

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**January 9, 2019
6:00 PM**

**Bob Lamb
Chairman**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the December 19, 2018 Planning Commission meeting.**
- 4. Public Hearings:**
 - a. Annexation plan of services and annexation petition [2018-512] for approximately 1.8 acres located along Joe B Jackson Parkway and Annell Drive, Ginger McCreery applicant. (project planner: Dianna Tomlin)**
 - b. Annexation plan of services and annexation petition [2018-513] for approximately 21.16 acres located along Veterans Parkway, Fred Snell, Jr. applicant. (project planner: Marina Rush)**
 - c. Zoning application [2018-440] for approximately 19.94 acres to be zoned PUD simultaneous with annexation (The Cottages at Snell Grove PUD) located along Veterans Parkway, Greenland Partners, LLC developer. (project planner: Marina Rush)**
- 5. Staff Reports and Other Business:**
- 6. Adjourn.**

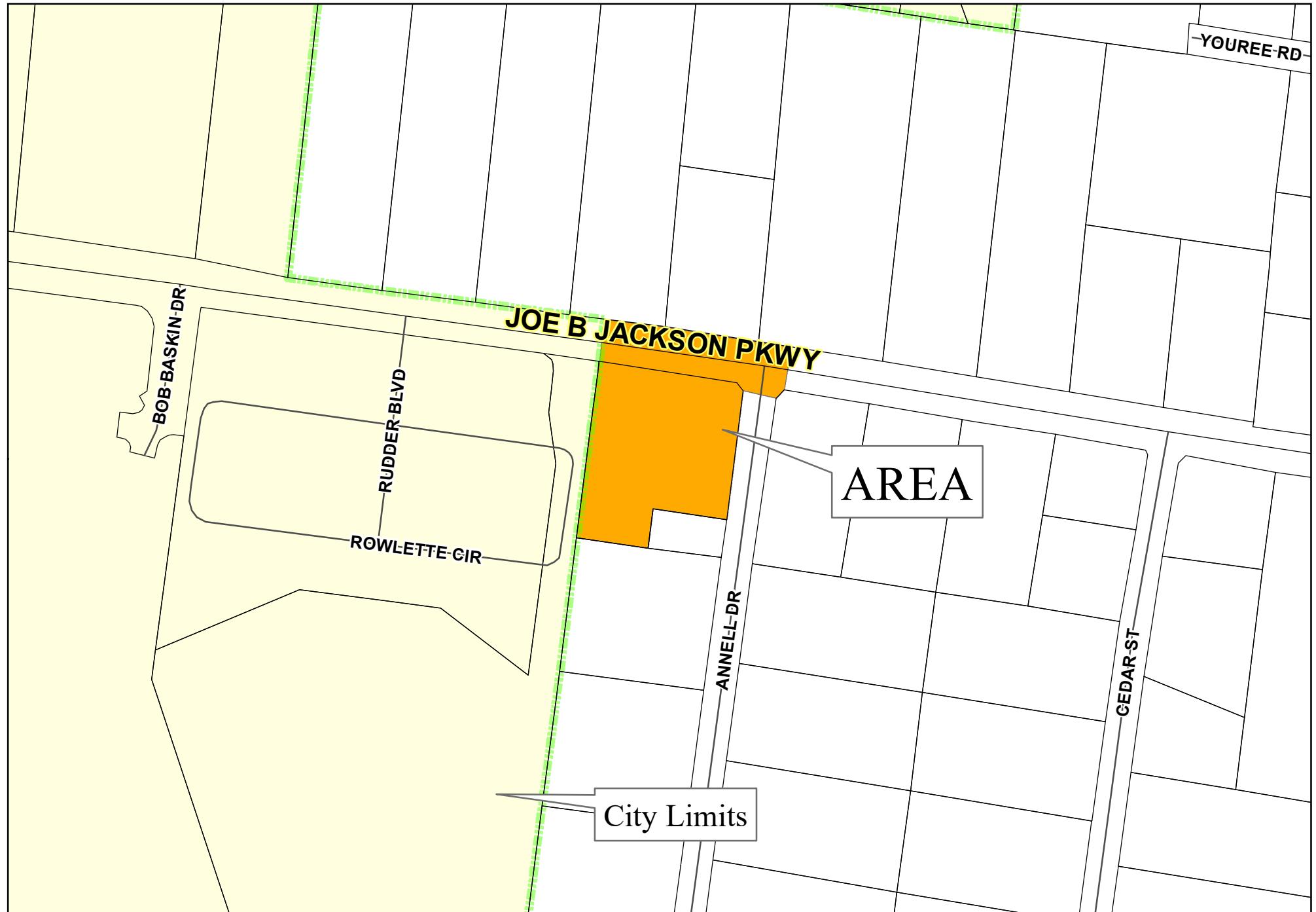
**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 9, 2019
PROJECT PLANNER: DIANNA TOMLIN**

4.a. Annexation plan of services and annexation petition [2018-512] for approximately 1.8 acres located along Joe B Jackson Parkway and Annell Drive, Ginger McCreery applicant.

The study area, which consists of a single parcel, is located south of Joe B Jackson Parkway. The subject parcel is 1.3 acres and contains a single-family home and several accessory structures. The study area also includes approximately 300 linear feet (0.5 acres) of Joe B Jackson Parkway right-of-way, bringing the total acreage to 1.8. The property owner has filed a written request to have the subject parcel annexed into the City Limits. The study area is located within the City's Urban Growth Boundary and is contiguous with the existing City limits on its western boundary.

Staff has prepared a plan of services for the study area and it is included in the agenda packet. It indicates that the City will be able to provide services to the study area upon annexation.

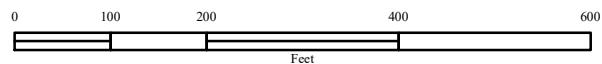
The Planning Commission will need to conduct a public hearing on this annexation petition and plan of services, after which it will need to discuss this matter and then formulate a recommendation for City Council. There is no accompanying rezoning application; therefore, the subject property will be zoned RS-15 (Single-Family Residential District 15), if annexed. The existing single-family residential use is permitted by right in the RS-15 zone.



Annexation Request for Property Along Joe B Jackson Parkway and Annell Drive



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GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG JOE B JACKSON PARKWAY
AND ANNELL DRIVE
INCLUDING PLAN OF SERVICES
(FILE 2018-512)**



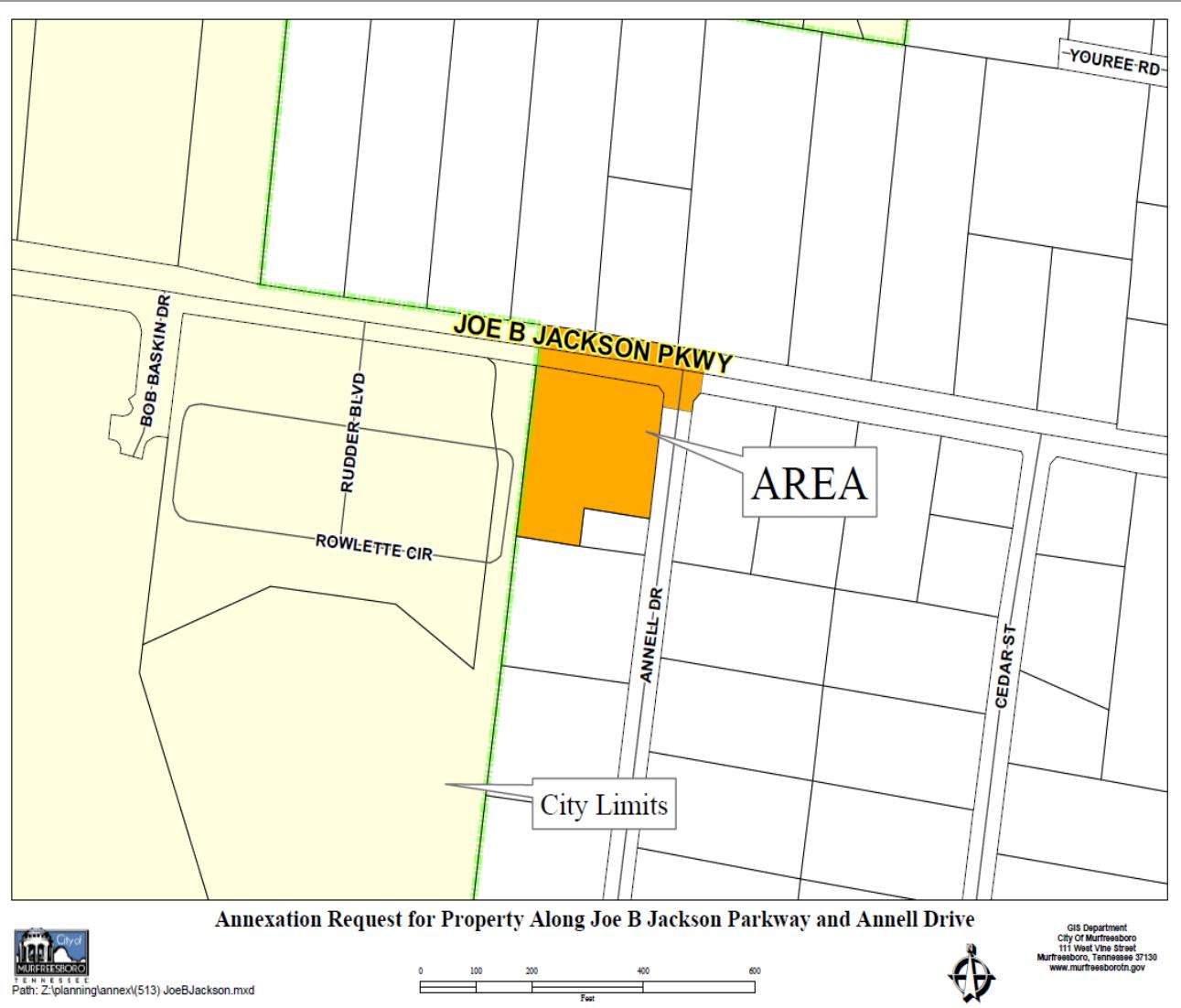
PREPARED FOR THE JANUARY 9, 2019 PLANNING COMMISSION MEETING

INTRODUCTION

OVERVIEW

The requested parcel is identified as 264 Joe B Jackson Parkway and is located at the southwest corner of Joe B Jackson Parkway and Annell Drive. It is developed with a single-family dwelling and several accessory structures. The requested parcel is also identified as Tax Map 136C, Group A, Parcel 00100 and consists of approximately 1.3 acres. Also included in the study area is approximately 300 linear feet (or approximately 0.5 acres) of Joe B Jackson Parkway right-of-way (ROW), bringing the total study area to approximately 1.8 acres.

