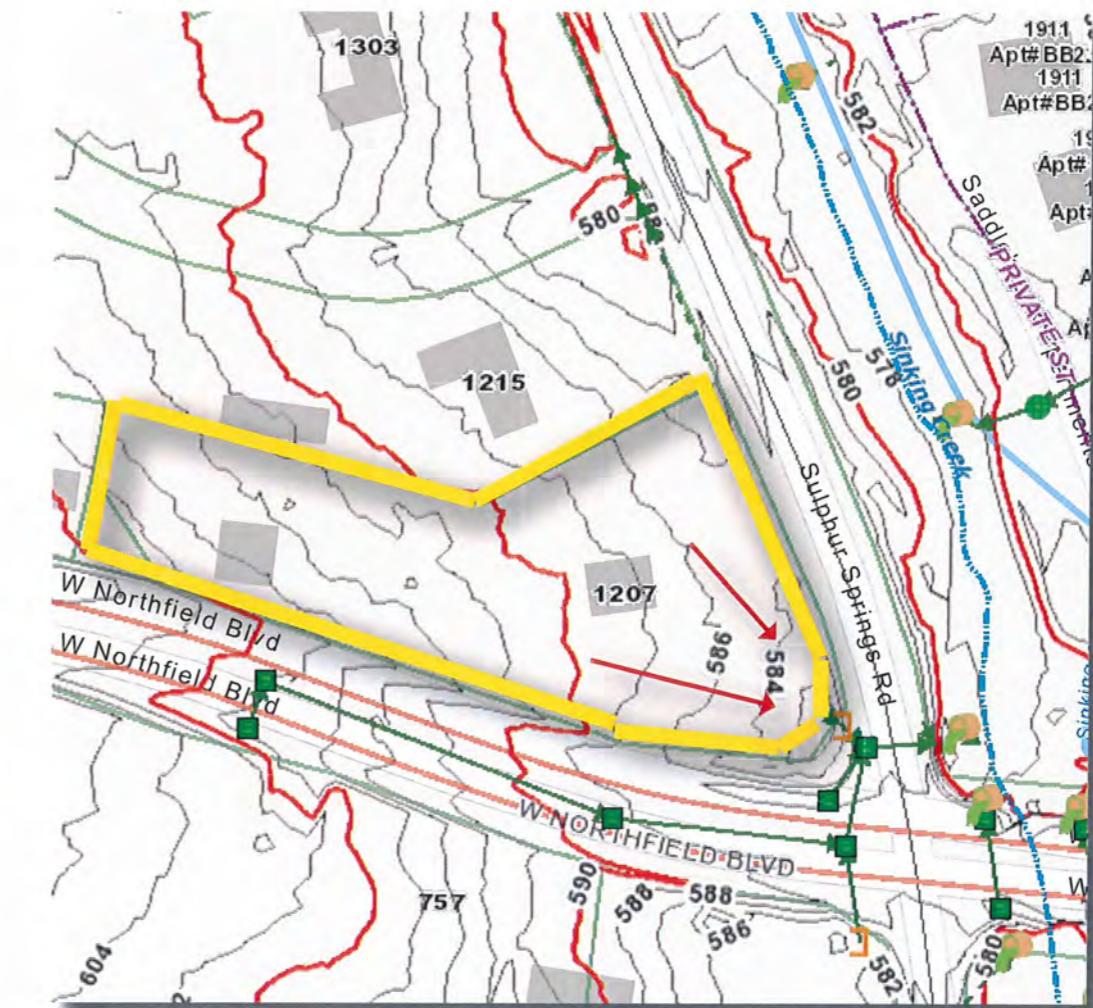
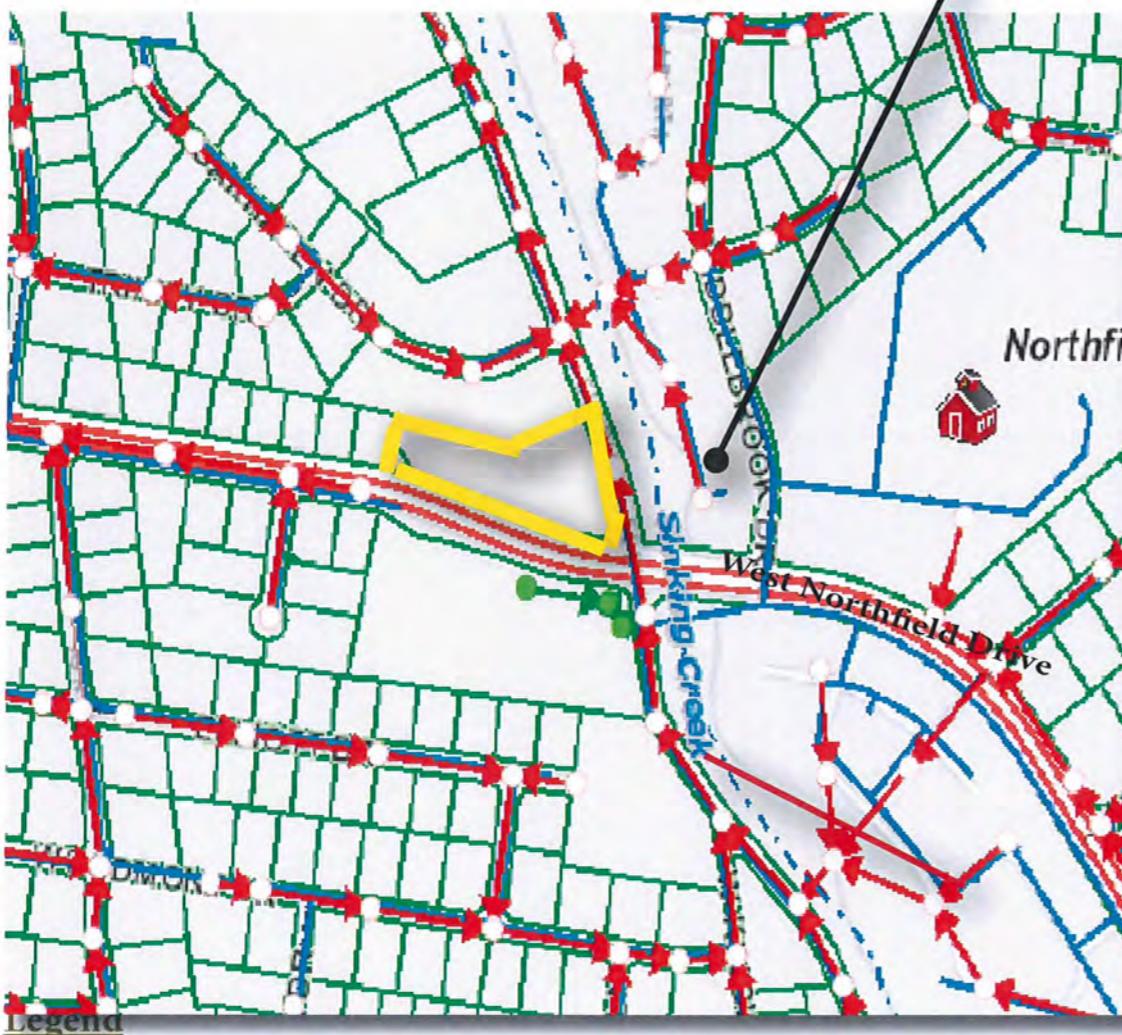


## Sanders Corner PCD

PLANNED COMMERCIAL DEVELOPMENT

### Utilities & Topography &

Site



## Sanders Corner PCD

PLANNED COMMERCIAL DEVELOPMENT

### Existing Conditions



View looking west on West Northfield Boulevard



View looking east on West Northfield Boulevard



View looking east on West Northfield Boulevard

Median Cut



View of intersection of Sulpher Springs and West Northfield Boulevard



View looking north from West Northfield Boulevard into the subject property



View of median cut along West Northfield Boulevard

## Existing Conditions

### Sanders Corner PCD

PLANNED COMMERCIAL DEVELOPMENT



View of the front of the existing home to be removed



View of the rear of the existing home



View along northern property line



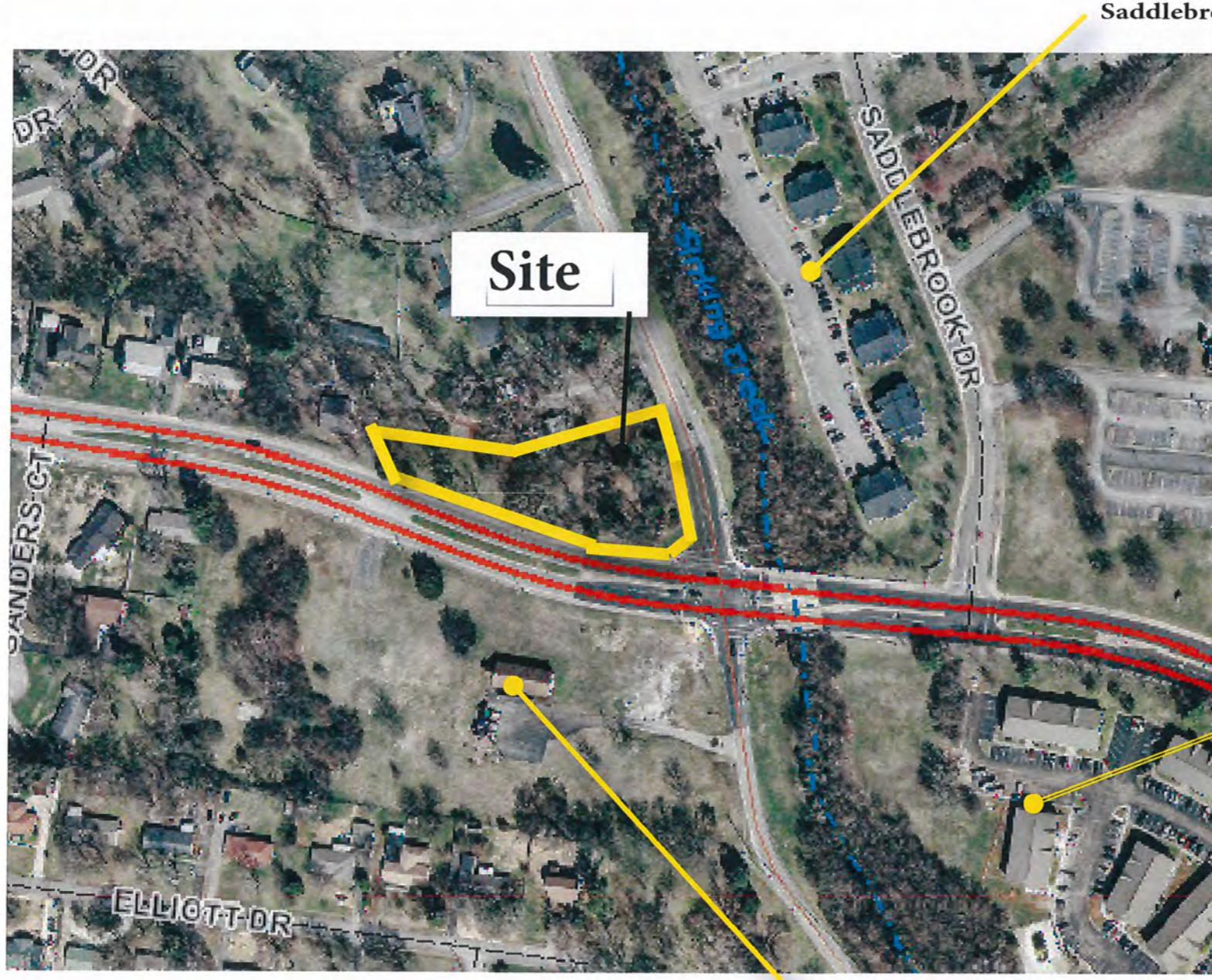
View of existing home from West Northfield Boulevard



View of existing site character

## Aerial Map

### Sanders Corner PCD PLANNED COMMERCIAL DEVELOPMENT

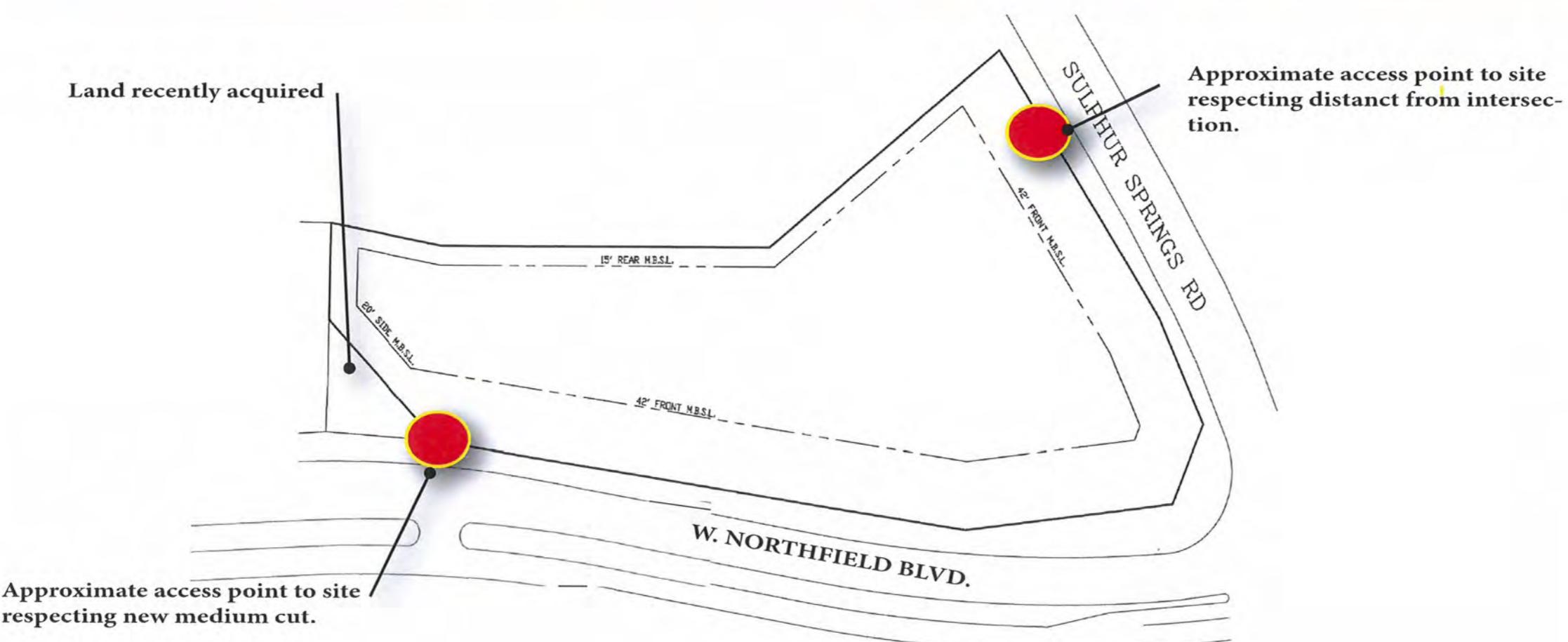


The location of the subject property is acting as a transition from the apartment complexes to the east to the single family homes to the north and west. The land to the south has been approved for a self facility.

# Sanders Corner PCD

PLANNED COMMERCIAL DEVELOPMENT

## Site



### Site Data:

Area: 2.5 Ac. = 108,900 sq. ft.

CF Comparison

Front Setback: 42' required

Rear Setback: 20' required

Side Setback: 10' required

PCD

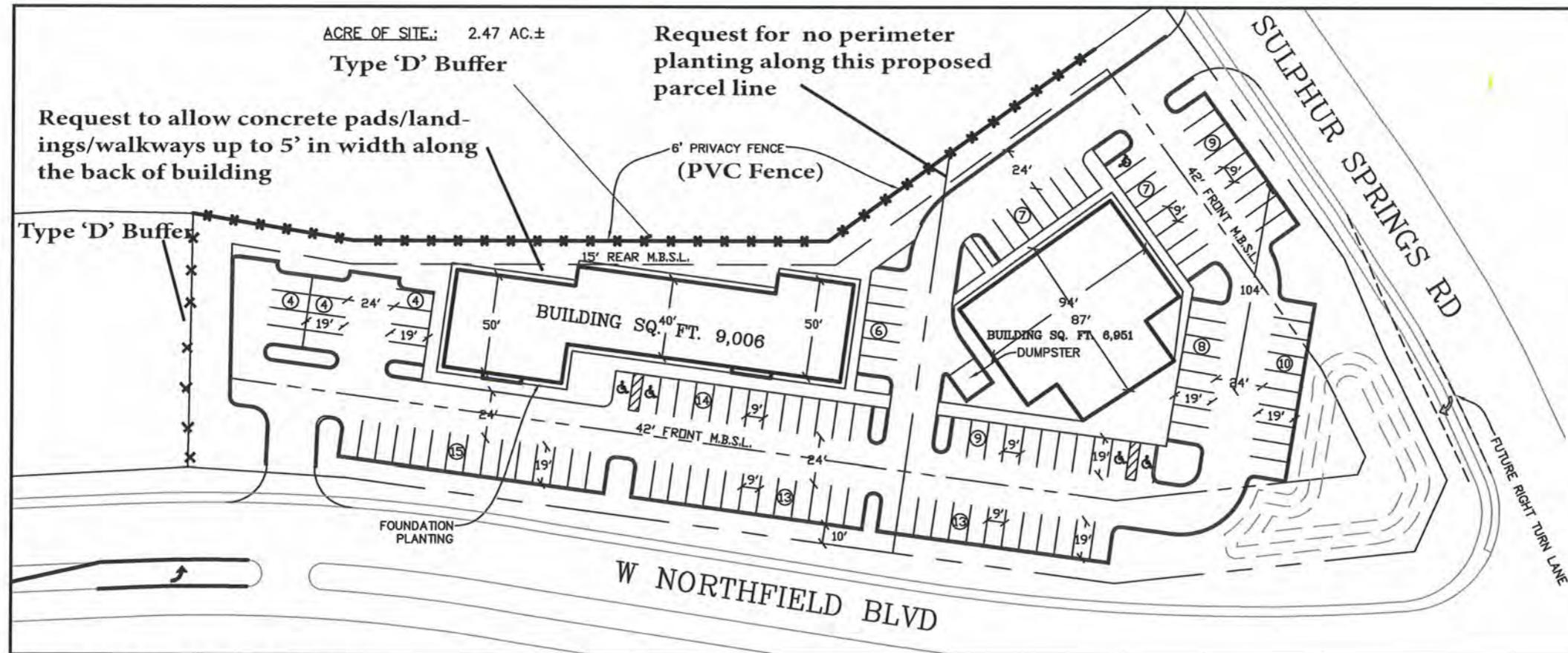
42' Provided

15' Provided (5' Reduction)

10' Provided

**SHUDDLESTON - STEELE**  
ENGINEERING, INC.

## Concept Master Plan



### OFF STREET PARKING

Building Schedule	Parking Requirement	Space Required	Space Provided
Bldg. #1 9,006	1 space/250 S.F.	36	54
Bldg. #2 6,951	1 space/100 S.F.	69	69

The subject property had the above conceptual master plan developed to illustrate the development potential of the property. The plan shows two distinct commercial buildings with a maximum development potential of approximately 16,000 sq.ft. with a parking capacity of approximately 114 spaces. As noted in the master plan the entrance off of West Northfield Boulevard will be aligned with a new median cut that will serve a new storage building across the street by the subject property. It was also determined that the developer will be limited to the above mentioned building square footage and parking capacity although the development can be laid out differently from the conceptual master plan.

## Architectural Character

PLANNED COMMERCIAL DEVELOPMENT

### CORNER BUILDING - FRONT AND SIDE ELEVATION



The proposed building will be designed to have a scale that is fitting as a transition into a residential area from the commercial development to the east along West Northfield Boulevard. The "in and out" articulation of the front facades adds visual interest and reduces the overall scale of the buildings. The undulating roof lines provide visual interest and reduce the scale of the buildings. The materials are designed to provide the buildings with defined bases and strong curb appeal. The building materials will be a combination of brick, stone, glass and metal.

## Commercial Center Permitted Uses

## Sanders Corner PCD PLANNED COMMERCIAL DEVELOPMENT

### Permitted Use List:

Restaurant  
Adult Day Care Center  
Adult Day Care Home  
Animal Grooming Facility  
Art and Photo Gallery  
Animal Grooming Facility  
Bakery  
Barber Shop  
Book Shop  
Business and Communication Services  
Catering Establishment  
Clothing Store  
Delicatessen  
Dry Cleaning  
Flower Shop  
Health Club  
Karate Instruction  
Interior Design  
Specialty Shop  
Neighborhood Shopping Center  
Pharmacy  
Offices  
Optical Dispensaries  
Medical Laboratories  
Veterinary Clinic  
Carry-out restaurant  
Specialty-Limited Restaurant  
Pet Shop  
Photo Finishing  
Veterinary Office  
Reducing and Weight Control Service

### Prohibited Use List:

Fraternity/Sorority  
Family Crisis Center  
Family Violence Shelter  
Airport/Heliport  
Cemetery  
Pet Cemetery  
Amusements, Commercial Outdoor Motorized  
Amusements, Commercial Outdoor Motorized Except Carnivals  
Drive-in-Theater  
Fireworks Retailer  
Kennels  
Livestock Auction  
Lumber, Building Material  
Pawn Shop  
Pet Funeral Home  
Salvage and Surplus Merchandise  
Tattoo Parlor  
Tavern (however, restaurants serving alcoholic beverages shall be permitted)  
Taxidermy Studio  
Tabacco and E-Cigarettes or Vaporized Sales  
Adult Cabaret  
Adult Entertainment  
Adult Motel  
Adult-only Bookstore  
Adult-only Motion Pictures Theater  
Rap Parlor  
Sauna  
Temporary Mobile Recycling Center  
Quick cash  
Laundry, Self-Service  
Salvage and Surplus Merchandise  
Towing  
Pain clinic  
Plasma donation center  
no drive-thru

# Planned Development Criteria

### General Applicability Per Section 13 - Planned Development Regulations

1. Ownership and division of land: *The site is owned by Harvey Sanders. The lot is currently zoned RS-10 in the City of Murfreesboro.*
2. Waiver of BZA action: *No action of the BZA shall be required for approval of this planned commercial development.*
3. Common open space: *No formal open space is provided wth this site plan.*
4. Accessibility to site: *The property is accessible from West Northfield Boulevard and Sulphur Springs Road.*
5. Off street parking . *NA*
6. Pedestrian circulation: *Sidewalks are available along West Northfield Boulevard and Sulpher Springs Road.*
7. Privacy and screening: *A type 'D' Buffer will be used along the west and north property line to create separation between the subject property and the single family residences.*
8. Zoning and subdivision modifications proposed: *A PCD is being requested for the subject property.*
9. Phasing: *NA*
10. Annexation: *No annexation is required for this site.*
11. Landscaping: *Landscape will be provided in the form of foundation plantings, street plantings and a type 'D' buffer on the north and west property lines.*
12. Major Thoroughfare Plan: *The PCD location along West Northfield Boulevard and Sulpher Springs Road is not addressed in the Major Thoroughfare Plan with regards to improvements.*
13. Applicant contact information: *Contact information is located on Sheet 2.*
14. Proposed Signage: *Signage is proposed on this project. see page 8 for locations.*

### Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: *Shown in pattern book on Sheet 4* graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: *Shown in pattern book Sheets, 3 - 7.*
- 2/3. Graphics, renderings, maps and/ or aerial photography showing existing conditions and natural features of the site: *Shown in pattern book sheets, 3-7.*
- 4/5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: *NA*
6. Development schedule: *No development schedule is currently in place.*
7. Relationship of the planned development to current city polices and plans: *The development is not reflective of the 2035 plan which calls for Suburban Residential. The subject property is located directly accross from la land area designated as neighborhood commercial. This is the location of the future self-storage facility.*
8. Proposed deviation from zoning and subdivision ordinance: *See sheet 8. We are requesting a 5' reduction in the rear setback. We are also asking for the ability to allow concrete pads/landings/access walkway at the rear of the retail buildings within the 15' buffer area. This is not requiring a request for any reduction in planting but would allow up to a 5' concrete area up against the building in the buffer area. We are also asking for a removal of the buffer requirements or perimeter planting requirement between the two parcels of land we are proposing on the site plan.*
9. Site tabulation data for land area, FAR, LSR, and OSR: *NA*
10. The nature and extent of any overlay zones is described in Sections 24 and 34: *None.*

*The development falls under the Neighborhood Community Node in the 2035 Plan. The density we are requesting is higher than is recommended however, the effort to revitalize the area with an affordable townhome product is well aligned with the intention of the 2035 plan recommendations. The development is considered and infill project and will be focused on a pedestrian scale and walkable to downtown. The homes will be similar in scale to a row of small commerical storefront buildings.*

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.e. Annexation Petition and Plan of Services [2019-506] for approximately 11 acres located along Florence Road, Saraswat Family Trust applicants. (project planner- Margaret Ann Green).**

The subject property is located along the west side of Florence Road, just south and east of the Shelton Square residential subdivision. The property consists of approximately 11 acres and includes Florence Road right-of-way. The study area is identified as follows:

- Map 078, Parcel 015.10 - 11.01 acres
- 2,300 linear feet of Florence Road right-of-way  
(1,600 section *plus* 700 section of Florence Road right-of-way)

The parcel is undeveloped, agricultural land. Written petitions requesting annexation have been filed with the City by the property owners and/or their legal representatives.

Alcorn Properties LLC has filed a request to have the properties zoned PRD (Planned Residential District) simultaneous with annexation (file 2019-420). The zoning request will be the subject of the next item on the agenda item.

The subject property is located within the City's Urban Growth Boundary and is contiguous with the current City limits. Staff has provided an annexation Plan of Services and Feasibility study which outlines the services the City will provide, a timeframe for which those services are to be provided and identify impacts to City departments.

The Planning Commission will need to conduct a public hearing on the matter of the annexation petition and Plan of Services, after which it will need to discuss this matter and then formulate a recommendation for City Council.

**ANNEXATION REPORT FOR PROPERTY LOCATED  
WEST OF FLORENCE ROAD  
INCLUDING PLAN OF SERVICES  
[FILE 2019-506]**



PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
July 10, 2019



### Annexation Request for Property Along Florence Road

0 0.05 0.1 0.2 Miles

Document Path: X:\FILE\_ROOM\_FOLDERS\Annexations\2019\2019-506\_Alcorn\_Properties\Maps\Aerial.mxd



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
[murfreesboro.gov/planning](http://murfreesboro.gov/planning)

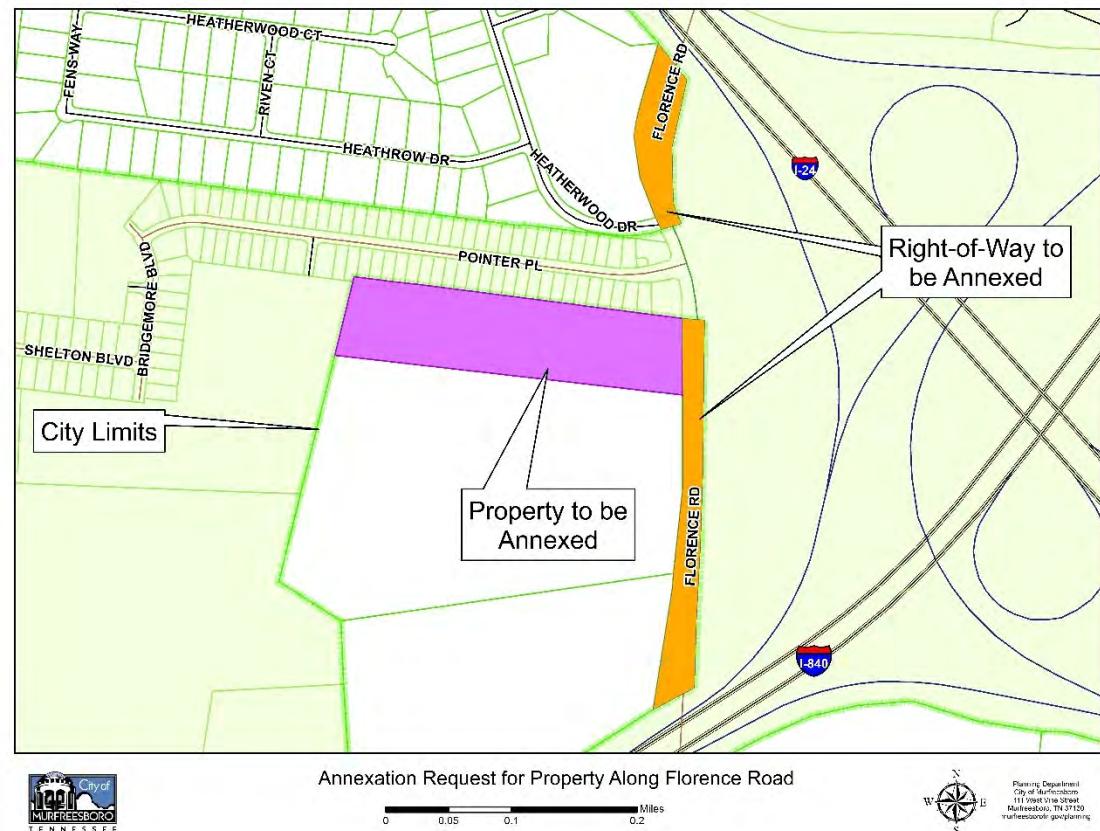
# **INTRODUCTION**

## OVERVIEW

The area studied in this Plan of Services is an 11.01-acre parcel (Tax Map 78, Parcel 15.10) situated along the west side of Florence Road and I-24 and north of State Route 840. The study area adjoins the City on the north and west, while the area to the south lies within the unincorporated County. Also included in this study are two sections of Florence Road right-of-way: 1,600 linear feet plus a 700 linear feet.

The parcel is undeveloped land. A written petition requesting annexation has been filed with the City by the property owners and/or their legal representatives.

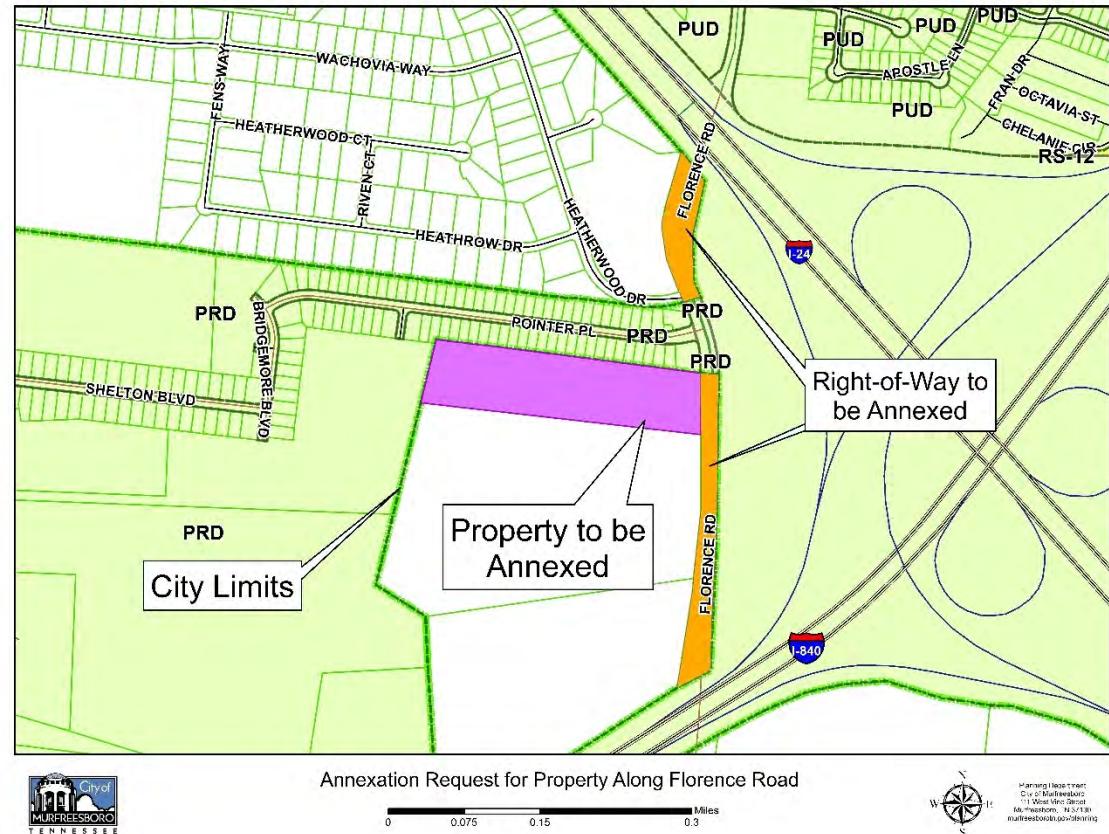
The parcel as well as the right-of-way is located within the City of Murfreesboro's Urban Growth Boundary.



## **CITY ZONING**

The applicant has requested PRD (Planned Residential District) zoning for 11.01 acres simultaneous with annexation. Alcorn Properties LLC has contractual interest in the property and has requested rezoning simultaneous with annexation. The proposed Shelton Crossing PRD will allow 88 single-family, attached dwelling units (townhomes).

The subject property is currently zoned RM (Residential – Medium Density) in the County.

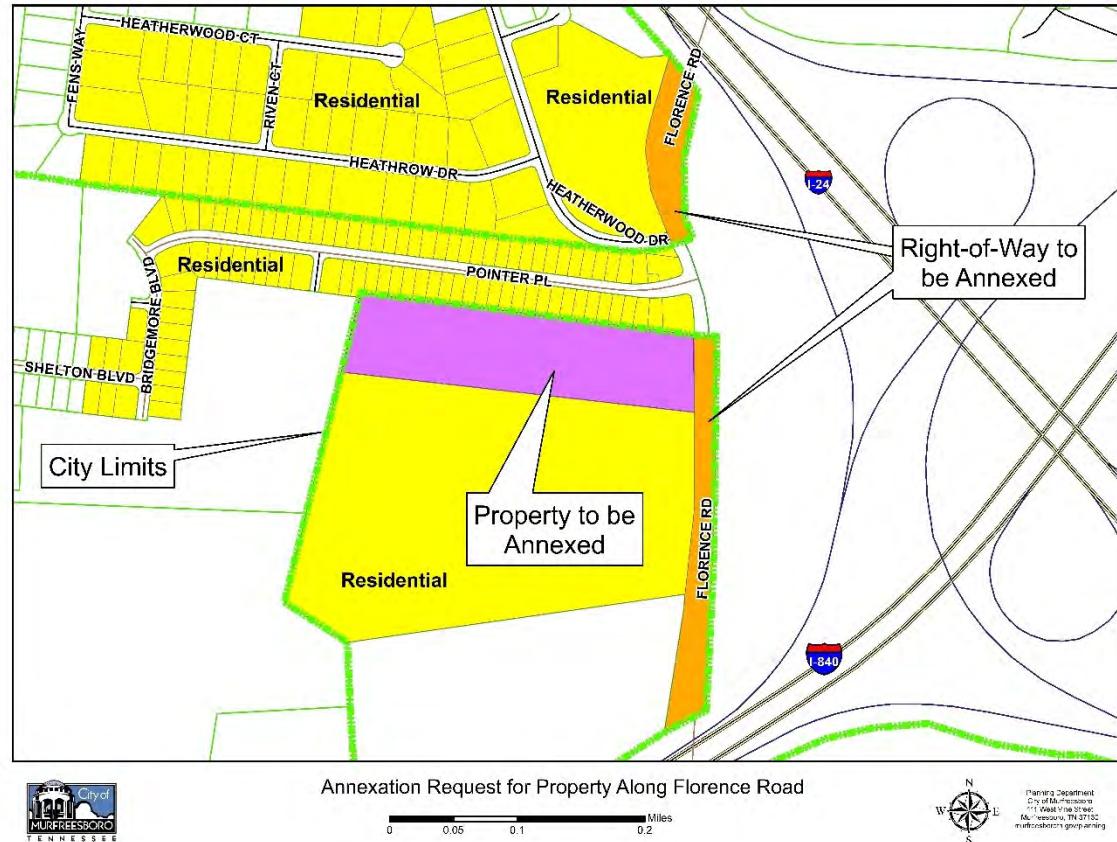


## **PRESENT AND SURROUNDING LAND USE**

The area being considered for annexation is an 11-acre parcel. The property is currently undeveloped.

The area surrounding the 11-acre parcel is characterized by residential and agricultural uses. The property to the north and west is the currently under development Shelton Square residential community. The property to the east are rights-of-way of Florence Road, I-24 and I-840 rights of way. The parcel to the south is residential.

Access to the study area will be from Florence Road and Pointer Place.



## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2019 will be due on December 31, 2020. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100 assessed value. Residential property is assessed at a rate of 25% of its appraised value and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected, if the property were to be annexed in its present state.

***Table I***  
***Estimated Taxes from Site***

<b>Owner of Record</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
SARASWAT FAMILY TRUST ETALS TRUSTEE'S	11.01	\$182,300	\$0	\$45,575	\$587.64

These figures are for the property in its current state.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2019-2020 per capita state revenue initial estimates for the City of Murfreesboro once the development is built out. The study area is proposed to be developed with 88 single-family homes.

**Table II**  
***Per Capita State Revenue Estimates***

<b>General Fund</b>	<b>Per Capita Amount</b>
State Sales Tax	\$89.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.00
Gross Receipts (TVA in-lieu taxes)	\$11.80
<i>Total General Revenue Per Capita</i>	\$103.30
<b>State Street Aid Funds</b>	<b>Per Capita Amount</b>
Gasoline and Motor Fuel Taxes	\$38.50
<i>Total Per Capita (General and State Street Aid Funds)</i>	<b>\$141.80</b>
<b>Total State-Shared Revenues (based on full build-out at 2.58 per dwelling unit for proposed 213 units)</b>	<b>\$12,478.40</b>

The per capita state revenue estimates apply only to new residents.

## **PLAN OF SERVICES**

## **POLICE PROTECTION**

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #4.

## **ELECTRIC SERVICE**

The study area will be served by Middle Tennessee Electric Membership Corporation (MTEMC). MTEMC currently has a line crossing the parcel in question which will likely need to be relocated for development. All costs and easement requisitions will be absorbed by the developer.

## **STREET LIGHTING**

According to MTEMC, street lighting is available along Florence road and can be installed at the request of the City of Murfreesboro. Street lighting within the proposed development must be installed by the developer.

## **SOLID WASTE COLLECTION**

The proposed PRD plan commits the development to utilizing a private hauler via a Dumpster or compactor. The prosed street design does not accommodate City solid waste services.

## **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

## **CITY SCHOOLS**

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area will be within the Overall Creek school zone.

## **STREETS AND ACCESS**

The annexation study area includes two segments of Florence Road right-of-way. The first is approximately 700 linear feet and is located north of the subject property between the overpass for Interstate 24 and Heatherwood Drive. The second is approximately 1,600 liner feet and is located adjacent to the subject property and south to the overpass for Interstate 840. Both segments of Florence Road within the study area are 2-lane ditch section roadways. Upon annexation, the City will become responsible for the operation and maintenance of this street. Based on a 15-year repaving cycle, the annualized maintenance cost is \$3,375 with State Street Aid and General Fund as funding sources. The addition of the right-of-way will also result in \$566 of capital cost with State Street Aid and General Fund as funding sources. Any new connections to this section of Florence must be approved by the City Engineer.

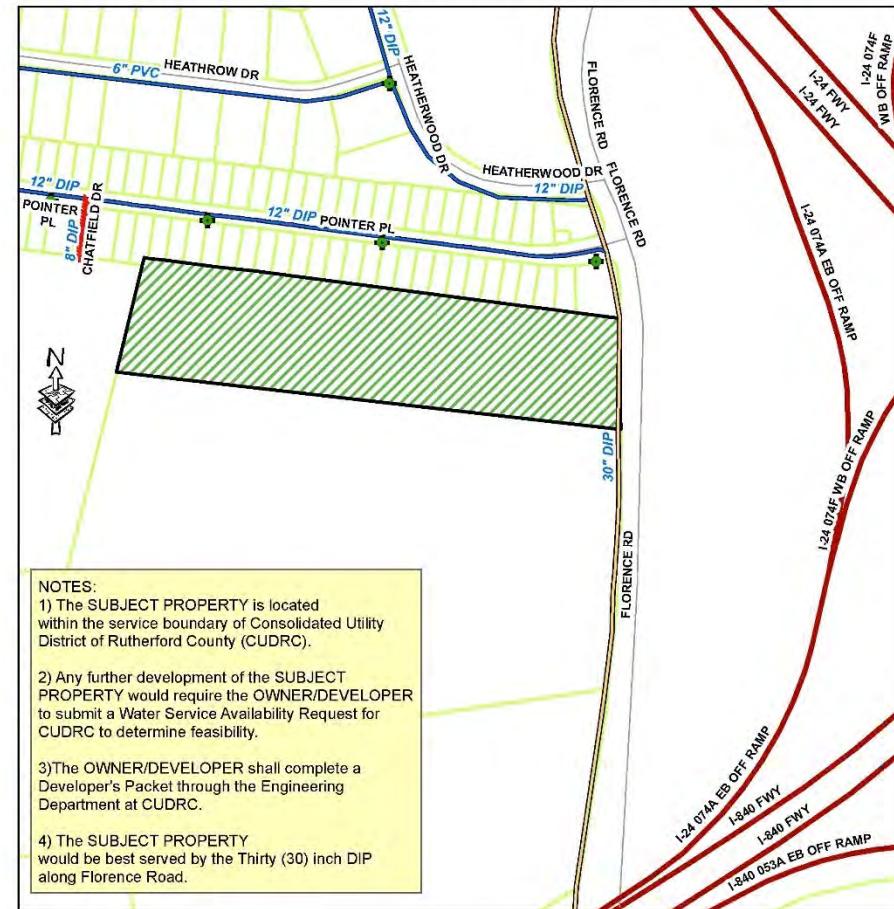
The Study Area is currently served by Florence Road as the major roadway facility. Florence Road intersects with Old Nashville Road to the north and Manson Pike to the south. The 2014 Level of Service Model in the 2040 Major Transportation Plan (MTP) indicates that Florence Road to be operating at a Level of Service B in the Study Area based on average daily traffic (ADT). The 2040 Level of Service Model shows that Florence Road, Manson Pike, and Old Nashville Highway fall to undesirable levels of service of D and F without the proposed improvements recommended in the 2040 MTP.

Old Nashville Highway is the first major intersection to the north and it is operating at a Level of Service C at the intersection while Florence Road is at a Level of Service D at the intersection. Manson Pike is the first major intersection to the south. Florence Road is operating at a Level of Service B at the intersection while Manson Pike is at a Level of Service C.

## Florence Road Annexation Request 078 01510

### WATER SERVICE

The study area is served by a 30-inch Consolidated Utility District (CUD) water line along Florence Road. This line is adequate for providing domestic water service and for maintaining the proper fire flows for the proposed development. A Water Availability Request must be submitted to CUD for review and approval before any additional development on the property may occur. Any new water line development must be done in accordance with CUD's development policies and procedures.