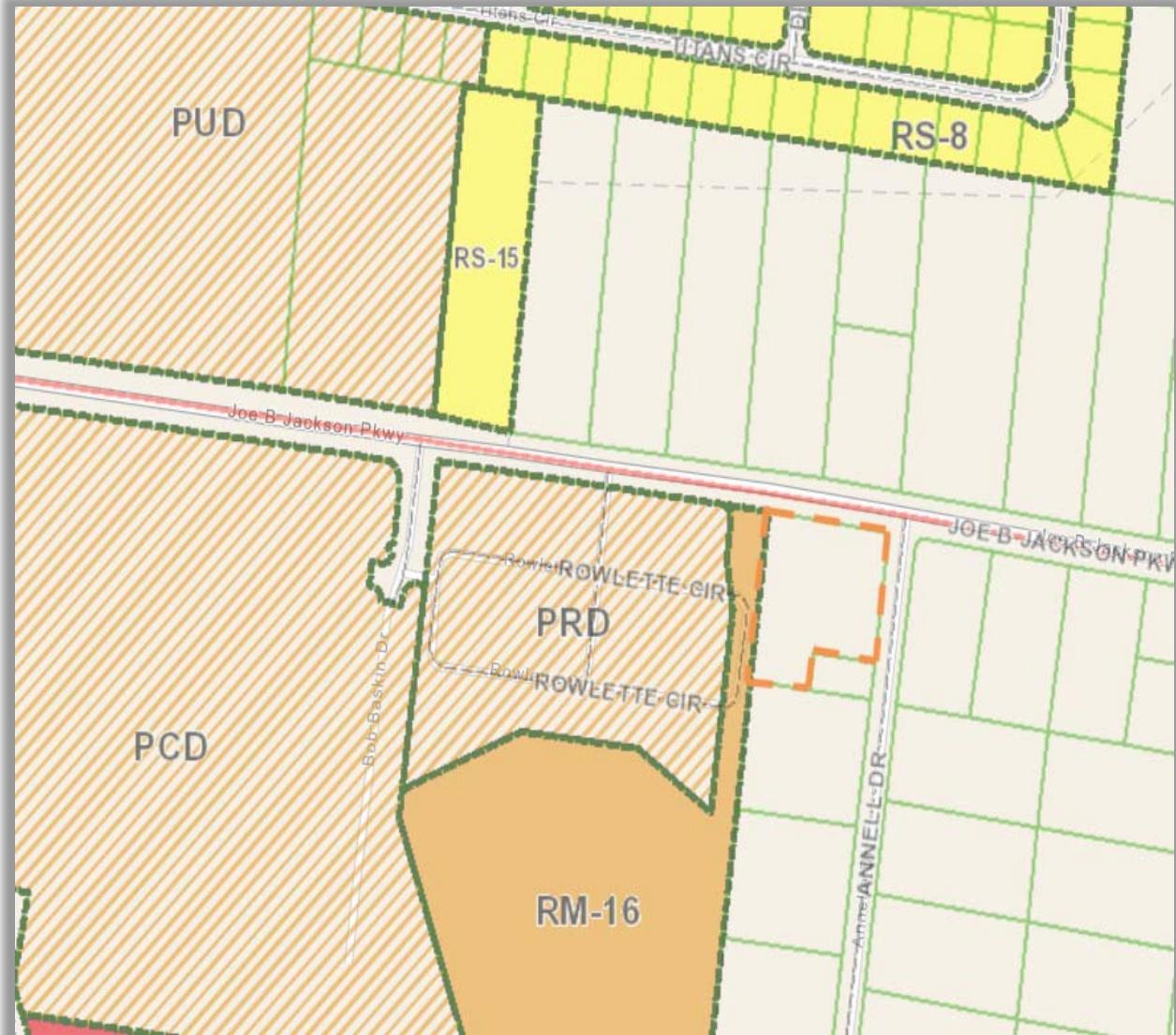
The study area lies within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the existing City limits on its west side.



CITY ZONING

The subject property is zoned Residential Medium-Density (RM) in unincorporated Rutherford County. This zone is similar to the City's RS-15 (Single-Family Residential District 15) zone. There is no accompanying zoning request with the annexation; therefore, the property would be given an interim zoning classification of RS-15, if annexed.

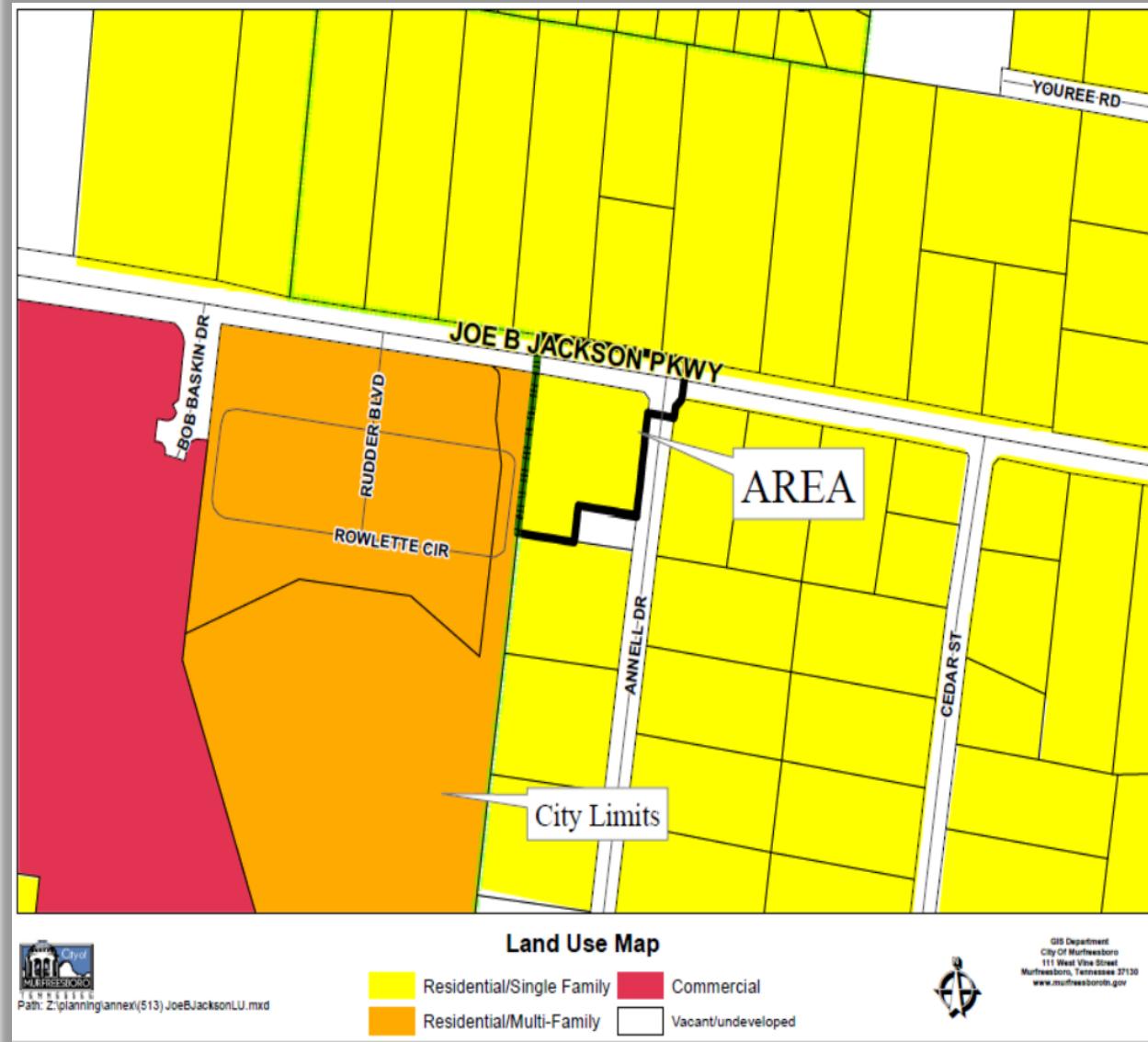
The nearest City incorporated properties are directly adjacent to the west. The study area abuts RM-16 (Multi-Family Residential District) and PRD (Planned Residential District) zoning to the west. It abuts single-family residential zoning and uses in the unincorporated County to the north, east and south.



PRESENT AND SURROUNDING LAND USE

The study area contains a single-family dwelling. Surrounding land uses include:

- Single-family residential, shown in yellow,
- Vacant/Undeveloped, unshaded.
- Residential multi-family or single-family attached, shown in orange.
- Commercial, shown in red.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2019 will be due on December 31, 2020. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9494/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

***Table I
Estimated Taxes from Site***

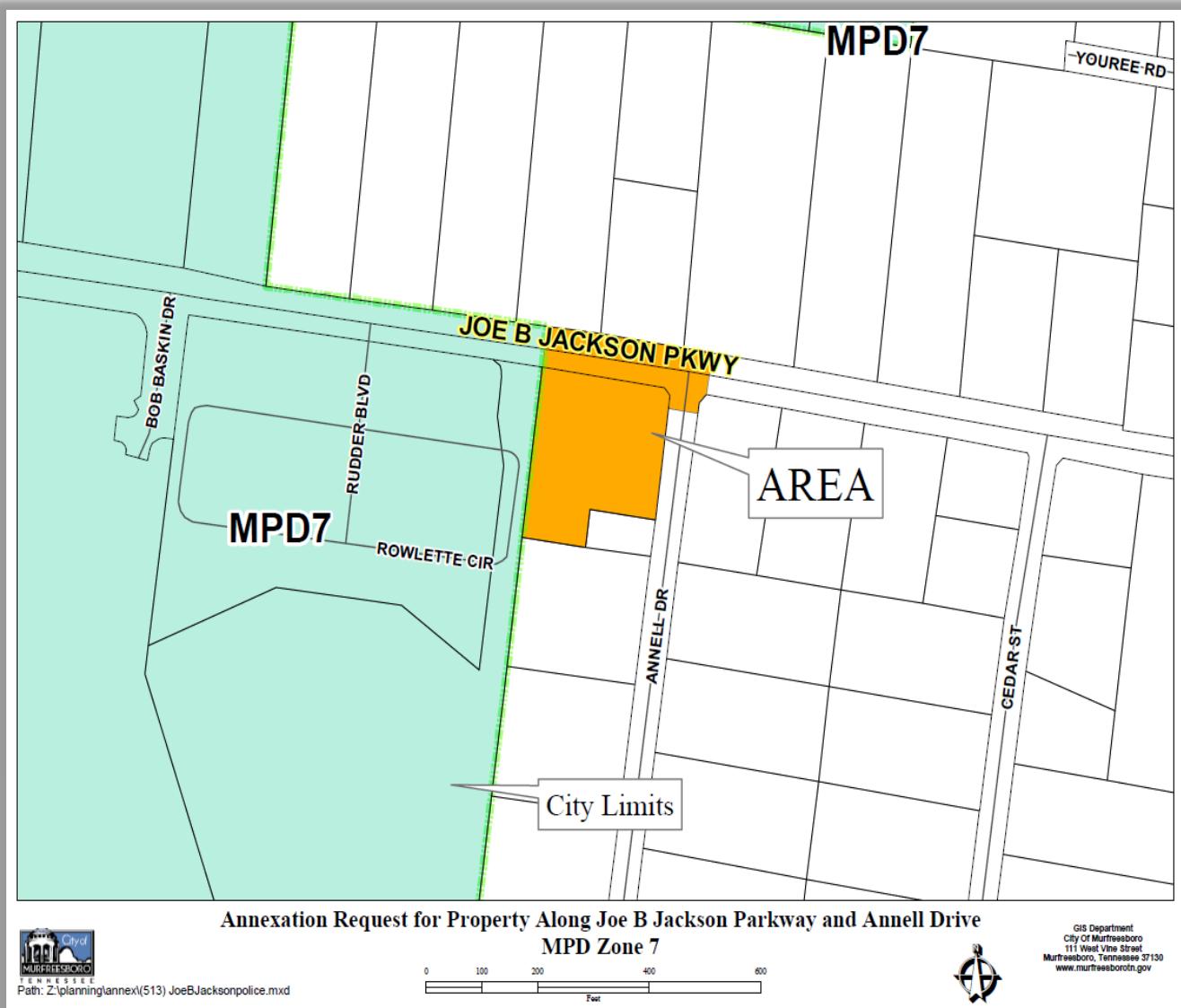
Owner of Record	Parcel ID	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Ginger McCreery	136C A 00100	1.4	\$34,500	\$162,600	\$49,275	\$467.81

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department (MPD) will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the study area immediately upon the effective date of annexation.

This annexation will have no negative impact on MPD. MPD can provide police services to the property as it currently exists with no additional fiscal impact. This property is located in Police Zone #7.



STREETS AND ACCESS

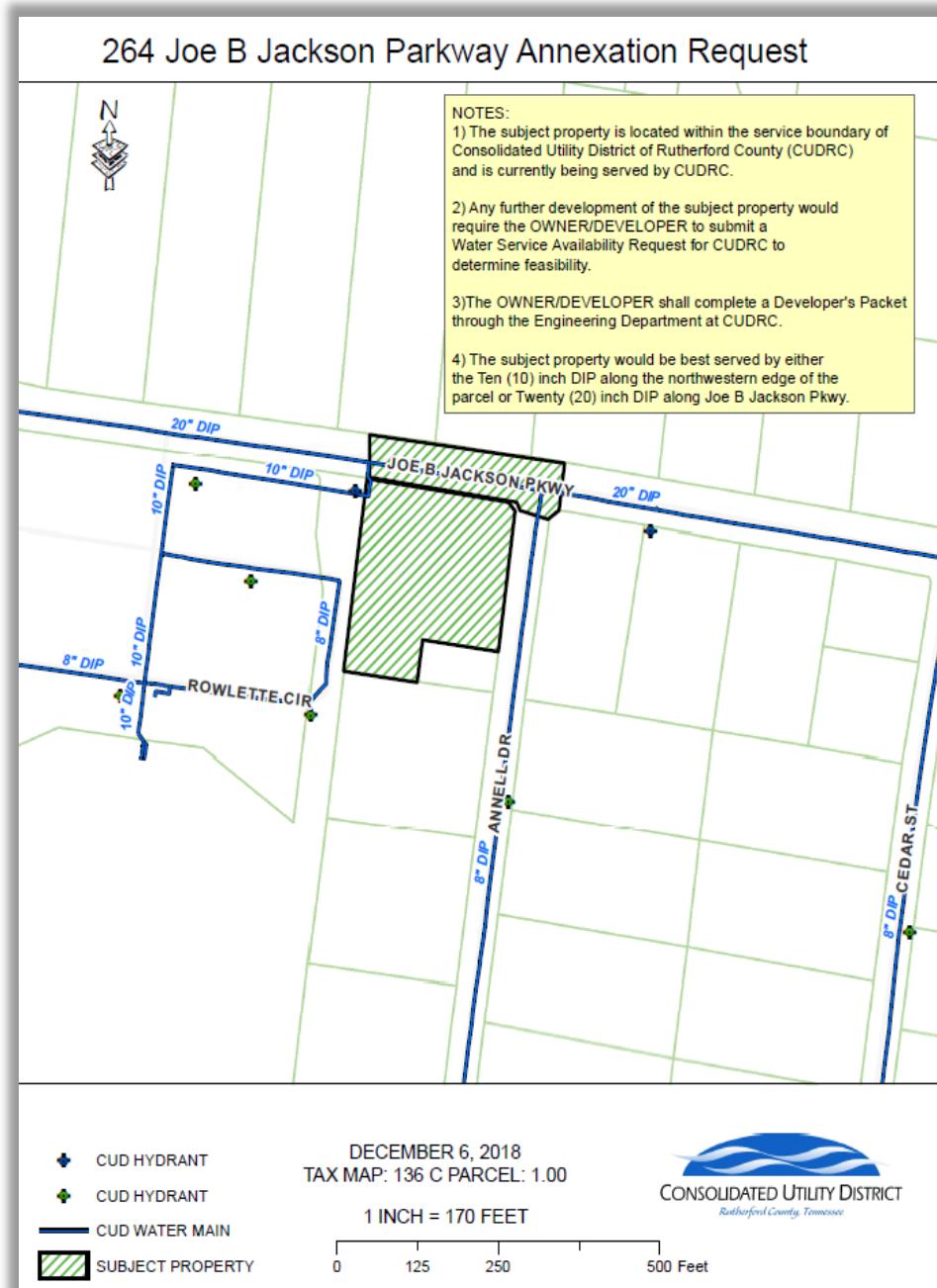
The study area includes approximately 300 linear feet of Joe B Jackson Parkway ROW. Joe B Jackson Parkway is a 3-lane curb and gutter section within the study area. The City is already responsible for the operation and maintenance of this street and there will be no additional services required from the City Public Works Division, nor will there be any additional expenses. Any new connections to the roadway must be approved by the City Engineer.

REGIONAL TRAFFIC & TRANSPORTATION

The 2014 Level of Service Model in the 2040 Major Transportation Plan shows Joe B Jackson Parkway to be operating at a Level of Service A in the study area using average daily traffic (ADT) counts. The 2040 Level of Service Model indicates that Joe B Jackson Parkway falls to Level of Service of C without the proposed improvements recommended in the 2040 Plan.

WATER SERVICE

The study area is located within the service boundary of Consolidated Utility District of Rutherford County (CUD) and is currently being served by CUD. Any further development of the subject property would require the Owner/Developer to submit a Water Service Availability Request for CUD to determine feasibility. If developed, the subject property would be best served by either the 10" ductile iron pipe water line along the northwestern edge of the parcel or the 20" ductile iron pipe water line along Joe B Jackson Parkway.



SANITARY SEWER SERVICE

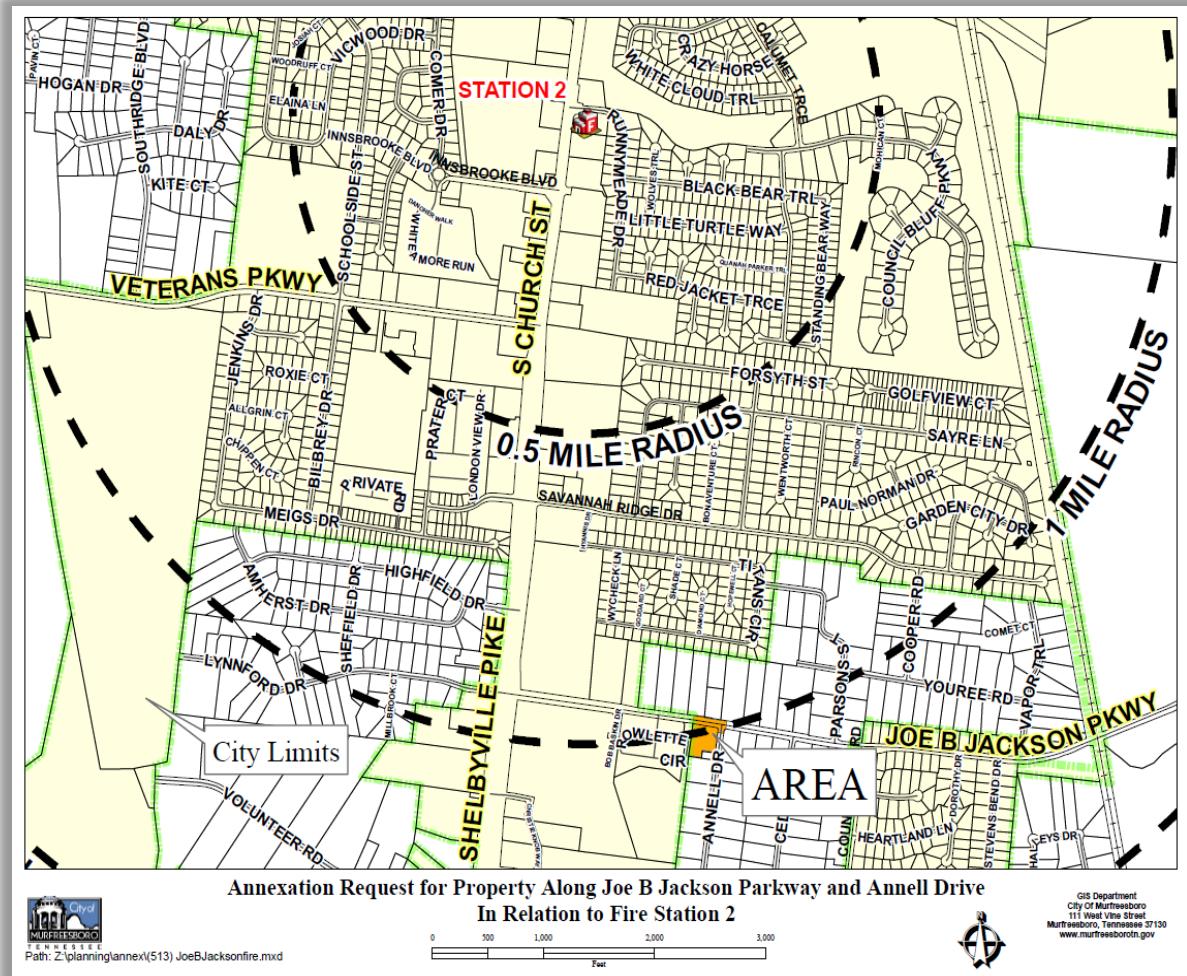
The Murfreesboro Water Resources Department's (MWRD) current definition of "available" is defined as gravity sanitary sewer that is adjacent to the property line within an easement or in a public ROW. Sanitary sewer is available to the requested parcel, as an existing sewer manhole is located on the northwest property corner of this parcel. An 8" gravity sewer main will serve the property.