JUNE 18, 2019

- ⊕ CUD FIRE HYDRANT
- ━ CUD WATER MAIN (under const.)
- ━ CUD WATER MAIN
- ━ CUD WATER MAIN
- ━ SUBJECT PROPERTY

TAX MAP: 78  
PARCEL: 15.10



1 INCH = 330 FEET

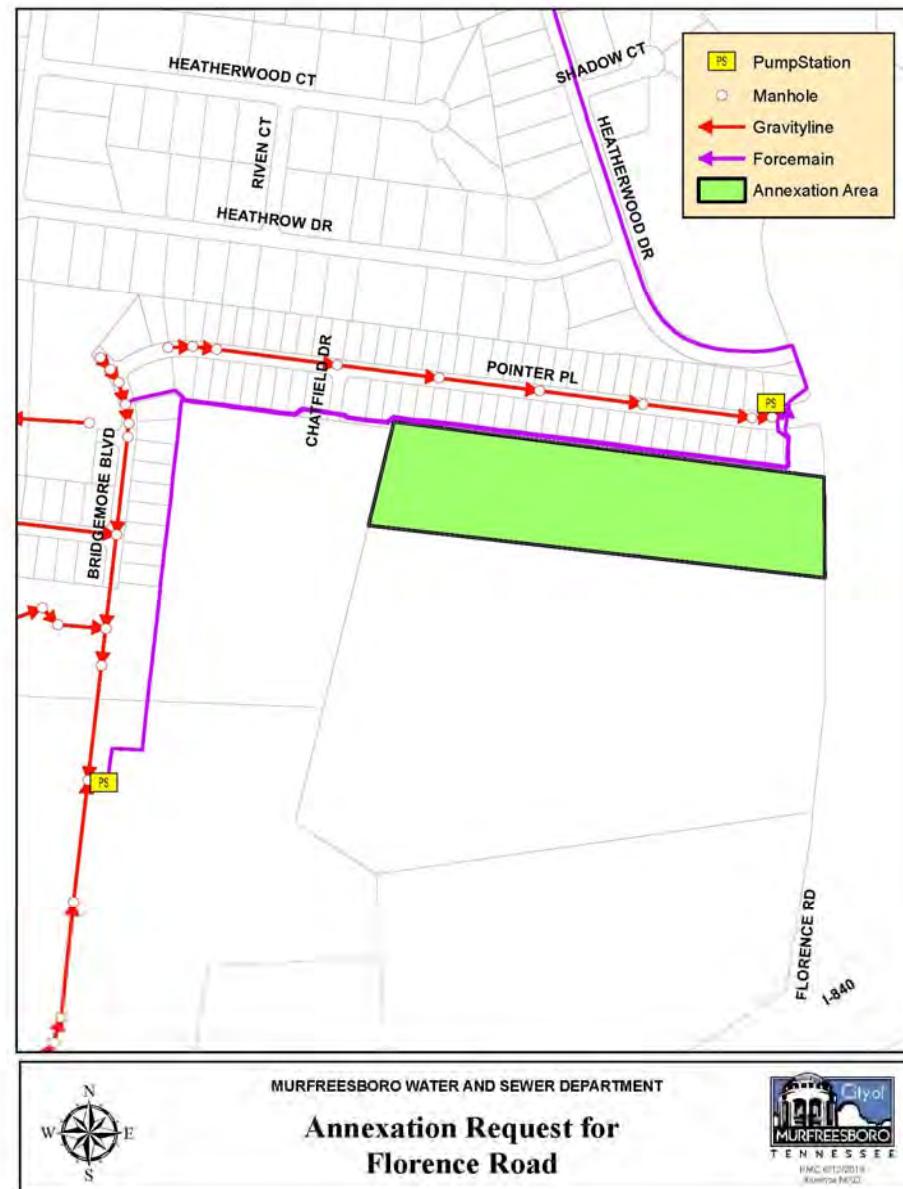
0 125 250 500  
Feet

## **SANITARY SEWER SERVICE**

Sanitary sewer is not currently available to serve the subject property, per the Murfreesboro Water Resources Department's definition of "available." Sanitary sewer is available along Pointer Place to the north however, the developer will be required to purchase sewer easement, dedicated to the City, for the extension of gravity sewer. There will also be upgrades to the existing pump station at the entrance of Shelton Square that the developer will be financially responsible for

The study area lies within the Overall Creek Sanitary Sewer Assessment District and will pay \$1,000 per single-family unit in addition to current standard sewer connection fees of \$2,550.

All sewer main improvements and easements needed to serve the subject properties are to be installed and acquired respectively by the developer in accordance with MWSD's development policies and procedures.

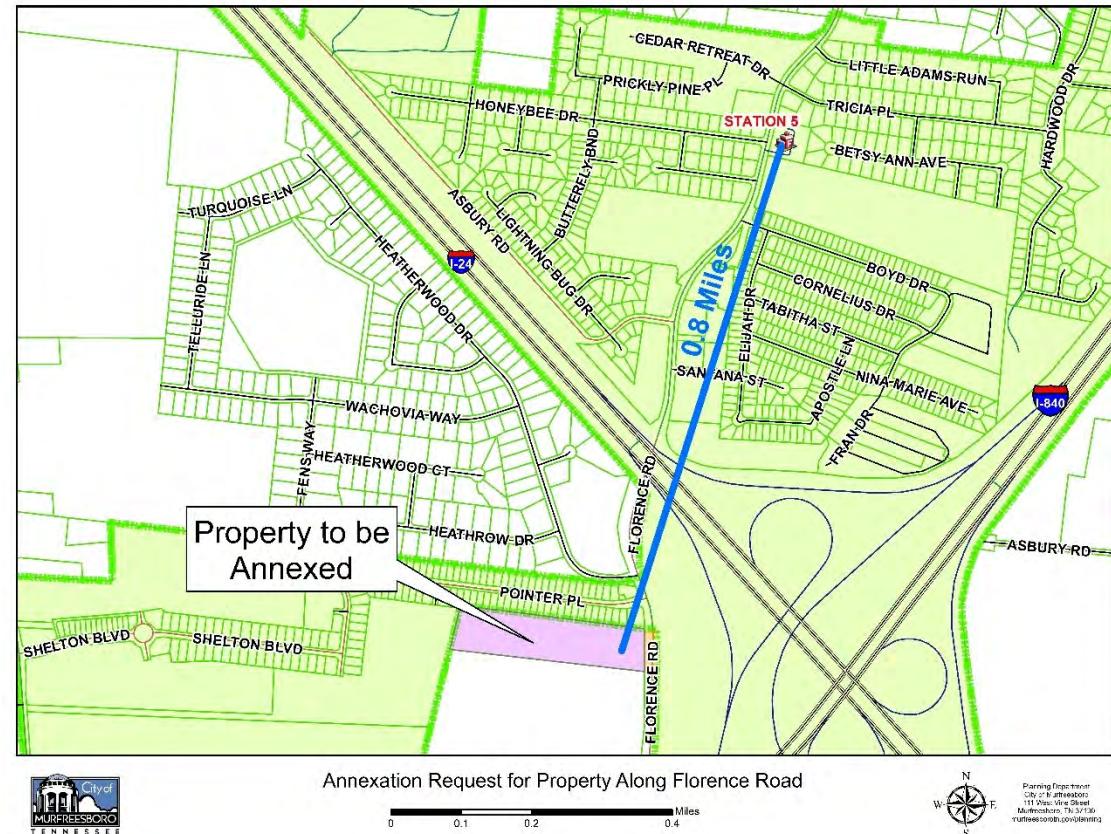


## **FIRE AND EMERGENCY SERVICE**

The Murfreesboro Fire and Rescue Department will begin providing fire protection and medical first responder service to the study area immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD).

Any development on the site must provide adequate fire flows and install water lines and fire hydrants per the Consolidated Utility District policies and procedures. Current guidelines recommend fire hydrants be 500 feet apart.

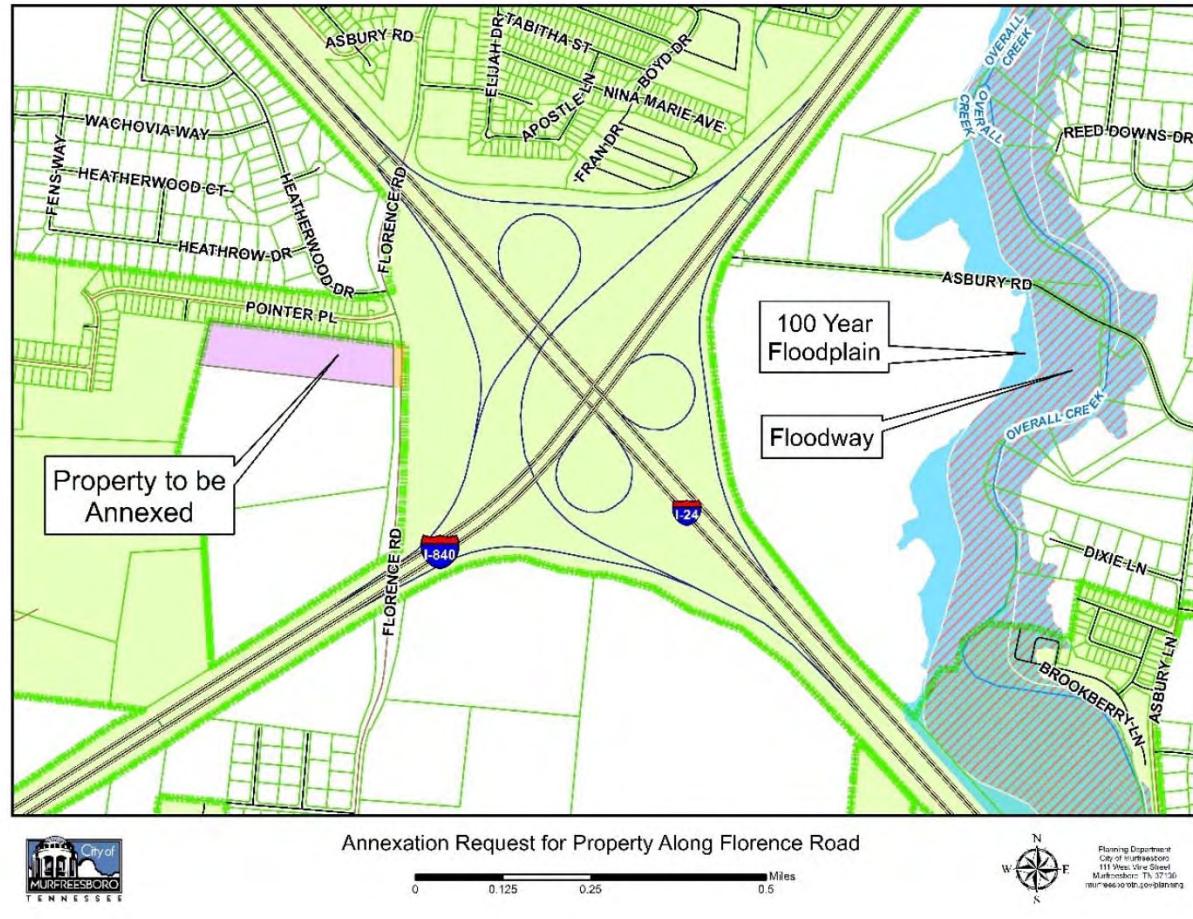
There is a 30-inch Consolidated Utility District water line along Florence Road that serves the subject property. The closest operating fire station to the subject property is Fire Station #5, located at 3006 Florence Road, approximately 5 miles from the study area.



## **FLOODWAY**

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the floodway boundary in pink and the 100-year floodplain boundary in blue.

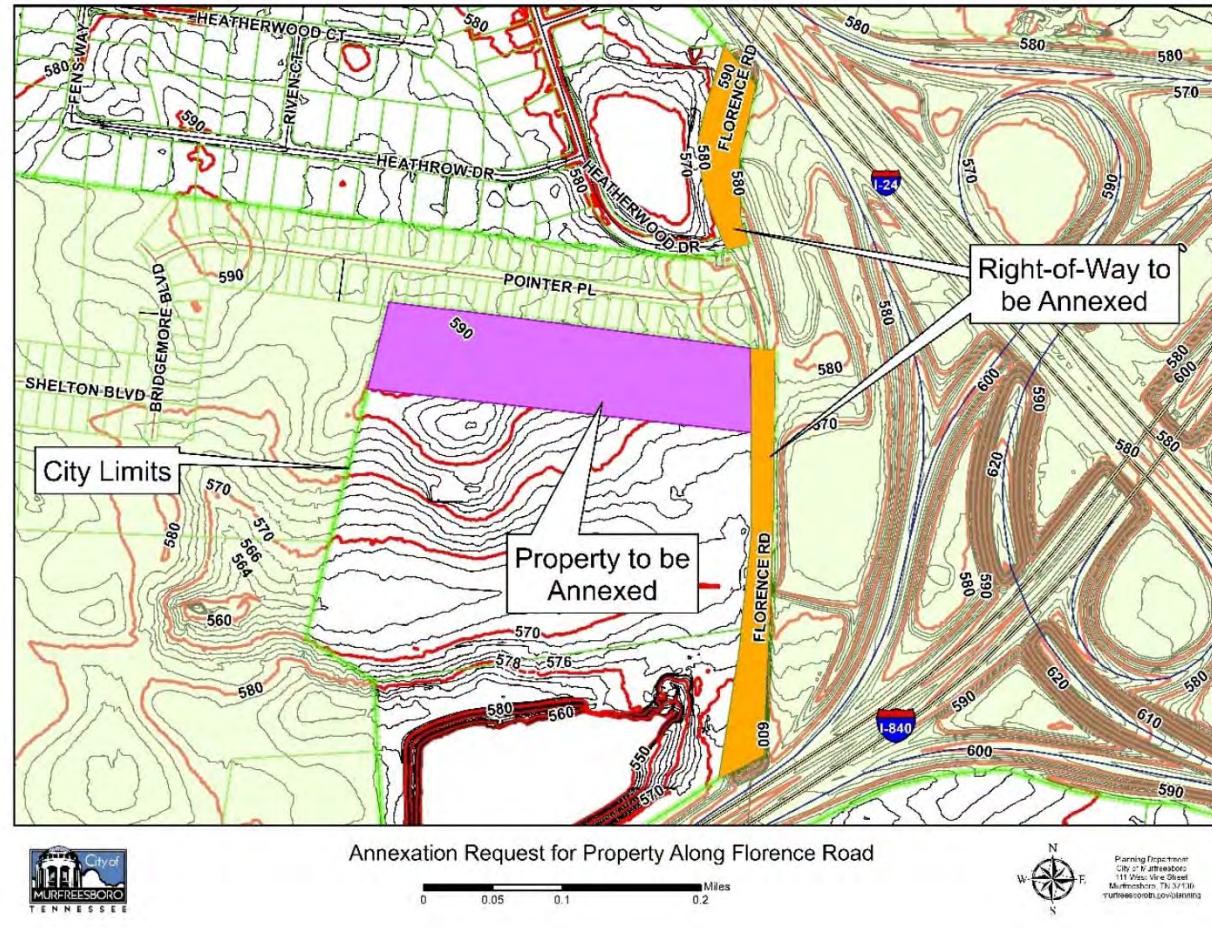


## Property and Development

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality and detention.

Improvements to Florence Road should be included for right and left turn lanes into the development.

The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



## ***Public Drainage System***

No new public drainage facilities are included in the study area. Access to public drainage facilities are within the ROW of Florence Road and Shelton Square Subdivision. Public drainage facilities within Florence Road will become the responsibility of the City upon annexation. Routine maintenance for these facilities are included within the expected annual maintenance costs for the public roadways. State Street Aid and Stormwater Utility Fees are anticipated sources of funding for these public drainage facilities. No additional public drainage systems are in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

## ***Regional Drainage System***

A review of a topographic map shows that the approximately a third of the property drains to the northwest corner of the property to a wet weather conveyance on the neighboring property to the north. The other two thirds of the property drains at the southeast corner of the property to the right-of-way of Florence Road. No portion of this property is located in the 100 year flood plain.

## ***STORMWATER MANAGEMENT***

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has no existing structures therefore will not generate any additional stormwater fees.

The Study Area has a proposed zoning of PRD and a master-planned development consisting of 88 single-family attached dwelling units. Based on this development scenario, it is anticipated that the site will generate approximately \$3,432 in additional revenue per year into the Stormwater Utility Fund upon full build out.

## **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

## **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to Public Chapter 1101 passed by the Tennessee Legislature, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

## **BUILDING AND CODES**

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected. A preliminary inspection by the Codes Department indicated high grass and weeds, which must be cut to City standards if the property is annexed.

## **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**4.f. Zoning application [2019-420] for approximately 11 acres located along Florence Road and Pointer Place to be zoned PRD (Shelton Crossing PRD) simultaneous with annexation, Alcorn Properties LLC applicant. (project planner- Margaret Ann Green)**

The subject property is located along the west side of Florence Road, just south and east of the Shelton Square residential subdivision. The property consists of approximately 11.01 acres and includes one property identified on Tax Map 078 as parcel 015.10.

The subject property is located within unincorporated area of Rutherford County and is zoned RM (Medium Density Residential). The properties to the north and west are a developing city, single-family residential subdivision. The interchange for I-24 and SR-840 is located across the subject property on the opposite side of Florence Road.

The owners of the property have petitioned the City to annex the unincorporated property. The applicant for the zoning change is Alcorn Properties LLC and has requested the properties be zoned PRD (Planned Residential District) simultaneous with annexation.

**Shelton Crossing PRD:**

The proposed PRD is to create an 88-lot single-family, attached development on 11.01 acres (7.99 d.u./a). The proposed townhomes will have a horizontal property regime form of ownership and the proposed structures are a minimum of 1,400 ft<sup>2</sup> heated area. Each unit is required a minimum one-car garage, two-bedrooms and room for two off-street parking spaces. The streets located within the development are private that incorporate a connection to Pointer Place (public right-of-way) to the north, a stub connection to the south, and primary access to Florence Road. The PRD proposes to utilize private solid waste collection via a compactor. The plan proposes to utilize a pet park, playground and open lawn play area to serve as formalized open space.

***Exceptions***

The PRD program book requests exceptions to the minimum building setback lines as noted below:

	<b>Shelton Crossing PRD</b>	<b>RS-A-Type 2</b>
<b>Front setback</b>	35	25
<b>Side setback</b>	5	10
<b>Rear Setback</b>	20	20

Planning Staff expressed concern to the Planning Commission regarding the requested exception to allow less screening of the detention area than is permitted elsewhere. The applicant's representative requests this exception to reduce the development costs of this element that is considered an "attractive nuisances".

### **Future Land Use Map**



### **Future Land Use Map**

#### **LAND USES**

##### *Proposed Land Uses*

	Undeveloped
	Parks
	Suburban Estate
	Suburban Residential
	Auto Urban Residential
	Multi Family Residential
	General Commercial
	Neighborhood Commercial
	Urban Commercial / Mixed Use
	Central Business District
	Business Park
	Light Industrial
	Heavy Industrial
	Public / Institutional

The Murfreesboro 2035 Future Land Use Map indicates that Auto Urban Residential (AUR) uses are the most appropriate land use for the subject property. The proposed zoning appears to be consistent with the *Future Land Use Map* and with the density proposed in the AUR.

This designation pertains to current and future residential development and includes detached residential dwellings; attached housing types (subject to compatibility and open space standards, e.g., duplexes, triplexes, townhomes, patio homes); planned developments (with a potential mix of housing types and varying densities, subject to compatibility and open space standards), etc. The density proposed within this area is 3.54 to 8.64 dwelling units per acre.

The Planning Commission will need to conduct a public hearing on the matter of the Planned Residential District zone request, after which it will need to discuss this matter and then formulate a recommendation for City Council.



*Creating a better quality of life*

**City of Murfreesboro  
Planning and Engineering Department**  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

<b>Zoning &amp; Rezoning Applications – other than rezoning to planned unit development</b>	<b>\$700.00</b>
<b>Zoning &amp; Rezoning Applications – Planned Unit Development, initial or amended</b>	<b>\$950.00</b>

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

**APPLICANT:** Alcorn Properties, LLC c/o Kevin Atwood

Address: 4613 Veterans Pkwy City/State/Zip: Murfreesboro, TN 37128

Phone: 615-803-6234 E-mail address: Kevin.Atwood@slhtn.com

**PROPERTY OWNER:** Saraswat Family Trust

Street Address or  
property description: West of Florence Rd

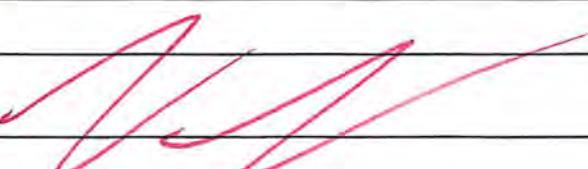
and/or Tax map #: 78 Group: \_\_\_\_\_ Parcel (s): 15.10

Existing zoning classification: RM (COUNTY)

Proposed zoning classification: PRD Acreage: 11.01

Contact name & phone number for publication and notifications to the public (if different from the applicant): MATT TAYLOR 615-890-7901

E-mail: MTAYLOR@SEC-CIVIL.COM

**APPLICANT'S SIGNATURE (required):** 

DATE: 5-15-19

\*\*\*\*\***For Office Use Only**\*\*\*\*\*

**Date received:** 2019-502 **MPC YR.:** 2019-502 **MPC #:** 2019-420

**Amount paid:** \$1450.00 **Receipt #:** 2934e23



# SHELTON CROSSING

REQUEST FOR ANNEXATION AND REZONING TO PLANNED RESIDENTIAL DISTRICT  
Murfreesboro, Tennessee

Initial Submittal  
May 16, 2019

**Resubmittal #1**  
June 12, 2019 for the June 19, 2019  
*Planning Commission Workshop*

**Resubmittal #2**  
July 03, 2019 for July 10, 2019  
*Planning Commission Public Hearing*

# SEC, Inc.

SEC Project #19112

# SEC, Inc.

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: [rmolchan@sec-civil.com](mailto:rmolchan@sec-civil.com)/[mtaylor@sec-civil.com](mailto:mtaylor@sec-civil.com)  
Web: [www.sec-civil.com](http://www.sec-civil.com)

850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129

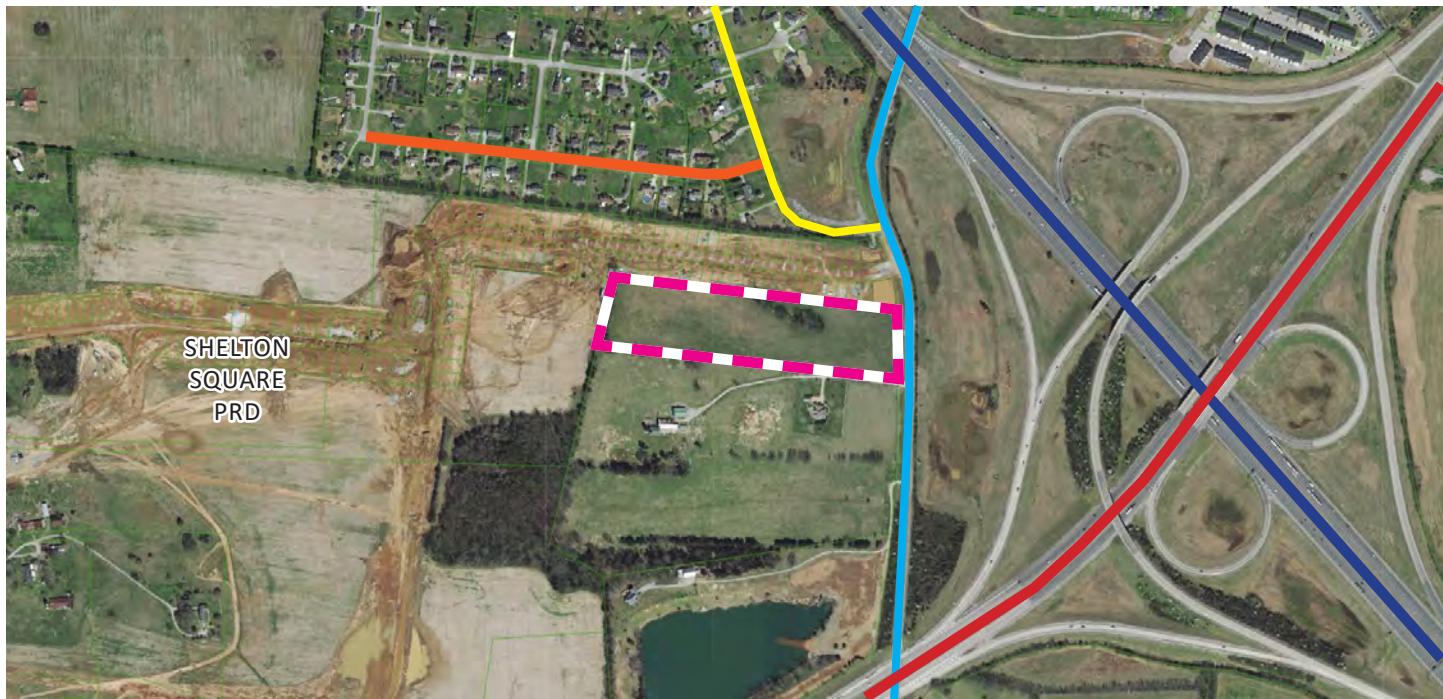
Company Name: Alcorn Properties, LLC  
Profession: Developer  
Attn: Kevin Atwood  
Phone: (615) 803-6234  
Email: [kevin.atwood@slhtn.com](mailto:kevin.atwood@slhtn.com)  
Web: <http://slhtn.com/>

4613 Veterans Parkway  
Murfreesboro, Tennessee 37128

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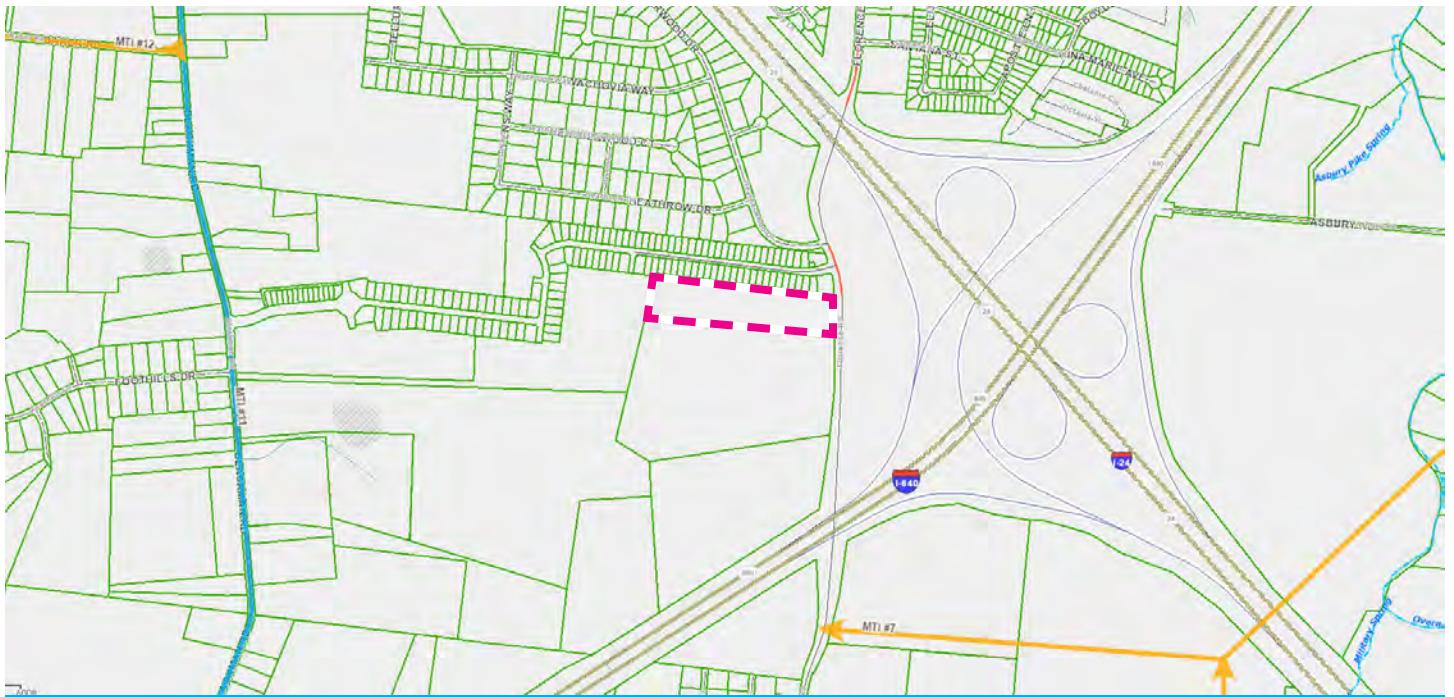
AERIAL PHOTOGRAPH

Not To Scale 

 Florence Road	 Interstate-24
 Heatherwood Drive	 Heathrow Drive
 Interstate-840	 Site Boundary

Alcorn Properties, LLC respectfully requests annexation and rezoning of the Saraswat Property located on Florence Road from Medium Density Residential (RM) zoning in Rutherford County, to Planned Residential Development (PRD) in the City of Murfreesboro to create Shelton Crossing. The property is located along the western side of Florence Road, in between Interstate 24 and Interstate 840. The development is located directly to the south of the Shelton Square development. The site is identified as Parcel 15.10 of Tax Map 78, and is approximately 11.01 acres.

The request for rezoning to PRD is to create a new planned residential development to be named Shelton Crossing. The development will consist of 88 single-family attached townhomes on 11.01 acres, for a density of 7.99 dwelling units per acre. The units will be sold under a horizontal property regime. The proposed townhomes will range in size from 1,400 sf. to 1,700+ sf. The townhome buildings will be a mixture of 4, 5, and 6 units per building. Each townhome unit will have a minimum of 2 bedrooms, and a minimum one car front entry garage with decorative garage doors. The garages will be restricted for vehicular parking only through the developments restrictive covenants. Two additional surface parking spaces will be provided in front of each unit. The townhome elevations will be constructed of a mixture of masonry materials to add quality and character to the community. Foundation plantings will be placed along the front of each townhome building, with sodded front yards. All vehicular drives will be private, and will have sidewalks along them to provide pedestrian connectivity through the development. This site and common areas which include; building exteriors, driveways, sidewalks, private roadways, guest parking areas, landscaping, open spaces elements, mail kiosk, stormwater facilities, will be owned and maintained by the H.O.A.



## 2040 MAJOR THOROUGHFARE PLAN

Not To Scale 

2- LANE BRIDGE IMPROVEMENT	7- LANE ROAD IMPROVEMENT
3- LANE ROAD IMPROVEMENT	8- LANE ROAD IMPROVEMENT
4- LANE ROAD IMPROVEMENT	3- LANE ROAD COMMITTED
5- LANE ROAD IMPROVEMENT	4- LANE ROAD COMMITTED
6- LANE ROAD IMPROVEMENT	5- LANE ROAD COMMITTED



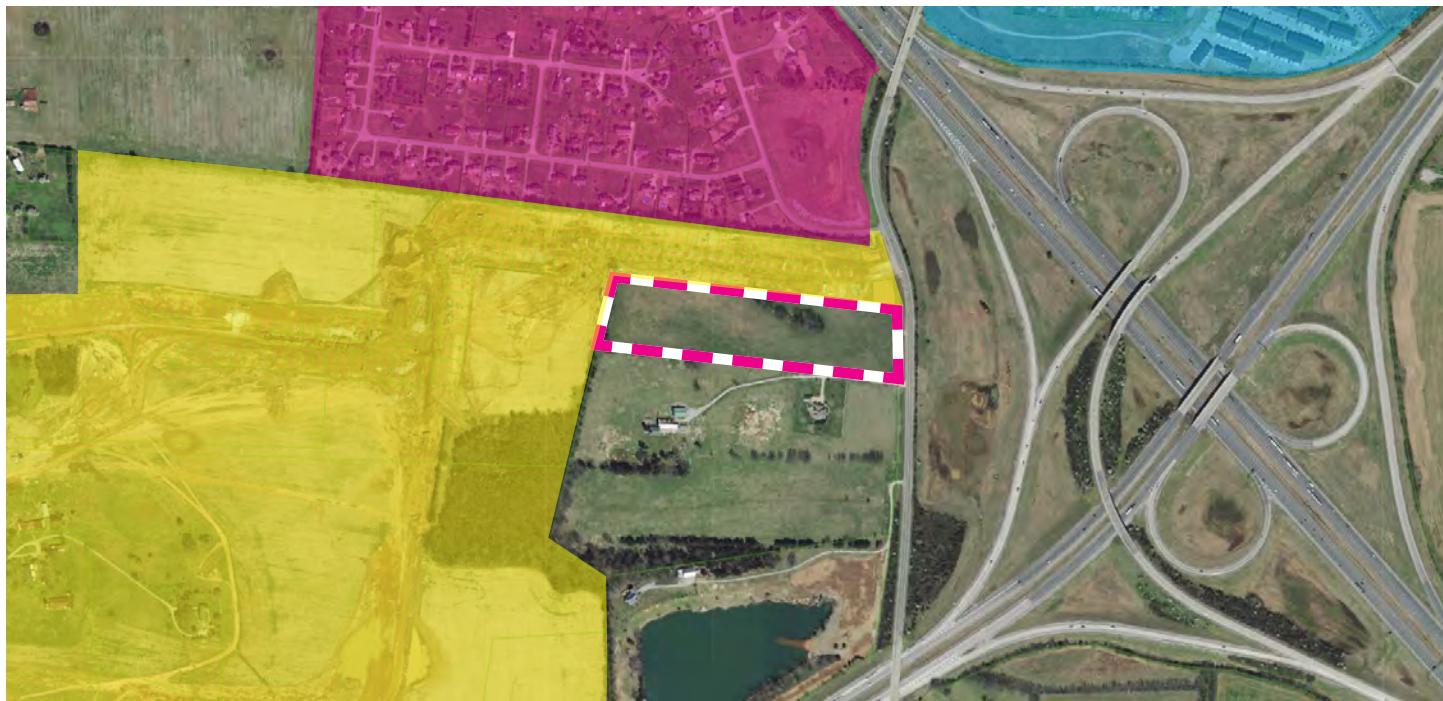
Site Boundary

The property has/will have access to the existing public rights-of-way off of Florence Road and Pointer Place. Florence Road is currently a two lane roadway, with paved shoulders and ditch drainage.

According to the City of Murfreesboro's 2040 Major Thoroughfare Plan, Florence Road is not slated for any roadway improvements.

Shelton Crossing will also have a proposed connection to Pointer Place in the Shelton Square development. Pointer Place is a Residential Sub Collector street that provides access to Florence Road and Blackman Road. A proposed private access drive to Pointer Place, will provide vehicular and pedestrian connectivity between these two developments, while allowing residents of this proposed development, access to Blackman Road through Shelton Square.

Shelton Crossing is also providing a future stubout to the residential property located to the south of this development. This will allow for interconnectivity should the adjacent property to the south ever be developed.



ADJACENT SUBDIVISION MAP

Not To Scale 

 Florence Village

 Heatherwood

 Shelton Square

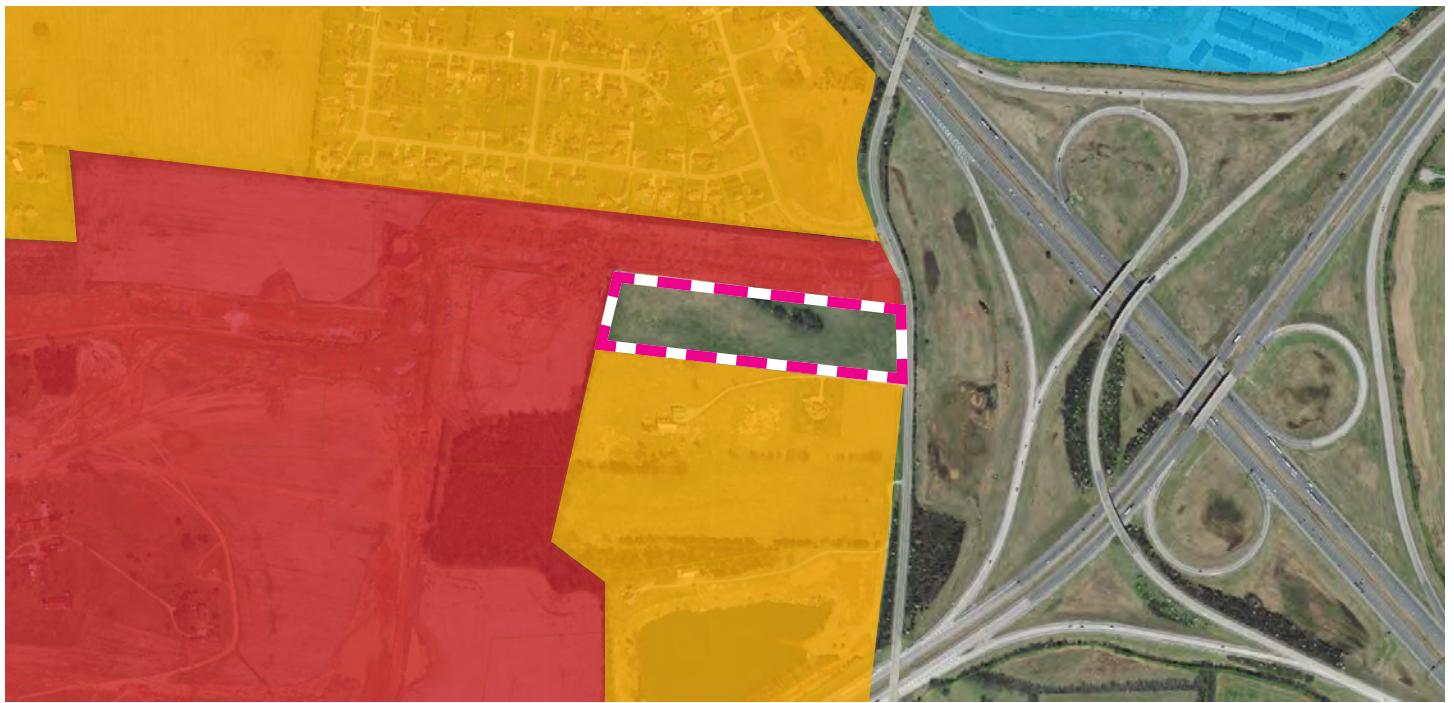


Site Boundary

Shelton Crossing is surrounded by a mixture of residential subdivisions, and large tract residential properties. Shelton Square PRD is located along the northern and western sides of the development. Shelton Square subdivision is mixture of single-family detached homes, ranging from cottages to large lot homes. The homes will be a mixture of front and side entry garages, with just a handful of alley loaded cottages. This proposed development will be connected to Shelton Square via a private drive to provide routes for pedestrian and vehicular access, as well as utilities.

Directly to the south are two large tract single-family properties over 25 acres in size, that are zoned Medium Density Residential (RM) in Rutherford County. The first tract that is adjacent to the proposed development has a large house, a extra car garage, and grouping of barns on the property. Shelton Crossing has provided a street stub to the southern property, to provide access to this property if it should ever develop in the future.

The remainder of the surrounding properties to the east of the development is primarily associated with the Rights-of-Way for the interchange of Interstates 24 and 840.



## ZONING MAP

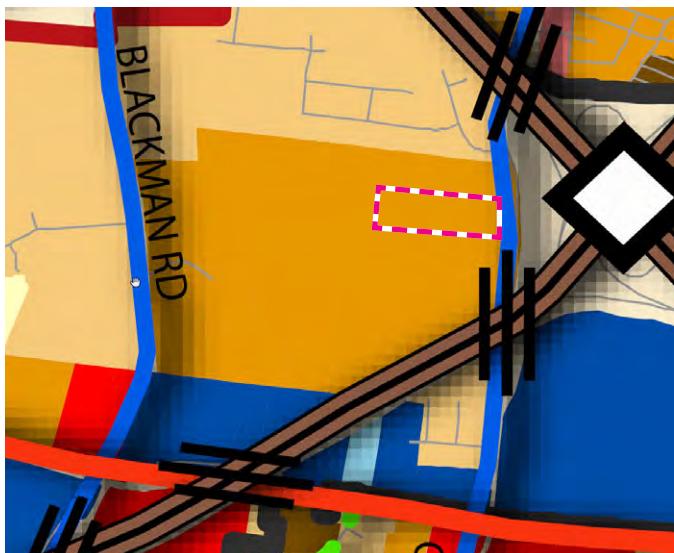
Not To Scale 

- RM** Medium Density Residential (Rutherford County)
- PRD** Planned Residential Development (Murfreesboro)
- PUD** Planned Unit Development (Murfreesboro)



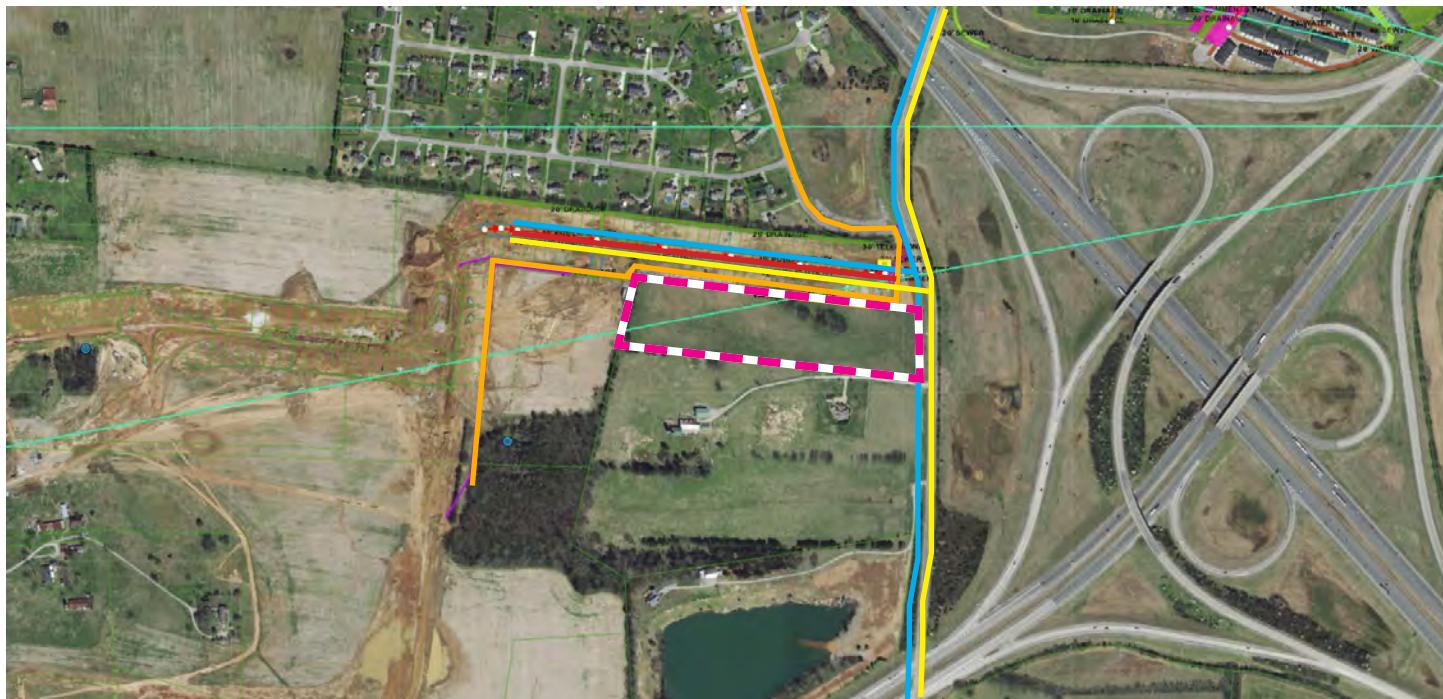
Site Boundary

The adjacent properties consists of a mixture of zoning types that are located within the City of Murfreesboro and Rutherford County. Shelton Square is zoned Planned Residential District (PRD)within the City of Murfreesboro. Shelton Square PRD allows for variety of residential housing types, which creates a diverse neighborhood. The two large tracts to the south of the site are zoned Medium Density Residential (RM) in Rutherford County. Both lots could be developed to allow for a residential subdivision with single-family detached lots not less than 15,000 sf. in size. The Heatherwood Subdivision to the north of Shelton Square is also zoned RM in Rutherford County. It is a neighborhood with single-family detached homes.