Any future development should request a "Will Serve" letter from MWRD prior to moving forward with development. The developer will be financially responsible for any necessary on-site sewer main extensions. Sewer main line extensions may be required to serve adjacent properties in accordance with the Development Policies and Procedures of MWRD.



FIRE AND EMERGENCY SERVICE

The Murfreesboro Fire and Rescue Department (MFRD) can provide medical first responder and fire protection to the study area immediately upon the effective date of annexation. Per MFRD, the existing CUD water supply is adequate and there is a fire hydrant available to serve the study area. Currently the study area is located 1.3 miles from Fire Station #2 (2880 Runnymede Drive) and 5.1 miles from Station #1 (202 E. Vine St.).



SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. In its present state, the study area will generate \$60 in annual revenue from the newly-adopted solid waste fee. Cost to the City for providing a solid waste cart for the existing single-family dwelling is \$113.30, including assembly and delivery.

ELECTRIC SERVICE

The study area is within the Murfreesboro Electric Department's (MED's) service area and is currently being served by MED.

STREET LIGHTING

Street lights are existing along Joe B Jackson Parkway.

SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. This area is zoned for Black Fox Elementary. Currently Black Fox has 877 students and is built for 1,000 students. The school will be able to accommodate any additional elementary students the study area might generate in its present state and if it develops.

PARKS AND RECREATION

Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

PLANNING, ENGINEERING, AND ZONING

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

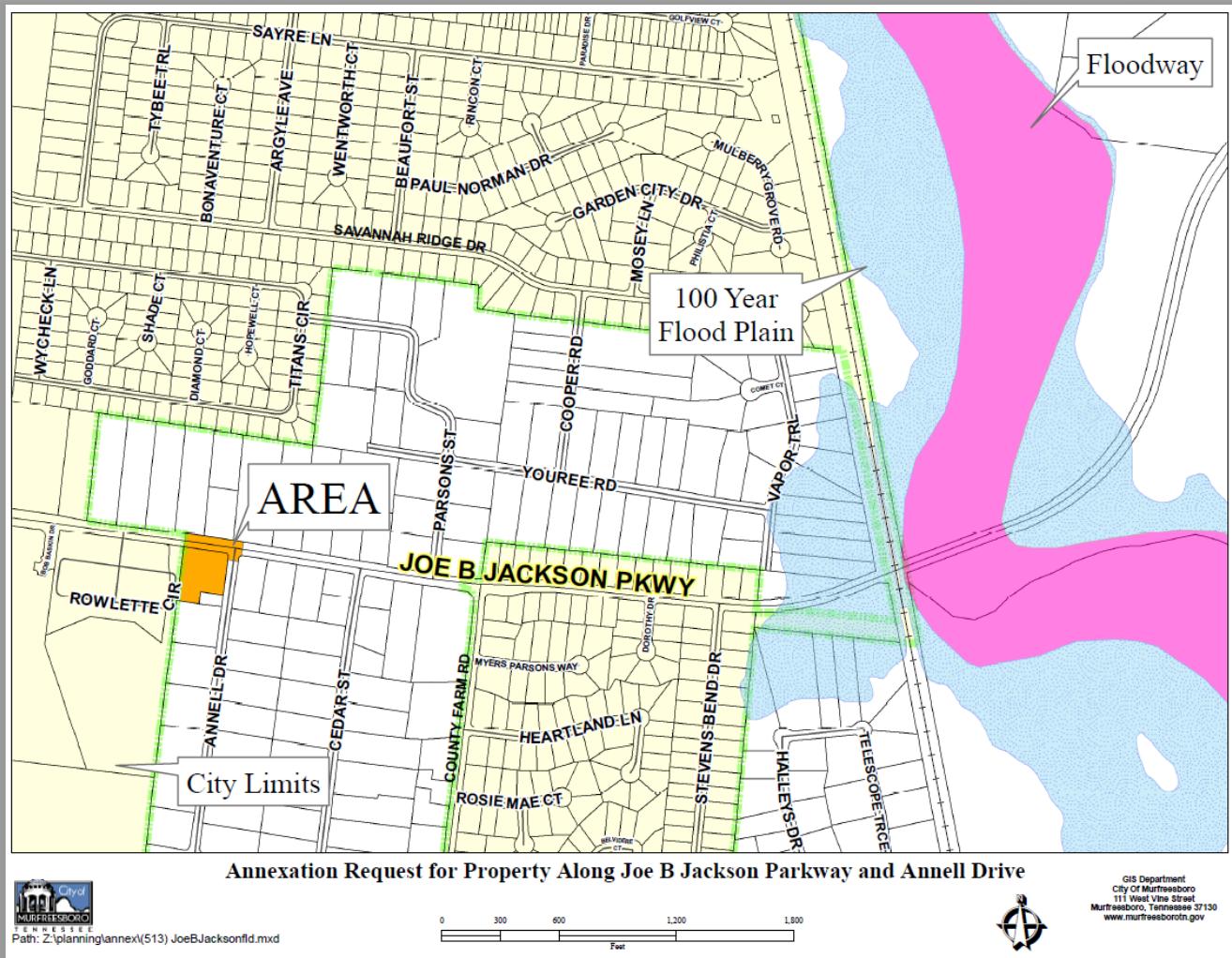
BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

FLOODWAY

No portion of the study area is located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the floodway boundary in pink and the 100-year floodplain boundary in blue.



STORMWATER MANAGEMENT

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has one single-family residence and will generate approximately \$39 per year in revenue for the Stormwater Utility Fee.

The subject property has no new proposed development. However, based on the interim RS-15 zoning, it is anticipated the property could be developed with 3 single-family residences. Based on this development scenario, it is projected that the site could generate approximately \$117 annually in revenue for the Stormwater Utility Fund upon full build-out.

Drainage

Public Drainage

There is an existing stormwater conveyance system located on the southern portion of the study area. It is recommended that this system be located within a public drainage easement. This system drains from

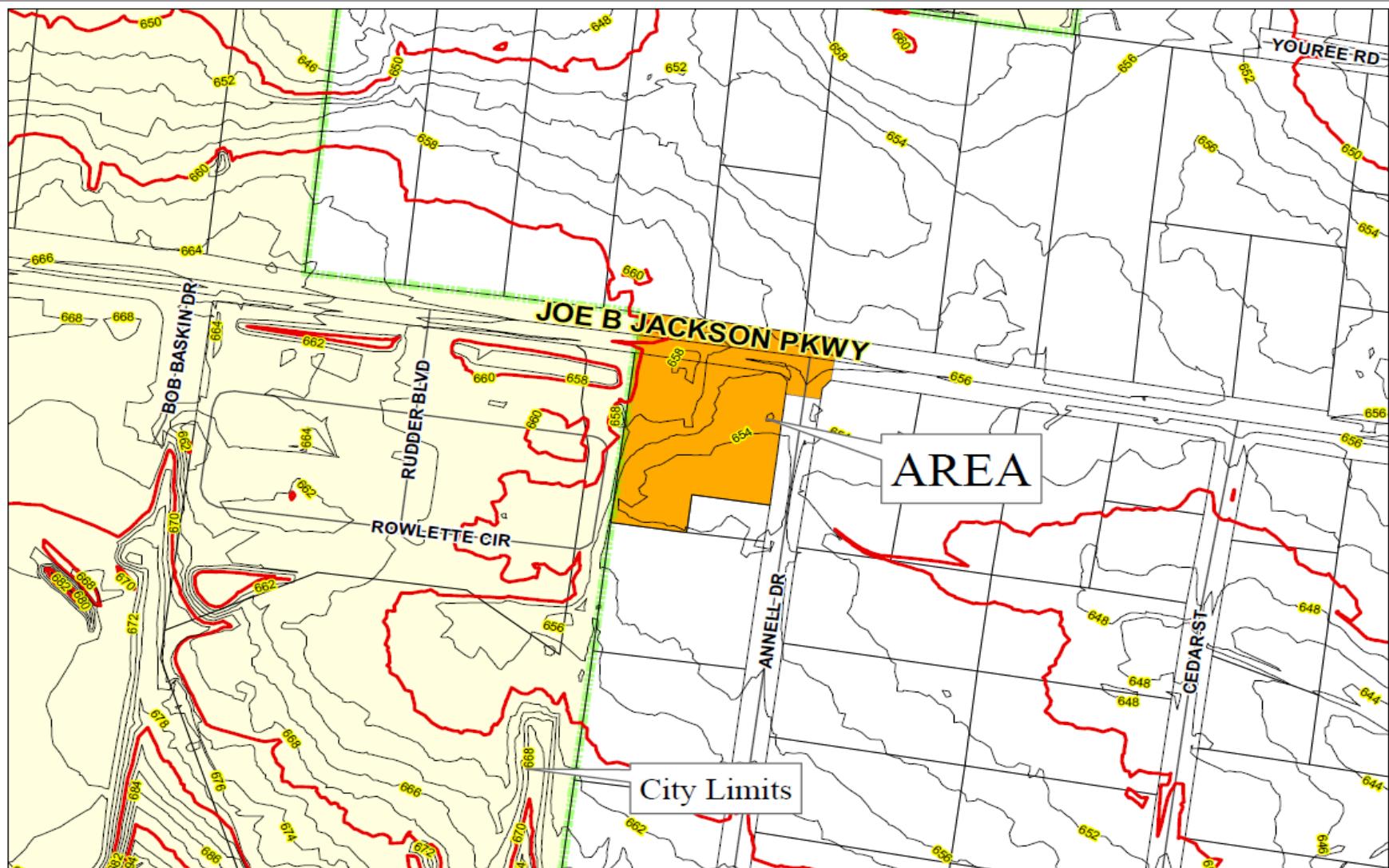
west to east across the study area and discharges to a headwall under Annell Drive. With the Villas at Baskinwood development and the Wal-Mart development, stormwater has been re-routed to Joe B Jackson Parkway to help alleviate the system and the undersized pipe under Annell Drive. This pipe may need to be upsized in the future. Access to public drainage facilities are also within the ROW of Joe B Jackson Parkway and Annell Drive. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

The study area drains to the conveyance system located at the southern portion of the property. From there, it drains to a miscellaneous tributary to the Middle Fork of the Stones River.