## MURFREESBORO 2035 FUTURE LAND USE MAP

The current Murfreesboro 2035 Future Land Use Map indicates that this site is designated as Auto Urban Residential (AUR) Character Area. The characteristics of this area include; narrow setbacks between dwelling units, front yard is consumed by driveways, and limited landscape enhancements. Allowable uses within this character area include detached and attached residential with a density range of 3.54 to 8.64 DU/AC. The proposed plan for Shelton Crossing is consistent with the 2035 Future Land Use Plan. The project incorporates single-family attached residential dwellings, parking in front of the dwellings, landscape enhancements around the dwellings and site, and a density of 7.99 DU/AC.



## UTILITY MAP

Not To Scale 

 WATER	 SANITARY SEWER FORCEMAIN
 SANITARY SEWER	 ELECTRIC
	 Site Boundary



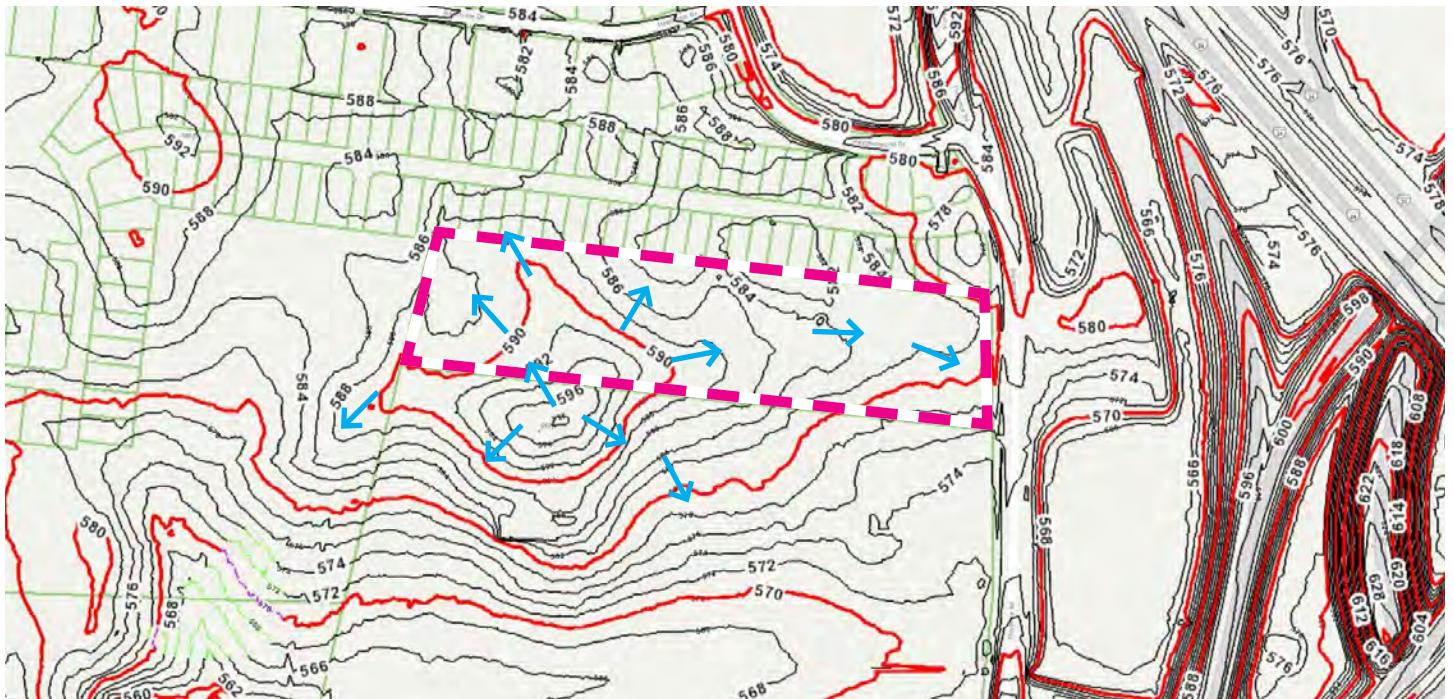
Water service will be provided by the Consolidated Utility District. There is an existing 30-inch ductile iron water line along Florence Road, and a 12-inch water line within Pointer Place for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8-inch gravity sewer line within the R.O.W. of Pointer Place in Shelton Square. The sewer line connection will utilize the private driveway access between the two developments. The developer will be responsible for extending the sewer into this property.



Electric service will be provided by the Middle Tennessee Electric Membership Corporation. Underground electric service will be extended from overhead lines along Florence Road, and possibly from underground lines in Shelton Square. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



## HYDROLOGY AND TOPOGRAPHY

Not To Scale



## — INTERMEDIATE CONTOURS



## Site Boundary

The topographic map above shows the site's topographic high point generally at the southern edge of property near the western corner of the property. From this high point, the property drains towards the north, east and west. Stormwater that drains to the north, flows towards the Shelton Square subdivision, where it is currently captured in a diversion swale behind the lots along the southern property line of Shelton Square. That stormwater is diverted to stormwater detention ponds at the Florence Road entrance of Shelton Square. Stormwater that drains to the west flows towards the undeveloped portions of the Shelton Square subdivision, where it continues to flow across the Shelton property. The surface stormwater that flows to the east is eventually captured in the drainage ditch along Florence Road.

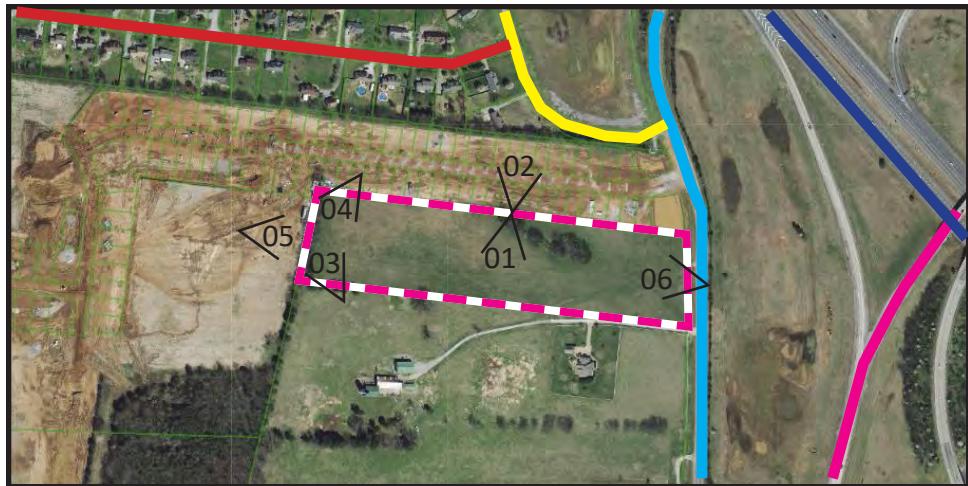


PHOTO DIRECTION MAP

- Florance Road
- Interstate-840
- Heatherwood Drive
- Heathrow Drive
- Interstate-24

Not To Scale



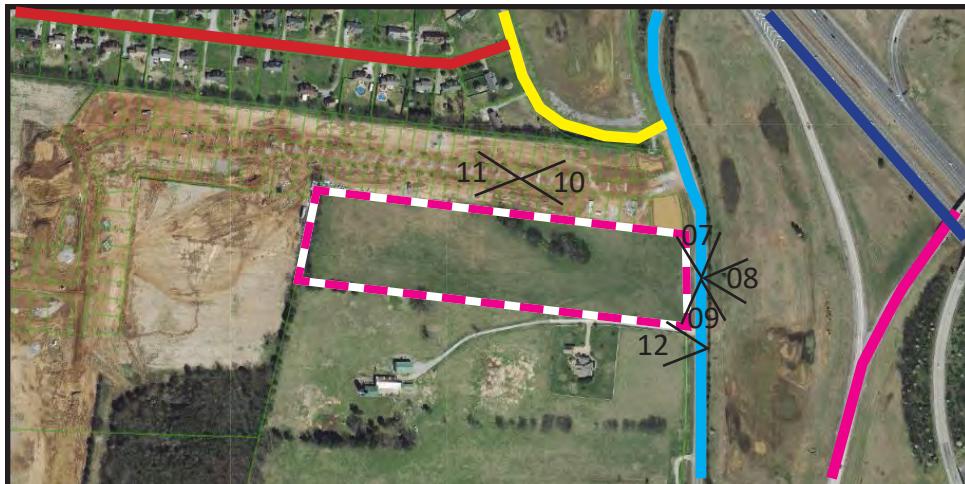


PHOTO DIRECTION MAP

Not To Scale

Site



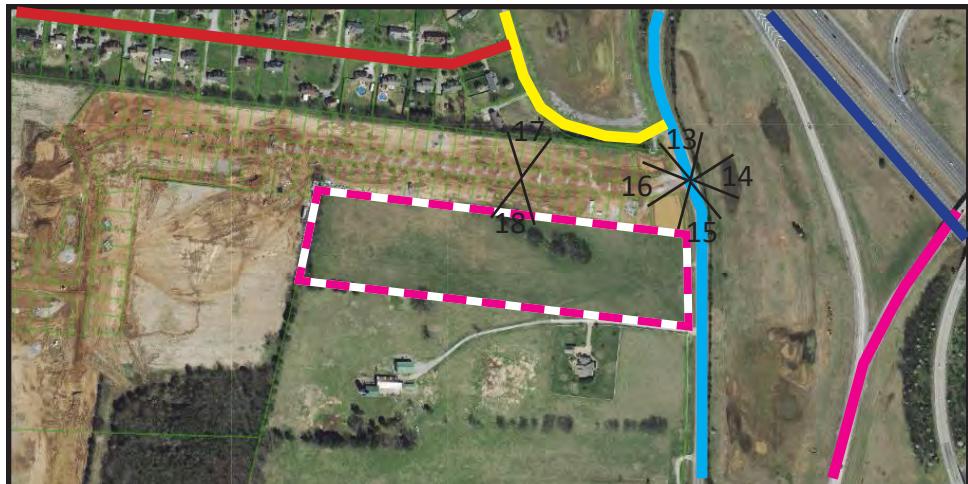


PHOTO DIRECTION MAP

Site





Total Land Area:	±11.01 Acres
Total Number of Units:	88 Units
Yield: 88 Units/11.01 Acres =	±7.99 Units/Acre
Total Open Space:	±3.90 (35.42%)
Formal Open Space Required:	±0.56 Acres (5.00%)
Formal Open Space Provided:	±0.62 Acres (5.56%)
Length of New Roadway:	±2,450 Linear Feet
Parking	
Required: 26 (2 BR Units) x 2.2 =	58 Spaces
Required: 62 (3 BR Units) x 3.3 =	205 Spaces
Total =	263 Spaces
Provided: 2- Car Parking Pad =	176 Spaces
1- Car Garage =	88 Spaces
Guest Parking Areas=	26 Spaces
	290 Spaces (+27)

A Type 'D' Buffer is located along the northern, southern and western perimeters of the site to buffer the existing zoning associated with Shelton Square PRD and county zoned RM lot from the proposed PRD.



Parking Note:  
*"This plan is committing to restricting the use of all garages so that their primary use will not be for the parking of boats, RVs, household storage, etc...; rather it will be for vehicular parking. The garages shall be available for the parking of one (1) vehicle at all times. In addition to being a zoning requirement, this commitment will also be included in the restrictive covenants and enforced by the homeowners association."*

**SEC, Inc.**

SEC Project #19112

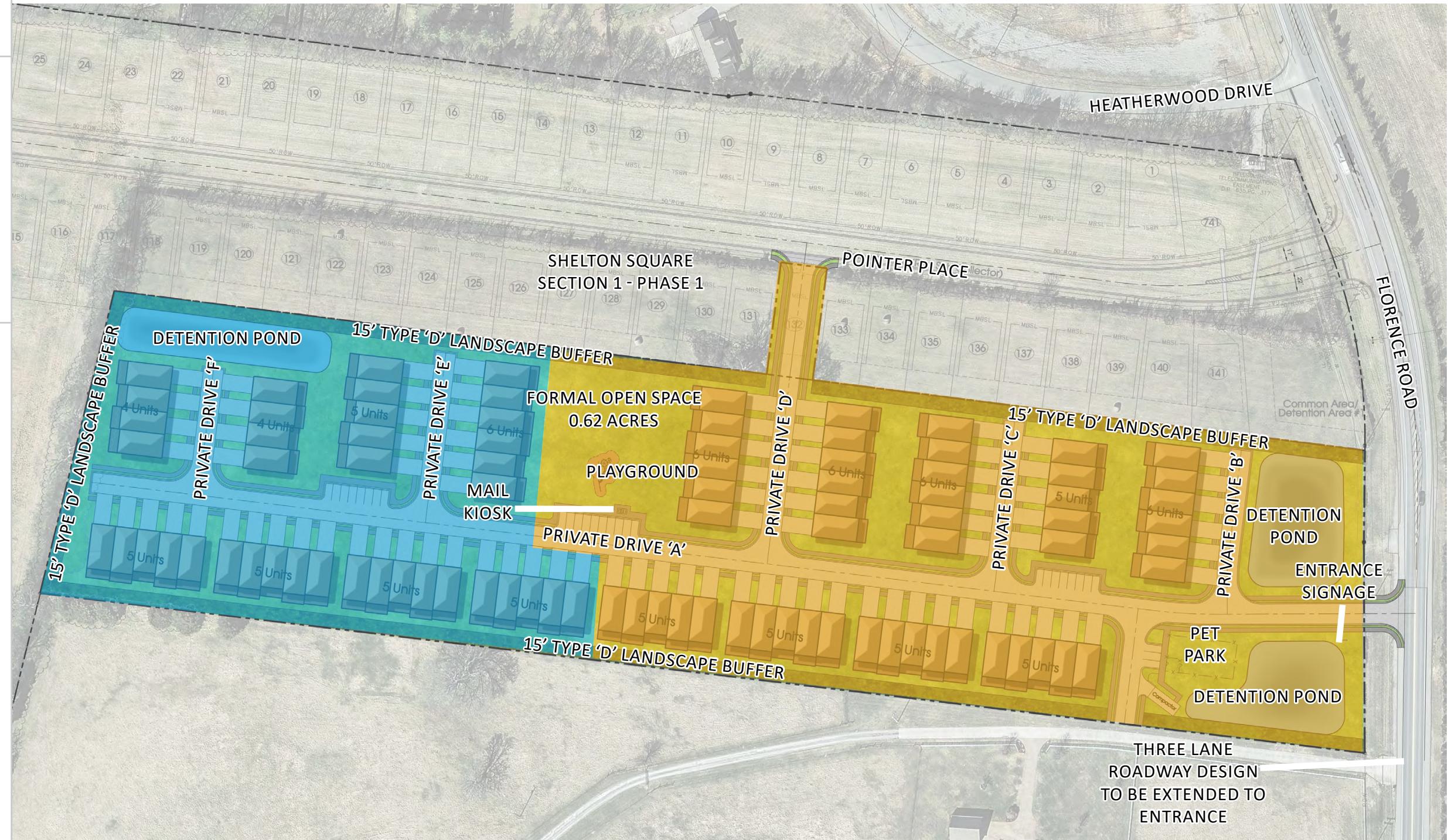
Murfreesboro, Tennessee



PHASES	UNITS	ACRES
PHASE 1	49	6.91
PHASE 2	39	4.10
<b>TOTAL</b>	<b>88</b>	<b>11.01</b>

Phase 1  
Phase 2

- The project is anticipated to be built in 2 phases
- Construction of Phase 1 is planned to begin within 90-120 days after the completion of the rezoning process
- The timing of the remaining phase of construction will be market driven and dependent upon the absorption of the units in the previous phase
- In general, following section of construction will begin after the previous phase is 80%-85% sold
- Phase 1 is anticipated to create 49 units
- Phase 2 is anticipated to create an additional 39 units.
- Phase 1 will include the formal open space and development signage at the main entrance with Florence Road.



**SEC, Inc.**

SEC Project #19112

Murfreesboro, Tennessee

### **Development Standards:**

- 88 townhome units with 2 or more bedrooms
- The units will be a minimum of 1,400 feet of living area
- All units will be sold under a horizontal property regime
- The exteriors of the buildings and common spaces will be maintained by an H.O.A.
- All roadways and sidewalks will be private and maintained by the H.O.A.
- 5 Ft. wide sidewalks will be provided throughout the development to create a pedestrian friendly community.
- Building elevations will consist of masonry products, with vinyl only permitted in the trim and soffits. A representation of elevation material mixtures are outlined on Pages 16-17: Architectural Characteristics and Building Materials.
- Each townhome unit will have a 1-car garage.
- Each townhome will provide at least 3 off-street parking spaces per unit, 1 in the garage and 2 in the driveway.
- Each townhome will have a concrete driveway wide enough for 2 vehicles, with a minimum width of 16 feet and 25 feet in depth to the back of sidewalk.
- Garages will be solely used for vehicles as outlined in the Restrictive Covenants, and enforced by the H.O.A.
- A Type 'D' Landscape Buffer will be constructed along length of the northern, southern, western boundaries that are adjacent to Shelton Square PRD and county zoned RM property to the south.
- All mechanical equipment (i.e. hvac and transformers) to be screened by either landscaping or a fence, and will be located along the side and rear elevations of the townhome buildings.
- There shall be a minimum 3-foot wide landscape bed located along the front and side elevations of each townhome building that faces a vehicular area. No landscaping shall be required along side elevations between buildings or when adjacent to a landscape buffer.
- All on-site utilities will be underground.
- Detention pond screening will be provided between any detention ponds and Florence Road. Screening shall not be required internally or on any side adjacent to a landscape buffer.
- On-site lighting will comply with the minimum and maximum city standards to prevent light pollution, and will be provided by M.T.E.M.C.
- Parking for the residential units will comply with the City of Murfreesboro requirements.
- All guest parking areas will have curbing.
- All private streets and parking spaces will be designed to comply with the City of Murfreesboro design standards.
- Entrance off of Florence Road will have new entrance signage constructed on masonry materials and anchored by landscaping.
- Mail service will be provided via a kiosk for all postal deliveries.
- Solid waste will be handled via a trash compactor.
- The solid waste enclosure will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.



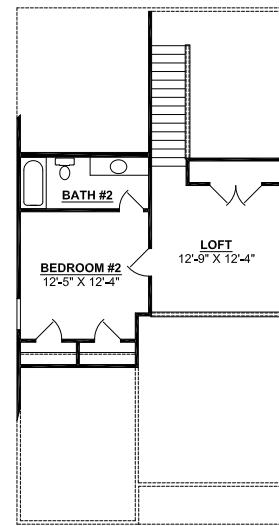
### Architectural Characteristics:

- Building heights shall not exceed 35 feet in height.
- All buildings will be 2-story.
- All units will have at least 2 bedrooms.
- All the units will have eaves.
- All units will have a covered front porch or stoop.
- All units will have a patio area at the rear of the unit.
- Patios will be screened with a minimum 5-foot tall white or neutral color vinyl privacy fence between units.
- All homes will have a 1-car front entry garages.
- Front entry garages will have decorative doors with windows.
- Garage door color will match trim of the unit and will be either white or a neutral color.

- Townhome buildings will be comprised of alternating unit styles, and offset to create articulation along the front facade to add interest to the elevations.
- Townhome buildings that face towards roadways or common open spaces, shall have a brick or stone water table/base along those side elevations. When two side elevations face each other, no water table/base shall be required along those adjoining side elevations.
- No water table/base shall be required along the rear elevations, since those rear elevations will not be visible due to rear fencing around each of the rear patios.
- Front and rear elevations of each of the townhome units, shall have an alternating color pattern along the length of the townhome buildings.

### Example Floor Plans

1464 Plan



### Building Materials:

Front Elevations: Stone, Brick, Fiber Cement Board Siding, Fiber Cement Board & Batten

Side Elevations: Fiber Cement Board Siding

Rear Elevations: Fiber Cement Board Siding



Example of Brick  
(different colors  
will be allowed)



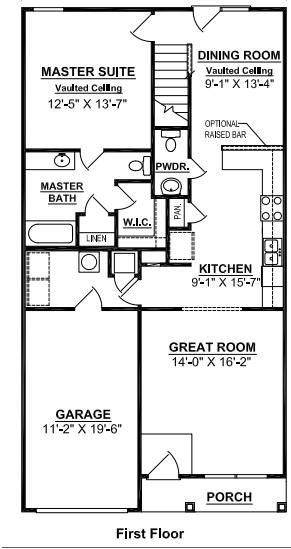
Example of Stone Veneer  
(different colors, cuts,  
patterns will be allowed)



Example of Fiber  
Cement Board  
(different colors will  
be allowed)



Example of Board  
& Batten  
(different colors will  
be allowed)



### Minimum Building Setbacks to Site Boundary:

Front: 35-feet along Florence Road

Side: 20-feet along Shelton Square Boundary  
20-feet along Southern Boundary

Rear: 20-feet along West Boundary

### Minimum Building Setbacks Internal to the Site:

Front: 25-feet from back of sidewalk to face of garage

Side: 10-feet between buildings  
10-feet between buildings and private streets  
8-feet between buildings and the edge of guest parking spaces

Rear: 30-feet between buildings





FRONT ELEVATION



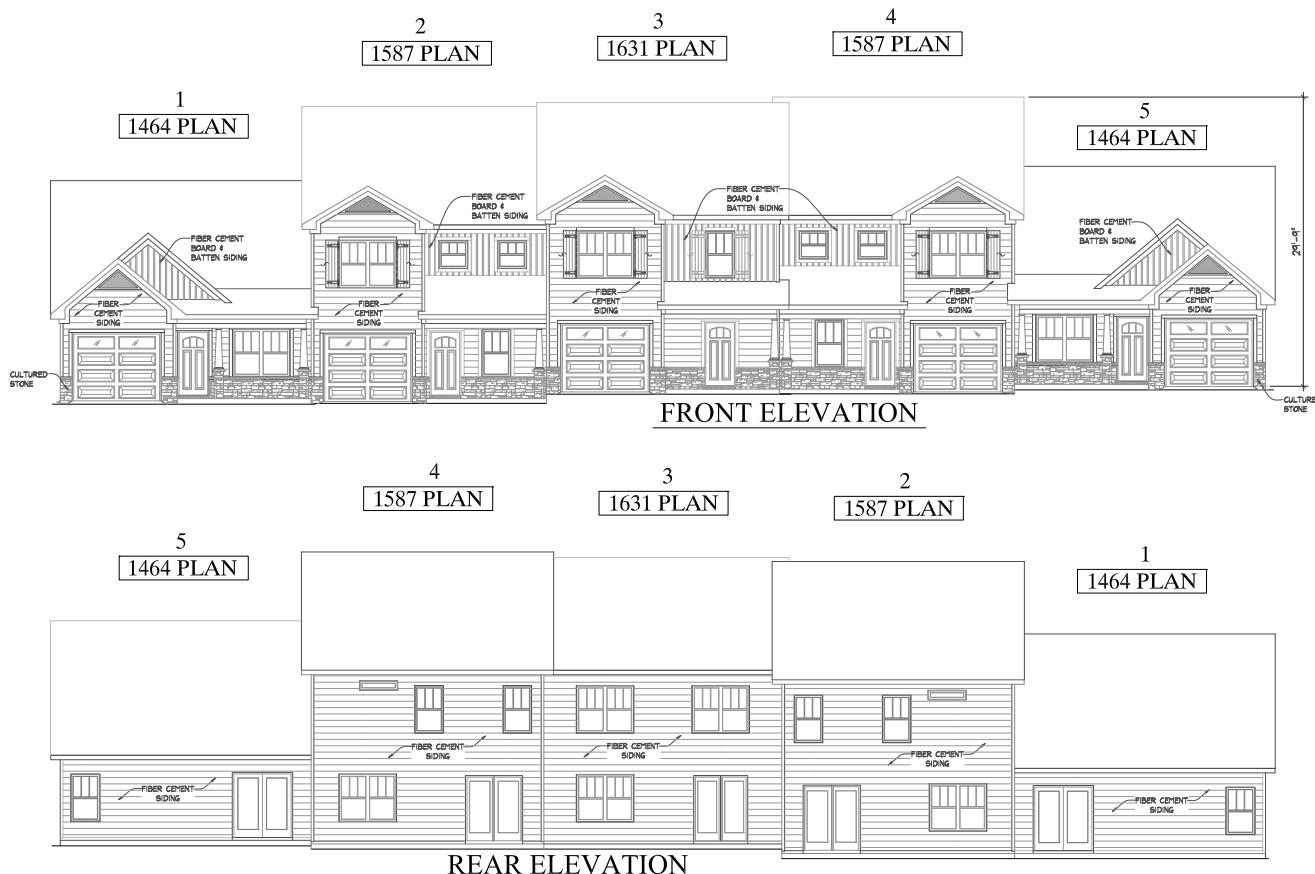
REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION



\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

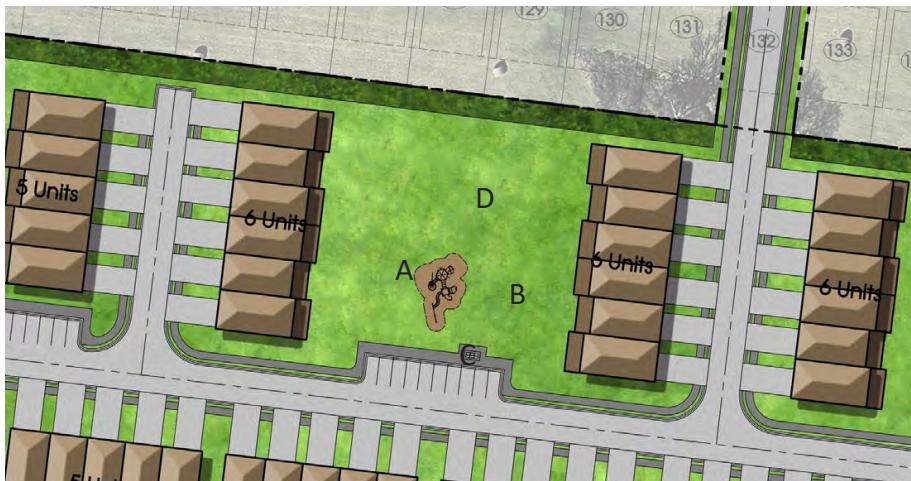


Pursuant to the City of Murfreesboro's 2040 Major Thoroughfare Plan, none of the roadways in or around this development are slated for improvements. Florence Road is the nearest public thoroughfare, which is where the majority of vehicular trips generated by this development will utilize. It is currently built as a 2-lane cross-section with paved shoulders and open ditch drainage on both sides of the roadway.

As stated above, the primary means of ingress/egress from this site will be onto Florence Road. The entrance is proposed to incorporate two travel lanes for proper circulation into and out of the development onto Florence Road. A secondary means of ingress/egress from the development will be a private street connection to Pointer Place in Shelton Square. This second connection will allow for residents to have access to Blackman Road through Shelton Square. The master plan also provides a stub street to the larger county residential tract to the south, if that property were to ever developed in the future.

All streets, sidewalks, driveways and parking area within the development will be private and maintained by the H.O.A. These streets will be built in accordance with the Murfreesboro Street Standards.





LOCATION MAP - AMENITIES

Not To Scale

With this request, Shelton Crossing will be dedicating over 5 acres (over 40% of the site) to open space. The open space areas will be comprised of usable open space, detention areas, and the areas around the town-home buildings. Usable open space areas around the development will offer such amenities as; a pet park, a playground area, and open lawn area. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. The Florence Road entrance area will incorporate masonry signage and will be anchored with landscaping.



Example of Pet Park



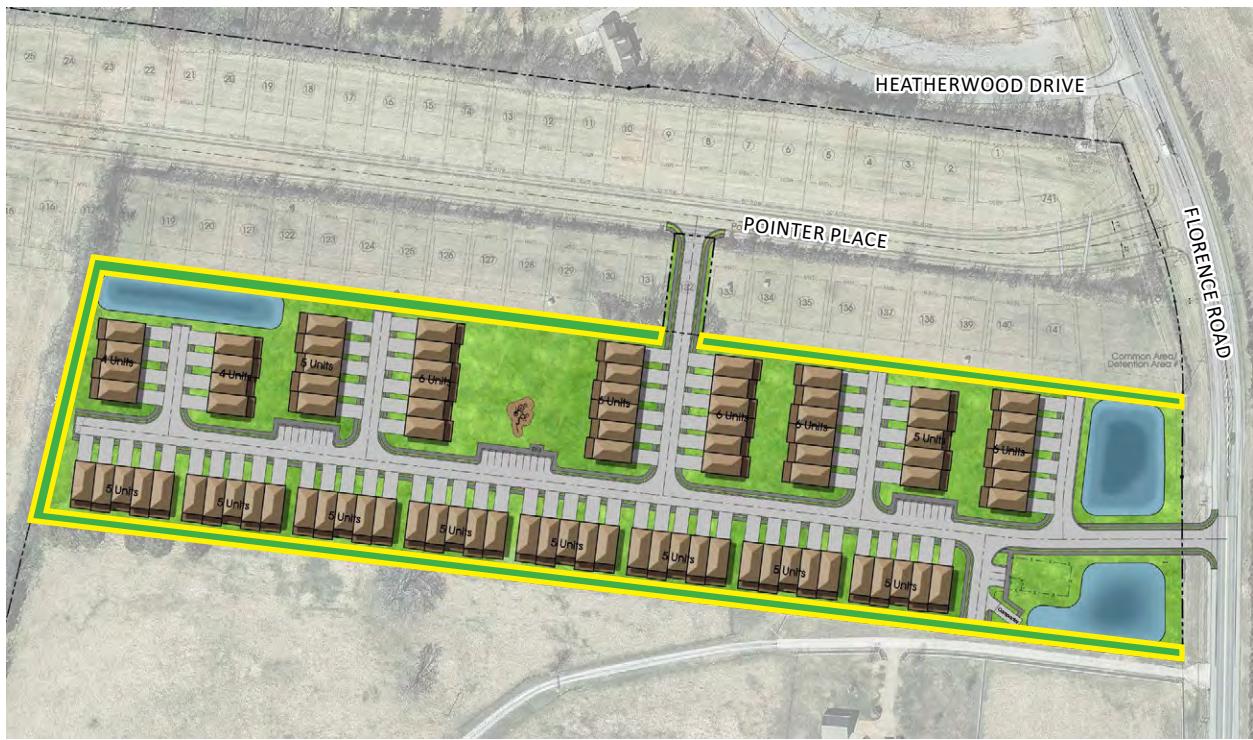
Example of Playground



Example of Mail Kiosk



Example of Open Lawn



Landscape Buffer



not to scale

### Landscape Materials Samples: Deciduous Trees



(A)



(B)

- (A) *Ulmus parvifolia 'Emer II' / 'Emer II' Alle Elm*
- (B) *Zelkova serrata 'Green Vase' / Sawleaf Zelkova*
- (C) *Buxus x 'Green Mountain' / Boxwood*
- (D) *Prunus laurocerasus 'Otto Luyken' / Luykens Laurel*
- (E) *Lagerstroemia indica 'GAMAD VII' / Berry Dazzle Crape Myrtle*
- (F) *Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass*
- (G) *Liriope spicata 'Silver Dragon' / Creeping Lily Turf*
- (H) *Setcreasea pallida 'Purple Heart' / Purple Heart Setcreasea*
- (I) *Iberis sempervirens 'Little Gem' / Little Gem Candytuft*
- (J) *Liriope muscari 'Variegata' / Variegated Lily Turf*
- (K) *Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia*
- (L) *Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae*
- (M) *Cryptomeria Japonica 'Radians' / Japanese Cedar*
- (N) *Viburnum x pragense/ Prague Viburnum*
- (O) *Prunus laurocerasus 'Schipkaensis' / Schipka Laurel*

### Landscape Material Samples: Evergreen/Deciduous Shrubs And Grasses



(C)



(D)



(E)



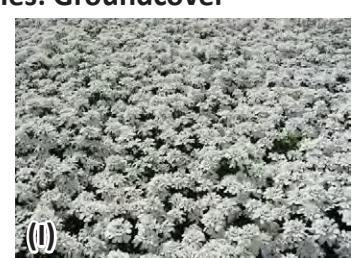
(F)



(G)



(H)



(I)



(J)

### Landscape Material Samples: Groundcover

### Landscape Buffer: Evergreen Trees



(L)

(M)

### Landscape Buffer: Evergreen Shrubs



(K)



(N)



(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### Landscaping Standards:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berthing.
- The north and east perimeter of the property will have a 15 foot wide Type 'D' Landscape Buffer planted consisting of a double staggered row of evergreen trees planted 8 feet on center to provide screening for the adjacent properties and their residents. Evergreen trees will be a minimum of 6 feet tall at the time of planting. In addition to the evergreen trees, single row of evergreen shrubs will fill in the gaps between the evergreen trees during the first few years of the buffer till the trees mature and fill in the buffer. The evergreen shrubs will be a minimum 4 feet tall at the time of planting.
- The frontage along Florence Road will have canopy, ornamental, and/or evergreen trees, as well as shrubs.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- There shall be a minimum 3-foot wide landscape bed located along the front and side elevations of each townhome building that faces a vehicular area. No landscaping shall be required along side elevations between buildings.
- Stormwater management areas shall only be screened along edges adjacent to external public R.O.W.'s and adjacent properties, and shall not be screened internally to the proposed development.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.

**1.)** A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Pages 4-9 along with descriptions of each.

**2.)** A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Pages 4-9 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways, and the site ultimately drains to Overall Creek.

**3.)** A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Page 4 shows the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

**4.)** A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** Page 13 lists standards and exhibits showing the concept plan which shows each of these items.

**5.)** A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** Page 15 lists standards and exhibits showing the concept plan which shows each of these items.

**6.)** A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

<b>TOTAL SITE AREA</b>	486,345 s.f.
<b>TOTAL MAXIMUM FLOOR AREA</b>	149,600 s.f.
<b>TOTAL LOT AREA</b>	0 s.f.
<b>TOTAL BUILDING COVERAGE</b>	135,689 s.f.
<b>TOTAL DRIVE/ PARKING AREA</b>	57,716 s.f.
<b>TOTAL RIGHT-OF-WAY</b>	0 s.f.
<b>TOTAL LIVABLE SPACE</b>	428,629 s.f.
<b>TOTAL OPEN SPACE</b>	229,590 s.f.
<hr/>	
<b>FLOOR AREA RATIO (F.A.R.)</b>	0.31
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	0.60
<b>OPEN SPACE RATIO (O.S.R.)</b>	0.72

**7.)** A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned RM. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

**8.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

*(aa) the approximate date when construction of the project can be expected to begin;*

**Response:** The project is anticipated to be developed in two phases. Phasing information is described on Page 14.

**9.)** Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Page 15.

**10.)** A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The applicant is requesting the following exceptions with this PRD.

1) Detention ponds shall not be screened internally, only to external R.O.W.'s and adjacent properties.

SETBACKS	PRD-Exterior	PRD-Interior	RS-A2	PRD	DIFFERENCE
Front Setback	35.0'	25.0'	35.0'	25.0'	-10.0'
Side Setback	20.0'	10.0'	5.0'	10.0'	-10.0'
Rear Setback	20.0'	20.0'	20.0'	20.0'	-0.0'
Maximum Gross Density			12 DU/AC	7.99 DU/AC	-4.01 DU/AC
Maximum Building Height			35.0'	35.0'	0.0'

**11.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0140H Eff. Date 01/05/2007.

**12.)** The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 5 & 18 discusses the 2040 Major Thoroughfare Plan.

**13.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Alcorn Properties, LLC contact info for both is provided on the back of the cover page.

**14.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Page 16-17 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built & will conform with design guidelines.

**15.)** If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Examples of entrance signage are located on Pages 15 and 19.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019  
PROJECT PLANNER: DIANNA TOMLIN**

**4.h. Zoning application [2019-418] for approximately 0.4 acres located along North Maple Street and West Lokey Avenue to be rezoned from RD to PRD (Maple Key Townhomes PRD), Buford Powell applicant.**

**Background**

The requested property, which consists of 0.41 acres, is located at the northeast corner of North Maple Street and West Lokey Avenue. It consists of two vacant parcels, identified as Tax map 91F, Group F, Parcels 11 and 12. The property owner, Buford Powell, has requested rezoning from RD (Residential Duplex District) to PRD (Planned Residential District) for the development of four single-family attached dwelling units contained in two buildings -- each building containing two dwelling units. Each unit will be for sale via a horizontal property regime. There is not a density increase proposed with this zoning change over what the existing RD zoning will permit. The PRD zoning, however, will allow some flexibility in the design of this infill development.

Rather than the conventional suburban front setbacks required in the RD zoning, the development is proposed to have reduced front setbacks that are similar to other homes in the area. The applicant is requesting a front setback reduction from 30 feet to 15 feet along Maple and 8 feet along Lokey. Parking is proposed to be located at the rear of the site with driveway access from West Lokey Avenue only. Amenities include a picnic and grilling area at the rear of the site and a seating area in between the two buildings.

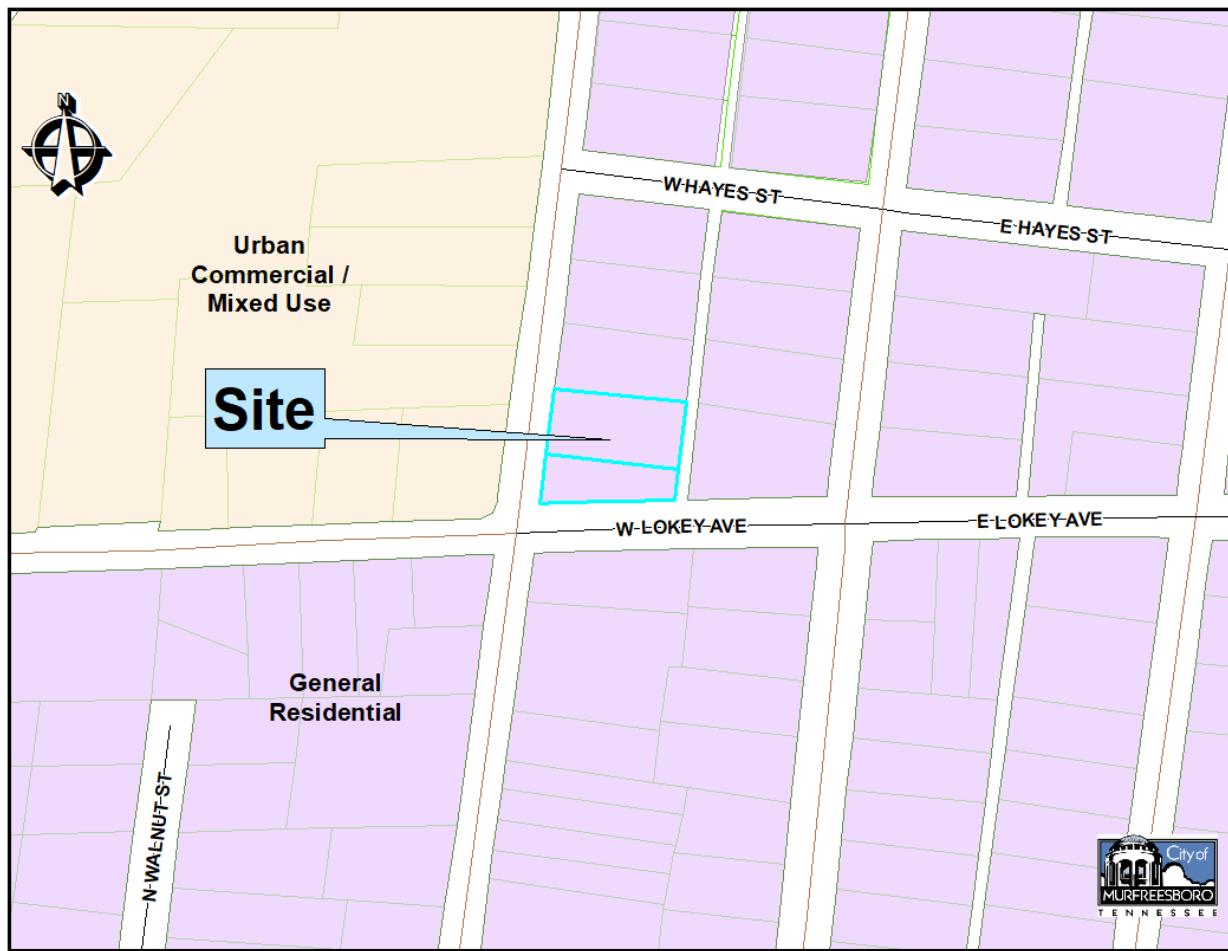
Each dwelling unit will contain at least 1,500 square-feet of living space and three levels. The third level of the units will include porches. Exterior building materials will be comprised of brick and fiber cement siding. On a side note, the developer has worked with the Murfreesboro Police Department to incorporate Crime Prevention Through Environmental Design Principles (CPTED) into the development. It is proposed to be well-lit and landscaped to meet the standards of the CPTED program.

**Surrounding Land Uses and Zoning**

Properties to the north, south, and east are zoned RD. Property to the west is zoned RM-16 (Residential Multi-family 16). Surrounding land uses include a variety of single-family and multi-family residential structures.