Property and Development

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.



Annexation Request for Property Along Joe B Jackson Parkway and Annell Drive



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Foot

GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborotn.gov

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 9, 2019
PROJECT PLANNER: MARINA RUSH**

4.b. Annexation Plan of Services and Annexation Petition [2018-513] for approximately 21.16 acres located along Veterans Parkway, Fred Snell, Jr. applicant.

The property owner, Mr. Fred Snell Jr., has submitted a petition requesting his property to be annexed by the City of Murfreesboro. The request is for two parcels, located on the north side of Veterans Parkway and identified as 1120 and 1142 Veterans Parkway, which total approximately 19.94 acres. The subject parcels are developed with two existing single-family homes and several accessory structures. The annexation also includes approximately 500 linear feet (1.16 acres) of Veterans Parkway right-of-way (ROW).

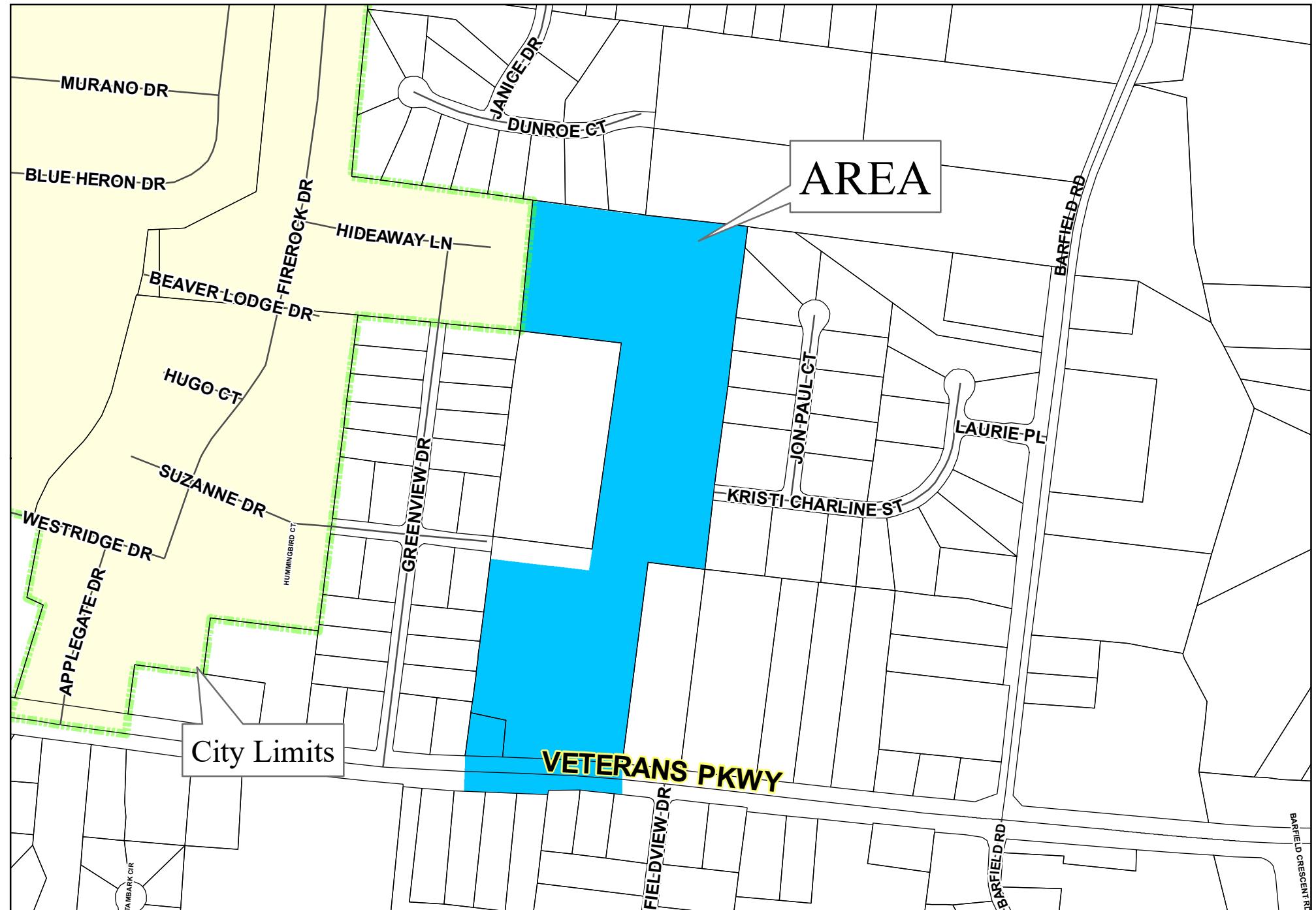
The total acreage is approximately 21.16 acres and consists of the following:

- Tax Map 124, Parcel 023.00 (approximately 0.44 acre)
- Tax Map 124, Part of Parcel 022.00 (approximately 19.5 acres)
- Approximately 500 linear feet of Veterans Parkway ROW (approx. 1.16 acres)

The study area is within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the existing City limits along the northwestern property line.

Staff has prepared a plan of services for the annexation of the subject property. It has been included in the agenda packet. It indicates that the City will be able to provide services to the subject property upon annexation. Of note, the sanitary sewer is not available to serve the study area. However, the Murfreesboro Water Resources Board has approved the use of a "Modified" STEP (Septic Tank Effluent Pumping) system instead. Also, at the time of the writing of these staff comments, the sections of the plan of services pertaining to electric service and street lighting have not been finalized. Staff expects these sections to be complete in the next several days and to have a revised plan of services to hand out to the Planning Commission at the meeting.

The Planning Commission will need to conduct a public hearing, after which it will need to discuss this annexation petition and plan of services and then formulate a recommendation for the City Council. An application to have the property zoned PUD (Cottages at Snell Cove PUD) simultaneous with the annexation has also been filed, and this zoning application is the next item on the agenda.



Annexation Request for Property Along Veterans Parkway



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GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
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**ANNEXATION REPORT FOR
PROPERTY LOCATED ALONG VETERANS PARKWAY
INCLUDING PLAN OF SERVICES
(FILE 2018-513)**



PREPARED FOR THE JANUARY 9, 2019 PLANNING COMMISSION PUBLIC HEARING



Annexation Request for Property Along Veterans Parkway



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GIS Department
City of Marshallboro
111 West Main Street
Marshallboro, Tennessee 37130
www.marshallborotn.gov



INTRODUCTION

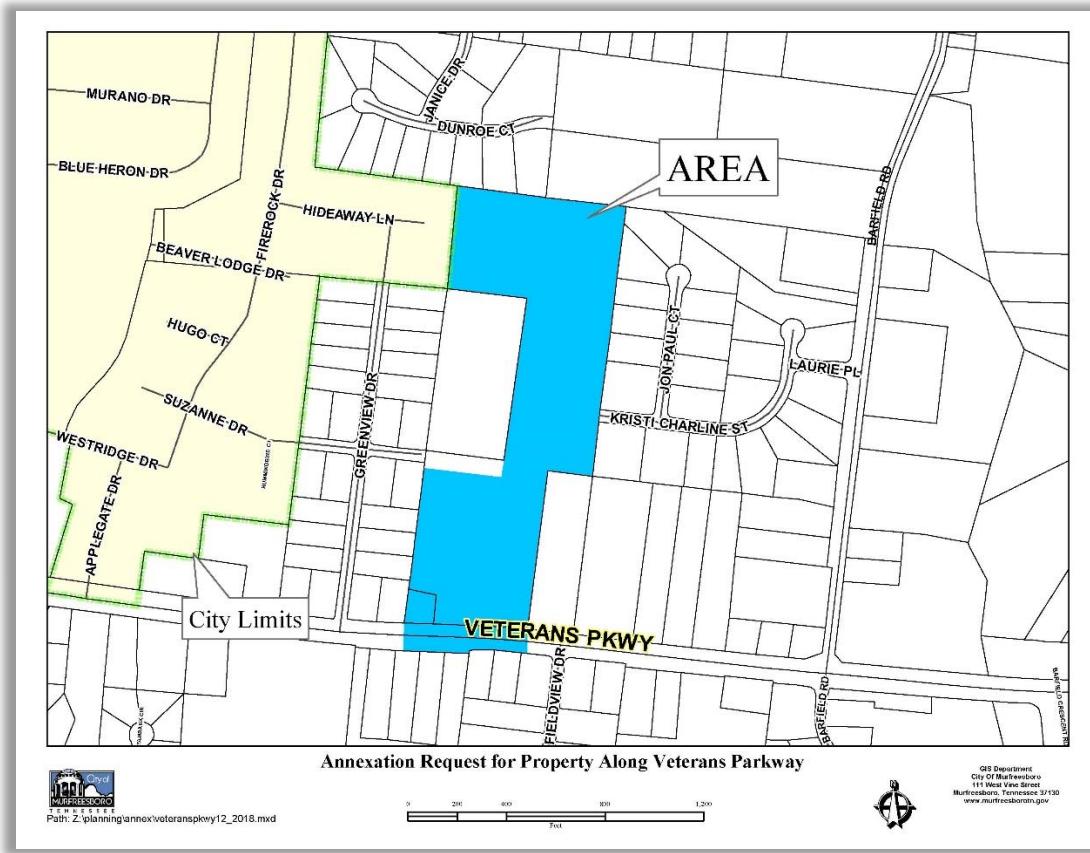
OVERVIEW

The property owner, Mr. Fred Snell, Jr., has submitted a petition requesting that his property be annexed by the City of Murfreesboro for two parcels located along Veterans Parkway. The request includes a companion zoning change to Planned Unit District (PUD) simultaneous with the annexation. The rezoning request is to allow for the development of 45 single-family residential lots and approximately 20,000 square feet of commercial space.

The two parcels are located on the north side of Veterans Parkway west of Barfield Road, and, combined, they are approximately 19.94 acres. They are currently developed with two single-family residences and accessory structures. The study area also includes approximately 500 linear feet of Veterans Parkway right-of-way. The total study area is approximately 21.1 acres and consists of:

- Tax Map 124, Parcel 023.00 (approximately 0.44 acre)
- Tax Map 124, Part of Parcel 022.00 (approximately 19.5 acres)
- 500' linear feet of Veterans Parkway (approximately 1.16 acres)

The study area lies within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the existing City limits.

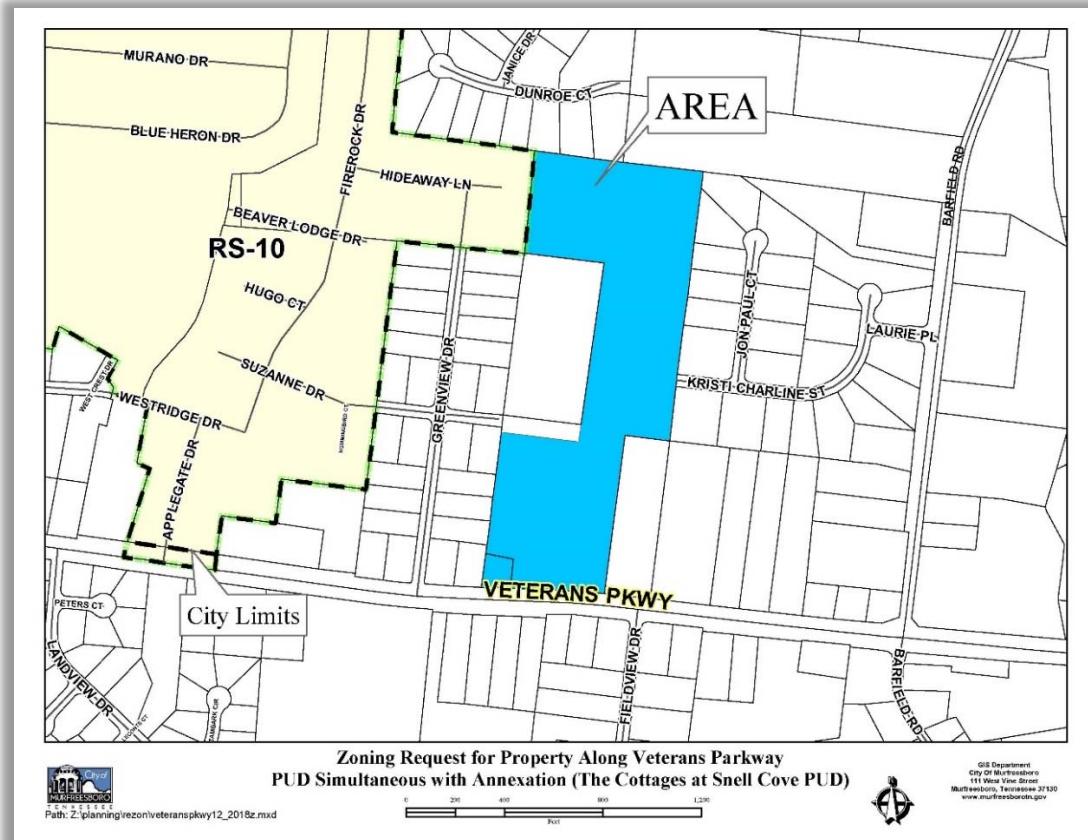


CITY ZONING

Simultaneous with the annexation, a request for rezoning for the subject property to PUD (Planned Unit District) is requested. The application for rezoning is being made by Greenland Partners, LLC. The request is to allow for the development of 45 single-family residences, as well as commercial buildings fronting along Veterans Parkway.

The study area is presently zoned RM (Residential – Medium Density) in the unincorporated area of Rutherford County. The nearest City incorporated properties are northwest of the subject property.

The adjacent unincorporated area is zoned RM and developed with single-family homes, including Southwood Estates subdivision to the west, Martha's Haven subdivision to the east, and River Downs subdivision to the north.



MURFREESBORO 2035 - FUTURE LAND USE DESIGNATION

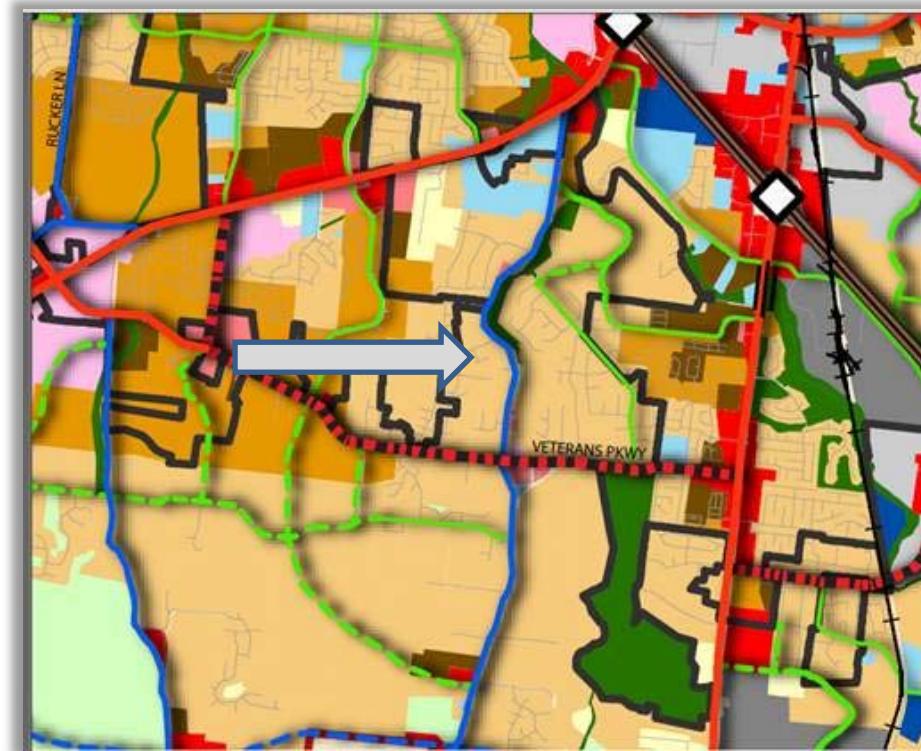
The future land use map contained in the Murfreesboro 2035 Comprehensive Plan, which was adopted by the Planning Commission in July 2017, depicts a recommended future land use classification of "Suburban Residential."

Suburban Residential recommends lot sizes equivalent to the RS-15, RS-12, or RS-10 zones or, alternatively, smaller lot sizes in exchange for greater open space. The recommended density is 2.0 - 3.54 dwelling units per acre. The lot sizes proposed in the PUD are 6,000 square-feet, which is less than the recommended lot size, but, with the open space included in the plan, the density for the residential portion of the proposed PUD is within the recommended range at 2.55 dwelling units per acre. The residential portion of the PUD is consistent with the recommendations of the comprehensive plan.

The uses identified for the commercial portion of the PUD are not consistent with the "Suburban Residential" designation and are more consistent with the "Suburban (Neighborhood) Commercial" character

designation. The Planning Commission will need to review the PUD request and determine whether or not it is appropriate to deviate from the recommendations of the comprehensive plan for the commercial portion of the PUD along Veterans Parkway.

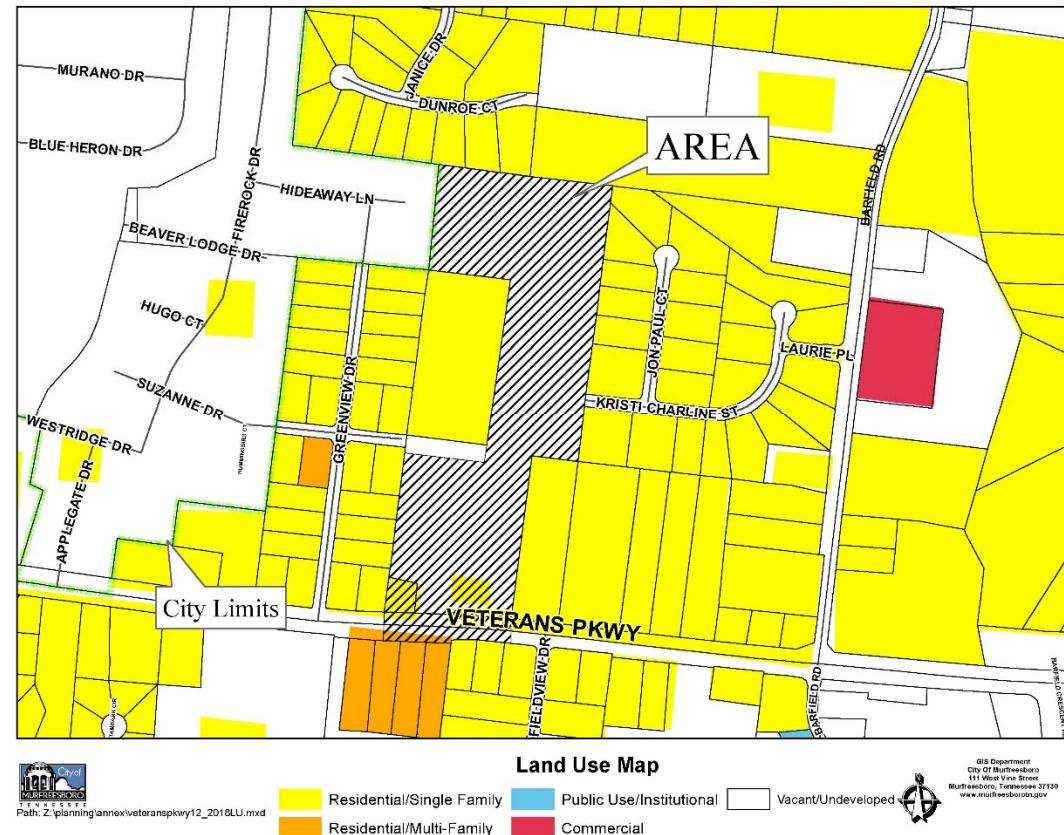
Future Land Use Map



PRESENT AND SURROUNDING LAND USE

The study area is developed with two single-family residences and accessory structures.