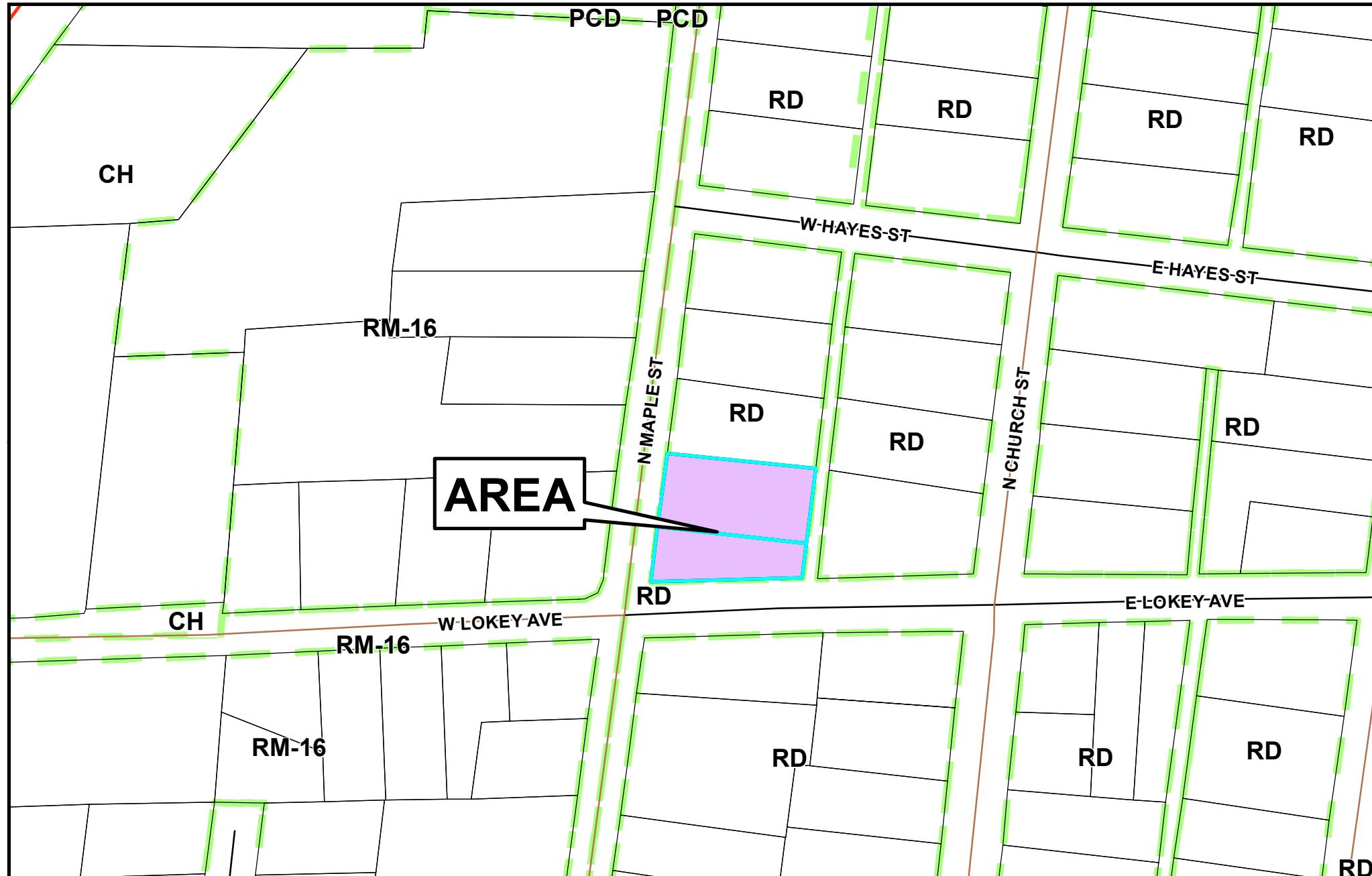
## Relationship to the Murfreesboro 2035 Comprehensive Plan

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, which was adopted by the Planning Commission in July 2017, depicts a recommended future land use character of “General Residential” for the subject property. The “General Residential” character includes both detached and attached housing types at a density of 3.54-8.64 dwelling units per acre. The proposed PRD is generally consistent with the “General Residential” land use character, except that at 9.75 dwelling units per acre, the density is slightly higher than what is recommended. An excerpt from the future land use map can found below.



## Planning Commission Action Needed

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for the City Council.

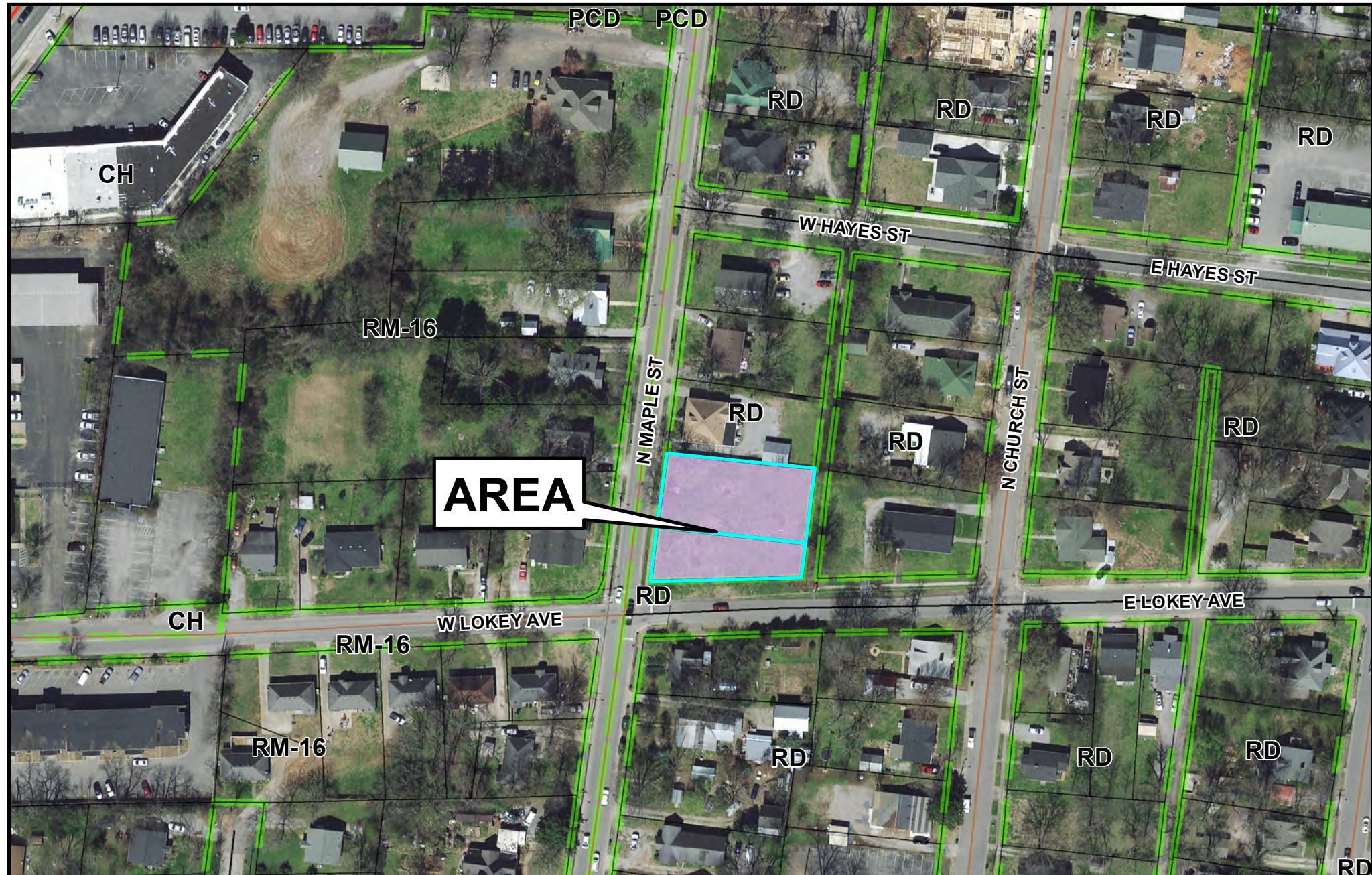


Rezoning Request Along North Maple Street and West Lokey Avenue  
RD to PRD (Maple Key Townhomes PRD)

0 125 250 500 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



Rezoning Request Along North Maple Street and West Lokey Avenue  
RD to PRD (Maple Key Townhomes PRD)

0 125 250 500 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# MAPLE KEY TOWNHOMES

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## PLANNED RESIDENTIAL DEVELOPMENT

### SHEET INDEX

1. DEVELOPMENT TEAM & PROJECT SUMMARY
2. ZONING MAP
3. UTILITY MAP
4. AERIAL MAP
5. HYDROLOGY AND TOPOGRAPHY MAP
6. EXISTING CONDITIONS
7. EXISTING CONDITIONS
8. SITE PLAN
9. ARCHITECTURAL ELEVATIONS
10. CONCEPTUAL LANDSCAPE PLAN
11. PHASING AND OPEN SPACE AMENITIES
12. DEVELOPMENT STANDARDS
13. PLANNED DEVELOPMENT CRITERIA & 2035 PLAN

Plans Prepared By:



RESUBMITTED JULY 3, 2019 FOR THE PLANNING COMMISSION PUBLIC HEARING

# Development Team & Project Summary

The Maple Key Townhomes are a new townhouse development planned for the northeast corner of the intersection at North Maple Street and West Lokey Avenue. This area of Murfreesboro is beginning to see new energy and revitalization which is creating development interest for new construction in this older established neighborhood. The proposed Maple Key Townhomes will be four homes in total of which all are to be three stories and will have three bedrooms with a minimum size of 1800 square feet. The homes will address the street with stoop style front porches and architecturally interesting facades. The parking area will be located behind the townhomes with the developer's intention being to screen parking from North Maple Street. The development will be providing sidewalks along both North Maple Street and West Lokey Avenue with the homes being oriented towards North Maple Street. The homes will have small front yards, beautiful foundation landscaping and shade trees along both North Maple Street and West Lokey Avenue. The homes will have reduced front setbacks along the North Maple Street property line which will present the desired urban scale the City of Murfreesboro is desiring within the revitalized urban areas in close proximity to downtown Murfreesboro.

The homes will be all cement board arranged in a ship lap style. The elevations of the homes will be unique in their utilization of various colors to break up the facade and add architectural interest. The homes will have asphalt shingle roofing, with aluminum trim and vinyl soffits. Townhomes with sides of the building facing the public right -of -way will have architectural details that will give the impression of a front facade through the use of additional windows, shutters and masonry details. The front facades will have attractive architectural detailing in addition to the stoop porch entrances. The homes will have roof top patios which will provide a unique outdoor living experience in an urban setting. The development will share a formal open space located between the two structures which will have a patio area with seating and a grill.

The subject property is currently zoned RD, and consists of .41 acres. The site is defined by North Maple Street and West Lokey Avenue and is surrounded by older single family homes. The subject property will have shared parking which will be accessed from West Lokey Avenue. The property is within a few blocks of Memorial Boulevard and is easily accessible from downtown Murfreesboro.

## Design

**Elite Concepts and Design, LLC**

**Since 1996**

[www.3Dhomeplans.net](http://www.3Dhomeplans.net)

**Homeplans, Architectural Renderings and Videos**

**615-896-5911 O. / 615-533-6109 M.**

## Architect for review and over site:

**Brian Oliver**

**Oliver Architecture, P.C.**

**(615) 491-3365**

## Planning and Engineering

**Huddleston-Steele Engineering, Inc.**

**Clyde Rountree, RLA**

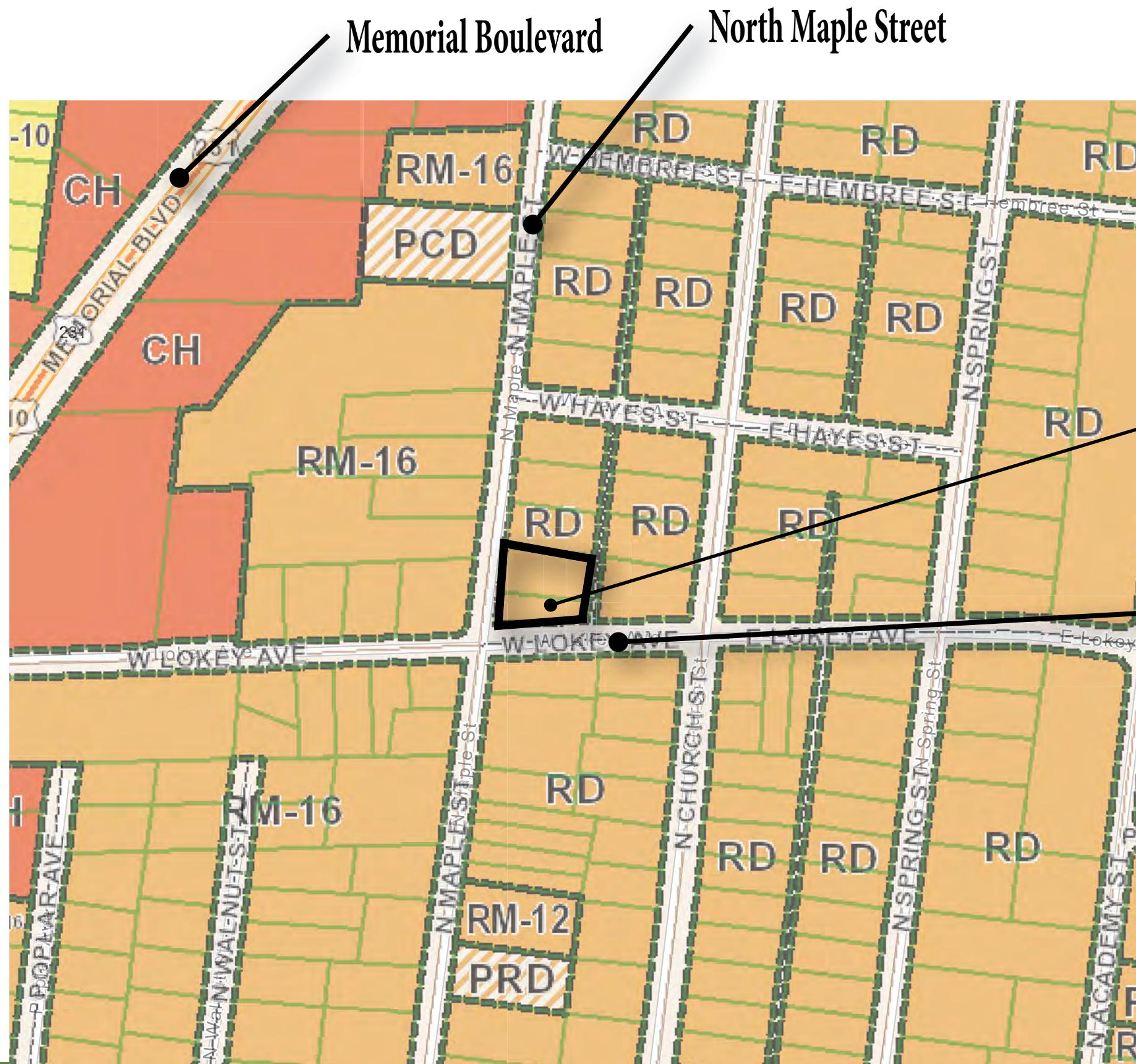
**2115 N.W. Broad Street**

**Murfreesboro, Tn 37129**

## Developer:

**Burford Powell**

## Zoning Map



The subject property is zoned RD. The property is surrounded by RD zoning on the south, east and north and RM-16 to the west.

The subject property is proposed to be rezoned

**SITE**

**West Lokey Avenue**

## Utility Map



## SITE

The subject property utility providers:

Water is provided by Murfreesboro Water Resources.

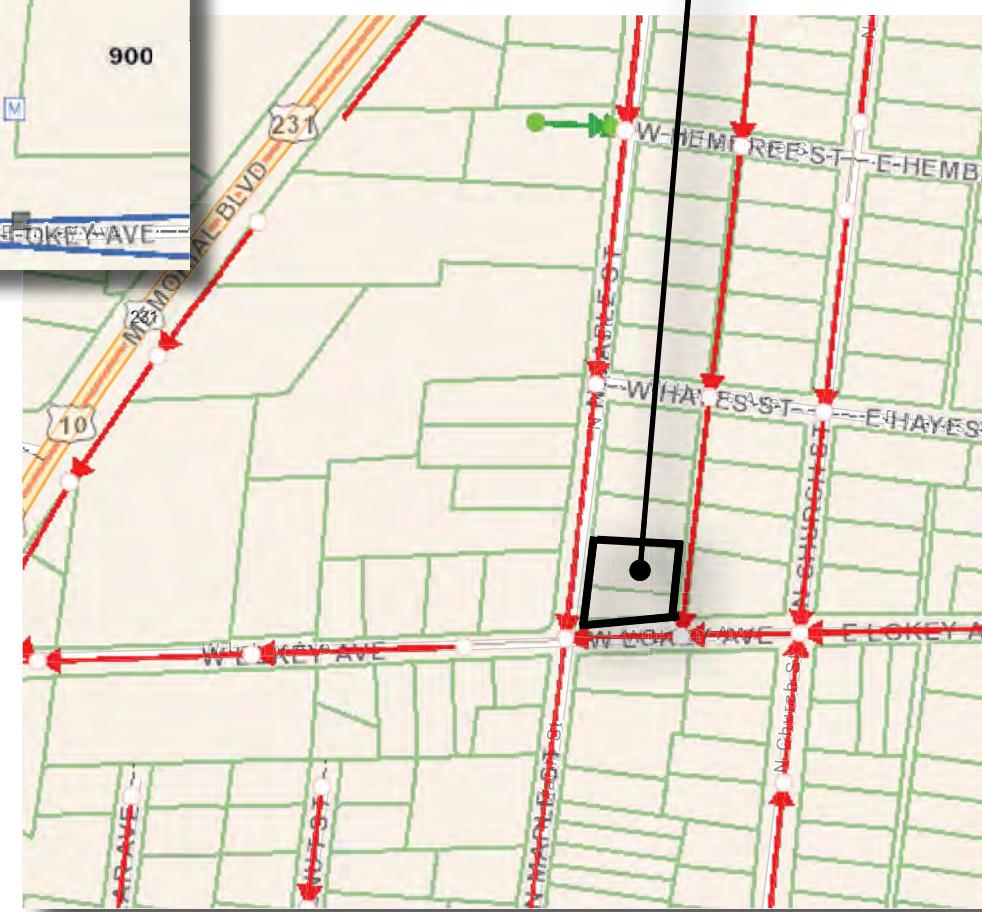
Electric is provided by Murfreesboro Electric Department.

Sewer is provided by Murfreesboro Water Resources.

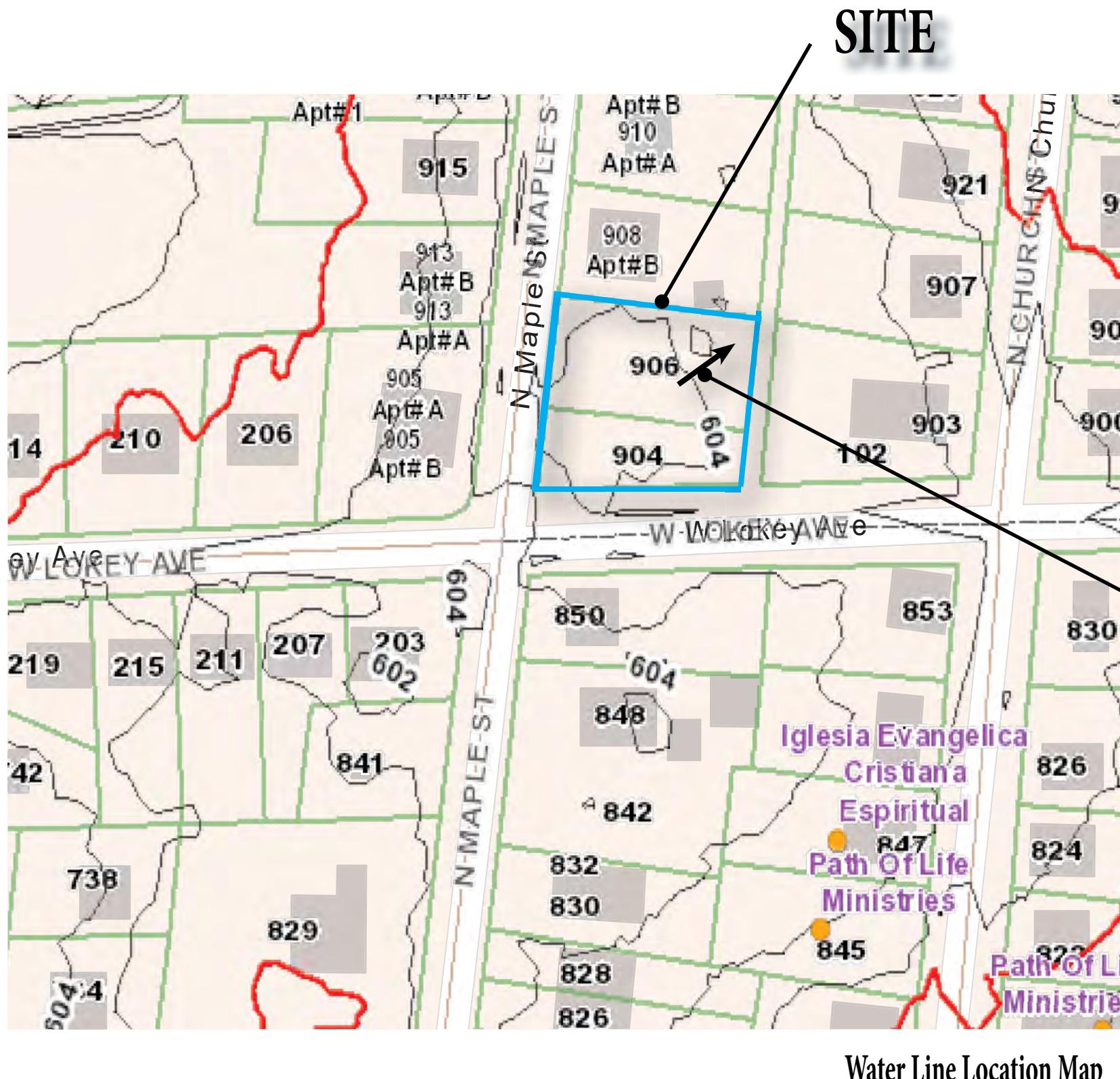
LEGEND

Water

Sewer

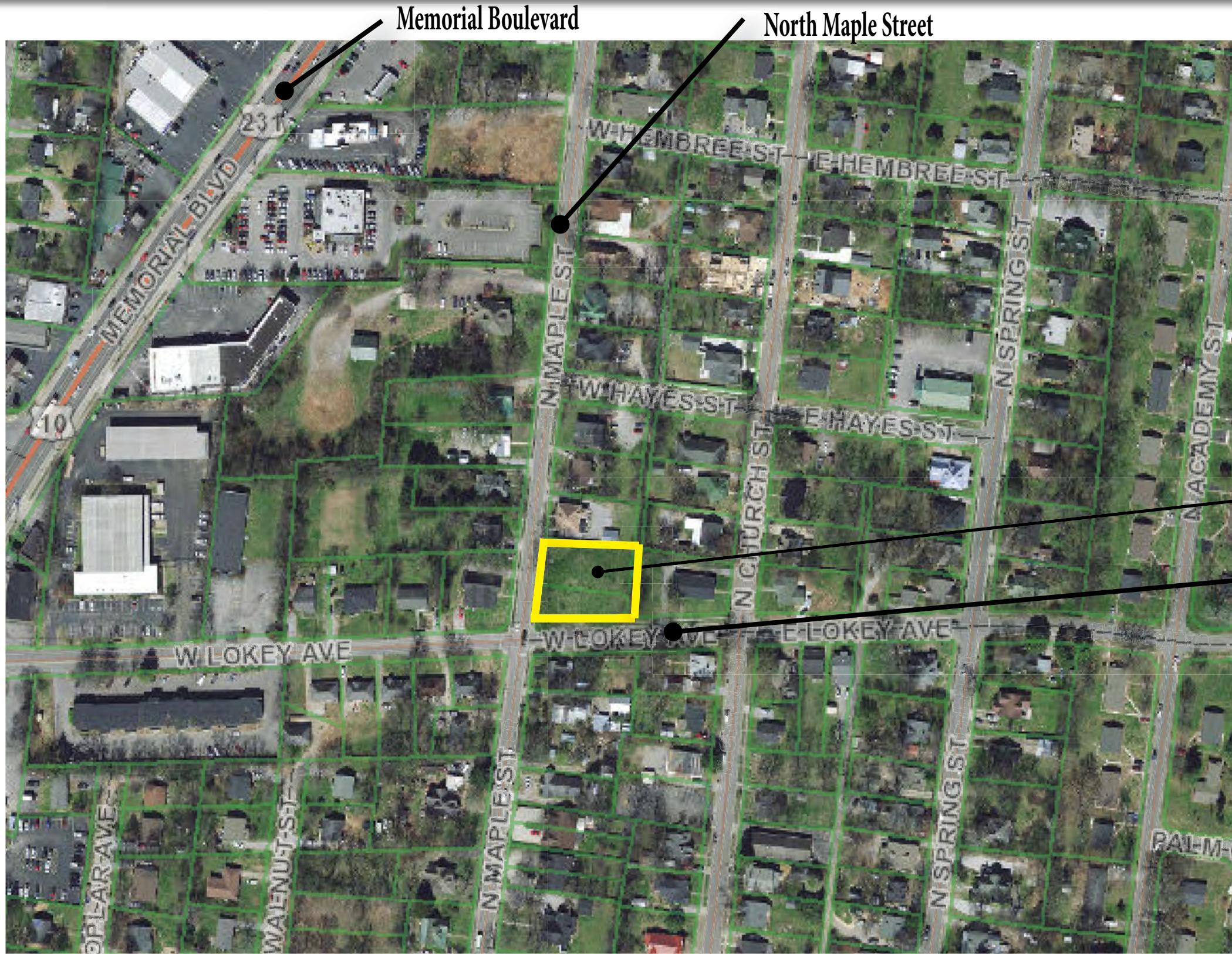


## Hydrology &amp; Topography Map



The subject property is a relatively flat site with less than 2 feet of grade change across the whole site. The site drains from the west to the east with the lowest area being in the northeast corner of the site.

# Aerial Map



This aerial photograph shows the subject site embedded in an existing neighborhood. The subject property is less than a few blocks away from Memorial Boulevard.

Site

West Lokey Avenue

Aerial Location Map

# MAPLE KEY TOWNHOMES

## Existing Conditions

PLANNED RESIDENTIAL DEVELOPMENT



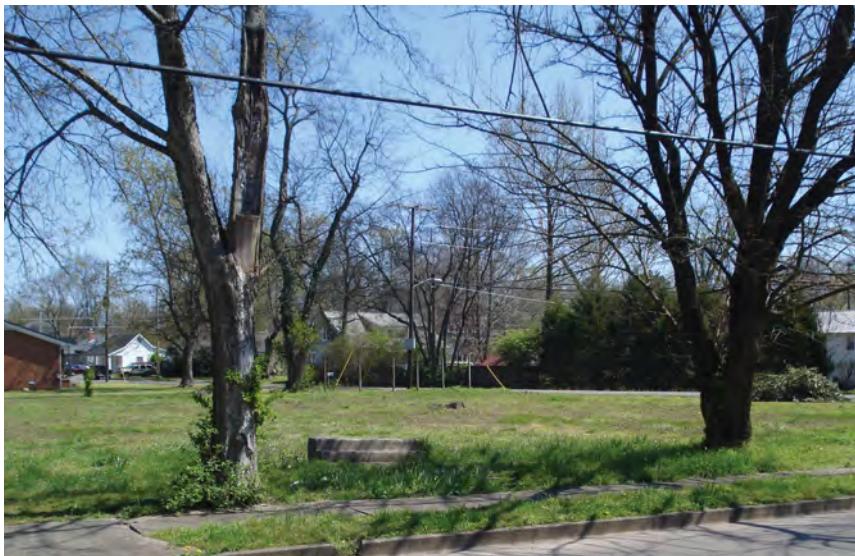
View looking down North Maple Street at subject property to the right .



View of subject property to left looking down West Lokey Avenue



View looking at subject property from intersection of Maple and Lokey



View looking at subject property from North Maple Street



View on subject property looking west across North Maple Street



View looking across subject property looking east

## Existing Conditions



View of adjacent property to the east



View of intersection at North Maple Street and West Lokey Avenue



View across street from subject property on North Maple Street



View looking down North Maple Street to the south.

### Site Plan

#### Site Data:

Acreage: .41 Acres

Proposed units: 4

Density: .41/4 = 9.75 units per acre

4 (3 Bedrooms) Units @ 3.3 spaces per unit = 13.2

13.2 Spaces Required

18 Spaces Provided

Single Family Attached Home : 1500 min. sq. of living area

Horizontal Property Regime Ownership

City Trash Pick-up

SETBACK	CURRENT ZONING	PROPOSED ZONING	DIFFERENCE
FRONT	RD	PRD	
SIDE	30'	8'	22'
REAR	5'	5'	0'

TOTAL SITE AREA	18,038
TOTAL MAXIMUM FLOOR AREA	15,048
TOTAL LOT AREA	18,038
TOTAL BUILDING COVERAGE	5,208
TOTAL PARKING AREA COVERAGE	5,647
TOTAL LIVING SPACE	7,183
TOTAL OPEN SPACE	6,244
FLOOR AREA RATION (F.A.R.)	0.83
LIVABILITY SPACE RATIO (L.S.R.)	0.39
OPEN SPACE RATIO (O.S.R.)	1.19

CPTED principles will be applied to the extent that developer is able. Natural surveillance will be assisted by the visual open quality of the project. The access points are well defined and easy to see. Territorial reinforcement will be established through the utilization of consistency in the landscaping and building materials. The site will be well maintained to prevent the "Broken Window Theory".

N. MAPLE ST.



W. LOKEY AVENUE

## Architectural Elevations

Roof Top Patio

False Dormer

Varied Roof Line



Front Elevation

Architectural Materials - 100% Masonry

Front Elevation: (Various styles of Cement Fiber Board w/Aluminum fascia and vinyl soffits.

Side Elevation



Rear Elevation



## Conceptual Landscape Plan

PLANNED RESIDENTIAL DEVELOPMENT



The development will comply with all minimum landscape requirements in Section 27 of the zoning ordinance.

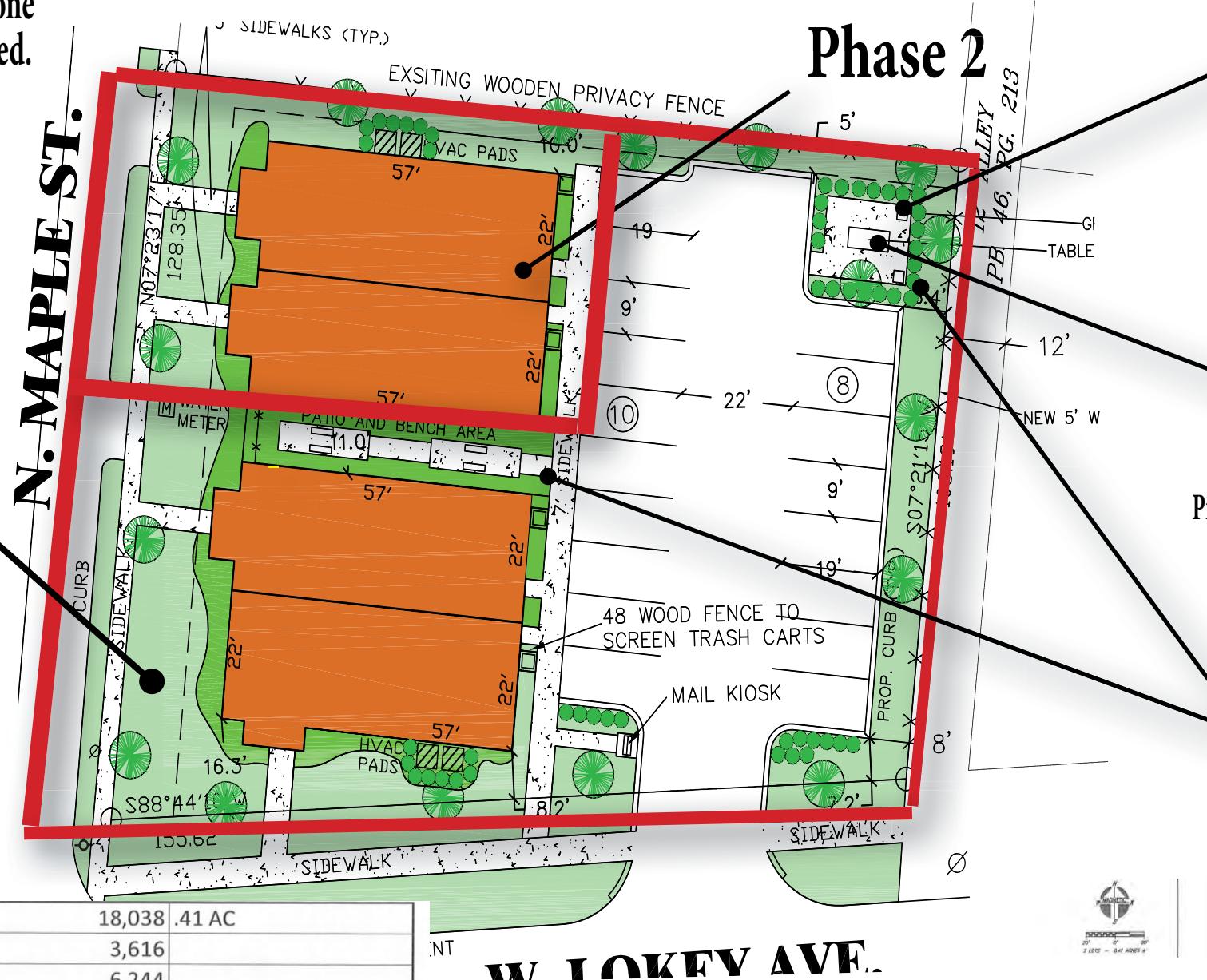
Perimeter tree planting consisting of at least two varieties of shade trees will define the property lines and enhance the streetscape. Foundation planting will be designed to accentuate the homes and add visual interest to the development. The trash receptacle area will be screened by large shrubs.

# Phasing & Open Space Amenities

The 4 units along North Maple Street are to be the first constructed together in one phase. No additional phasing is planned. The site is currently vacant.

Phase 1

TOTAL LOT SIZE	18,038 .41 AC
OPEN SPACE REQUIRED	3,616
OPEN SPACE PROVIDED	6,244
FORMAL OPEN SPACE REQUIRED	900
FORMAL OPEN SPACE PROVIDED	906



Formal open space provides a more structured environment and is quantified by 5% of the developable area which is approximately 3600 square feet. The development meets the 900 square foot requirement by providing 900 square feet of formal open space. The fenced in area between the homes will be used for people to play with their dogs, relax on of the benches and watch their dog play with other dogs, and meet around the grill.

## Development Standards

### Development Standards:

Development will include four 3-story tall residential townhomes, their will be two sets of two units  
The maximum building height of 55'-0"

All units will be 3 bedroom

The units will have carriage style garage doors

The units will have 18 parking spaces

Solid waste will be through a private hauler with polly carts

Sidewalks will be provided on North Maple Street and West Lokey

All site utilities will be underground

No identification signage will be associated with this development

The development will be managed by an H.O.A.

Street lights will be standard Murfreesboro Electric Department poles and lights

Mail delivery will be accommodated via a mail kiosk

Common open space will be maintained by an H.O.A.

All townhomes owners will be required to be a member of the H.O.A.

All parking will be screened from the public right-of-way by landscaping

Buildings elevations will have well articulated front elevations with details responding to the pedestrian scale of the neighborhood

All HVAC units will be screened with landscaping

Parking will comply with the Murfreesboro' zoning ordinance for uses that comply with this PRD

Telecommunication and television equipment shall be located of the rear of the proposed buildings

Front porches on the townhomes will not be used for storage

### Building Elevation Materials:

Brick

Fiber cement board planks, lap siding and board and batten

Vinyl trim and soffit

Architectural materials and colors will be reviewed at the time of site plan submittal by Murfreesboro planning staff and the planning commission

### Minimum Building Setbacks:

Front: (North Maple Street) 15- feet

(West Lokey Street) 8-feet

Side: 10-feet

Rear: 25-feet

### Allowable Uses:

There will be no other allowable uses permitted with the PRD

# Planned Development Criteria & 2035 Plan

## General Applicability Per Section 13 - Planned Development Regulations

1. Ownership and division of land: *The site is owned by the developer identified on Sheet 1, The lot is currently zoned RD in the City of Murfreesboro.*
2. Waiver of BZA action: *No BZA actions will be required.*
3. Common open space: *5,956 s.f. area will be common open space with 900 s.f. of formal open space encompassing a dog park area, grilling station, and benches along with a small seating patio at the entrance of the development.*
4. Accessibility to site: *The property is accessible from West Lokey Avenue.*
5. Off street parking. *See Sheet 7 for parking calculations*
6. Pedestrian circulation: *Sidewalks will be construction on subject property as a result of this project.*
7. Privacy and screening: *Perimeter planting is provided.*
8. Zoning and subdivision modifications proposed: *A PRD is being requested for the subject property.*
9. Phasing: *The project shall be completed in multiple phases See Sheet 10*
10. Annexation: *No annexation is required for this site.*
11. Landscaping: *The townhome development will be designed to meet all minimum landscaping requirements outlined in Section 27 of the Zoning Ordinance.*
12. Major Thoroughfare Plan: *The PRD is consistent with the Major thoroughfare plan utilizing Memorial Boulevard as the primary access to the site.*
13. Applicant contact information: *Contact information is located on Sheet 1.*
14. Proposed Signage: *Any signage that would be introduced in the future would be consistent with the masonry architectural elements of the townhomes.*

## Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: *Shown in pattern book on Sheet 3*
- 2/3. Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: *Shown in pattern book Sheet, 3-6.*
- 4/5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: *Shown in pattern book Sheet 7-9.*
6. Development schedule: *Construction is projected to begin once all zoning and site planning is approved by the City. See Sheet 10 for potential phasing.*
7. Relationship of the planned development to current city polices and plans: *The development is consistent with the growth in the area. The land use is consistent with the "Urban Auto" designation however the density is slightly higher that is recommended in the 2035 plan. The density increase is the result of the shape and size of the lot. The four units being proposed fit well on the site and can be sufficiently parked.*
8. Proposed deviation from zoning and subdivision ordinance: *See Sheet 7.*
9. Site tabulation data for land area, FAR, LSR, and OSR: *See Sheet 7.*
10. The nature and extent of any overlay zones as described in Section 24 and 34: *No overlays affect this development.*

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019  
PROJECT PLANNER: DIANNA TOMLIN**

**4.g. Zoning application [2019-404] for approximately 1.2 acres located along Bridge Avenue and Power Avenue to be rezoned from RM-12 to PRD (Bridge Avenue Village PRD), Mustafa Shaban applicant.**

**Background**

The requested property, which consists of 1.2 acres, is located at the northwest corner of Bridge Avenue and Power Avenue. It is further identified as Tax Map 0910, Group D, Parcel 10 (also, 516 Bridge Avenue). The property owner, Mustafa Shaban, has requested rezoning from RM-12 (Multi-Family Residential District 12) to Planned Residential District (PRD) for 16 single-family attached dwelling units (townhomes), eight of which will be two-bedroom units and eight of which will be three-bedroom units.

The PRD zoning allows him to work with the encumbrance of a large electric easement and to develop the property with setbacks that reflect a traditional urban setting rather than the conventional suburban setbacks required in the RM-12 zoning. The RM-12 zoning would allow for 14 dwelling units by right. The PRD zoning is asking for an increase of 2 units over the existing bulk RM-12 zoning. The primary purpose of the request, in addition to increasing the density, is to allow an infill development that works with the encumbrances of the lot.

The PRD plan calls for two areas of formal open space that include a grill station, a playground, and a dog run. The structures proposed will be 100-percent masonry with front elevations of varying styles that include brick and cement fiber board siding. In addition, the developer and his team have worked with the Murfreesboro Police Department to incorporate Crime Prevention Through Environmental Design Principles (CPTED). The property is well-lit, fenced, and landscaped to meet the standards of the CPTED program.

**Surrounding Land Uses and Zoning**

Properties to the north and west are zoned RM-12. Both are currently occupied by single-family homes. Properties to the east are zoned RS- 8 (Single-Family Residential District 8) and also contain single-family homes. Across Bridge Avenue to the south of the property is zoned H-I (Heavy Industrial District) and is developed with an electric substation.

## Relationship to the Murfreesboro 2035 Comprehensive Plan

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, which was adopted by the Planning Commission in July 2017, depicts a recommended land use character of “Suburban Residential” for the subject property. An excerpt from the future land use map can found below.

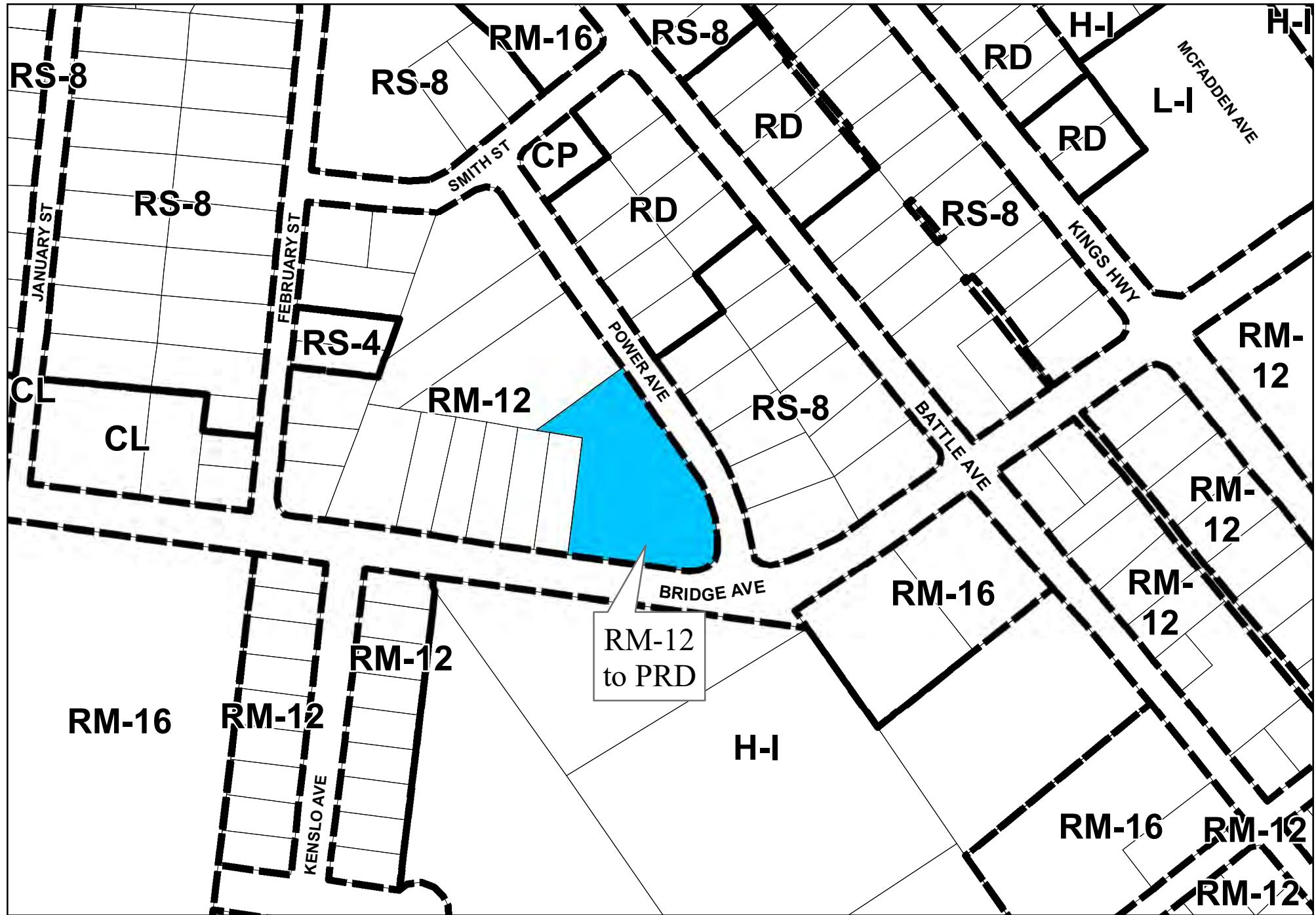


The Suburban Residential character is generally associated with the lower density areas on the periphery of the City, transitioning to the more rural areas outside the City limits. The recommended density in this land use character is 2.0 to 3.54 dwelling units per acre. Recommended development types are “detached residential dwellings” and “planned development to provide other housing (e.g., Auto-Urban attached residential), but with increased open space to preserve a suburban character setting.” The request for PRD zoning is consistent with the “other housing” but is inconsistent with the recommended density, as 13.3 dwelling units per acre is proposed. However, while this property is designated as “Suburban Residential,” it is located within close proximity to downtown and an industrialized area. There is higher density development in the vicinity, and the

existing zoning permits a higher density than what is recommended by the comprehensive plan. The planned residential development creates formal open space and works within the buildable space of the parcel that, due to a large electric easement, will be difficult to develop under bulk zoning. The Planning Commission will need to determine if this is an appropriate instance to deviate from the recommendations of the comprehensive plan.