Surrounding land uses are primarily single-family residences and vacant land.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2019 will be due on December 31, 2020. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9494/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

***Table I
Estimated Taxes from Site***

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Fred Clark Snell, Jr.	0.44	\$18,500	\$121,800	\$35,075	\$333.00
Fred Clark Snell, Jr.	19.5	\$140,000	\$76,800	\$54,200	\$514.57

These figures are for the property in its current state and assessed at the residential rate of 25 percent. After this property is rezoned to Planned Unit District (PUD) and when it is developed, an improvement value will be added, which will result in an increase to the City and County taxes.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2018-2019 per capita state revenue estimates for the City of Murfreesboro once the development is built out. The study area will be developed with 43 single-family homes.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$85.00
State Beer Tax	\$0.50
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$2.05
Gross Receipts (TVA in-lieu taxes)	\$11.30
<i>Total General Revenue Per Capita</i>	<i>\$98.85</i>
State Street Aid Funds	
Gasoline and Motor Fuel Taxes	\$34.30
<i>Total Per Capita (General and State Street Aid Funds)</i>	<i>\$133.15</i>
Total State-Shared Revenues (based on full build-out at 2.58 per dwelling unit for 45 lots)	\$15,458.72

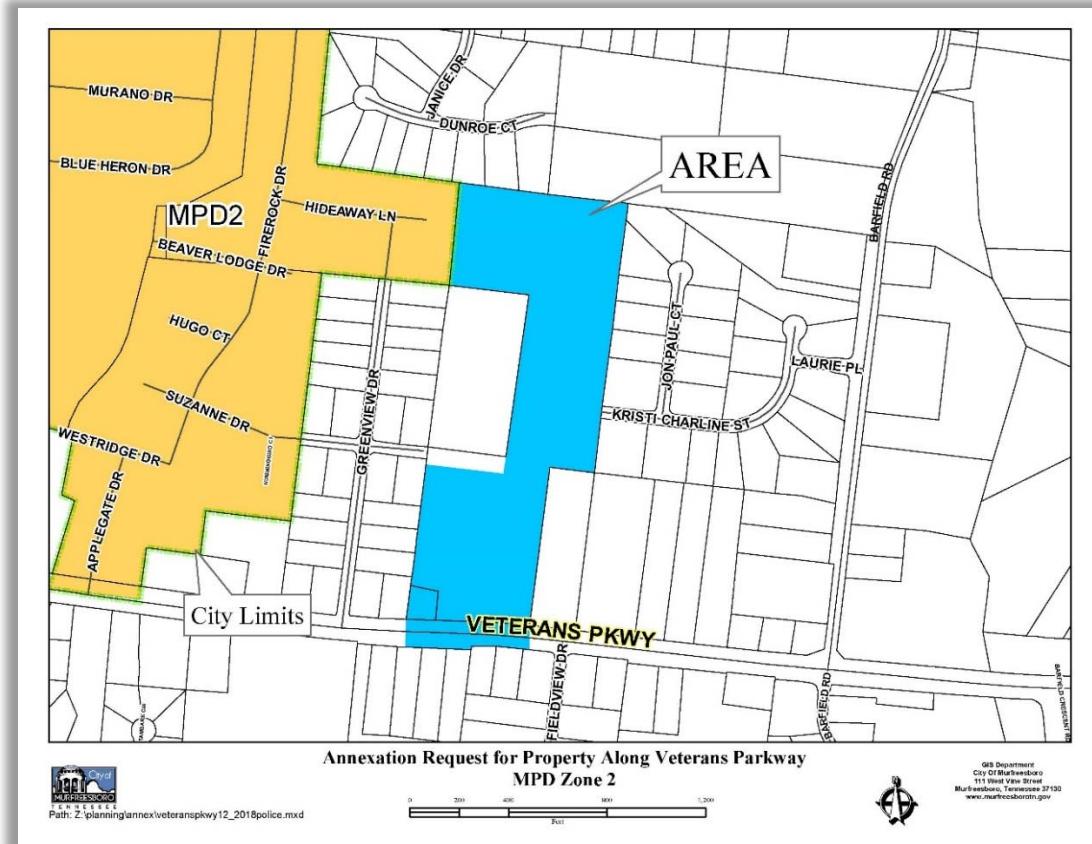
The per capita state revenue estimates apply only to new residents and will only be available after a certified census takes place.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation.

This annexation will have no negative impact on the Murfreesboro Police Department. The Murfreesboro Police Department can provide police services to the study area as it currently exists with no additional fiscal impact. The study area is located in Police Zone #2.

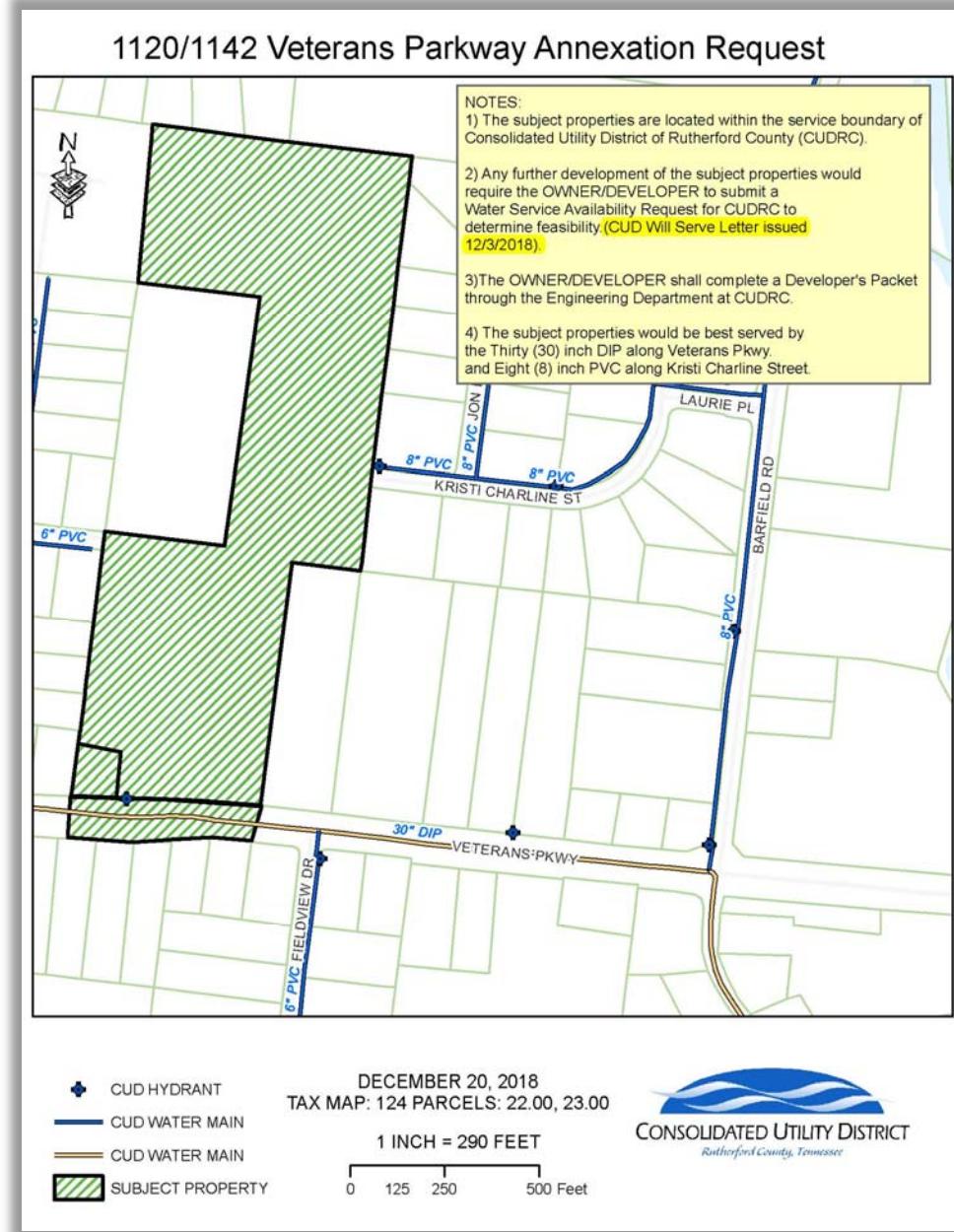


WATER SERVICE

The study area lies within the boundary of Consolidated Utility District's (CUD) service area. CUD presently maintains a 30-inch ductile iron pipe on the south side of the property along Veterans Parkway and an 8-inch PVC water line on the east side of the study area along Kristi Charline Street.

The owner/developer submitted a Water Service Availability Request, and CUD issued a Will-Serve letter on December 3, 2018. The owner/developer shall complete a Developer's Packet through the Engineering Department at CUD.

The existing CUD water lines are shown on the adjacent map. Any new water line development must be done in accordance with CUD's development policies and procedures.



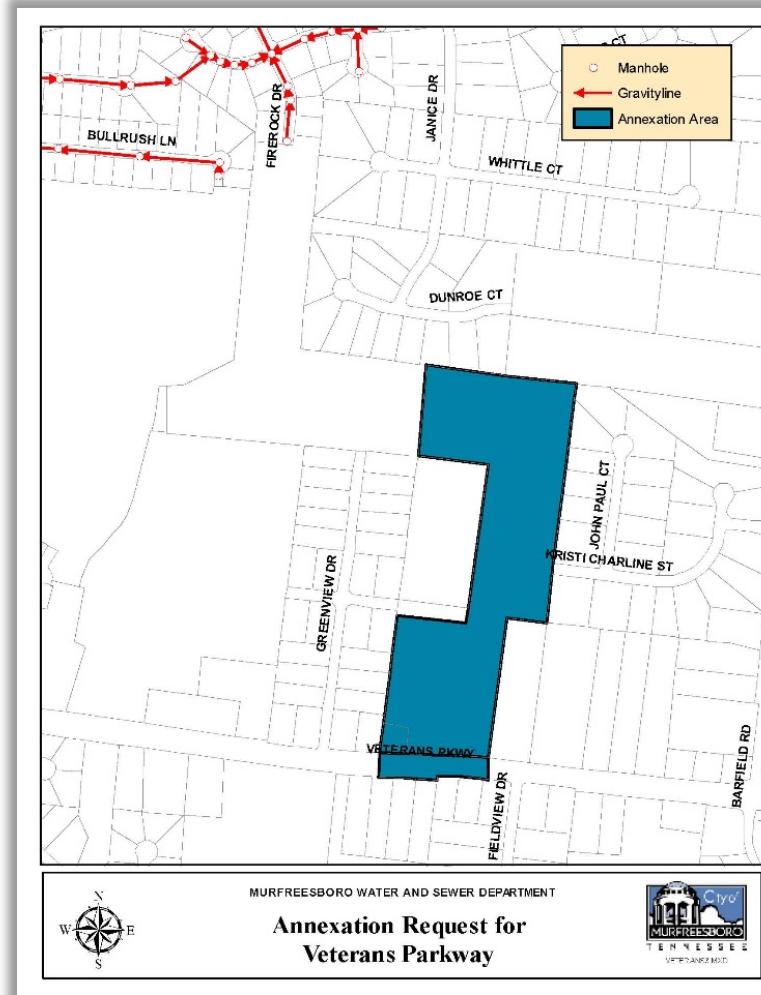
SANITARY SEWER SERVICE

The Murfreesboro Water Resources Department's (MWRD) current definition of "available" is defined as gravity sanitary sewer that is adjacent to the property line within an easement or in a public right-of-way. Currently, public sanitary sewer is unavailable to the study area.