### **Planning Commission Action Needed**

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and formulate a recommendation for the City Council. The applicant and his representative will be present at the Planning Commission meeting to make a brief presentation and to answer questions.



**Zoning Request for Property Located Along Bridge Avenue and Power Avenue  
RM-12 to PRD (Bridge Avenue Village PRD)**



Path: X:\rezon\BridgeAve\_PowerLn.mxd

0 100 200 300 400 500 600  
Feet

GIS Department  
City Of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





**Zoning Request for Property Located Along Bridge Avenue and Power Avenue  
RM-12 to PRD (Bridge Avenue Village PRD)**

0 100 200 300 400 500 600  
Feet



Path: X:\rezon\BridgeAve\_PowerLn.mxd

GIS Department  
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# Bridge Avenue Village

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## PLANNED RESIDENTIAL DEVELOPMENT

### SHEET INDEX

1. DEVELOPMENT TEAM
2. PROJECT SUMMARY
3. ZONING MAP
4. UTILITY MAP
5. TOPOGRAPHY AND DRAINAGE MAP
6. AERIAL MAP
7. EXISTING CONDITIONS
8. EXISTING CONDITIONS
- 9.. SITE PLAN
10. ARCHITECTURAL ELEVATIONS
11. CONCEPTUAL LANDSCAPE PLAN
12. AMENITY AREAS
13. PHASING PLAN
14. OPEN SPACE PLAN
15. DEVELOPMENT STANDARDS
16. MANDATORY REFERRAL DOCUMENT
17. PLANNED DEVELOPMENT CRITERIA & 2035 PLAN

Plans Prepared By:



RESUBMITTED 7.3.2019 FOR THE PLANNING COMMISSION PUBLIC HEARING

2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

# Development Team

Bridge Avenue Village

PLANNED RESIDENTIAL DEVELOPMENT

**Developer:**

Mustafa Shaban  
1703 Pennington Dr.  
Murfreesboro, TN. 37129  
615.668.3627

Mr. Shaban is a local businessman who has owned a jewelry store in the Stones River Mall since 1994. He has been a resident in Murfreesboro since 1994. Mr. Shaban has owned the subject property since 2006. Mr. Shaban owns the rental house on the subject property.

**Architect for review and oversight:**

Brian Oliver  
Oliver Architecture, P.C.  
(615) 491-3365

**Design Architect:**

Jamie Taylor Designs  
310 Uptown Square  
Murfreesboro, TN. 37129  
615.542.4675

**Planning and Engineering**



2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

**Huddleston-Steele Engineering, Inc.**  
Clyde Rountree, RLA  
2115 N.W. Broad Street  
Murfreesboro, Tn 37129

# Project Summary

The Bridge Avenue Village is a new townhome development which will bring new vitality to an older established neighborhood in the City of Murfreesboro. Located within walking distance to the City square, the village will have 16 townhomes with a combination of two and three bedroom homes with 1000 s.f. of living area being the minimum size. We are requesting to rezone the property to a Planned Residential Development (PRD) from RM-12. The property is a 1.2 acre site located at 516 Bridge Avenue shown as parcel 10 on Rutherford County Tax Map 091. The proposed 16 townhomes will consist of (8) three bedroom units and (8) two bedroom units bearing a unit density of 13.33 units per acre. The homes will address the public street with small front porches and architecturally interesting facades. The parking area will be central in the development and it is the developer's intention to screen parking from the adjacent rights-of-way using both the structures themselves and new landscaping. The development will have sidewalks along the streets and internal sidewalks leading to the amenity area. The amenities for the development will be pedestrian scale public street frontage, playground area, grilling area, and a dog run area. Reduced front setbacks will bring the new homes in to a closer relationship to the street, further emphasizing the intimacy of the new neighborhood with a pedestrian scale common to the older adjacent neighborhoods. The development will have a decorative split rail fence running between the on Bridge Avenue and Powers Avenue. The apartments will have wall pack lighting to provide security lighting for the development.

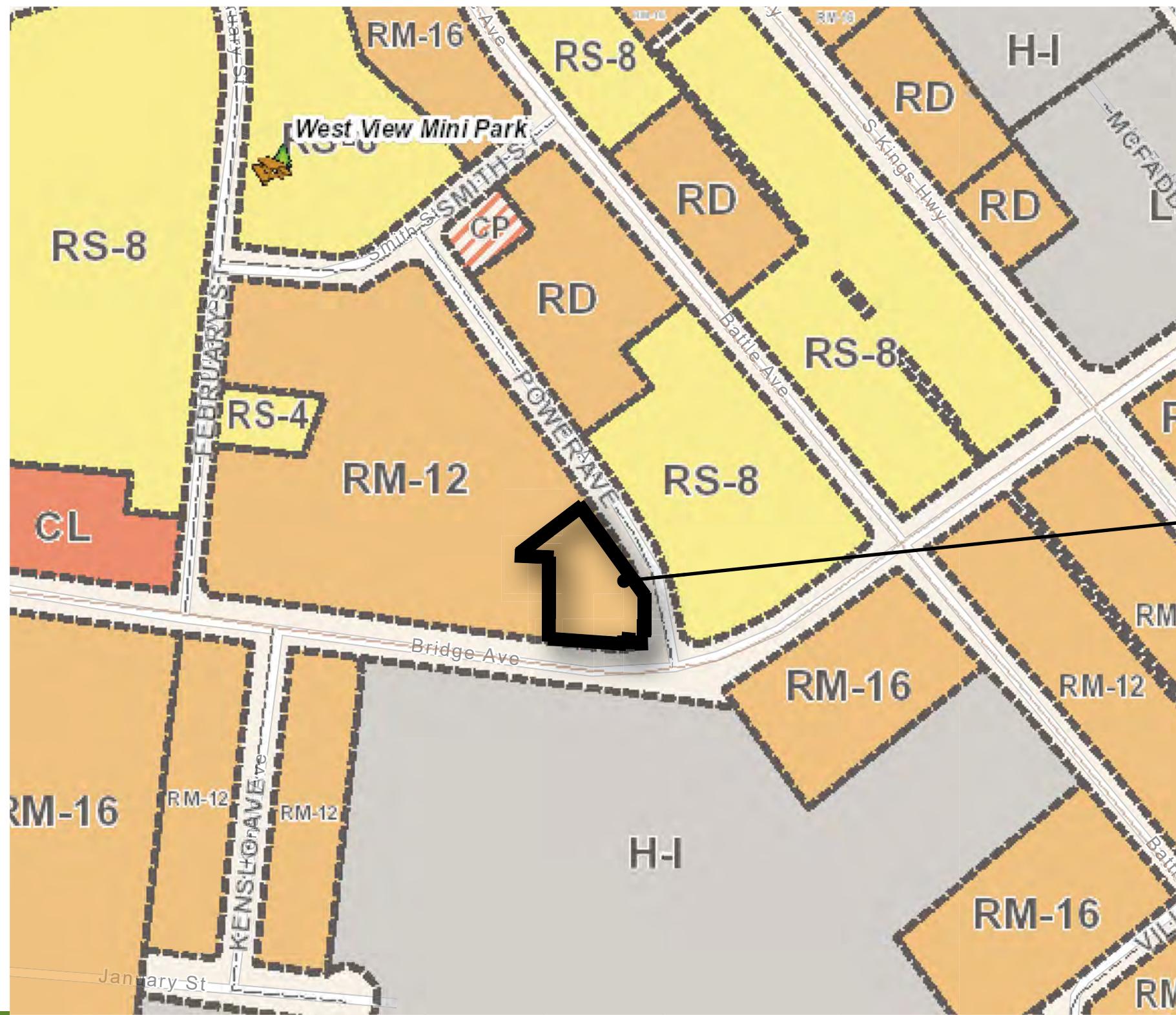
The homes will be painted brick and cement fiber board. The homes will have asphalt shingle roofing with vinyl trim and soffits. Townhomes with sides of the building facing the public right -of -way will have architectural details that will give the impression of a front facade through the use of additional windows, shutters and masonry details. The front facades will have staggered fronts in addition to the front porch entrances.

The subject property is currently zoned RM-12, and consists of 1.2 acres. The site is defined by Bridge Avenue to the south, Power Avenue to the east, and private residences to the west and north. The subject property will be accessed by two driveways onto Power Avenue. The owner of the property currently owns a rental home on the subject property and anticipates removing the structure in the second phase of construction. The property has a 40' MED electrical easement running through it. No buildings are allowed within the easement. Solid waste will be managed by a private hauler and the City solid waste service will not be utilized.

# Zoning Map

# Bridge Avenue Village

## PLANNED RESIDENTIAL DEVELOPMENT



The subject property is zoned RM-12. The property is surrounded by a wide variety of zoning classifications:

North = RM-12 + RD

West = RM - 12

South = H-I

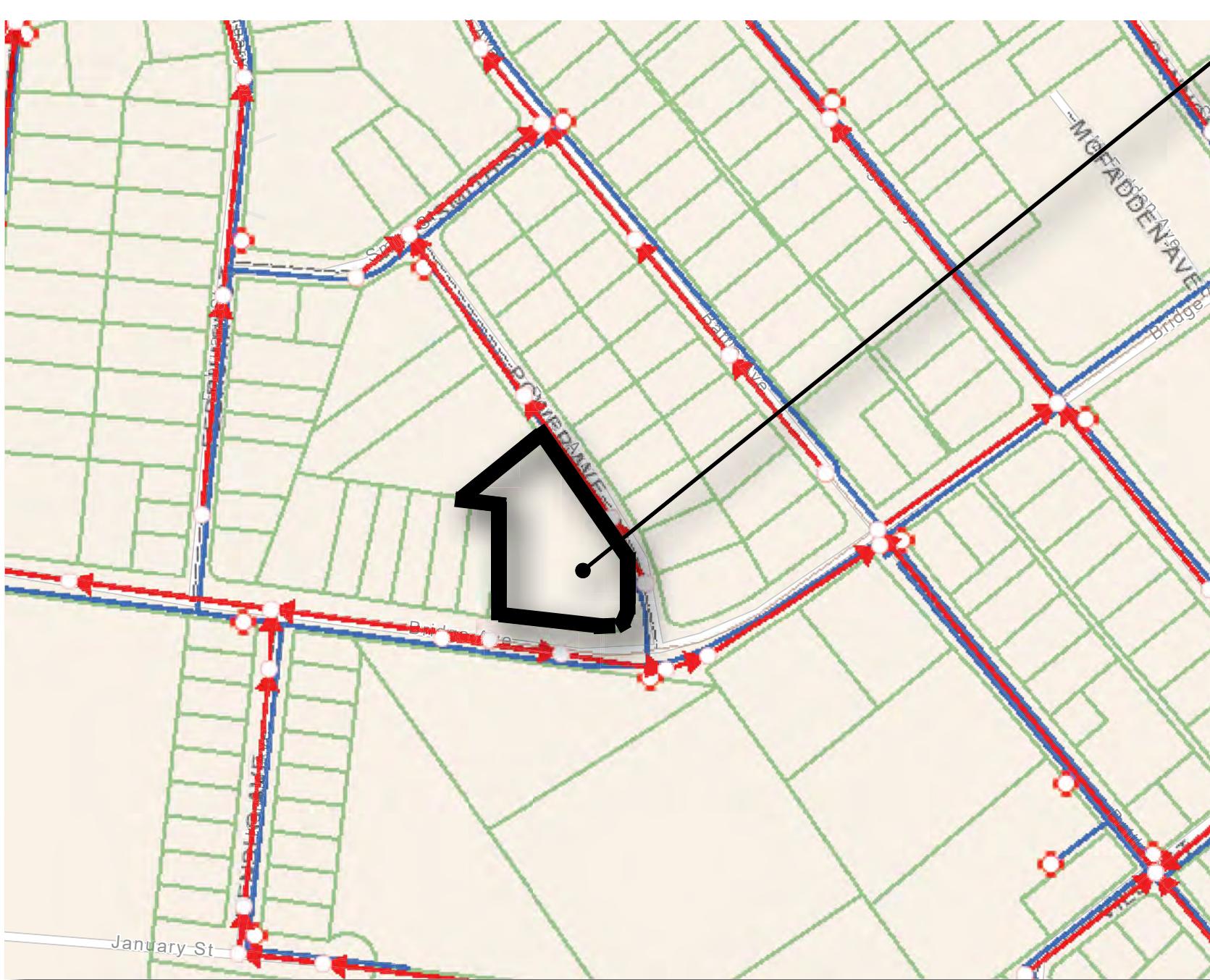
East = RS-8 & RM-16

## - SITE

# Utility Map

## Bridge Avenue Village

PLANNED RESIDENTIAL DEVELOPMENT



SITE

The Subject property is served by:

Water is provided by Murfreesboro Water Resources.

Access is along Power Avenue.

Electric is provided by Murfreesboro Electric Department.

Sewer is provided by Murfreesboro Water Resources.

### LEGEND

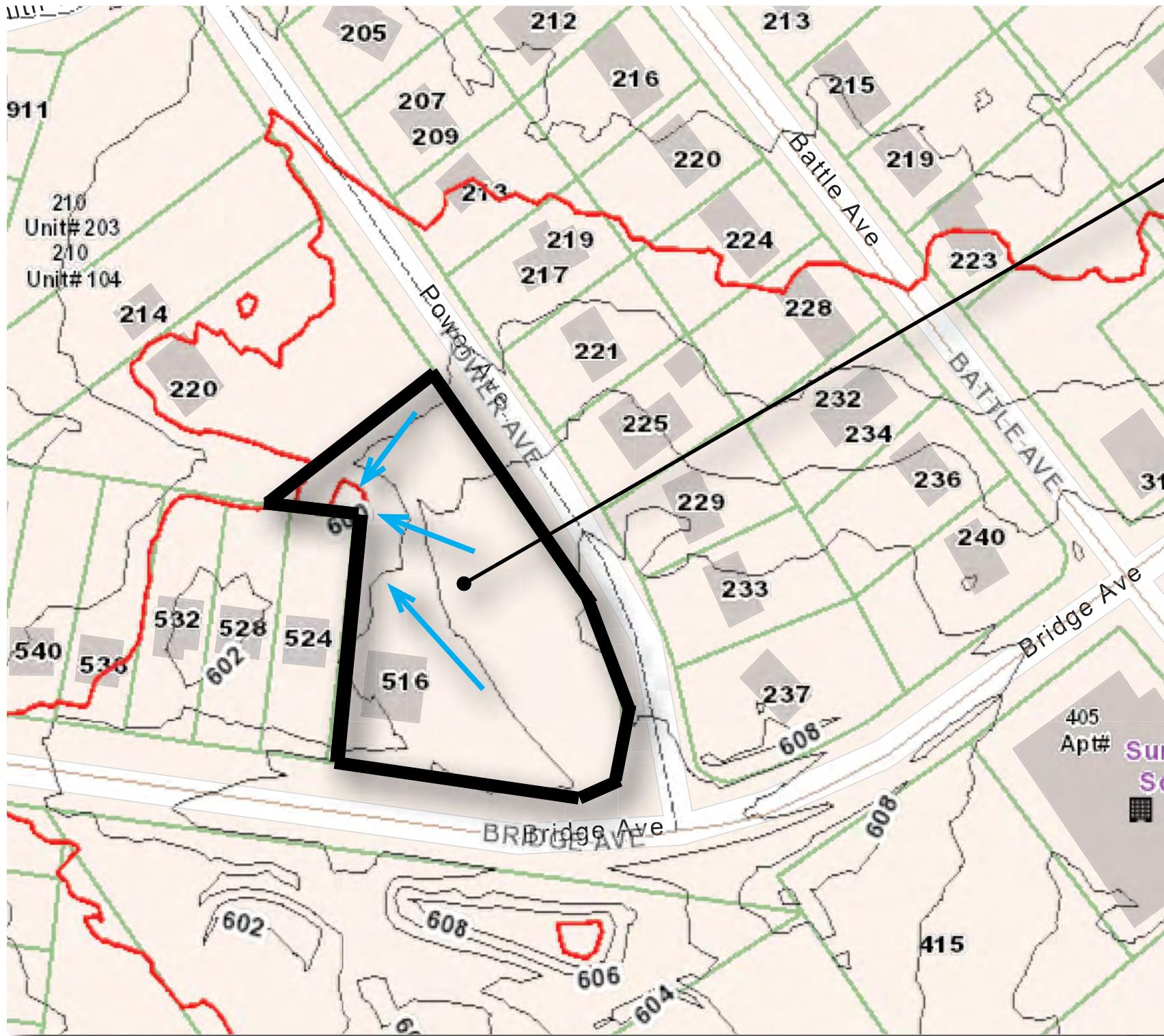
Water —————

Sewer →

# Topography & Drainage Map

## Bridge Avenue Village

PLANNED RESIDENTIAL DEVELOPMENT



### SITE

The subject property has approximately 8' of grade change across the site draining from east to west with a depression in the southwest corner of the site. The low portion of the property will be used for stormwater ponds.

### LEGEND

- Drainage Direction →
- 2' Contours —
- 10' Contour —

### Aerial Map



This aerial photograph shows the subject site embedded in an existing neighborhood that is several blocks deep. Directly across from the subject property to the south is an MED substation. MED has a 40' power line easement running through the subject property.

Site

MED Substation

Aerial Location Map

# Existing Conditions

## Bridge Avenue Village PLANNED RESIDENTIAL DEVELOPMENT



View looking at subject property from Power Avenue looking southwest



View of home adjacent to the subject property looking southwest



View of powerlines running through the subject property looking west



View of park down the street from the subject property looking east



View of townhomes a block away from the subject property



View of home across from the subject property looking southeast

# Existing Conditions

PLANNED RESIDENTIAL DEVELOPMENT



View of Bridge Avenue driving past the subject property



View of substation across from subject property looking east



View looking into subject property from Bridge Avenue looking west



View of existing home on subject property to be removed

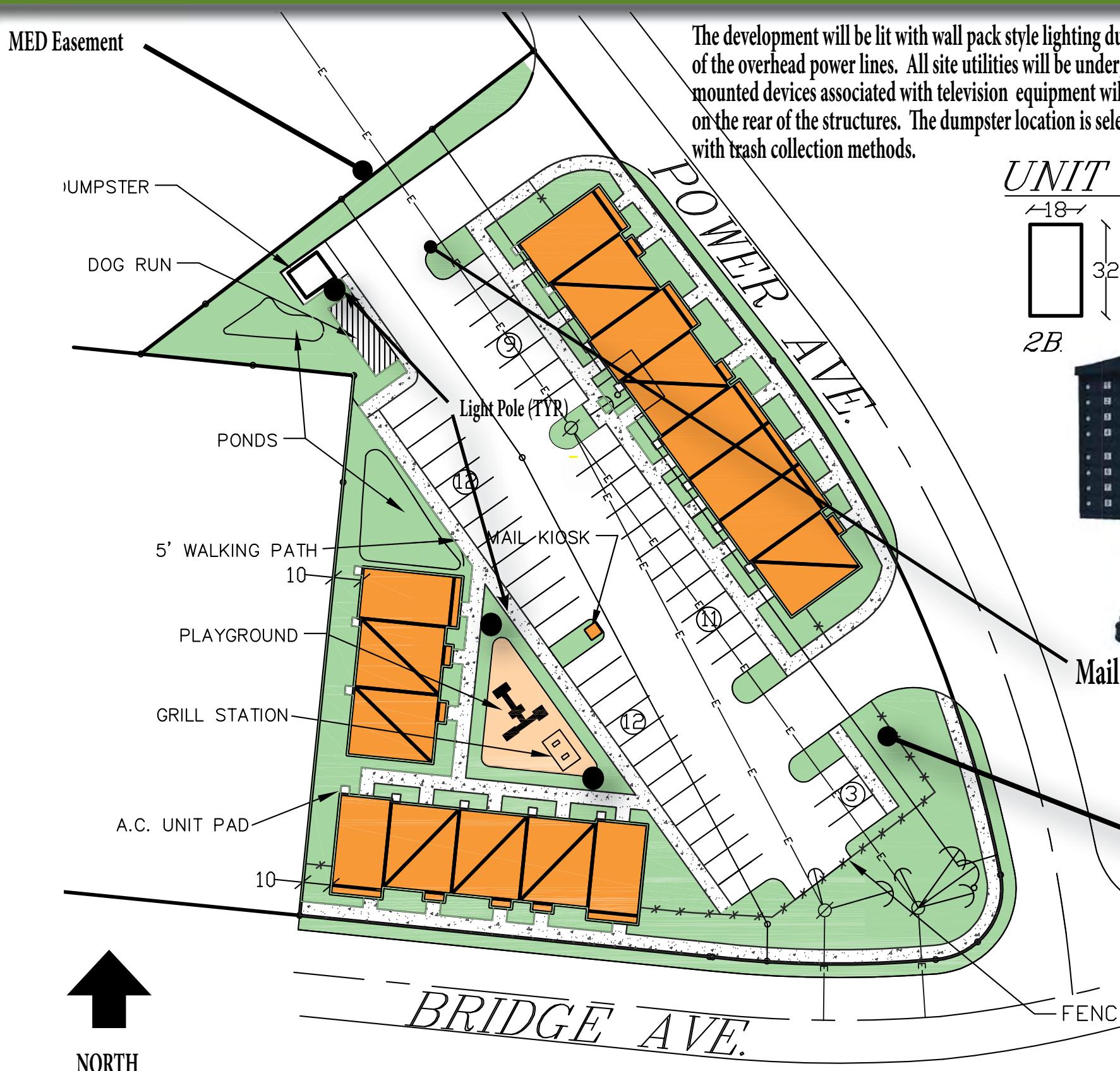


View of senior living facility across from subject property looking east

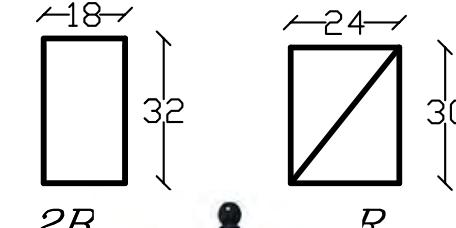


View of surrounding neighborhood homes

### Site Plan



#### UNIT LEGEND



Mail Kiosk

A	B	C	D
1 SETBACKS	RM-12	PRD	DIFFERENCE
2 FRONT SETBACK	30'	10'	20'
3 SIDE SETBACK	10'	5'	5'
4 REAR SETBACK	25'	10'	15'

#### Site Data:

Acreage: 1.2 Acres

Proposed units: 16

Density:  $16/1.2 = 13.3$  units per acre

8 (3 Bedrooms) Units @ 3.3 spaces per unit = 26.4

8 (2 Bedrooms) Units @ 2.2 spaces per unit = 17.6

44 Spaces Required

45 Spaces Provided

Single Family Attached Home : 1000 min. sq. of living area

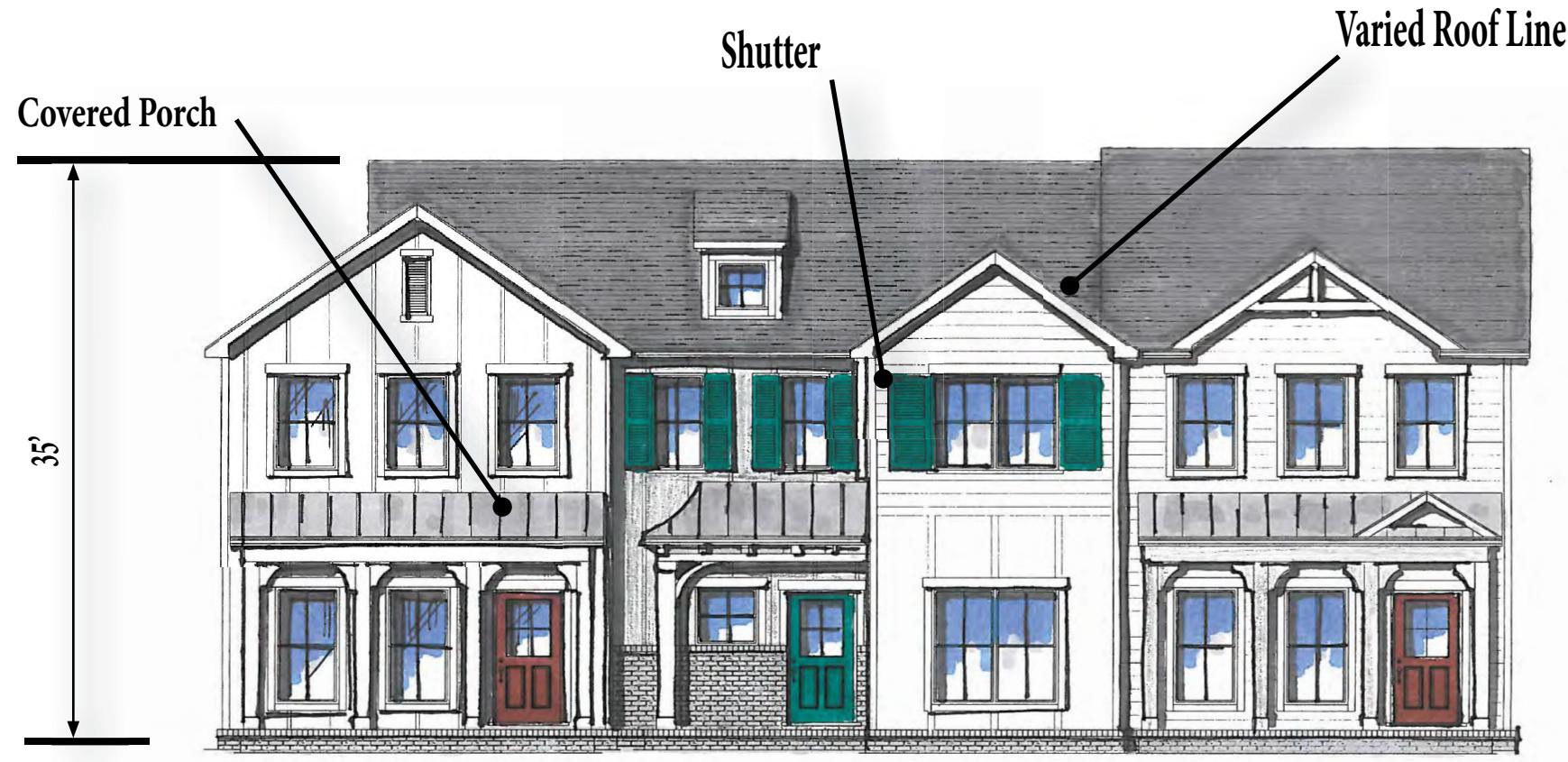
Horizontal Property Regime Ownership

All owners are required to belong to the HOA

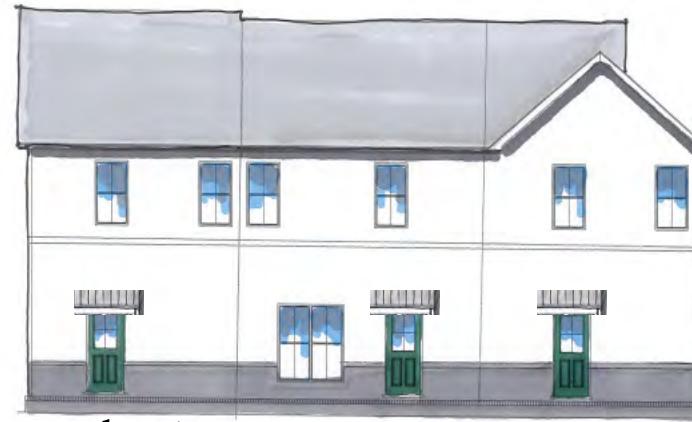


Decorative Signage and Fencing

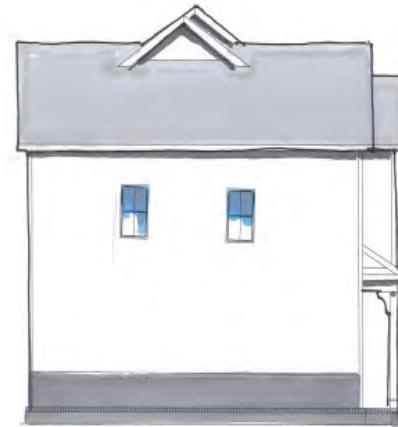
### Architectural Elevation



Front Elevation



Rear Elevation

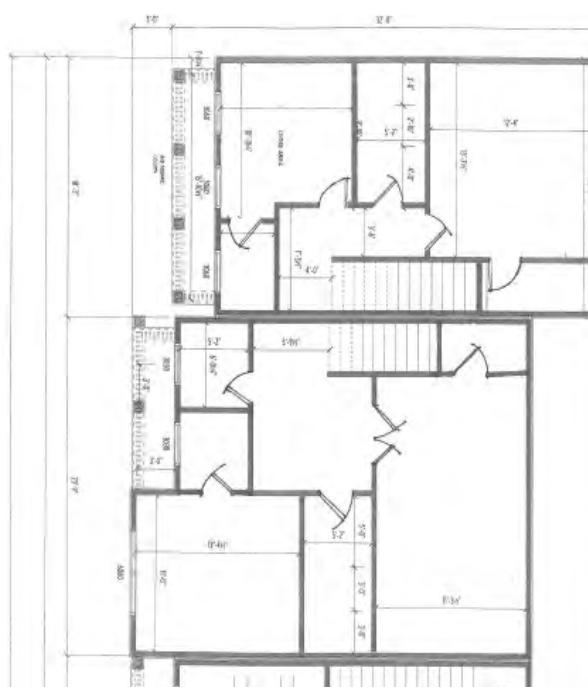
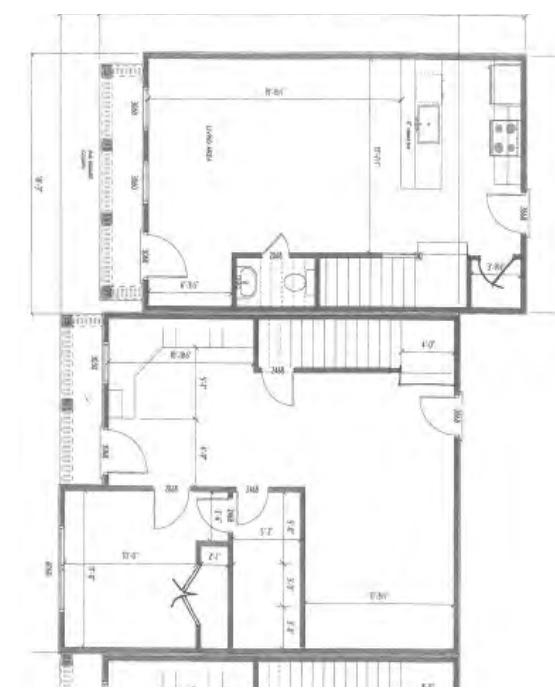


Side Elevation (Matching both sides)

Architectural Materials - 100% Masonry Buildings with Front Elevation: Various styles of Cement Fiber Board and Brick w/Aluminum fascia and vinyl soffits.  
Porches will not be allowed to be used as storage space and shall be enforced by the HOA.



Color Palette



Floor Plans

## Conceptual Landscape Plan



Foundation Planting



Buffer Planting



Shade Tree

The development will comply with all minimum landscape requirements in Section 27 of the zoning ordinance.

A tree survey will be performed prior to site plan submittal. Additional plants will be provided as needed to meet buffer requirements.

The developer desires to use the foundation planting and shade trees to create a pedestrian scale to the townhomes. This is created using shade trees with 5' clear trunk to create an overhead canopy that helps frame the first floor of the townhomes and low level shrubs that enhance the lower facade of the homes. The reduced front setback creates a more urban feeling by bringing the homes closer to the sidewalk.

### Amenity Areas

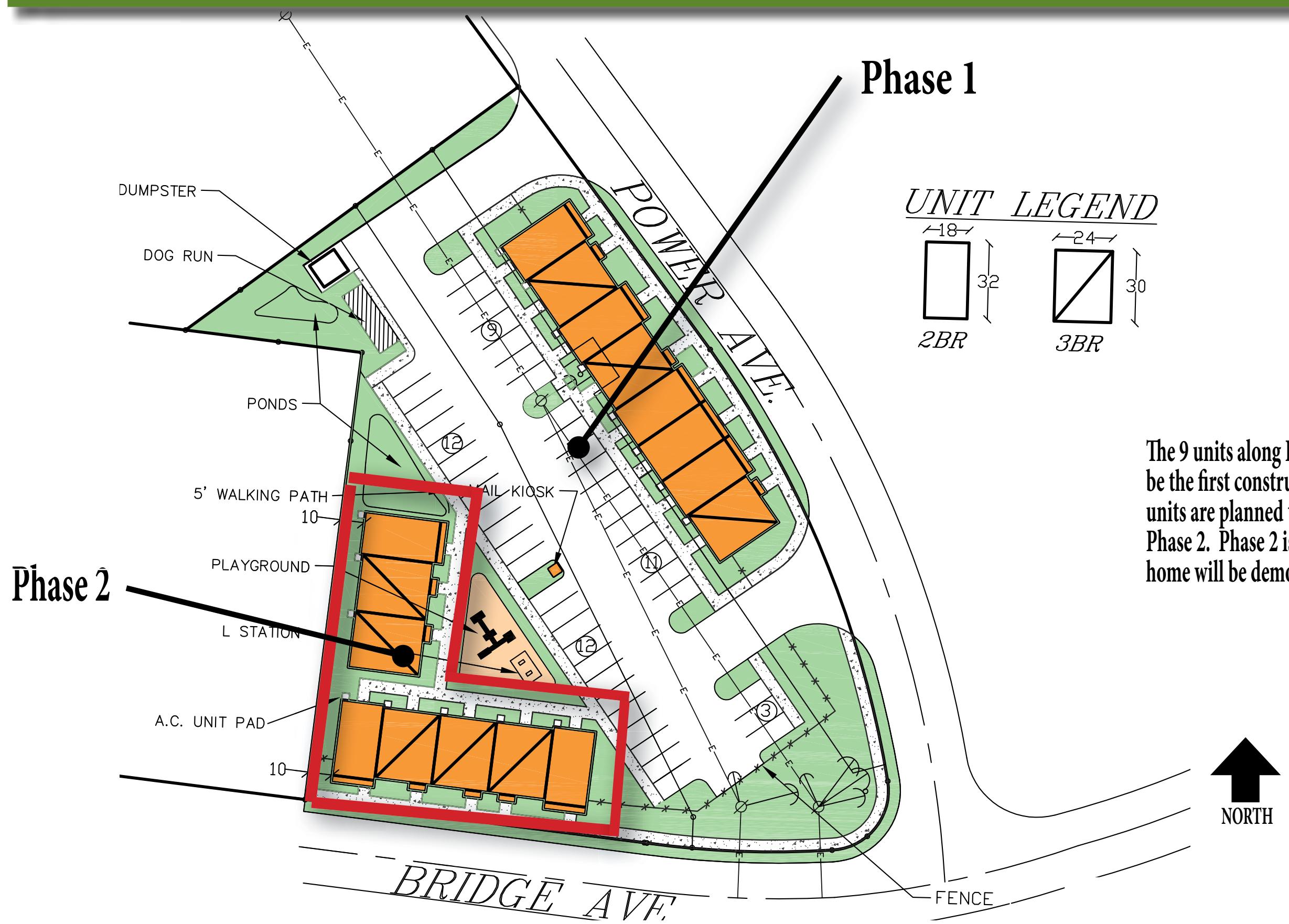


The developer of the Bridge Avenue Village Townhomes is committed to creating a high quality of life for the residents. With this goal in mind an amenity area is designed in the master plan and will provide a gathering area pavilion for the residents and a small playground for children to enjoy.

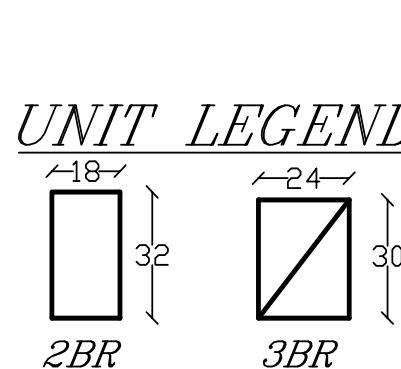
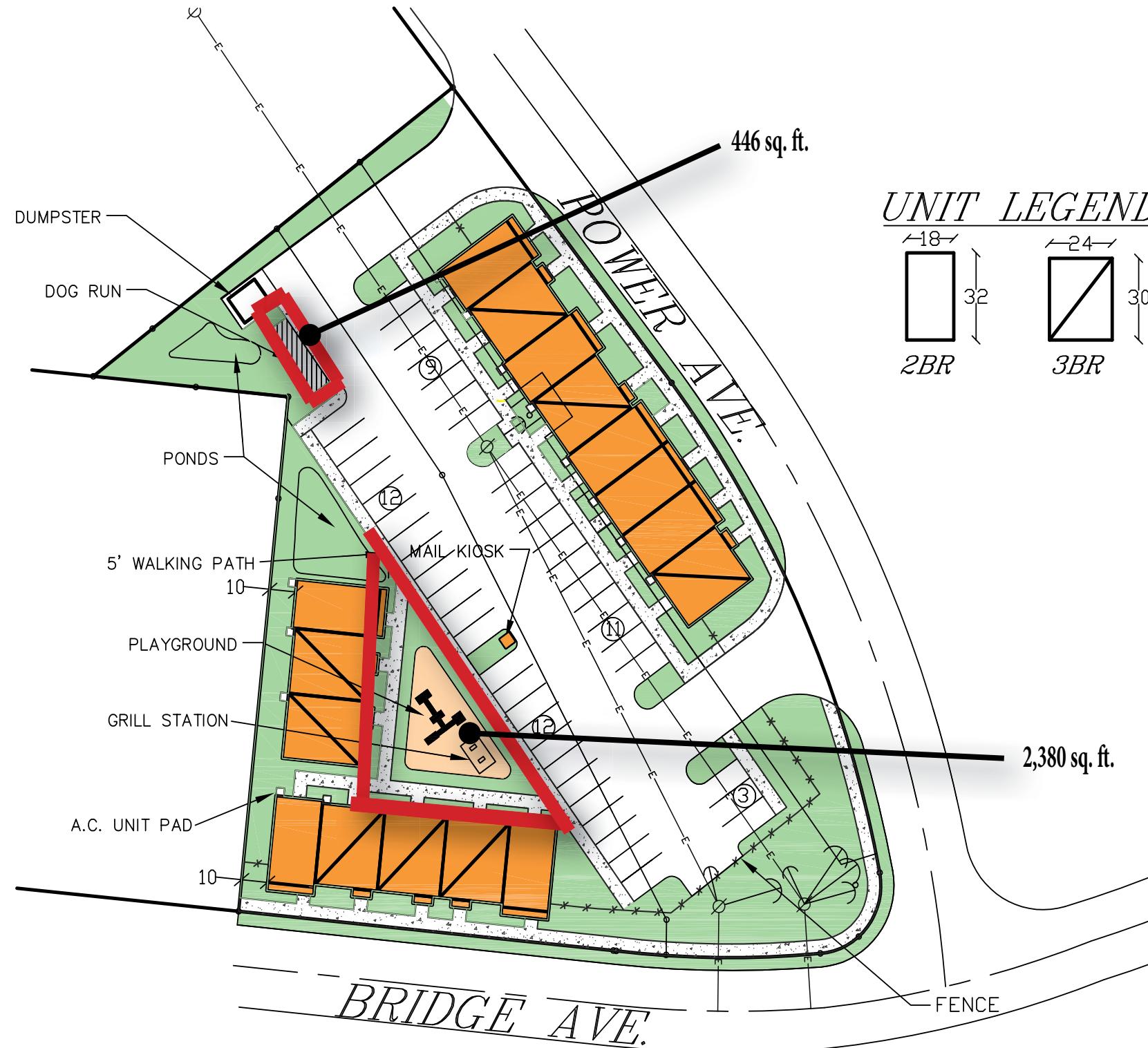
Grill

Decorative Bench

## Phasing Plan



# Open Space Plan



TOTAL LOT SIZE	54,863 1.2 AC.
OPEN SPACE REQUIRED	10,972
OPEN SPACE PROVIDED	18,612
FORMAL OPEN SPACE REQUIRED	2,743
FORMAL OPEN SPACE PROVIDED	2,826

Formal open space provides a more structured environment and is quantified by 5% of the developable area, which is approximately 2,743 square feet. The development provides 2,826 square feet of formal open space.

The common open space will be maintained by the HOA.



# Development Standards

## Development Standards:

Development will include (16) 2-story tall residential townhomes  
 The maximum building height of 35'-0"  
 There will be (8) 2 bedroom units and (8) 3 bedroom units  
 The units will have 45 parking spaces  
 Solid waste will be through a private hauler with an on-site dumpster - height of equipment will not exceed 21' and the powerlines are 28' in height  
 Sidewalks will be provided on Bridge Avenue and Powers Avenue  
 All new site utilities will be underground, there are overhead powerlines in the MED easement  
 Identification signage will be located on Powers Avenue  
 Street lights will be standard Murfreesboro Electric Department poles and lights  
 Mail delivery will be accommodated via a mail kiosk  
 Common open space will be maintained by an H.O.A.  
 All townhomes owners will be required to be a member of the H.O.A.  
 The development will be managed by an H.O.A.  
 All parking will be screened from the public right-of-way by landscaping  
 Buildings elevations will have well articulated front elevations with details responding to the pedestrian scale of the neighborhood  
 All HVAC will be on the back of the units  
 Parking will comply with the Murfreesboro zoning ordinance for uses that comply with this PRD  
 Telecommunication and television equipment shall be located of the rear of the proposed buildings  
 Front porches on the townhomes will not be used for storage  
 The townhomes will not be used for home based businesses where additional parking would be required  
 Cars must be operable to be parked on site  
 No camper or trailer storage will be allowed on site

## CPTED features:

The site will be lit with wall pack lighting on the buildings, two post mounted area lights will light up the playground area and a post light by the dumpster.  
 All landscaping will be trimmed to allow clear site lines into the site  
 The development will have a 6' wooden privacy fence along the southern and eastern property lines  
 A 4 foot split rail fence will run along the front corner of the development to discourage non-residents walking through the development

## Minimum Building Setbacks:

Front: (Bridge Avenue)	15- feet
(Powers Avenue)	8-feet
Side:	10-feet
Rear:	25-feet

## Allowable Uses:

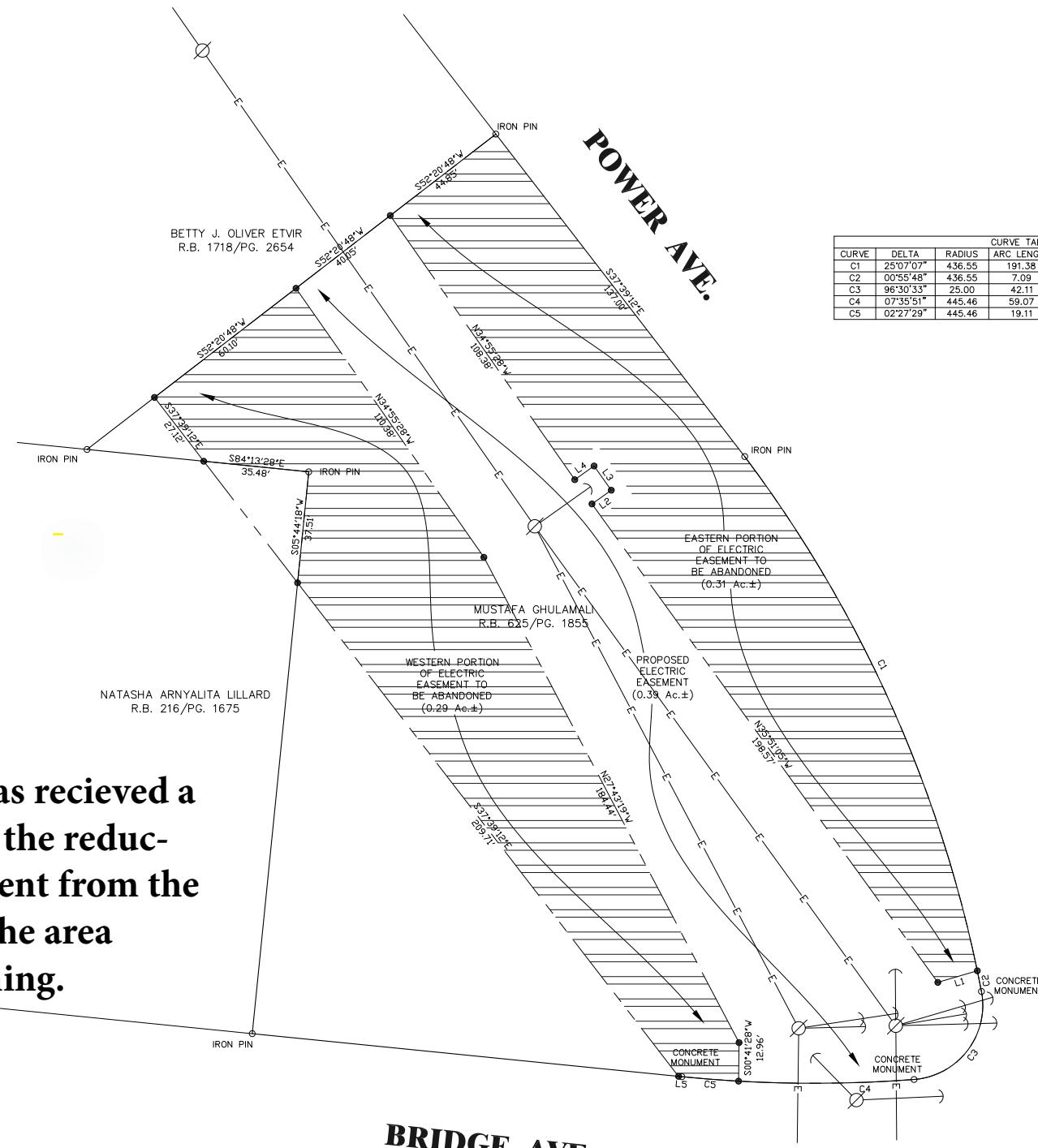
There will be no other allowable uses permitted with the PRD

## Building Elevation Materials:

Brick  
 Fiber cement board planks, lap siding and board and batten  
 Vinyl trim and soffit  
 Architectural materials and colors will be reviewed at the time of site plan submittal by Murfreesboro planning staff and the planning commission

# Mandatory Referral Document

## Bridge Avenue Village PLANNED RESIDENTIAL DEVELOPMENT



The subject property has received a mandatory referral for the reduction of the CUD easement from the cross hatched area, to the area showing no cross hatching.

LEGEND FOR MONUMENTS  
 IPS O IRON PIN FND.  
 RPS O RAILROAD SPIKE  
 LPS O SURVEY POINT  
 N NAIL  
 CM CONC. MARKER FND.

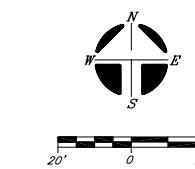


EXHIBIT		
MUSTAFA GHULAMALI PROPERTY		
TAX MAP 0910, GROUP D, PARCEL 10.00		
CITY OF MURFREESBORO, TENNESSEE		
DATE JUNE 2019	SCALE 1"-20'	SH. 1 OF 1

# Planned Development Criteria & 2035 Plan

## General Applicability Per Section 13 - Planned Development Regulations

1. Ownership and division of land: *The site is owned by the developer identified on Sheet 1, The lot is currently zoned RM-12 in the City of Murfreesboro.*
2. Waiver of BZA action: *No BZA actions will be required.*
3. Common open space: *18,612bs.f. area will be common open space and 2,826 encompasses the playground area and counted as formal open space.*
4. Accessibility to site: *The property is accessible from Power Avenue.*
5. Off street parking. *See Sheet 8 for parking calculations*
6. Pedestrian circulation: *Sidewalks will be constructed on subject property as a result of this project.*
7. Privacy and screening: *See Sheet 10*
8. Zoning and subdivision modifications proposed: *A PRD is being requested for the subject property.*
9. Phasing: *The project shall be completed in multiple phases See Sheet 12*
10. Annexation: *No annexation is required for this site.*
11. Landscaping: *The town home development will be designed to meet all minimum landscaping requirements outlined in Section 27 of the Zoning Ordinance.*
12. Major Thoroughfare Plan: *The PRD is consistent with the Major thoroughfare plan utilizing Bridge Avenue as the primary access to the site.*
13. Applicant contact information: *Contact information is located on Sheet 1.*
14. Proposed Signage: *Any signage that would be introduced in the future would be consistent with the masonry architectural elements of the town homes.*

## Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: *Shown in pattern book on Sheet 4*
- 2/3. Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: *Shown in pattern book Sheet, 3-7.*
- 4/5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: *Shown in pattern book Sheet 8.*
6. Development schedule: *Construction is projected to begin once all zoning and site planning is approved by the City. See Sheet 12 for potential phasing.*
7. Relationship of the planned development to current city policies and plans: *The development is consistent with the growth in the area. The density of the proposed town homes is slightly above the recommended density however, the infill nature of this project and the neighborhood characteristics make the Bridge Avenue Village Town homes a nice fit in a neighborhood that is showing signs of revitalization.*
8. Proposed deviation from zoning and subdivision ordinance: *See Sheet 8.*
9. Site tabulation data for land area, FAR, LSR, and OSR: *See schedule below.*
10. The nature and extent of any overlay zones as described in Section 24 and 34: *No overlays affect this development.*

TOTAL SITE AREA	54,863
TOTAL MAXIMUM FLOOR AREA	21,906
TOTAL LOT AREA	54,863
TOTAL BUILDING COVERAGE	10,941
TOTAL PARKING AREA COVERAGE	20,118
TOTAL LIVING SPACE	22,500
TOTAL OPEN SPACE	18,612
FLOOR AREA RATIO (F.A.R.)	0.39
LIVABILITY SPACE RATIO (L.S.R.)	2
OPEN SPACE RATIO (O.S.R.)	1.03

**MURFREESBORO PLANNING COMMISSION**

**STAFF COMMENTS, PAGE 1**

**JULY 10, 2019**

**PROJECT PLANNER: AMELIA KERR**

**4.i. Zoning application [2019-419] for approximately 13.9 acres located along North Tennessee Boulevard to be rezoned from CF to PRD (Brookwood Point PRD), Ole South Properties, Inc. applicant.**

The subject property is located along the northeast side of North Tennessee Boulevard, north of East Northfield Boulevard and south of the Northwoods subdivision. The property consists of 13.9 acres and is identified as Tax Map 081, Parcel 1.00. The property is currently undeveloped and zoned CF (Commercial Fringe District). The applicant wishes to rezone the property to PRD (Planned Residential District). The proposed PRD would consist of a 53-unit townhouse development tentatively named Brookwood Point. The proposed gross density would be 3.8 dwelling units per acre. In 2017, the applicant submitted a similar PRD request with 82 units, which was deferred by the City Council in July 2017 after the public hearing in order for the applicant to conduct a wetlands study. In the interim, wetlands were identified and the applicant is now proposing to significantly decrease the number of units from what was proposed in 2017. Due to the modifications to the plan and the passage of time, Planning staff has required the applicant to begin the process again.

The development would have access to North Tennessee Boulevard via a single access point. No connections to neighboring properties are proposed. The proposed development would include 15 buildings, each having three to four, one or two-story townhouse units. Each unit would have a front-facing, two-car garage and sufficient driveway space for two additional vehicles. Additionally, the development would include 31 surface parking spaces for guests. Primary exterior materials would include brick, stone, and cementitious siding. Setbacks for the development would be 25 feet on the front, 15 feet on the sides, and 20 feet on the rear. Internally, buildings would be separated by a minimum of 10 feet. Amenities would include 8.93 acres of open space with a stamped concrete walking trail, multiple paver seating areas, and benches.

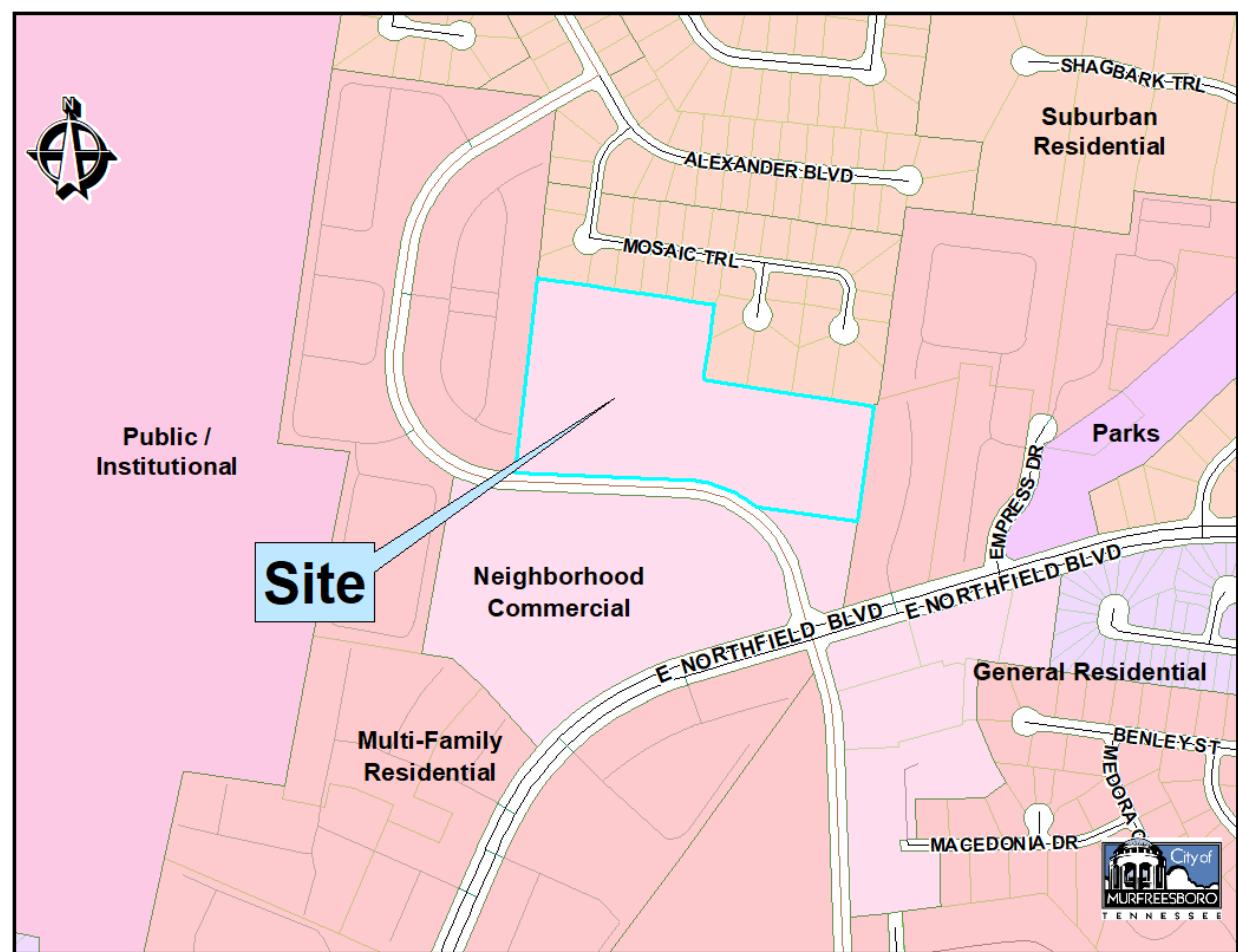
The applicant is requesting in the pattern book an exception to the requirement that the stormwater pond be screened on all sides. The pattern book requests that no landscape screening be required on the west side of the pond. In addition, the applicant is also requesting an exception to be allowed 4'-wide sidewalks through the neighborhood instead of the 5'-wide sidewalks required by the Design Guidelines. However, sidewalks adjacent to parking stalls will still be 7'-wide as required by the Design Guidelines.

## Adjacent Zoning and Land Uses

Surrounding zoning includes RS-A, Type 1 (Single-Family Attached, Zero-Lot Line) on the north and northeast, RM-16 (Multi-Family Residential, 16 units per acre) on the east, PRD on the west, and CF on the south. Adjacent land uses include the Northwoods single-family residential subdivision on the north and northeast, the Wycliffe Court multi-family residential development on the east, the Retreat at Northwoods townhouse development on the west, and vacant property on the south. The proposed development would include a fifteen-foot Type D buffer along the northern and northeastern boundaries shared with the Northwoods subdivision.

## Future Land Use Map

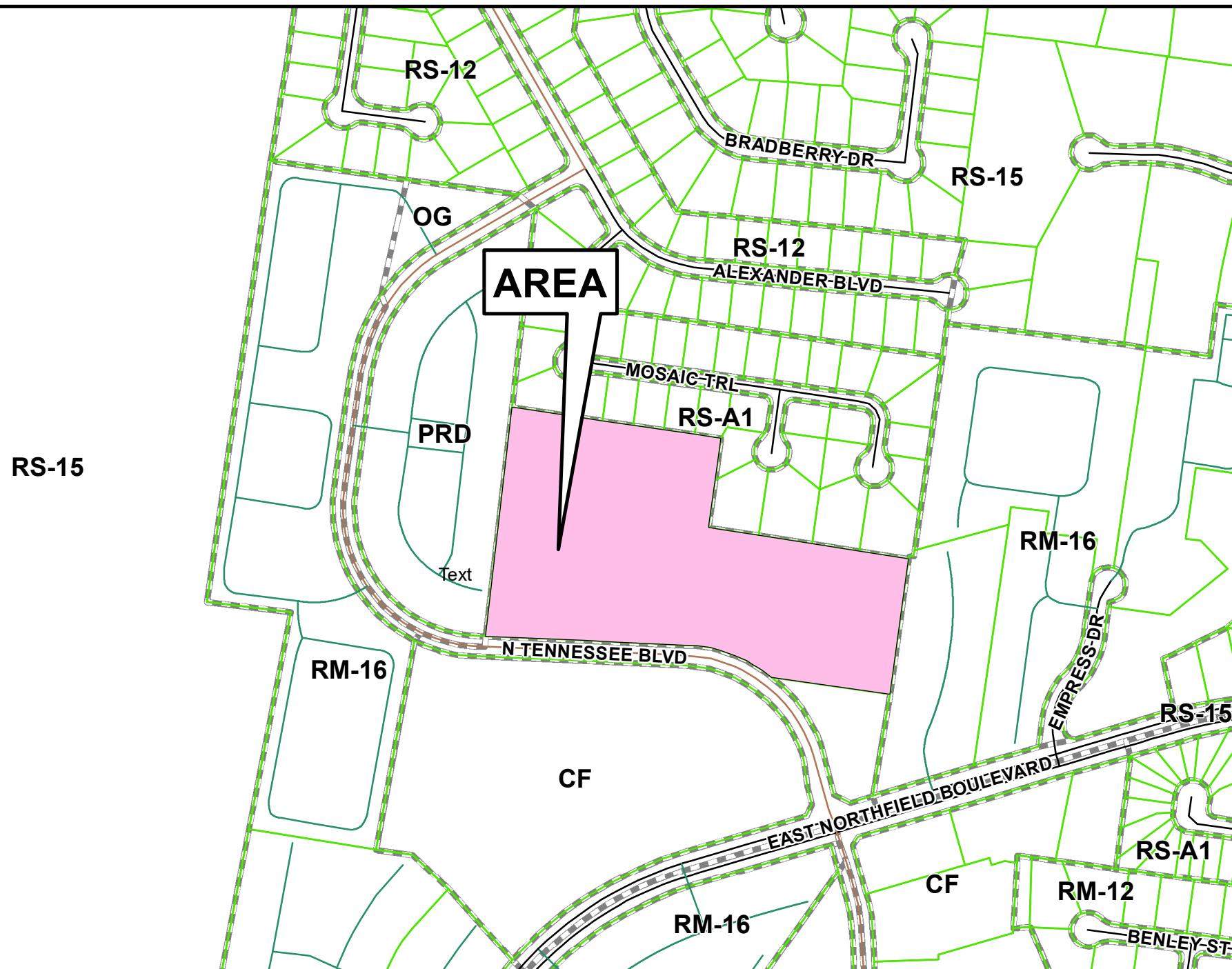
The future land use map of the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that “Neighborhood Commercial” is the most appropriate land use character for the subject property, as shown on the map below.



The characteristics of “Neighborhood Commercial” include “Low intensity (commercial) land uses, generally about the same scale and intensity level as residential development within the Suburban Residential area, and clustered at intersections of community collector thoroughfares.” Examples of uses in this land use character include “professional offices, convenience stores, dry cleaners, post offices, coffee shops, and drug stores.” Compatible existing zoning districts are CL, CF, CM-R, CM AND CM-RS-8. The proposed single-family residential attached use in this PRD request is not consistent with the commercial uses recommended in the “Neighborhood Commercial” land use character. The Planning Commission will need to discuss this zoning request and determine if this is an appropriate instance to deviate from the recommendations of the comprehensive plan.

### **Public Hearing**

A copy of the proposed pattern book has been included in the agenda materials. The applicant will be available at the Planning Commission meeting to make a presentation regarding the proposed rezoning and to answer questions. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and formulate a recommendation for City Council.



**Rezoning Request Along North Tennessee Boulevard  
CF to PRD (Brookwood Point PRD)**

0

500

1,000

2,000 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



**Rezoning Request Along North Tennessee Boulevard  
CF to PRD (Brookwood Point PRD)**

0

500

1,000

2,000 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



## BROOKWOOD POINT

A REQUEST FOR REZONING TO A PLANNED RESIDENTIAL DEVELOPMENT  
Murfreesboro, Tennessee

Initial Submittal  
May 16, 2019

Resubmittal  
June 5, 2019 Staff Comments

Resubmittal  
June 13, 2019 Staff Comments

Resubmittal  
July 03, 2019 for July 10, 2019  
Planning Commission Public Hearing

**SEC, Inc.**

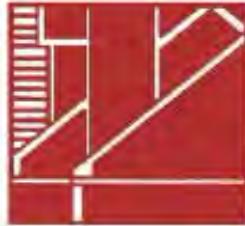
SEC Project #96158



# SEC, Inc.

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com / mtaylor@sec-civil.com  
Web: www.sec-civil.com

850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129



**O·L·E**  
**SOUTH**  
**PROPERTIES, INC.**

Company Name: Ole South Properties  
Profession: Developer  
Attn: Dan Bobo  
Phone: (615) 896-0019  
Web: www.olesouth.com

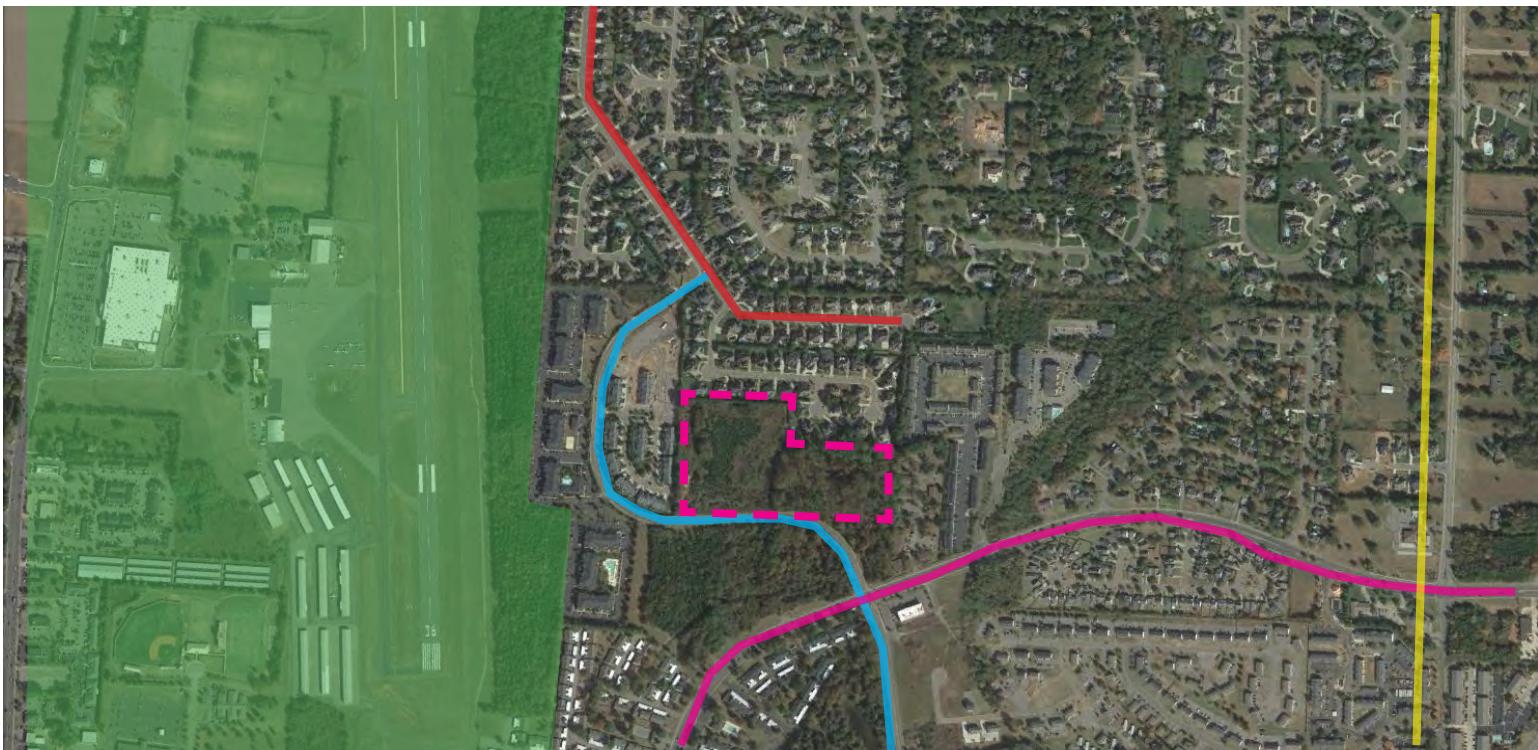
262 Robert Rose Drive, Suite 300  
Murfreesboro, Tennessee 37129

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AERIAL

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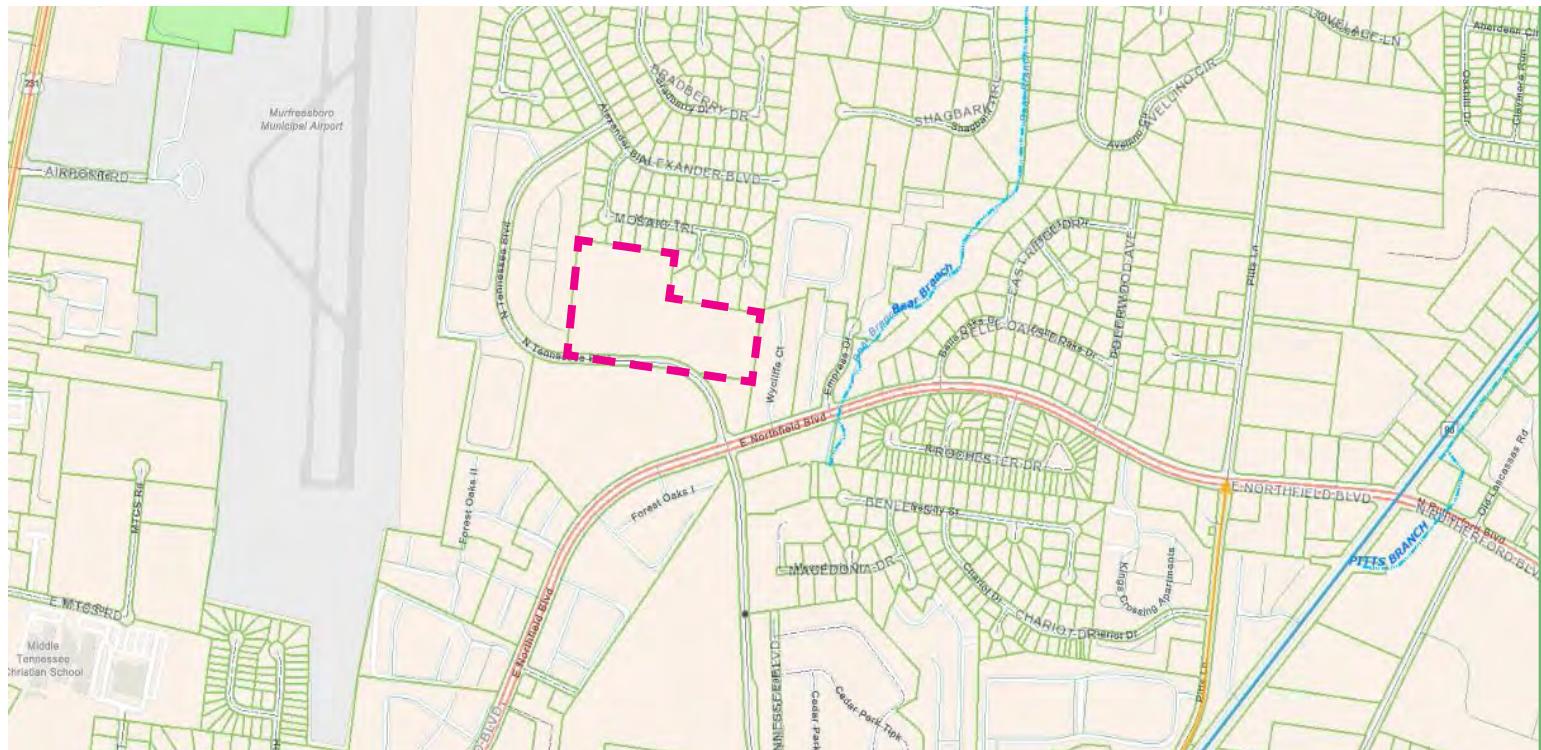


Site

<span style="color: blue;">█</span>	North Tennessee Blvd.
<span style="color: red;">█</span>	Alexander Blvd
<span style="color: magenta;">█</span>	East Northfield Blvd.
<span style="color: green;">█</span>	Murfreesboro Municipal Airport
<span style="color: yellow;">█</span>	Pitts Lane

Ole South Properties, Inc. respectfully requests rezoning of property located at 515 North Tennessee Boulevard from Commercial Fringe (CF) to Planned Residential Development (PRD) to create Brookwood Point PRD. The property is located along the northern side of North Tennessee Boulevard, just to the north of East Northfield Boulevard. The site is identified as Parcel 1.00 of Tax Map 81, and is approximately 13.90 acres.

Brookwood Point will consist of 53 townhomes on 13.90 acres, for a density of 3.80 dwelling units per acre. The townhomes will be sold under a horizontal property regime. The proposed townhomes will range in size from 1,500 SF. up to 2,500+ SF., and will consist of minimum of two bedrooms per unit. The townhome buildings will be a mixture of 3 and 4 units per building. Parking for residents will be provided on each lot in 2 car garages and 2 driveway spaces. There are additional off-street parking areas for guests located in various locations throughout the neighborhood. The development will be providing 8.96 acres of common/open space, or roughly 64% of the property. The community will be linked together by a network of sidewalks to create pedestrian connectivity throughout the development. The main amenity for Brookwood Point will be the common open space along the southern portion of the property. This open space will have pedestrian sidewalk linking the two ends of the neighborhood together creating a walking loop for the residents. Along this walking trail, sitting areas will be placed for a relaxing space to cool down or relax. The sitting areas will include benches and canopy trees to provide shade on those hot summer days. The site and common areas; which include building exteriors, parking areas, sidewalks, a mail kiosk, stormwater facilities, and all other property around the site, will be owned and maintained by the H.O.A.



## 2040 MAJOR THOROUGHFARE PLAN

Not To Scale

- 2- LANE BRIDGE IMPROVEMENT
- 3- LANE ROAD IMPROVEMENT
- 4- LANE ROAD IMPROVEMENT
- 5- LANE ROAD IMPROVEMENT
- 6- LANE ROAD IMPROVEMENT
- 7- LANE ROAD IMPROVEMENT
- 8- LANE ROAD IMPROVEMENT
- 3- LANE ROAD COMMITTED
- 4- LANE ROAD COMMITTED
- 5- LANE ROAD COMMITTED

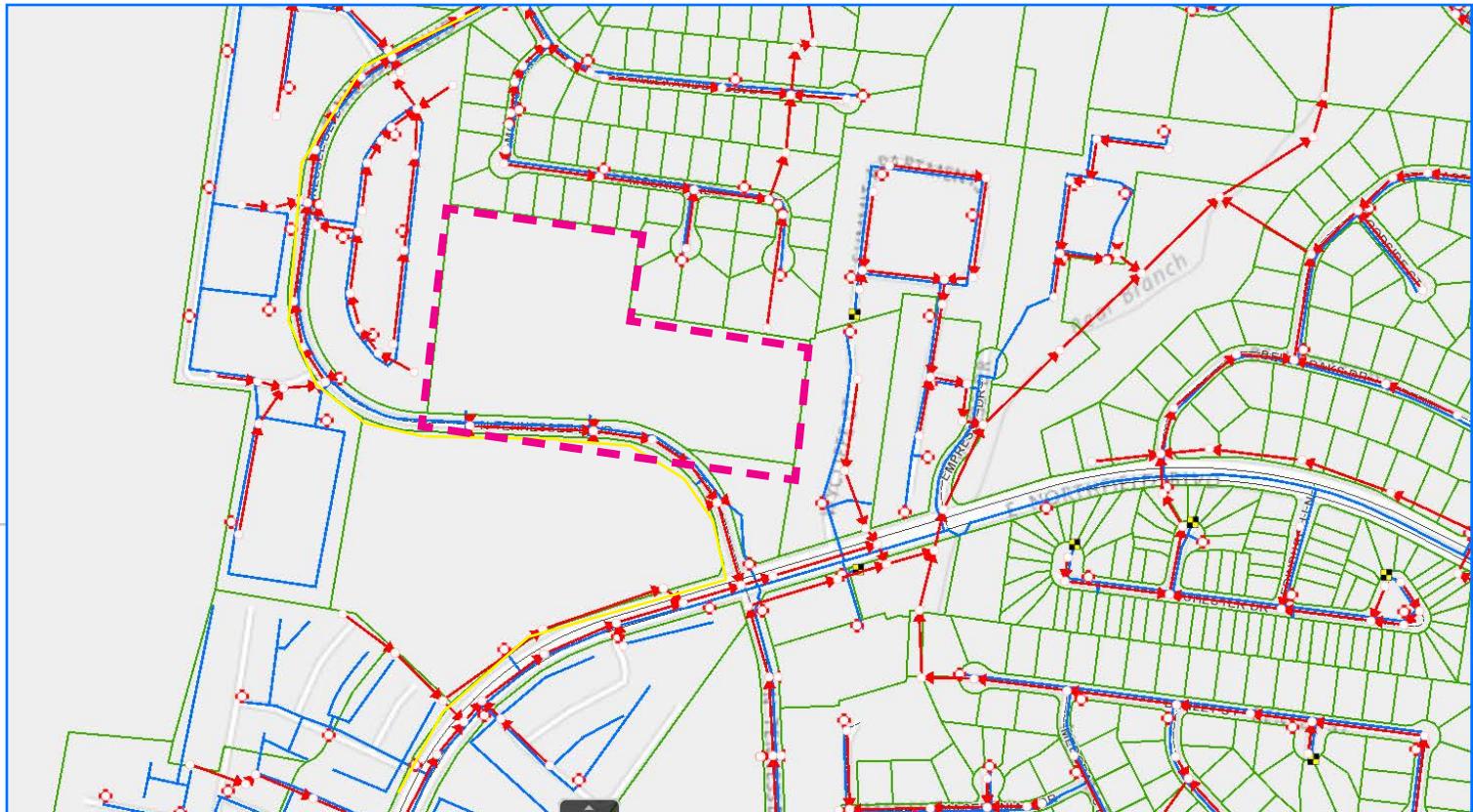


Brookwood Point will have direct access to North Tennessee Boulevard. North Tennessee Boulevard is not included on the 2040 Major Thoroughfare Plan. North Tennessee Boulevard has been improved to the proposed 3-lane roadway, and it connects the site back to a few major roadways in Murfreesboro. One of those roadways is East Northfield Boulevard, which is a major east-west connector through the northern part of the city. East Northfield Boulevard is an existing 5-lane major thoroughfare between Memorial Boulevard to the west of the site, and Lascassas Pike to the east of the site.



MURFREESBORO 2035 FUTURE LAND USE MAP

The current Murfreesboro 2035 Future Land Use Map indicates that this site is designated as Neighborhood Commercial (NC) Character Area. The characteristics of this area include; small-scale, low-intensity non-residential development that is clustered at intersections of community collector thoroughfares. The proposed plan for Brookwood Point is not consistent with the 2035 Future Land Use Plan. The project incorporates single-family attached residential in a compact environment, while providing common open spaces and wetland preservation. This site is dislocated from any intersection of two major roadways, and thus would not support commercial development. It is more conducive to residential development, since the site is surrounded by a variety of residential development along three boundaries.



UTILITIES MAP

Not To Scale

- ← Sewer
- Water
- Electric



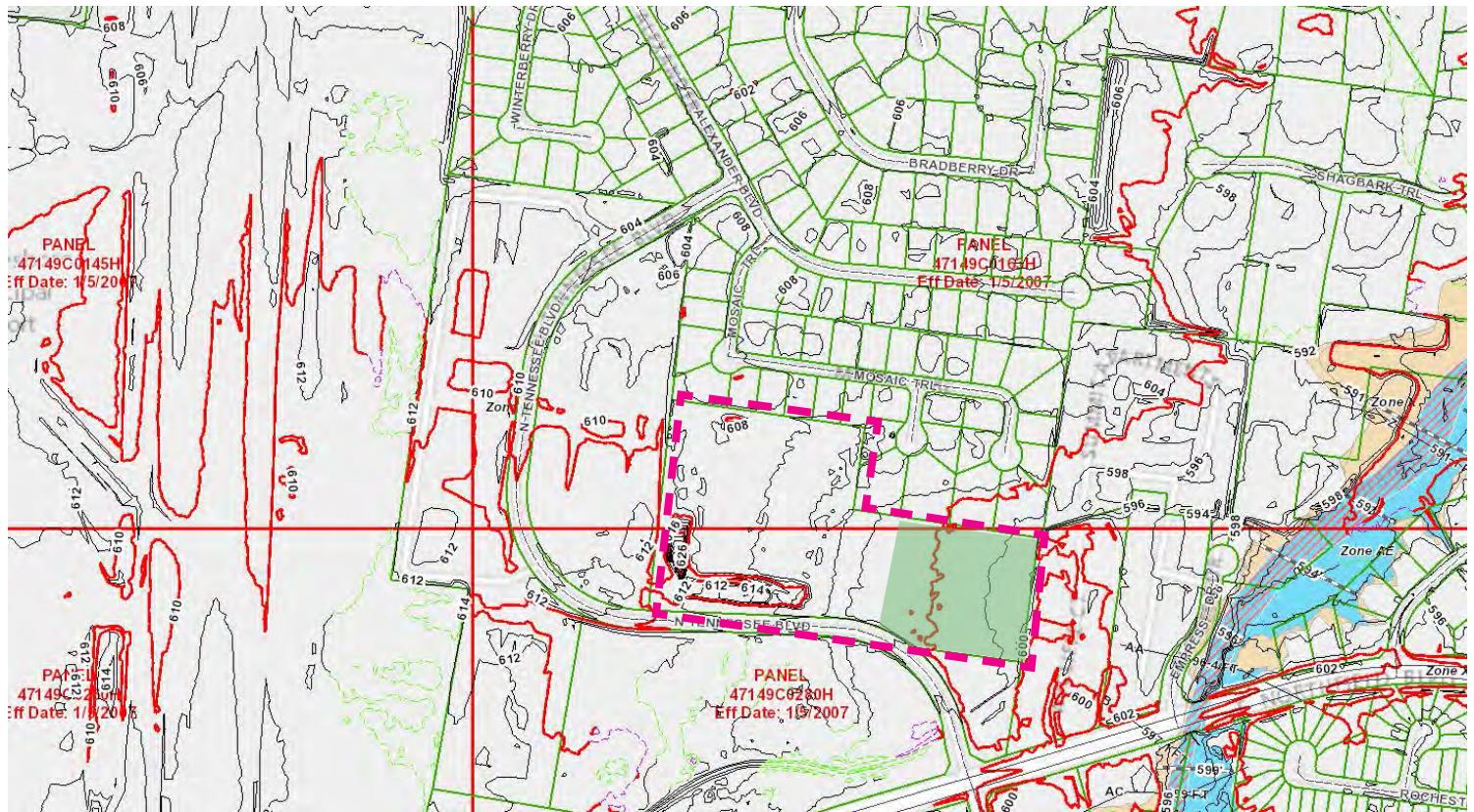
Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 12 inch ductile iron water line within the R.O.W. of North Tennessee Boulevard for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 8" gravity sewer line within the R.O.W. of North Tennessee Boulevard. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by the Murfreesboro Electric Department. There are existing overhead electric lines along the northern side of North Tennessee Boulevard for service into the site. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY & TOPOGRAPHIC MAP

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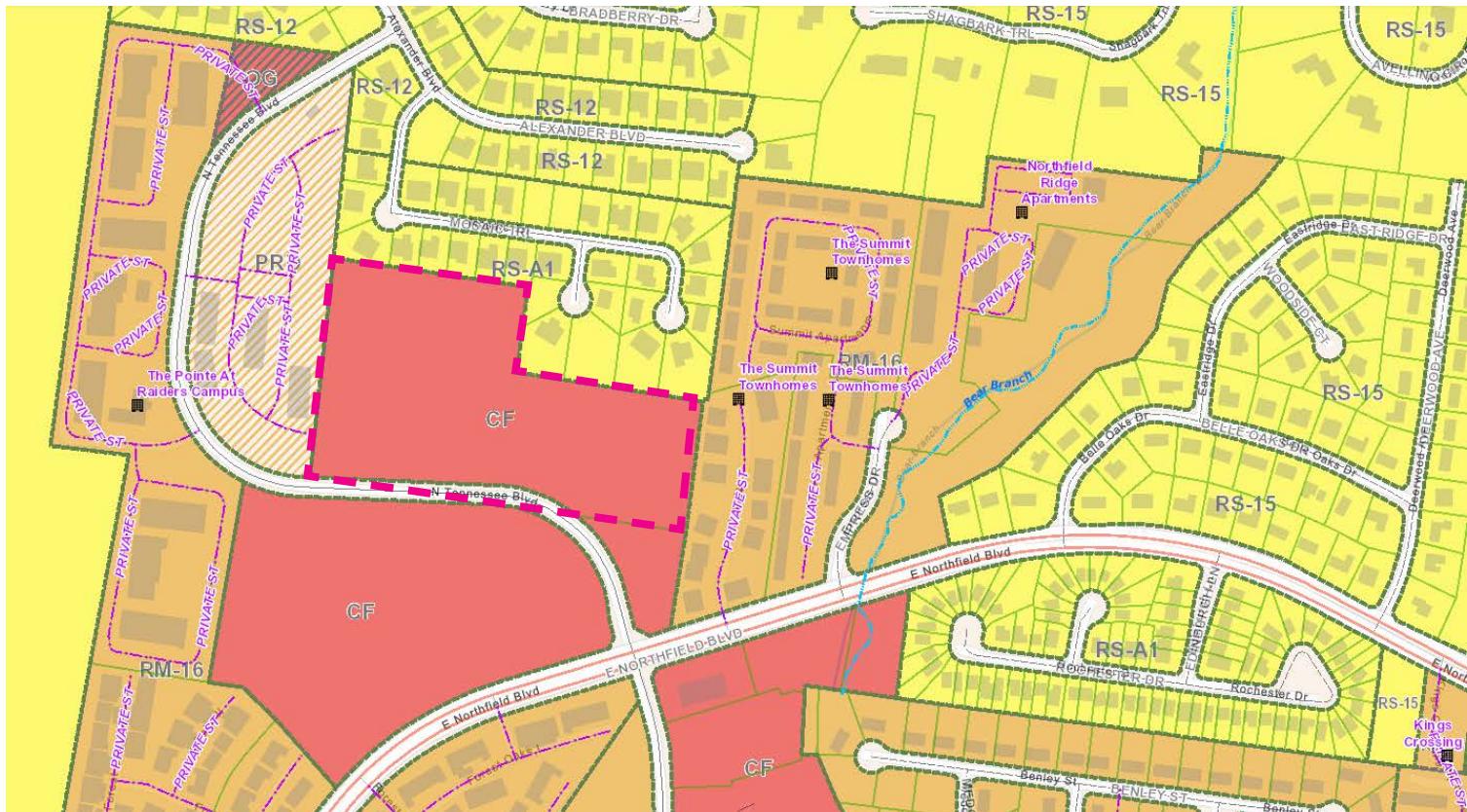
— Intermediate  
— Index



Topographically and hydrologically, Brookwood Point is situated on relatively gently sloping land. The property slopes and drains from the west to the east. Stormwater from the site discharges in the northeast corner of the property between Wycliffe Court Apartments and The Summit Townhomes. Drainage from the site will tie into an existing drainage ditch running between the adjacent properties, and then east until it discharges into Bear Branch. Bear Branch travels to the north where it joins Dry Branch, and eventually discharges into the East Fork of the Stones River.

The existing property is comprised of two areas of vegetation. The western portion is comprised of low vegetation and small caliper trees. This area has been disturbed as some point, and the existing topography shows areas of mounding from dumping of soil and rock debris. The eastern half of the property is comprised of large wetland with mature canopy of trees. The wetland boundary has been delineated and permitted by TDEC & The Army Corps of Engineers, and is being preserved with this development. Along the western property line, an existing tree row provides a visual separator between each property. A landscape buffer has been installed along the northern property lines adjacent to the single-family lots in Northwoods Section 13.

No portion of this site lies within any FEMA mapped floodplain areas.



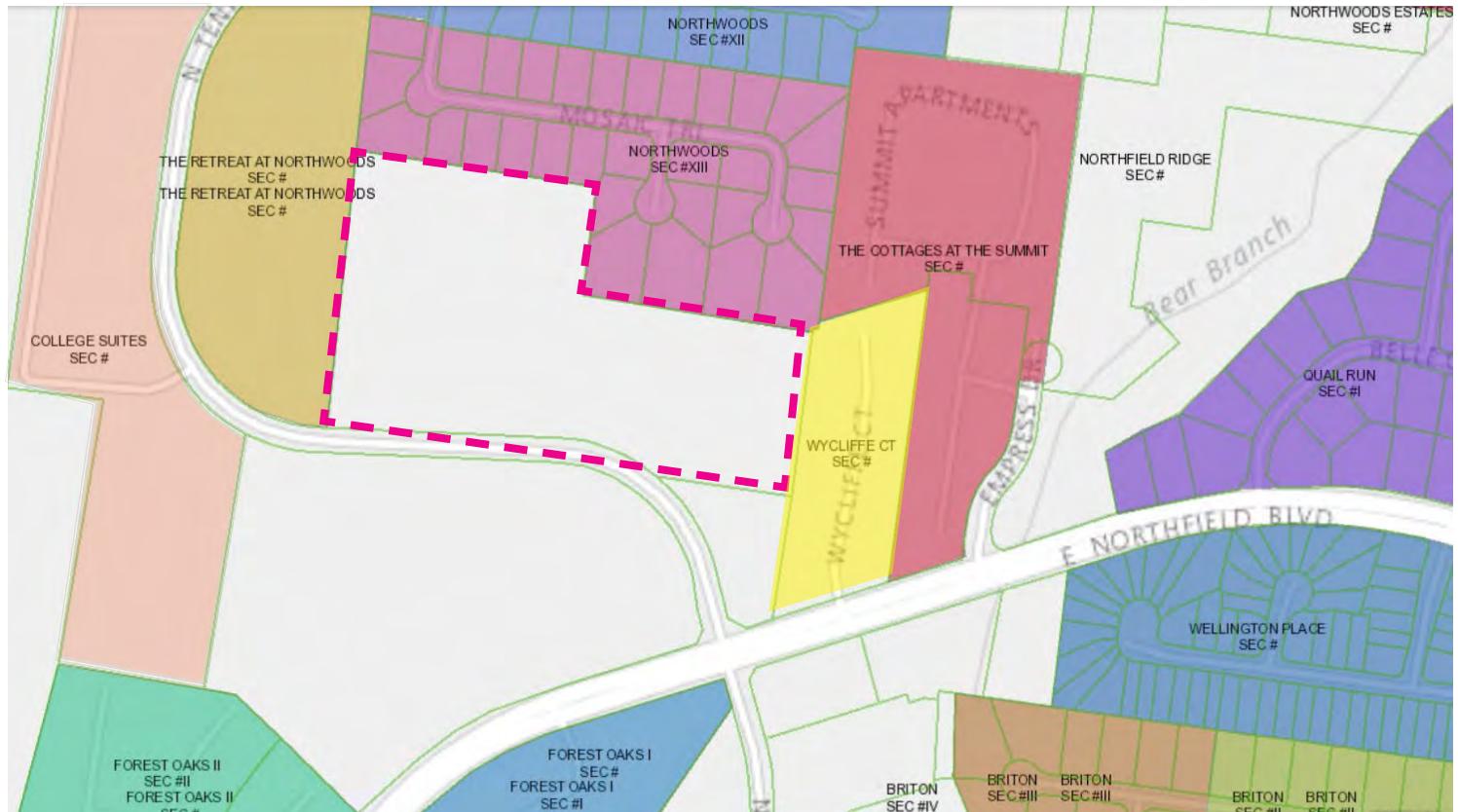
## ZONING MAP

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RS-10	Residential Single-Family (RS-10)	OG	General Office (OG)
RS-12	Residential Single-Family (RS-12)	CF	Commercial Fringe (CF)
RS-15	Residential Single-Family (RS-15)	CH	Commercial Highway (CH)
RM-16	Residential Multi-Family (RM-16)	PUD	Planned Unit Development (PUD)
RS-A	Residential Single-Family Attached (RS-A)	PRD	Planned Residential Development (PRD)



The zoning around Brookwood Point is comprised of residential tracts to the east, west and north of the site. An adjacent property south of the site, and another across East Tennessee Boulevard are zoned commercial. All surrounding properties are located within the City of Murfreesboro. The Wycliffe Court Apartments and The Cottages at the Summit that are located to the east of the project, are zoned Multi-family Residential (RM-16) with a maximum of 16 Dwelling Units per Acre. Northwoods Subdivision Section 13, is located to the north of the site, is zoned Residential Single-Family Attached Zero-Lot Line (RS-A1). These are single-family detached lots at a minimum 12,000 s.f., with side entry garages. To the west of the site is The Retreat at Northwoods which is zoned PRD, and is comprised of townhomes with front entry garage. There is a large undeveloped parcel located to the south of the site, which is zoned Commercial Fringe (CF).



ADJACENT SUBDIVISION MAP

Not To Scale 

 Forest Oaks II	 The Retreat at Northwoods	 Wycliffe CT Apartments
 Forest Oaks I	 Northwoods Sec XIII	 The Pointe
 Briton Sec III	 The Cottages at the Summit	 Site

Brookwood Point is surrounded by a mixture of residential subdivisions, and undeveloped commercial properties. Wycliffe Court Apartments is a for rent apartment development located directly to the east of the project site along East Northfield Boulevard. This development consists of 1-story apartment buildings, with exterior elevations consisting primarily of vinyl siding. There is one primary point of ingress/egress to the development from East Northfield Boulevard. North of Wycliffe Court, and east of the project site, are multi-family townhomes called The Summit. This development consists of 2-story townhomes, that have a mixture of brick and vinyl siding exteriors on varying elevations. The Summit does not directly access East Northfield Boulevard, but has access via Empress Drive along the eastern side of the community. Northwoods Subdivision Section 13 is located along the entire northern perimeter of the site. This section of the Northwoods Subdivision is comprised of all brick or stone single-family detached homes. This section of Northwoods has access back to North Tennessee Boulevard via Alexander Boulevard. The Retreat at Northwoods is located to the west of the site. The Retreat is a front entry garage townhome development that is somewhat similar to this proposed development. The elevations of the townhomes consists of brick and vinyl siding and varying elevations of the buildings. The buildings have covered front stoops or porches, with either 1 or 2 car garages. The individual units also have fenced patio areas in the at the rear of the units.

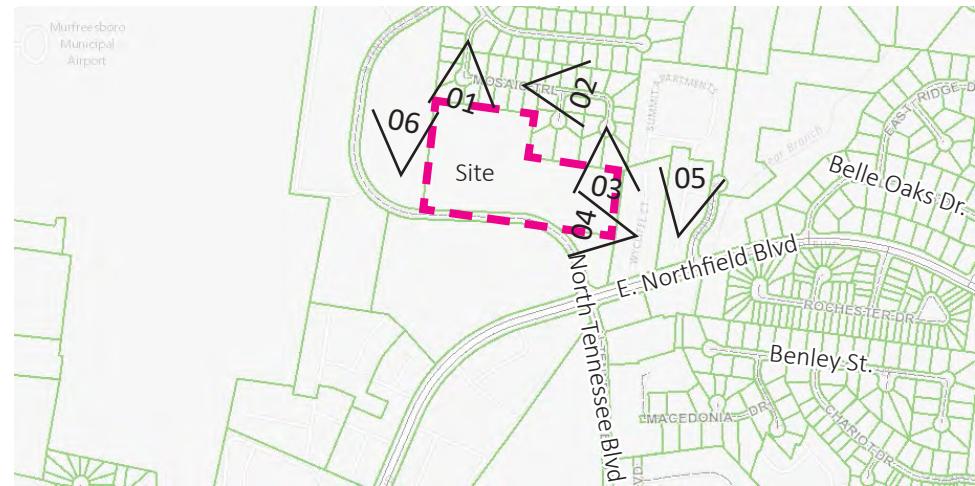


PHOTO DIRECTION MAP

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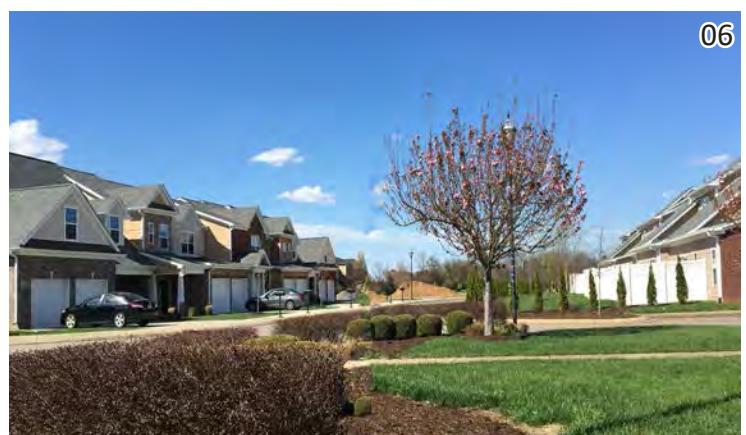
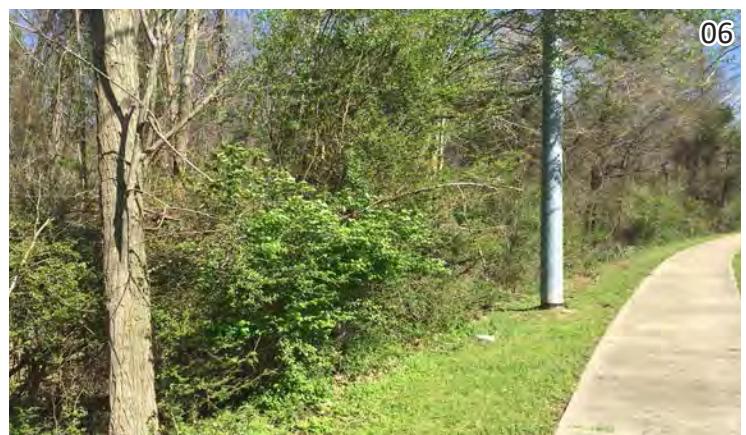




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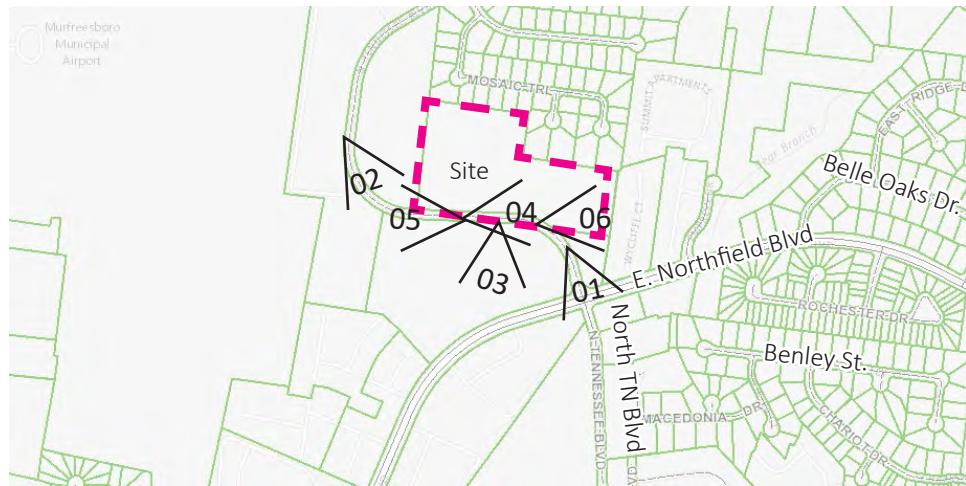


PHOTO DIRECTION MAP





<b>Total Land Area:</b>	±13.93 Acres
<b>Total Number of Units:</b>	53 Units
<b>Yield:</b>	53 units/13.93 acres = ±3.80 Units/Acre
<b>Open Space Required:</b>	±1.40 Acres (10%)
<b>Total Open Space:</b>	±8.96 Acres (64%)
<b>Formal Open Space Required:</b>	±0.70 Acres (5%)
<b>Formal Open Space Provided:</b>	±1.07 Acres (8%)
<b>Length of New Roadway:</b>	±2,200 LF
<b>Parking</b>	
<b>Required:</b>	13 (2 BR Units) x 2.2 = 29 Spaces
<b>Required:</b>	40 (3 BR Units) x 3.3 = 132 Spaces
<b>Total:</b>	161 Spacs
<b>Provided: Garages &amp; Drives =</b>	212 Spaces
<b>Guest Parking Areas=</b>	31 Spaces
<b>Total:</b>	243 Spaces (+82)

A Type 'D' Buffer is located along the northern perimeter of the site to buffer the existing RS-A1 zoning associated with Section 13 of the Northwoods Subdivision from the proposed PRD.



**Parking Note:**  
*"This plan is committing to restricting the use of all garages so that their primary use will not be for the parking of boats, RVs, household storage, etc.; rather it will be for vehicular parking. The garages shall be available for the parking of two (2) vehicles at all times. In addition to being a zoning requirement, this commitment will also be included in the restrictive covenants and enforced by the homeowners association."*

**SEC, Inc.**

SEC Project #96158

Murfreesboro, Tennessee



PHASES	UNITS	ACRES
PHASE 1	53	13.93
TOTAL	53	13.93

Phase 1

- The project is anticipated to be built in 1 phase.
- Construction is planned to begin within 90-120 days after the completion of the rezoning process.



**SEC, Inc.**

SEC Project #96158

Murfreesboro, Tennessee



## **Development Standards:**

- 53 townhome units with 2 or more bedrooms.
- The units will range in size from 1,500 SF. to 2,500+ SF.
- The development will be constructed in 1 phase.
- All units to be sold under a horizontal property regime
- The exteriors of the buildings and common spaces will be maintained by an H.O.A.
- All roadways and sidewalks will be private and maintained by the H.O.A.
- 4 Ft. wide sidewalks will be provided throughout the development to create a pedestrian friendly community.
- Building elevations will consist of masonry products. A representation of elevation material mixtures are outlined on Pages 16-19: Architectural Characteristics and Building Materials.
- Each townhome unit will have a 2-car garage.
- Each townhome will provide at least 4 off-street parking spaces per unit, 2 in the garage and 2 in the driveway.
- Each townhome will have a concrete driveway wide enough for 2 vehicles, with a minimum width of 16 feet and 25 feet in depth to the back of sidewalk.
- Garages will be solely used for vehicles as outlined in the Restrictive Covenants, and enforced by the H.O.A.
- A Type 'D' Landscape Buffer will be constructed along the length of the northern boundary that is adjacent to Northwoods Section 13 Subdivision.
- All mechanical equipment (i.e. hvac and transformers) to be screened by either a fence or landscaping, and will be located along the side and rear elevations of the townhome buildings.
- There shall be a minimum 3-foot wide landscape bed located along the front and side elevations of each townhome building, except for side elevations between buildings or when adjacent to a landscape buffer.
- All on-site utilities will be underground.
- On-site lighting will comply with city standards to prevent light pollution, and will be provided by M.E.D.
- Solid waste will be handled via carts with service provided by a private solid waste hauler.
- Parking for the residential units will comply with the City of Murfreesboro requirements.
- All guest parking areas will have curbing.
- All private streets and parking spaces will be designed to comply with the City of Murfreesboro design standards.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Detention pond screening will be provided between any detention ponds, North Tennessee Boulevard and Northwoods Section 13. Screening shall not be required internally, from the wetlands, or on sides adjacent to a landscape buffer.
- Mail service will be provided via a kiosk for all postal deliveries.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.

## **Minimum Building Setbacks to Site Boundary:**

Front: 25-feet along North Tennessee Boulevard  
Side: 15-feet along the Retreat at Northwoods  
Rear: 20-feet along boundary with Northwoods Section 13

## **Minimum Building Setbacks Internal to the Site:**

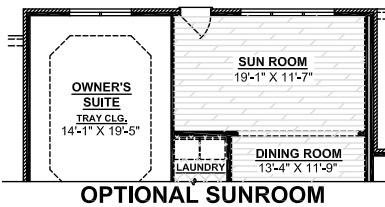
Front: 25-feet from back of sidewalk to face of garage  
Side: 10-feet between buildings  
10-feet between buildings and private streets  
8-feet between buildings and the edge of guest parking spaces  
Rear: 20-feet between buildings

### **Architecture Characteristics:**

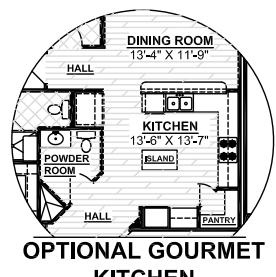
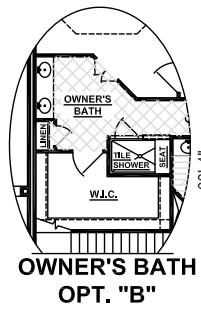
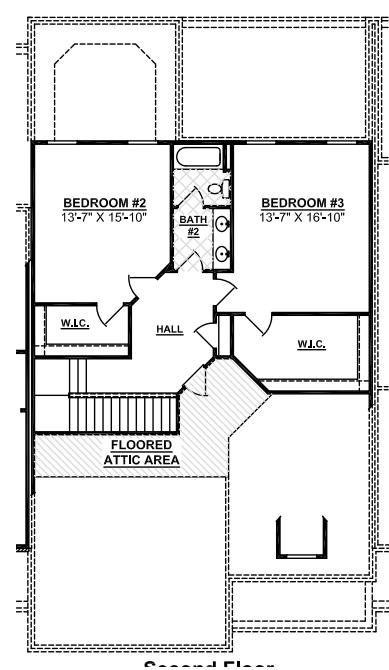
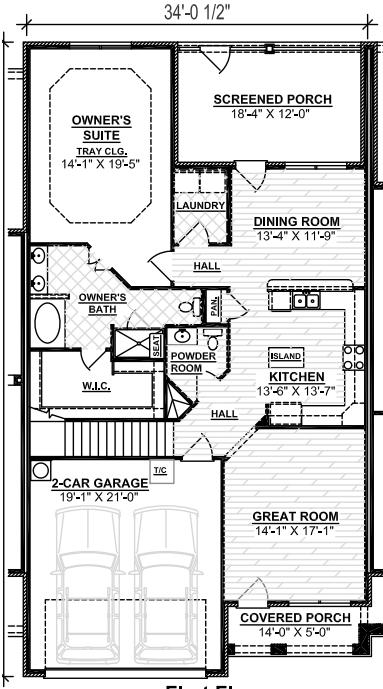
- All buildings will be 1 and 2-story buildings, and building heights shall not exceed 35 feet in height.
- All dwelling units will have at least 2 bedrooms.
- All the units will have eaves.
- All units will have a covered front porch.
- All units will have a patio area at the rear of the unit.
- Individual units will be offset to create articulation of the front facades to add interest to the elevations.
- Townhome buildings that face towards roadways or common open spaces, shall have a brick or stone water table/base along those side elevations. When two side elevations face each other, no water table/base shall be required along those adjoining side elevations.
- No water table/base shall be required along the rear elevations, since those rear elevations will not be visible due to rear fencing around each of the rear patios.
- Front and rear elevations of each of the townhome units, shall have an alternating color pattern along the length of the townhome buildings.
- All townhomes will be sold under a horizontal property regime

### **Building Elevation Materials:**

- Front: Brick, Stone, Cement Fiber Board, Cement Fiber Board and Batten
- Sides: Brick, Stone, Cement Fiber Board, Cement Fiber Board and Batten
- Rear: Brick, Stone, Cement Fiber Board, Cement Fiber Board and Batten

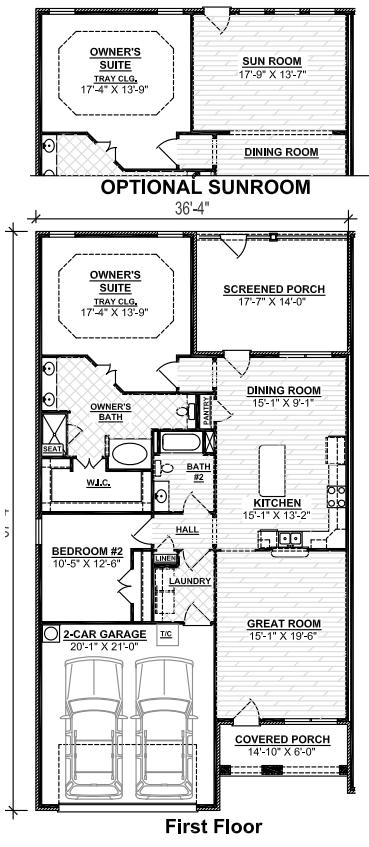


2209 PLAN

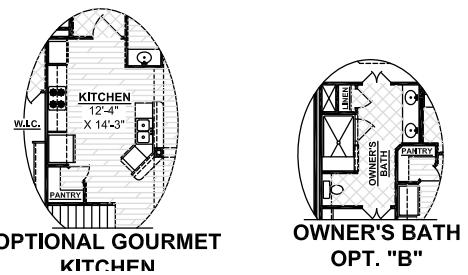
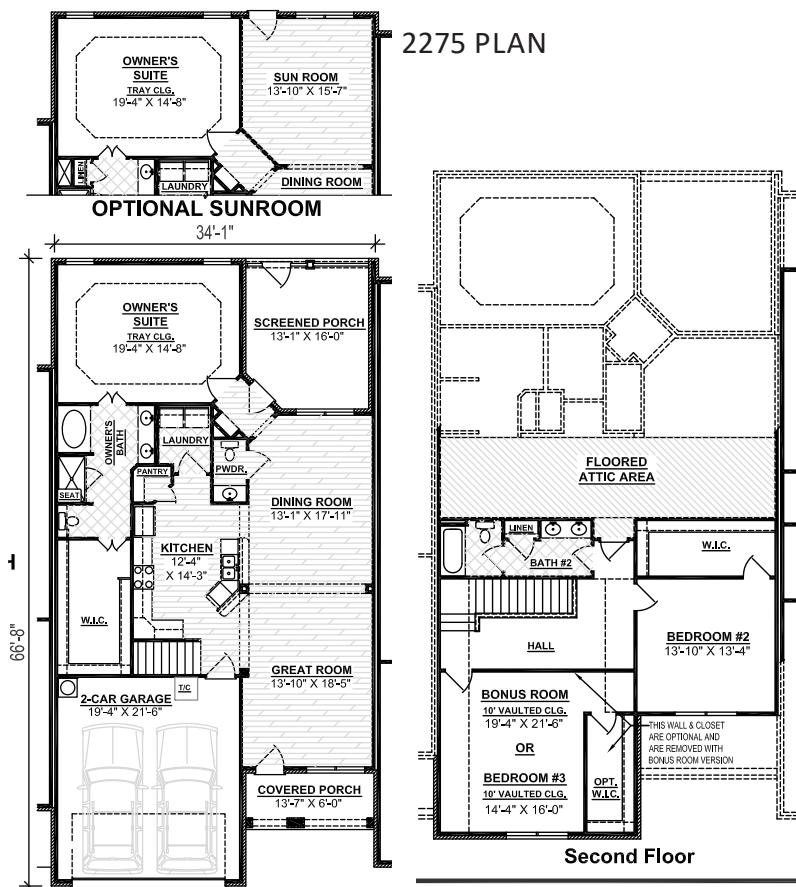


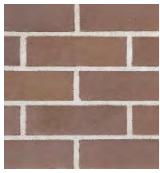
\*The elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

## 1557 PLAN



2275 PLAN





Example of possible brick  
(different colors, cuts, and patterns will be allowed, and to be approved by planning commission)



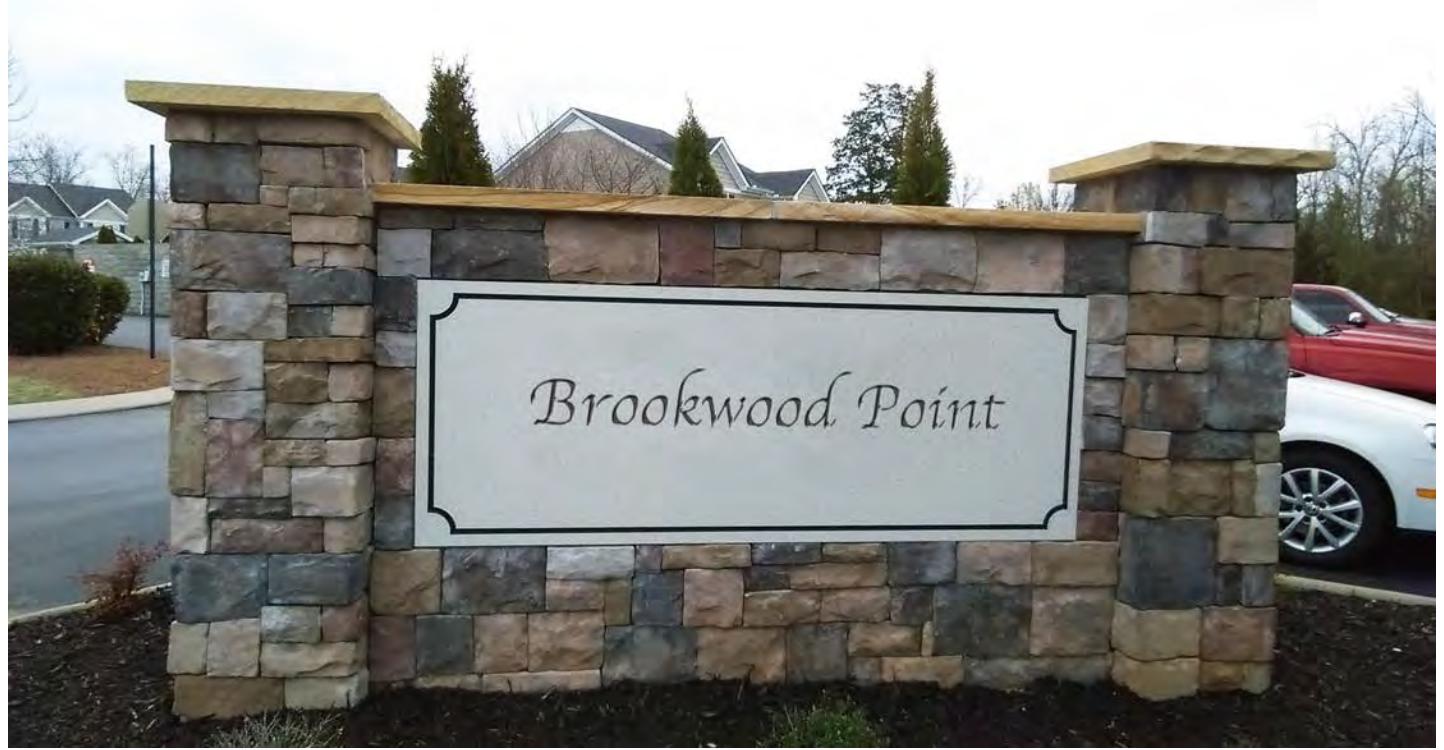
Example of stone veneer  
(different colors, cuts and patterns will be allowed, and to be approved by planning commission)



Example of the cement fiber siding  
(different colors and patterns will be allowed, and to be approved by planning commission)



Example of cement fiber board and batten  
(different colors and patterns will be allowed, and to be approved by planning commission)



Example of Entrance Sign



Front Building Elevation



Rear Building Elevation

Pursuant to the City of Murfreesboro's 2040 Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. The majority of vehicular trips generated by this development will impact North Tennessee Boulevard. It is currently built as a 3-lane cross-section with curb and gutter along with sidewalks on both sides of the roadway.

As stated above, the primary means of ingress/egress from this site will be onto North Tennessee Boulevard. The illustration below shows the proposed entrance will incorporate three travel lanes for proper circulation into and out of the development onto North Tennessee Boulevard. There will be a dedicated left and right out of the neighborhood, as well as single lane for traffic entering the development. As the master plan shows, there are no connections being made to the existing development surrounding this site. Each of the adjacent properties have self contained vehicular roadways, and did not provide any locations for connection to this site.

The streets, sidewalks, driveways, and parking areas within Brookwood Point will be private and maintained by the H.O.A.





A Mail Kiosk

B Walking Trail

C Bench

D Covered Seating Area

Not To Scale



#### LOCATION MAP - AMENITIES

With this request, Brookwood Point will be dedicating over 8.96 acres or roughly 64% to common open space. The open space areas will be comprised of usable open space, detention areas, and the frontage along North Tennessee Boulevard. The main open space along North Tennessee Boulevard will offer residents a stamped concrete walking trail connecting the two ends of the neighborhood. Along this walking trail will be three brick paver seating areas with benches and surrounded by trees to provide a shaded place for relaxation. All of the amenities will be constructed prior to first certificate of occupancy with Phase 1. The North Tennessee Boulevard entrance area will incorporate masonry signage, and will be anchored with landscaping.



Example of Pavers for Seating areas (Color, size, and texture may vary from sample above)



Example of the Stamped Concrete Walking Trail through the Common Open Space



Example of Covered Seating Area



FRONT ELEVATION

Example of the Mail Kiosk



not to scale

### Landscape Materials Samples: Deciduous Trees



(A)



(B)

- (A) *Ulmus parvifolia 'Emer II'* / 'Emer II' Alle Elm
- (B) *Zelkova serrata 'Green Vase'* / Sawleaf Zelkova
- (C) *Buxus x 'Green Mountain'* / Boxwood
- (D) *Prunus laurocerasus 'Otto Luyken'* / Luyken's Laurel
- (E) *Lagerstroemia indica 'GAMAD VI'* / Berry Dazzle Crape Myrtle
- (F) *Miscanthus sinensis 'Adagio'* / Adagio Eulalia Grass
- (G) *Liriope spicata 'Silver Dragon'* / Creeping Lily Turf
- (H) *Setcreasea pallida 'Purple Heart'* / Purple Heart Setcreasea
- (I) *Iberis sempervirens 'Little Gem'* / Little Gem Candytuft
- (J) *Liriope muscari 'Variegata'* / Variegated Lily Turf
- (K) *Magnolia grandiflora 'D.D. Blanchard'* TM / Southern Magnolia
- (L) *Thuja standishii x plicata 'Green Giant'* / Green Giant Arborvitae
- (M) *Cryptomeria Japonica 'Radians'* / Japanese Cedar
- (N) *Viburnum x pragense* / Prague Viburnum
- (O) *Prunus laurocerasus 'Schipkaensis'* / Schipka Laurel

### Landscape Material Samples: Evergreen/Deciduous Shrubs And Grasses



(C)



(D)



(E)



(F)

### LANDSCAPE MATERIAL SAMPLES: GROUNDCOVER



(G)



(H)



(I)



(J)

### Landscape Buffer: Evergreen Trees



(L)

(M)

### Landscape Buffer: Evergreen Shrubs



(K)



(N)



(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### Landscaping Standards:

- A minimum 10 feet of landscape area between parking and all perimeter property lines.
- The northern perimeter of the property abutting Northwood Section 13 Subdivision will have a 15-foot wide Type 'D' Landscape Buffer planted consisting of a double staggered row of evergreen trees planted 8 feet on center to provide screening for the adjacent properties and their residents. Evergreen trees will be a minimum of 6 feet tall at the time of planting. In addition to the evergreen trees, single row of evergreen shrubs will fill in the gaps between the evergreen trees during the first few years of the buffer till the trees mature and fill in the buffer. The evergreen shrubs will be a minimum 4 feet tall at the time of planting.
- The western perimeter property line will have canopy trees planted along the perimeter at a minimum of 40 feet on-center.
- The southern perimeter property line along North Tennessee Boulevard will incorporate a Type 'C' Buffer. All above ground utilities and mechanical equipment screened with landscaping and/or fence.
- The fronts and sides of townhome buildings facing private streets will have at least 3 foot wide landscape strip at the base of buildings.
- Stormwater management areas shall only be screened along edges adjacent to external public R.O.W.'s and adjacent properties, and shall not be screened internally to the proposed development.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Page 6 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Page 7 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to FEMA floodplains or floodways, and the site ultimately drains to Bushman Creek.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	605,484 s.f.
TOTAL MAXIMUM FLOOR AREA	120,575 s.f.
TOTAL LOT AREA	0 s.f.
TOTAL BUILDING COVERAGE	121,324 s.f.
TOTAL DRIVE/ PARKING AREA	32,730 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	572,754 s.f.
TOTAL OPEN SPACE	390,298 s.f.
<b>FLOOR AREA RATIO (F.A.R.)</b>	0.20
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	0.73
<b>OPEN SPACE RATIO (O.S.R.)</b>	0.78

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned CF. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

**Response:** The project is anticipated to be developed in one phase. Phasing information is described on Page 14.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Page 15.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The applicant is requesting the following exceptions with this PRD.

- 1) Detention ponds shall not be screened internally, only to external R.O.W.'s and adjacent properties.
- 2) Permitted to utilize individual unit trash carts to be stored inside the garage and not a garbage dumpster, which will be serviced by a private hauler.
- 3) 4 foot sidewalks will be throughout the development except where sidewalks are adjacent to parking areas where the sidewalks will be 7 feet'.

SETBACKS	PRD-Exterior	PRD-Interior	RS-A2	PRD	DIFFERENCE
Front Setback	25.0'	25.0'	35.0'	25.0'	-10.0'
Side Setback	15.0'	10.0'	5.0'	10.0'	-10.0'
Rear Setback	20.0'	20.0'	20.0'	20.0'	0.0'
Maximum Gross Density			167 Units	53 Units	-144 Units
Maximum Building Height			35.0'	35.0'	0.0'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is located in the Airport Overlay District (AOD). This property is not in the Gateway Design Overlay District, Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0163H and Panel 47149C0280H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 5 & 20 discusses the 2040 Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc., the developer/ applicant is Ole South Properties, Inc. contact info for both is provided on the back of the cover page.

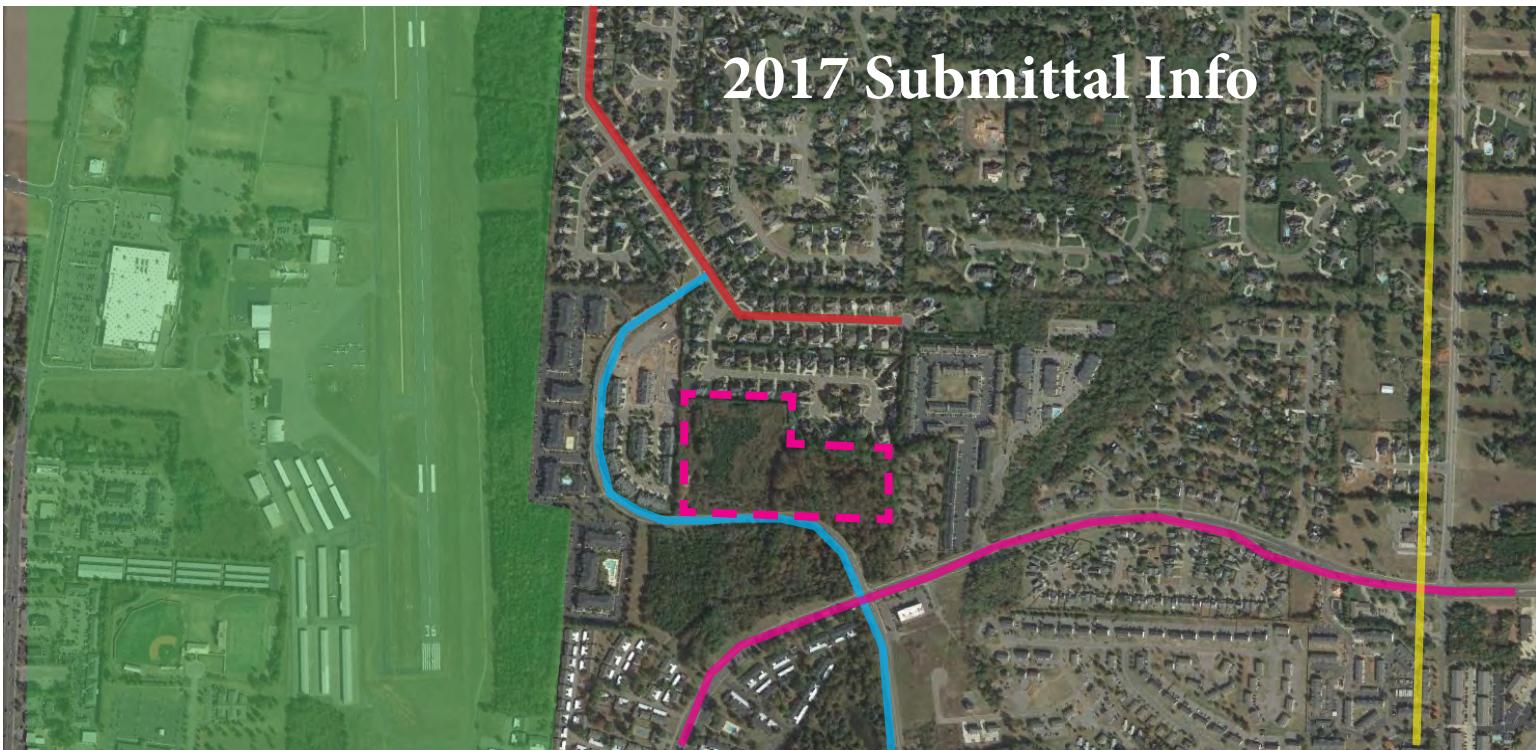
14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Pages 16-19 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Example of entrance signage are located on Page 18, discription on page 21.

# 2017 Submittal Info



AERIAL

Not To Scale

<span style="background-color: #4682B4; border: 1px solid black; padding: 2px 5px;"></span>	North Tennessee Blvd.
<span style="background-color: #C00000; border: 1px solid black; padding: 2px 5px;"></span>	Alexander Blvd
<span style="background-color: #E64A89; border: 1px solid black; padding: 2px 5px;"></span>	East Northfield Blvd.
<span style="background-color: #9ACD32; border: 1px solid black; padding: 2px 5px;"></span>	Murfreesboro Municipal Airport
<span style="background-color: #FFF176; border: 1px solid black; padding: 2px 5px;"></span>	Pitts Lane



Site

Ole South Properties, Inc. respectfully requests rezoning of property located at 515 North Tennessee Boulevard from Commercial Fringe (CF) and Residential Zero-Lot Line (RZ) to Planned Residential Development (PRD) to create Brookwood Point. The property is located along the northern side of North Tennessee Boulevard, just to the north of East Northfield Boulevard. The site is identified as Parcel 1.00 of Tax Map 81, and is approximately 13.90 acres.

Brookwood Point will consist of 82 townhomes on 13.90 acres, for a density of 5.90 dwelling units per acre. The units will be sold under a horizontal property regime. The proposed townhomes will range in size from 1,500 SF. up to 2,500+ SF., and will consist of minimum of two bedrooms per unit. The townhome buildings will be a mixture of 3, 4, and 5 units per building. Parking for residents will be provided on each lot in 2 car garages and 2 driveway spaces. There are additional off-street parking areas for guests located in various locations throughout the neighborhood. The development will be providing 5.28 acres of common/open space, or roughly 38% of the property. The community will be linked together by a network of sidewalks to create pedestrian connectivity throughout the development. The main amenity for Brookwood Point will be the large common open space along the southern portion of the property. This open space will have pedestrian sidewalk linking the two ends of the neighborhood together creating a walking loop for the residents. Along this walking trail, a couple of sitting areas will be placed for a relaxing space to cool down or just to relax. The sitting areas will include a bench and canopy trees to provide shade on those hot summer days. The site and common areas; which include building exteriors, parking areas, sidewalks, a mail kiosk, stormwater facilities, and all other property around the site, will be owned and maintained by the H.O.A.



Total Land Area:	±13.90 acres
Total Number of Units:	82
Yield: 78 units/13.9 acres =	±5.9 units/acre
Total Open Space:	±5.2 acres
Square Footage Range:	1557 s.f. - 2275 s.f.
Unit Footprints:	34' x 68'
Parking	
Required: 44 x 2 BR. x 1.1 =	96 Spaces
Required: 38 x 3 BR. x 1.1 =	<u>125 Spaces</u>
total	221 Spacs
Provided: Garages & Drives =	328 Spaces
Guest Parking Areas=	<u>46 Spaces</u>
	374 Spaces (+153)

A Type 'C' Buffer is located along the northern perimeter of the site to buffer the existing R-Z zoning associated with Section 13 of the Northwoods Subdivision from the proposed PRD.



**Parking Note:**  
*"This plan is committing to restricting the use of all garages so that their primary use will not be for the parking of boats, RVs, household storage, etc.; rather it will be for vehicular parking. The garages shall be available for the parking of two (2) vehicles at all times. In addition to being a zoning requirement, this commitment will also be included in the restrictive covenants and enforced by the homeowners association."*

## 2017 Submittal Info

**SEC, Inc.**

SEC Project #96158

Murfreesboro, Tennessee



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JULY 10, 2019**

**Project Planner: Marina Rush**

**6.j. Zoning application [2019-409] for approximately 2.88 acres located at 1126 Rucker Lane to amend the Marymont Springs PUD to add “tavern” use, Jeff and Sherris Brown applicant.**

The subject property is located along the west side of Rucker Lane and south of the terminus of Muirwood Boulevard. The property is approximately 2.88 acres and identified as Tax Map 100, Parcel 33.01. It is developed with the historic Marymont Mansion (circa 1860) including a private driveway, septic and well, and has been vacant for several years. The property is a part of the Marymont Springs Planned Unit Development (PUD) zoning, which was originally approved in 2005/2006.

The City Council amended the Marymont Springs PUD in 2013 to include non-residential uses permitted for the mansion, including bed and breakfast, restaurant, office building and event facility. The current zoning request is to add “tavern” as a permitted use to this list of uses. The applicants, Jeff and Sherris Brown, wish to operate a wine bar for patrons to purchase and drink wine, beer, whiskey and bourbon on site. In addition to the wine bar, they wish to have special events such as weddings, showers, parties, etc. Building modifications include renovation of the structure and adding an outdoor courtyard for events and daily use by patrons.

A neighborhood meeting was held by the applicant on April 9, 2019 and approximately 40 persons attended. The general comments made were regarding potential noise impacts, traffic, hours of operation, and if the use in the future could become a traditional “bar.” To help minimize potential impacts on the neighboring residences the pattern book includes the following restrictions:

- Enclose the courtyard with an 8-foot tall solid wall;
- Hours of operation - Sunday through Wednesday from 2 pm to 10 pm and Thursday through Saturday from 2 pm to 11 pm;
- No amplification outdoors;
- Limit to maximum of 125 persons;
- Ensure exterior lighting does not have off-site glare and is compatible with the architecture of the historic structure;
- Maintain the historical features of the mansion; and
- Adhere to the City of Murfreesboro Noise Ordinance.

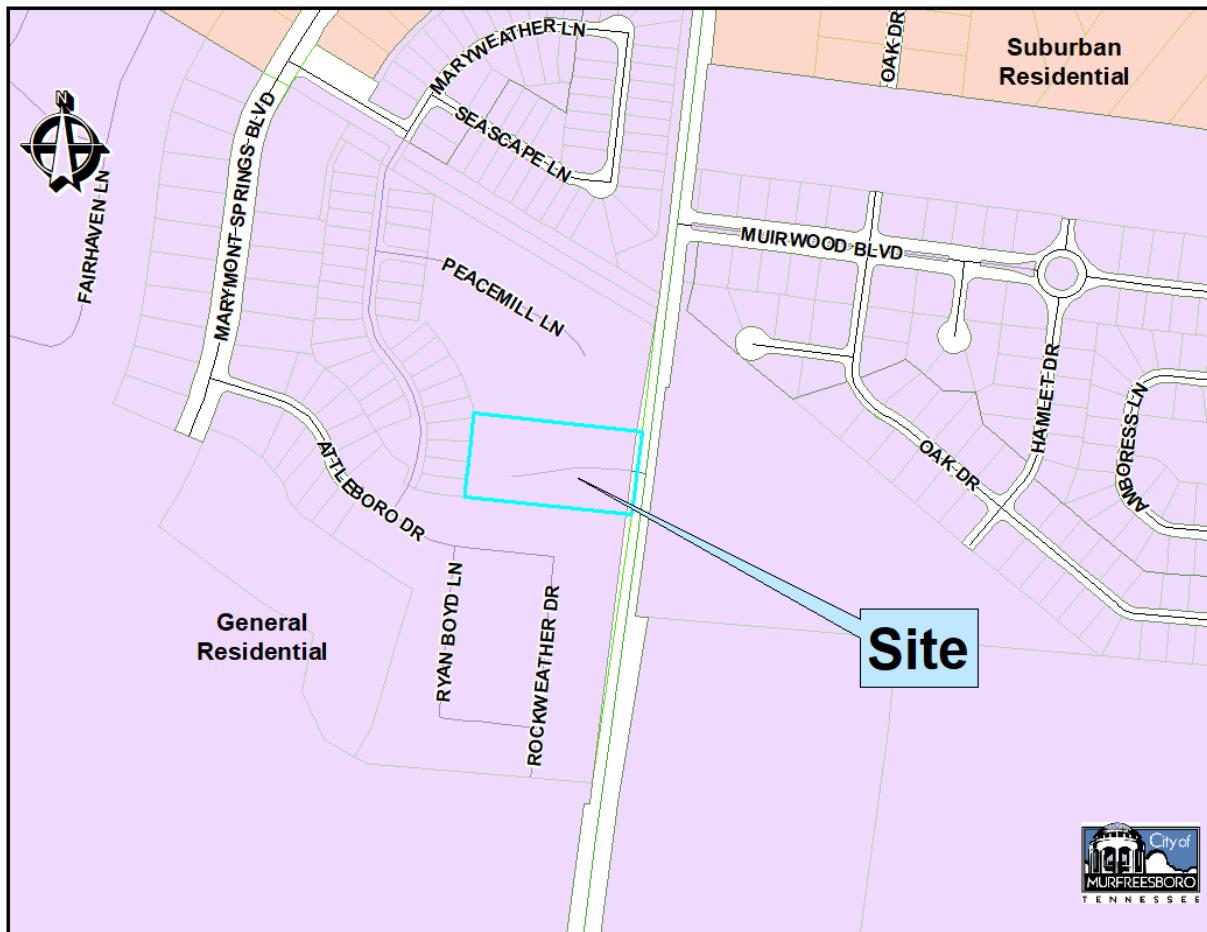
## Adjacent Zoning and Land Uses

The adjacent zoning is Marymont PUD to the north, south and west being developed with single family homes. On the east side is the Muirwood Subdivision located in the unincorporated portion of Rutherford County, developed with single family residences.

## Future Land Use Map

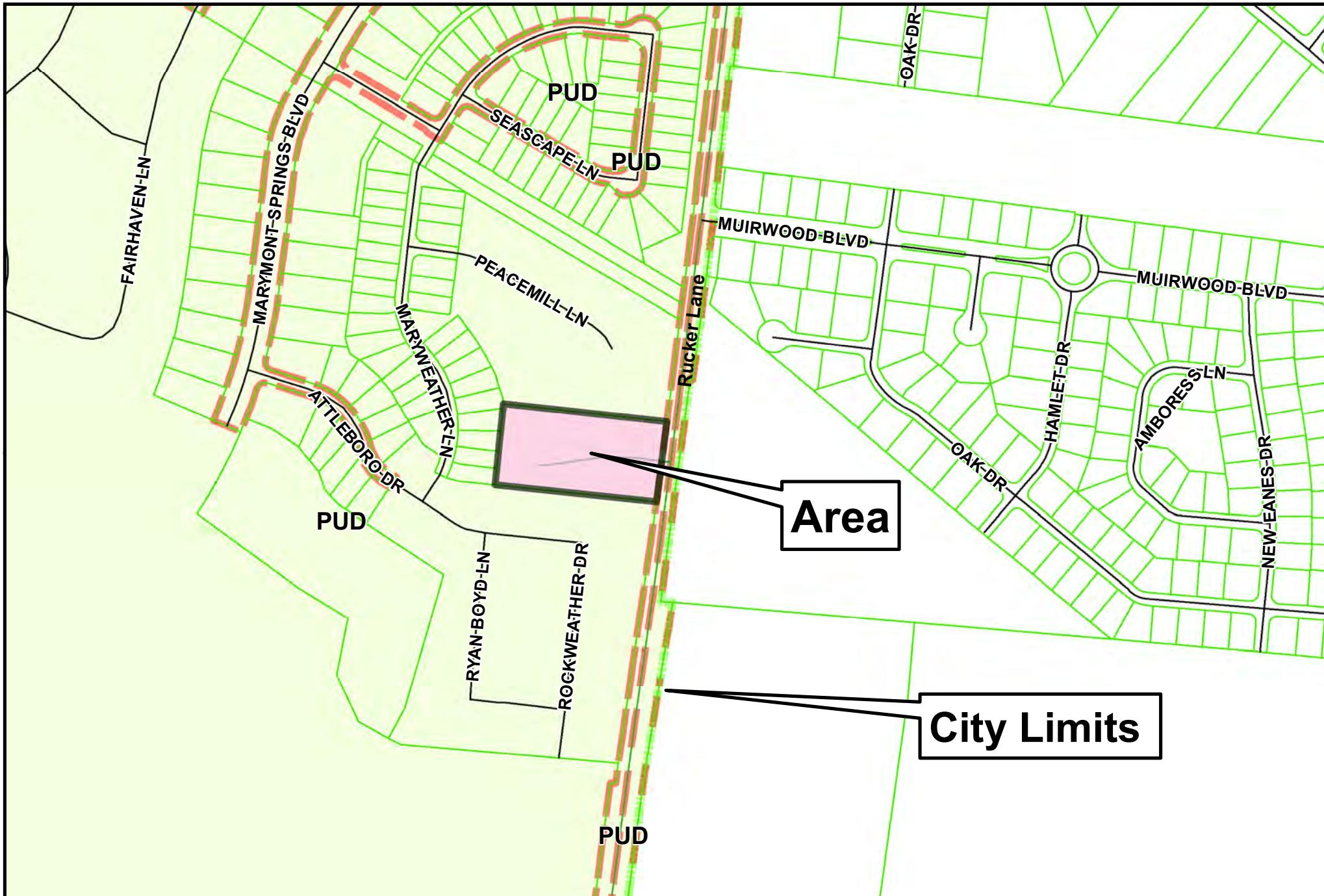
The future land use map of the *Murfreesboro 2035 Comprehensive Plan* indicates that Auto Urban Residential is the most appropriate land use for the project area. The proposed use is commercial and is not consistent with the residential land use designation. However, the 2013 Marymont PUD amendment that allowed commercial uses occurred prior to the adoption of the 2035 Comprehensive Plan. Staff recommends the land use designation for this property be amended to Neighborhood Commercial. The Planning Commission should discuss the proposed zoning with regards to the current land use designation and recommend changes to the future land use map if deemed appropriate, following consideration of the zoning request.

### Murfreesboro 2035 Future Land Use



## **Public Hearing**

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this zoning request and then formulate a recommendation for the City Council.



PUD Amendment Along Rucker Lane  
(Marymont Springs PUD – Black Crow Wine Bar)

0

500

1,000

2,000 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesboron.gov](http://www.murfreesboron.gov)



PUD Amendment Along Rucker Lane  
(Marymont Springs PUD – Black Crow Wine Bar)



0

500

1,000

2,000 Feet



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, Tennessee 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## JUNE 5, 2019

### MEMBERS PRESENT

Kathy Jones, Chair  
Ken Halliburton, Vice Chair  
Eddie Smotherman  
Warren Russell  
Ronnie Martin  
Jennifer Garland  
Chase Salas

### STAFF PRESENT

Donald Anthony, Planning Director  
Matthew Blomeley, Assistant Director  
Margaret Ann Green, Principal Planner  
Amelia Kerr, Planner  
Sam Huddleston, Executive Dir. of Dev. Services  
Carolyn Jaco, Recording Assistant  
David Ives, Assistant City Attorney  
Austin Cooper, Planner  
Jafar Ware, Planner

Chair Kathy Jones called the meeting to order after determining there was a quorum. The minutes of the April 3, 2019, May 1, 2019 and May 15, 2019, Planning Commission meetings were approved as submitted.

Mr. David Ives began by making known the City Administration has requested for the Planning Commission to consider a Mandatory Referral regarding a Memorandum of Understanding (MOU). He explained, a proposal had been made by Rutherford County to lease City owned property at the intersection of Fortress Boulevard and Blaze Drive. The land being considered would be a 50-year lease with Rutherford County. The property consists of 17.6 acres on which Rutherford County proposes to construct a County Clerk Annex, and sublease space to the State of Tennessee, for a second Driver's License office. If approved, the lease would require the County's platting and building process, subject to all City Planning Department, Planning Commission and Codes provisions and approvals.

Mayor Bill Ketron was in attendance to represent the applicant.

**Mr. Ken Halliburton made a motion to approve the Mandatory Referral subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

### Old Business

**Annexation plan of services and annexation petition [2019-504] for approximately 3.1 acres located along Shelbyville Pike, Douglas Dales applicant.** Ms. Amelia Kerr summarized the staff report, which

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## JUNE 5, 2019

had been made available to the Planning Commission in their agenda packet. Ms. Kerr made known the annexation petition had been deferred during the May 1, 2019, Public Hearing due to concerns from the Murfreesboro Fire Department. Since then, the Fire Department has provided a letter stating they could provide fire protection to this property at the time of annexation. In addition, Ms. Kerr provided a corrected copy of the Taxes and Revenue sheet that would be included in the Plans of Services prior to this item being presented to City Council.

**Mr. Ronnie Martin made a motion to approve the annexation plan of services and annexation petition, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Zoning application [2019-411] for approximately 3.1 acres located along Shelbyville Pike to be zoned CH simultaneous with annexation, Five Star Joint Venture applicant.** Ms. Amelia Kerr summarized the staff report, which had been made available to the Planning Commission in their agenda packet. Ms. Kerr made known this item had been deferred during the May 1, 2019, Public Hearing due to concerns from the Murfreesboro Fire Department. Since then, the Fire Department has provided a letter stating they could provide fire protection to this property at the time of annexation.

**Mr. Chase Salas made a motion to approve the zoning request subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

### Public Hearings

**Zoning application [2019-413] for approximately 20.06 acres located east of New Salem Highway and south of Middle Tennessee Boulevard to be rezoned from H-I to L-I, Newton & James Molloy Families applicant.** Ms. Amelia Kerr summarized the staff report, which had been made available to the Planning Commission in their agenda packet. Ms. Kerr made known this request would be considered as down zoning. The applicant has provided a list of speculative uses for the LI zone request. In addition, this request would be consistent with proposed changes being made to the 2035 Comprehensive Plan future land use map that Staff would be presenting in the coming months.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the public hearing; therefore, Chair Kathy Jones closed the public hearing.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## JUNE 5, 2019

**Mr. Ken Halliburton made a motion to approve the zoning request subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Zoning application [2019-412] for approximately 13.04 acres located along New Salem Highway to be rezoned from OG and RM-16 to RS-A (Type 2) and approximately 1.95 acres to be rezoned from RS-15 to RS-6, Tim McClure applicant.** Ms. Amelia Kerr summarized the staff report, which had been made available to the Planning Commission in their agenda packet. Ms. Kerr explained that rezoning for this property had been passed on second and final reading at City Council on May 16, 2019. The applicant has submitted a new zoning request to address wetlands on the site. The changes being requested would not increase any number of units to be developed. Also, this request would be consistent with the proposed changes being made to the 2035 Comprehensive Plan future land use map that Staff would be presenting in the coming months.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning request; therefore, Chair Kathy Jones closed the public hearing.

**Mr. Warren Russell made a motion to approve subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Annexation Petition and Plan of Services [2019-505] for approximately 85 acres located along Lee Lane, James & Virginia Jernigan applicants.** Ms. Margaret Ann Green summarized the staff report, which had been made available to the Planning Commission in their agenda packet. Currently, this parcel is undeveloped and has been utilized for agricultural purposes. Included in the agenda packet is an Annexation Feasibility Study and Plan of Services for adoption if approved. This property is contiguous with current City limits and is located within the Urban Growth Boundary.

Chair Kathy Jones opened the public hearing.

- 1. Mr. Charles Blevens 1826 Tulip Hill Drive** - opposes the request due to the overwhelming concerns with the ongoing traffic conditions along Elam Road and Joe B. Jackson Parkway.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## JUNE 5, 2019

2. Mr. Bruce White 1819 Lee Lane – opposes the annexation request due to the zoning being considered as HI zone.
3. Mr. Mike Nnowles 359 Pleasant Run Road Smyrna - opposes the annexation request due to the zoning being considered as HI zone.
4. Mr. Eric Plough 2232 Elam Road – opposes the annexation request due to the zoning being considered as HI zone.
5. Ms. Mary Braschler 1830 Lee Lane – opposes the annexation request. Ms. Braschler requested that her neighborhood not be annexed into the City.
6. Ms. Dianne Parker 2101 Wimbledon Drive – opposes the annexation request. She asked the following questions to be answered:
  - a. Why did the Planning Commission go against expert advice from the Planning Department to zone the 233 acres and the joining 85 acres to HI zone instead of a PID zone?
  - b. Why did the applicant not conduct a courtesy community meeting about this proposal that would have a major impact to their neighborhood before this request was presented to the Planning Commission? For example, Sazerac, had conducted a neighborhood meeting before their public hearing.
  - c. Why the rush to annex this property?

Ms. Parker came forward and distributed a letter to the Planning Commission from her neighbor Mr. Greg Lyon 2101 Wimbledon Drive, who opposes the annexation due to the zoning being considered as HI zone.

7. Mr. Christopher Brown 2004 Crossfield Drive – opposes the annexation request due to the zoning being considered as HI zone. In addition, he has concerns with traffic, and tractor trailer traffic carrying materials along Lee Lane and Elam Road. If approved, it would allow a gross impact in a negative way to the quality of life for the residents who live in this area.

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8. **Mr. James Jernigan 214 2<sup>nd</sup> Avenue** – supports the request. Mr. Jernigan made known he was not the only heir whom owns this property. He has been approached several times to sell the property, and he is ready to sell to benefit the workers in Rutherford County.
9. **Ms. Melinda Brown 2004 Crossfield Drive** – opposes the annexation request due to the zoning being considered as HI zone. She has concerns with the impact of HI due to the pressures being made to their community with the increase of industrial traffic.
10. **Ms. Jo Ann Plough 2232 Elam Road** – opposes the annexation request. She made known she was in fear with this annexation due to their homes being annexed in the future. The County residents have no rights with this request and if approved it would only benefit the City. The traffic issues along Elam Road need to be addressed.
11. **Ms. Julie Jernigan** – made known she was a distant heir to the property that was being considered. She is in favor of the annexation request. Her father is not the sole heir of this property. The family heirs have been approached multiple times over the years to sell the property. They deserve the right to sell this property and to decide what they can do with their land.

Chair Kathy Jones closed the public hearing.

Ms. Green began to address the questions with the following:

- If this property was annexed into the City without a companion zoning application, it would have an interim RS-15 zone.
- The City would not annex any neighboring property owners without property owners submitting a petition for annexation.
- Public hearing notifications had been placed in the newspaper, and mailouts were sent to residents whom are 250-feet from the property. Also, signs were placed on the property which makes known a request had been made for annexation and zoning requests.

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- The Major Transportation Plan (MTP) plans to improve Elam Road and a future cross connection on Rutherford Boulevard and Manchester Highway. Funding would have to be provided by the City Council before any road improvements.
- A community meeting had been conducted for Sazerac due to a specific user for a PID. This annexation request being considered is speculative zoning with an anticipated use.
- The proposed application is not being rushed any faster than other application standards. The Planning Department has a formalized submittal process and notification process, and this application has met all requirements for City Council to consider for adoption. In addition, this application would have a second public hearing for the public to speak at City Council.

Mr. Sam Huddleston came forward to make known road improvements were needed for this area between Manchester Highway and Rutherford Boulevard and at Elam Road and Joe B Jackson Parkway. The City could benefit from Tennessee Department of Transportation (TDOT) plans to signalize the Joe B. Jackson Parkway and Interstate 40 interchange. Elam Road and Manchester Highway could benefit from improvements along Rutherford Boulevard. At this time, there are no specific dates for road improvements to the area. City Staff is pursing these projects with TDOT. There is a lot of undeveloped land in these areas and any development that would occur on this property would trigger additional needs to address traffic.

Mr. Ronnie Martin asked, on the 2040 Major Transportation Plan, was this area being shown as a mid-term road improvement. With a zoning change to HI would this change the mid-term improvements to short-term improvements? Mr. Sam Huddleston explained, the infrastructure should progress with development. The Capital Improvement Plan (CIP) is short term being up to 5 years that would start when a project is recommended by Staff for significant road improvements within an area.

Mr. Warren Russell wanted to know if there would be any changes made to Lee Lane with this proposal. Mr. Huddleston made known the MTP addresses only major routes. Any improvements to Lee Lane would be with any future community needs.

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Mr. Ronnie Martin made a motion to approve the Annexation Petition and Plan of Services, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.

Zoning application [2019-411] for approximately 85 acres located along Lee Lane to be zoned H-I simultaneous with annexation, Brian Berryman applicant. Ms. Margaret Ann Green summarized the staff report, which had been made available to the Planning Commission in their agenda packet. Ms. Green made known that a chart of uses had been included in the agenda packet to show the types of uses that would be permitted if approved as a HI zone.

Mr. Rob Molchan, Mr. John Harney and Mr. Jeff Reid were in attendance to represent the applicant. Mr. Rob Molchan came forward and distributed an addendum map which shows modifications to the property. Mr. Molchan began a power point presentation from the applicant's submittal. He explained the property towards the east would remain as an RS-15 zone with a width of 40 feet. Behind the RS-15 zone would be an additional 20-feet, with a Type E landscaping buffer. The changes would be a total of 60-foot barrier buffer between the HI property and the County residential area towards the east. The applicant is proposing a corporate campus for office jobs, and industrial jobs. Continuing, Mr. Molchan made known there would be uses restricted on the plat and uses restricted by covenants. Lastly, he explained the main access point would be onto South Rutherford Boulevard, and the site would have access to a CSX rail spur. Traffic studies would be provided during the applicant's site plan submittal and master plan submittal.

Chair Kathy Jones opened the public hearing.

1. Mr. Don Bolton 2003 Tulip Hill Drive – opposes the zoning request due to the increase in traffic and noise. He requested for a traffic signal be placed at Elam Road.
2. Mr. Robert Peay 4047 Bivens Hill Road – requested for the Planning Commission to accommodate the residents by addressing the noise pollution and traffic problems, and not to allow thru traffic within the residential areas.
3. Ms. Dianne Parker 2101 Wimbledon Drive – opposes the request. If the zoning is approved she requested for the buffer to be increased. Again, why is the HI request being considered when

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the Planning Department Staff had requested for a PID zone. What type of businesses are going to be allowed behind their homes? She requested no through traffic be permitted in their residential area, and for the road infrastructure with signals be in place before a business is complete.

4. **Mr. Bruce White 1819 Lee Lane** – came forward and distributed a handout which detailed the applicant's property line being 10-feet from his driveway, 5-feet from his garage, and 40-feet from his home. He made known he opposes the HI zoning request. However, if approved, he requested for the following to be included:
  - 100-foot setback between his property and the Jernigan property.
  - A 10 or 12-foot concrete wall be placed between his property and the Jernigan Property towards the emergency access off of Lee Lane.
  - A 25-foot evergreen buffer in front of the concrete wall and a five-foot fence between his property and the Jernigan property towards the emergency access off of Lee Lane.
5. **Ms. Ms. Melinda Brown 2004 Crossfield Drive** – opposes the HI zoning request. She requested no traffic access be permitted from the applicant's property to Tulip Hill Drive and Lee Lane. In addition, she requested for additional information be provided to address the traffic, noise, light nuisance and what type chemicals the businesses would be using at a nearby natural wetland area.
6. **Ms. Jo Ann Plough 2232 Elam Road** – opposes the HI zoning request. If approved she requested for the property to be a less invasive zone and the applicant provide a 200-foot buffer between the applicant's property and the residential neighborhood. She requested for the residents to have a voice in the hours of operation such as the noise and the hours of tractor trailer traffic. The infrastructure should be in place before any businesses is completed.
7. **Mr. Christopher Brown 2004 Crossfield Drive** – opposes the HI zone. He requested for a less invasive zone such as LI or commercial. In addition, he requested, no thru traffic be permitted onto Lee Lane and Tulip Hill Road.
8. **Mr. Bricke Murfree 1011 Glasgow Drive** – stated this is a rare opportunity for the applicant and he is in favor of this zone.

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9. Mr. Eric Plough 2232 Elam Road – opposes the HI zoning request. He requested for the property be a less invasive zone.

10. Mr. Mike Nnowles 359 Pleasant Run Road Smyrna – opposes the HI zoning request. The County residents are not being properly represented by the City.

11. Ms. Lisa Holly 1819 Lee Lane – opposes the HI zoning request. She requested for the same request that had been made by Mr. Bruce White being the following:

- 100-foot setback between his property and the Jernigan property.
- A 10-12-foot concrete wall between his property and the Jernigan Property towards the emergency access off of Lee Lane.
- A 25-foot evergreen buffer in front of the concrete wall and a five-foot fence at the property line between his property and the Jernigan property towards the emergency access off of Lee Lane.

12. Mr. John Harney 6748 Gum Road – stated he was representing the applicant and the Jernigan family. He distributed copies to the Planning Commission of an email response from Rutherford County Road Superintendent, Mr. Greg Brooks. The email states that Rutherford County would approve signage at Lee Lane and Elam Road that would state no thru truck traffic or construction traffic permitted at this location. The applicant's property would not have access to Lee Lane or Tulip Hill Drive. The outlet for traffic would be onto Rutherford Boulevard. The applicant is proposing a corporate campus which would require a traffic study, and the property would have to comply with the City noise and light pollution ordinance.

Chair Kathy Jones closed the public hearing.

Ms. Margaret Ann Green stated the applicant has requested for a HI zone which is a bulk zone. There are no specific conditions being placed on this zone. The Planning Commission can deny this request, approve, or recommend another type of zoning.

Mr. Donald Anthony addressed the Restrictive Covenants by making known these are agreements being made by the property owners. The covenants would be enforceable by the property owners; they are not

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enforceable by the City. However, due to the sensitivity of this site, Staff has made a recommendation for conditional zoning. For this site, it has been warranted for this project by Staff to have a conditional zoning upon the applicant to record a plat which would list out all restricted uses. This would allow the City to be a signatory onto the restrictions with the plat. Chair Ms. Jones wanted to clarify the same conditional zoning would be placed on the recorded plat for the 233 acres. Ms. Anthony answered yes, the staff report has included the restrictive uses to be placed on the recorded plat.

Mr. Eddie Smotherman commented, distance is a good buffer and he requested for the applicant to agree to a 6-foot berm with 6-foot evergreens around the Jernigan property. In addition, he requested that an emergency access gate be installed on the property at Lee Lane for emergency access only. Mr. John Harney came forward stating they would agree to the berm request when a site plan was submitted on the Jernigan property and they would install an emergency access gate at Lee Lane. To address wetlands, the applicant would have to comply with all State regulations during site plan approval.

Mr. Ronnie Martin commented the City and Rutherford County have an ongoing partnership. The County residents attending this meeting are not City residents, but, this request matters for all County residents as a whole because we all are a community. Continuing, Mr. Martin wanted to know if there were other CSX rail spur sites in Murfreesboro. Mr. Anthony answered that he knew of only one other CSX rail spur, located at the GE property. Mr. Martin said that for this reason, reducing the request to a lesser zone would not work for the applicant. The reason for the HI zone is to allow the applicant to have the ability to work with lumber and steel on the property. Lastly, Mr. Martin asked the Planning Staff if there were any issues with the requested bulk zone. Mr. Donald Anthony stated, Staff had made a recommendation in March 2019. Since then, moving forward, Staff has added things that would work, and they are comfortable adding the restrictions on the plat.

**Mr. Ronnie Martin made a motion to approve the HI zone subject to excluding the 40-foot wide property along the eastern and northern property line and the 40-foot wide property entering into the City to be zoned as RS-15, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

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### Staff Reports and Other Business

#### Zoning application [2019-415] for 2,348 lots (approximately 920 acres), as shown on accompanying map, to be rezoned City Core Overlay (CCO), Murfreesboro Planning Department applicant 7.

Mr. Donald Anthony summarized the staff report, which had been made available to the Planning Commission in their agenda packet. This request is to schedule a public hearing for a Zoning Map amendment for expansion of the City Core Overlay district.

**Mr. Eddie Smotherman made a motion to schedule a public hearing on July 10, 2019, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.**

### Other Business

Mr. David Ives made a recommendation to the Planning Commission to consider approving a Mandatory Referral regarding an acquisition being made by the City for an Access Easement across a vacant lot in the Southern Meadows subdivision. The vacant lot is owned by the Southern Meadows HOA, and it cannot be built on due to a TVA easement and power pole. If approved, the City would construct a sidewalk towards a walking path around Salem Elementary School.

**Mr. Warren Russell made a motion to approve subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

There being no further business the meeting adjourned at 8:45 p.m.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION JUNE 5, 2019**

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Chairman

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Secretary

DA: cj

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JUNE 19, 2019

1:00 P.M.

CITY HALL

## Members Present

Kathy Jones, Chair  
Ken Halliburton, Vice Chair  
Eddie Smotherman  
Warren Russell  
Ronnie Martin  
Chase Salas

## Staff Present

Donald Anthony, Planning Director  
Matthew Blomeley, Assist. Planning Director  
Margaret Ann Green, Principal Planner  
Dianna Tomlin, Principal Planner  
Marina Rush, Principal Planner  
Amelia Kerr, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, Assistant City Attorney  
Katie Noel, Project Engineer  
Matt Fasig, Traffic Engineer  
Brad Barbee, Landscape Site Plan Inspector  
Austin Cooper, Planner

Chair Kathy Jones called the meeting to order after determining there was a quorum.

## Consent Agenda

Chair Kathy Jones read the following items to be considered for approval.

**The Maples, Section 5 [2019-1017]** preliminary plat for 44 lots on 16.77 acres zoned RS-12 located along Merryman Lane, Maples Family General Partnership developer.

**Tippmann Realty Partners Interstate Warehousing [2019-2029]** final plat for 1 lots on 65.73 acres zoned L-I located along Joe B Jackson Parkway, Tippmann Realty Partners, LLP developer.

**Victory Station Apartments, Lot 1 [2019-2030]** final plat for 1 lot on 12.18 acres zoned PUD located along Fortress Boulevard, Swanson Development LP, developer.

**Evergreen Farms, Resubdivision of Lot 1002 [2019-2027]** final plat for 2 lots on 3.57 acres zoned PUD located along Saint Andrews Drive and Cason Trail, R&R Partnership, developer.

**Mr. Ronnie Martin made a motion to approve the consent agenda, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

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## Gateway Design Overlay

**Robert Rose Village East Lot 3- Pinnacle Bank [2019-3062 & 2019-6006] initial design review for 5,630 ft2 bank on 1.8 acres zoned MU & GDO-1 located along Medical Center Parkway and Livy Dearing Place, Pinnacle Bank developer.** Before the discussion began, Chair Kathy Jones and Mr. Ken Halliburton announced they would be abstaining from all discussion and votes for this application.

Ms. Margaret Ann Green began by describing the initial design review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Manly Thweat and Mr. Neil Parrish were present to represent the applicant. Mr. Manly Thweat came forward to explain the civil design regarding the location of the ATM, the circulation for the site and the right in/right out access drive onto Medical Center Parkway. Mr. Neil Parrish came forward to explain the material and made known there would not be any EIFS material on the building. The proposed drive thru would be located at the back of the building with landscaping, so the area would not be visible from the roadway.

The Planning Commission agreed it was a very attractive building; however, the applicant should include a brick base to their building.

**Mr. Eddie Smotherman made a motion to approve subject to the following:**

- **Amend the Master Plan to allow a right in/right out access drive onto Medical Center Parkway with proper signage and striping;**
- **Add a 24-inch brick base around the entire building;**

**and all other staff comments, seconded by Mr. Chase Salas. There were two abstentions made from Chair Kathy Jones and Mr. Ken Halliburton. The motion passed.**

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## Plats and Plans

### Westlawn Pavilion [2019-3072] site plan for 77,387 ft2 Regional Shopping Center on 23.9 acres zoned PUD located along Veterans Parkway, Westlawn Boulevard and Shores Road, MAB

American Management, LLC developer. Ms. Margaret Ann Green began by describing the site plan from the staff report, which had been provided to the Planning Commission in the agenda packet. This site plan had been designed from the Gateway Design Overlay standards which had been approved with their zoning request. Continuing, Ms. Green made known there were several outstanding comments for this proposal and the applicant has agreed to continue working with staff to address all staff comments.

Mr. Wes Magill and Mr. Jeffrey Stahl were in attendance to represent the applicant. Mr. Magill agreed to continue working with staff to address all comments. In addition, Mr. Magill explained there would be two signalized access points with Veterans Parkway, Westlawn Boulevard and Shores Road. Signalization would be constructed with this development. Mr. Jeffrey Stahl explained the material board elevations for the development and the outparcels which addressed the four-sided buildings.

The Planning Commission agreed it was a good design; however, they requested for the white EIFS material be changed to a different color for this development. Mr. Magill agreed he would work with staff to change the white color material.

**Mr. Chase Salas made a motion to approve subject to the applicant continue working with staff in changing the white material color on the building and all other staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

Westlawn Commercial, Section 1 [2019-1020] master plan and preliminary plat for 4 lots on 20.74 acres zoned PUD located along Veterans Parkway and Shores Road, Parks-Harney Holdings, GP developer. Mr. Matthew Blomeley began by describing the master plan and preliminary plat from the staff report, which had been provided to the Planning Commission in the agenda packet. Mr. Blomeley stated the uses for this site would comply with their approved zoning and their forty-foot landscaping buffer along Shores Road.

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The Planning Commission discussed the development being close to I-840 and having two different areas for traffic signalization. Mr. Matt Fasig assured the Planning Commission that the timing for all the traffic signals would be adjusted to function properly along Veterans Parkway and Shores Road with this commercial development.

Mr. Matt Taylor and Mr. John Harney were in attendance to represent the applicant.

**Mr. Warren Russell made a motion to approve subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Westlawn Commercial, Section 1 [2019-2031] final plat for 4 lots on 20.74 acres zoned PUD located along Veterans Parkway and Shores Road, Parks- Harney Holdings, GP developer.** Mr. Matthew Blomeley began by describing the final plat from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Matt Taylor and Mr. John Harney were in attendance to represent the applicant.

**Mr. Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.**

**Salem Landing, Section 1 [2019-1018] master plan and preliminary plat for 103 lots on 26.58 acres zoned RS-6 and RM-16 located along New Salem Highway, Tim McClure, developer.** Mr. Matthew Blomeley began by describing the master plan and preliminary plat from the staff report, which had been provided to the Planning Commission in the agenda packet. He made known this proposed section would be near New Salem Highway. The development would include a mail kiosk with parking and a children's playground. Due to the large areas of wetlands on this property, Mr. Blomeley requested that additional walking trails be included in the future sections for this development.

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Mr. Matt Taylor and Mr. John Harney were in attendance to represent the applicant.

The Planning Commission began discussion their concerns with the size of development having a centralized kiosk with limited parking spaces. Mr. Warren Russell asked if there could be multiple kiosks within this development. Mr. Taylor answered it could be possible to add another kiosk with future development. The Planning Commission expressed their concerns with the amount of traffic being at the mail kiosk and asked for it to be relocated. Mr. Taylor stated he would revise the plans by switching the location of the mail kiosk with the playground open space. This would improve access with traffic and parking at the mail kiosk.

**Mr. Ken Halliburton made a motion to approve the master plan and preliminary plat subject to changing the placement of the mail kiosk to a different location and all other staff comments, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.**

**Shalom Farms, Section 1 [2019-1019] master plan and preliminary plat for the extension of Barfield Road on property zoned CH and RM-16 located along New Salem Highway, World Outreach Church, developer.** Mr. Matthew Blomeley began by describing the master plan and preliminary plat from the staff report, which had been provided to the Planning Commission in the agenda packet. He explained the frontage for this property would create several Commercial Highway zoned parcels along New Salem Highway. The back of the property is zoned RM-16. The master plan provides access points along New Salem Highway. Any access onto New Salem Highway would be subject to Tennessee Department of Transportation approval. In addition, any changes being proposed at Cason Trail for a road connection in the area zoned RS-10 would require a revised Master Plan with future development. In addition, the southwest corner of the property would be resub-divided to prevent an illegal lot of record.

Mr. Matt Taylor and Mr. John Harney were in attendance to represent the applicant. Mr. Matt Taylor made known there were no immediate plans for the RS-10 portion property becoming an extension of public roadway. However, there is an intent for this area to become a public road.

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**Mr. Eddie Smotherman made a motion to approve the master plan and preliminary plat subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Cawthon Subdivision [2019-1016] master plan and preliminary plat for 10 lots on 3.6 acres zoned RS-10 located along Oakhaven Drive, Glenn Cawthon developer.** Mr. Matthew Blomeley began by describing the master plan and preliminary plat from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Will Duke and Mr. Larry Sims were in attendance to represent the applicant. Mr. Larry Sims made known there was one existing brick home on the property, which could possibly be moved onto one of the future lots. Mr. Blomeley commented that would be addressed when a decision has been made on whether to keep or demolish the house.

**Mr. Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

**Oakwood Village Townhomes [2019-3054] amended site plan for 85 single-family attached residential dwelling units on 8.16 acres zoned RM-16 located along Hazelwood Street and Old Lascassas Road, Oakland Properties developer.** Ms. Amelia Kerr began by describing the amended site plan from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr made known the applicant is requesting to make changes to the currently approved plans by allowing front entry garages and eliminating the rear drive. The new design would occur in two phases with each phase having its own parking spaces, formal open space and solid waste. A letter from the applicant has been submitted to make known she would be willing to work with staff to address all comments.

Mr. Will Duke and Mr. Mike Perry were in attendance to represent the applicant.

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**Mr. Eddie Smotherman made a motion to approve subject to the applicant agree to continue working with the Planning Staff subject to all design guidelines and zoning ordinance criteria for this site plan, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

## New Business

**Zoning application [2019-416] to amend the Asbury Lane PRD to increase the number of single-family, attached units on approximately 74.5 acres located along Asbury Lane, Beazer Homes applicant.** Ms. Margaret Ann Green began by describing the zoning application to amend the Asbury Lane PRD from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Green made known staff had requested for a trash compactor to be provided due to the increase of units with this proposal.

Mr. Kyle Griffin and Mr. Matt Williams were in attendance to represent the applicant. Mr. Matt Williams explained that the amendment was due to the changes in the housing market. If this request is approved, it would provide a lower price point of housing for a townhome. This type of housing market would be for the consumers who want to live nearby Medical Center Parkway. He requested for dumpsters to be allowed with the increase of units for this development.

The Planning Commission agreed a compactor should be included due to the applicant increasing the number of townhomes totaling 101 units for this development. Mr. Williams agreed to work with staff regarding adding a compactor.

**Mr. Ken Halliburton made a motion to schedule a public hearing on July 10, 2019, subject to adding a compactor, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Zoning application [2019-417] for approximately 2.2 acres located along Manson Pike to be rezoned from RM-16 and GDO-1 to CF and GDO-1, Egbert Rebeiro applicant.** Ms. Margaret Ann

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Green began by describing the zoning application from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Green made known this proposal is considered as a speculative zoning change request.

Mr. Clyde Rountree and Mr. Larry Sims were in attendance to represent the applicant.

**Mr. Ronnie Martin made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Hen Halliburton. The motion carried by unanimous vote in favor.**

**Zoning application [2017-439] for approximately 2.5 acres located along West Northfield Boulevard and Sulphur Springs Road to be rezoned from RS-10 to PCD (Sanders Corner PCD), Henry & Linda Brendle applicants.** Ms. Margaret Ann Green began describing the zoning application from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Clyde Rountree and Mr. Larry Sims were in attendance to represent the applicant. Mr. Rountree stated a neighborhood meeting had been scheduled for June 25, 2019. At this time there is not a user; however, the applicant has provided uses that would be permitted and uses which would not be permitted in the pattern book.

**Mr. Ken Halliburton made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Annexation Petition and Plan of Services [2019-506] for approximately 11 acres located along Florence Road, Saraswat Family Trust applicants.** Ms. Margaret Ann Green began by describing the annexation request from the staff report, which had been provided to the Planning Commission in the agenda packet. The property is located within the Urban Growth Boundary.

**Mr. Warren Russell made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

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**Zoning application [2019-420] for approximately 11 acres located along Florence Road and Pointer**

**Place to be zoned PRD simultaneous with annexation, Alcorn Properties LLC applicant.** Ms. Margaret Ann Green began by describing the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. This proposal is consistent with the current land use map.

Mr. Matt Taylor and Mr. David Alcorn were in attendance to represent the applicant. Mr. Taylor stated that due to the language in the Zoning Ordinance, he requested the applicant not be required to screen the proposed detention areas.

Mr. Ronnie Martin requested for staff to address and clarify the verbiage in the Zoning Ordinance regarding whether or not to screen around detention ponds.

**Mr. Eddie Smotherman made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Zoning application [2019-404] for approximately 1.2 acres located along Bridge Avenue and Power Avenue to be rezoned from RM-12 to PRD (Bridge Avenue Villas PRD), Mustafa Shaban applicant.** Ms. Dianna Tomlin began by describing the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. She stated this is considered as a revitalization effort with this proposal. In addition, the applicant is requesting a reduction in the setback along Power Avenue.

Mr. Clyde Rountree and Mr. Mustafa Shaban were in attendance to represent the applicant.

**Mr. Eddie Smotherman made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

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Zoning application [2019-418] for approximately 0.4 acres located along North Maple Street and West Lokey Avenue to be rezoned from RD to PRD (Maple Key Townhomes PRD), Buford Powell applicant. Ms. Dianna Tomlin began by describing the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Clyde Rountree was in attendance to represent the applicant.

The Planning Commission agreed on this request would work well for this area. Mr. Donald Anthony stated the applicant had provided exactly what the City Core Overlay has been aiming towards with their general layout, bulk, density and mass.

**Mr. Ken Halliburton made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

Zoning application [2019-419] for approximately 13.9 acres located along North Tennessee Boulevard to be rezoned from CF to PRD (Brookwood Point PRD), Ole South Properties, Inc. applicant. Ms. Amelia Kerr began by describing the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. She made known this request is not consistent with the 2035 Comprehensive Plan.

Mr. Matt Taylor and Mr. Dan Bobo were in attendance to represent the applicant. Mr. Taylor explained an endangered plant had been discovered on this property which changes the open space and detention area.

The Planning Commission requested for the applicant provide a statement to address lighting in the applicant's pattern book before the public hearing.

**Mr. Chase Salas made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JUNE 19, 2019

Zoning application [2019-409] for approximately 2.88 acres located along Rucker Lane to amend the Marymont Springs PUD to allow tavern use, Jeff and Sheris Brown applicants. Ms. Marina Rush began by describing the zoning request from the staff report, which had been provided in the agenda packet. She explained the request was for consideration of a wine bar. In addition, the applicant would like to construct an outdoor courtyard for acoustic instruments with operating hours as late as 11:00 PM. This request is not consistent with the 2035 Comprehensive Plan.

Mr. Clyde Rountree was in attendance to represent the applicant. Mr. Rountree explained a neighborhood meeting had been conducted on April 9, 2019, which had been well attended. The main concern from the neighbors had been noise. The applicant has agreed to provide restrictions regarding sound. He requested for the language “tavern” use from the Zoning Ordinance be changed to something else. He feels this is a terrible definition for an upscale wine bar.

The Planning Commission discussed the proposal and requested that the applicant’s pattern book be revised to address details such as outdoor lighting, sound, days and hours of operation, and outdoor courtyard with live music, etc.

**Mr. Chase Salas made a motion to schedule a public hearing on July 10, 2019, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION JUNE 19, 2019**

## **Staff Reports and Other Business**

There being no further business the meeting adjourned at 4:20 p.m.

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**Chair**

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**Secretary**

DA: cj