The developer wishes to serve the subdivision with the use of a "modified" STEP (Septic Tank Effluent Pumping) system as the means of sewage disposal, which MWRD would operate and maintain once the system is constructed by the developer. With the "modified" STEP system, the developer would install sewer force mains within the streets of the subdivision and each residential and/or commercial lot would have its own STEP tank and gray water pump. This tank and pump, operated and maintained by MWRD, would be within an easement on the individual platted properties; however, instead of pumping to a sand filter and drip field, the gray water would be pumped to an existing sanitary sewer manhole. The developer will be required to work with the adjacent property owner to the northwest and acquire an off-site sewer easement dedicated to the City of Murfreesboro in order to connect to the existing sewer main. MWRD will require this easement to be dedicated prior to reviewing construction drawings. Schematic drawings will be accepted to determine an acceptable easement route prior to the legal description and exhibit being

prepared by the Legal Department for signatures and recording.

This subdivision will be assessed the standard and customary sanitary sewer connection fees. All sewerage improvement may be installed in accordance with the applicable State Design Criteria and Regulations, MWRD's Design Standards, CUD's construction specifications for STEP systems, and the Development Policies and Procedures of MWRD.



STREETS AND ACCESS

The annexation study area includes approximately 500 linear feet of Veterans Parkway right-of-way (ROW). This roadway was constructed to Tennessee Department of Transportation (TDOT) standards in a partnership between TDOT, the City of Murfreesboro, and Rutherford County. By agreement with Rutherford County, the City of Murfreesboro provides operation and maintenance of this roadway. Upon annexation, the roadway will remain the responsibility of the City of Murfreesboro, including all routine maintenance, and the conditions of the maintenance agreement with Rutherford County will no longer apply to the study area. Veterans Parkway is a 5-lane street, including curb and gutter, sidewalk and street lighting. Based on an estimated 10-year re-pavement cycle for major arterial roadways, annualized roadway maintenance costs are estimated at \$27,500 for this roadway. This cost is currently being borne by the City and will not increase if the ROW is annexed. Any new connections to Veterans Parkway must be approved by the City Engineer. Any future public roadway facilities to serve the area must meet City standards.

REGIONAL TRAFFIC & TRANSPORTATION

The 2014 Level of Service Model in the 2040 Major Transportation Plan shows Veterans Parkway to be operating at a Level of Service C from Barfield Road to Cason Lane. The 2040 Level of Service Model indicates that Veterans Parkway operates at a Level of Service F from Barfield Road to Cason Lane without the proposed improvements recommended in the 2040 Plan. With the improvements proposed in the 2040 plan, this section of roadway will operate at a level of service E with a small portion at a Level of Service F.

STORMWATER MANAGEMENT

Storm Water Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has two single-family residences and will generate approximately \$78 per year in revenue for the Stormwater Utility Fee.

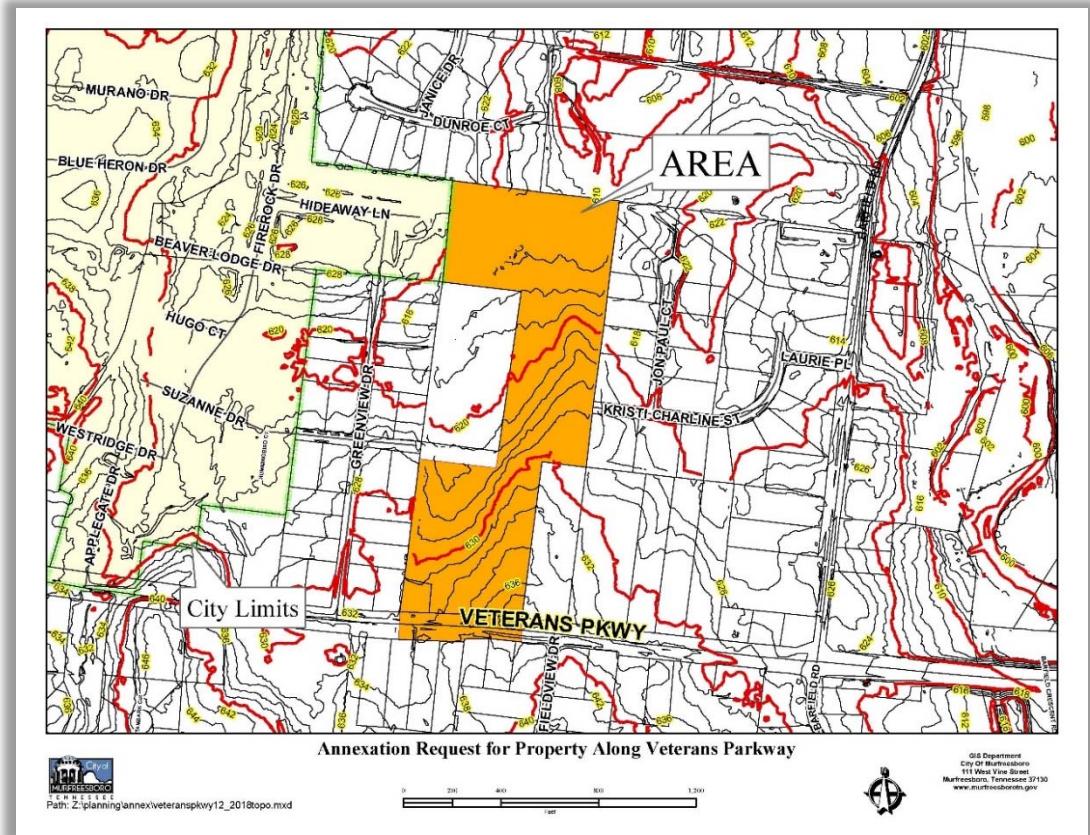
The proposed Cottages at Snell Cove PUD zoning will result in a master-planned developed impervious area of 19.94 acres consisting of 45 single-family detached lots on 17.65 acres and commercial development on 2.29 acres. Based on this development scenario, it is anticipated that the site will generate approximately \$1,755 for single-family development and \$495 for commercial development with \$2,250 total in additional revenue per year into the Stormwater Utility Fund upon full build-out.

Public Drainage

The study area currently does not contain a public drainage facility, but it does have access to public storm sewer on Veterans Parkway. Upon annexation and development, any new drainage facilities would be anticipated to be private. Future operation and maintenance costs, if any, are anticipated to be paid from the Stormwater Utility Fee and State Street Aid. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

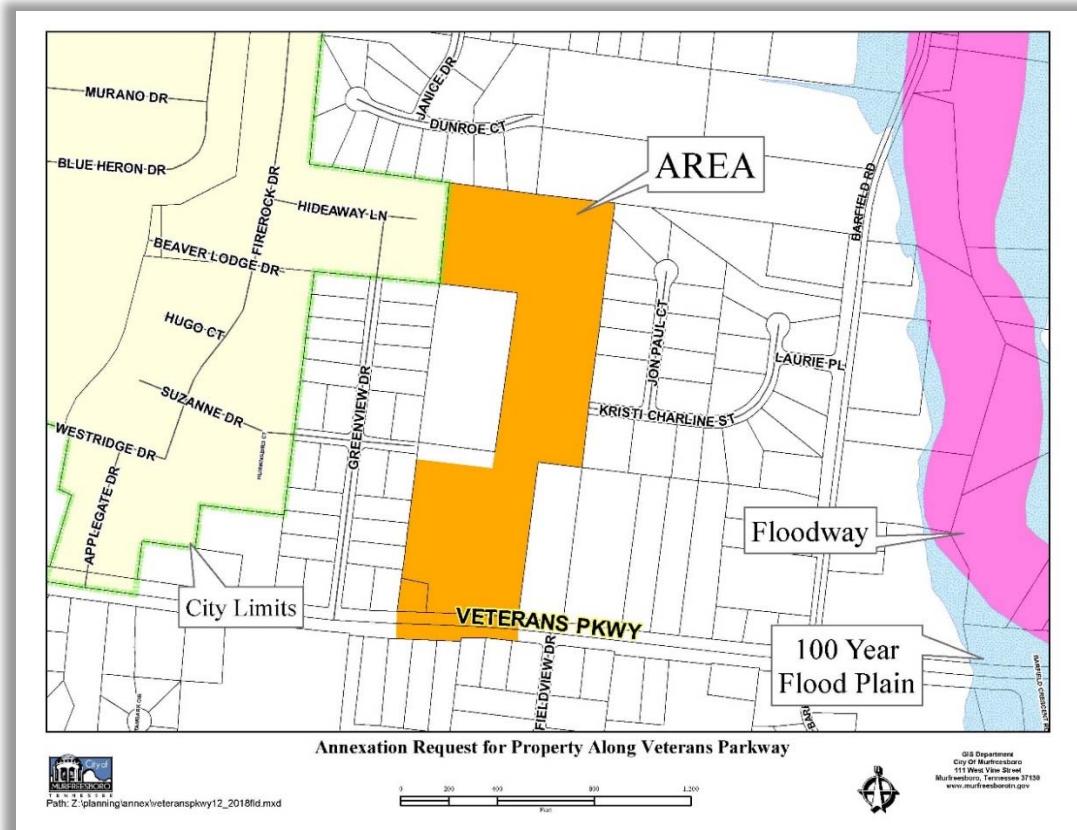
A review of a topographic map shows that the property drains to the northeast corner of the property to a wet weather conveyance on the neighboring property to the north and eventually to the West Fork of the Stones River, which is located east of the study area. It appears that a portion of the property is lower than the drainage system in Veterans Parkway limiting potential access to this drainage outlet. No portion of this property is located in the 100-year floodplain.



FLOODWAY

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

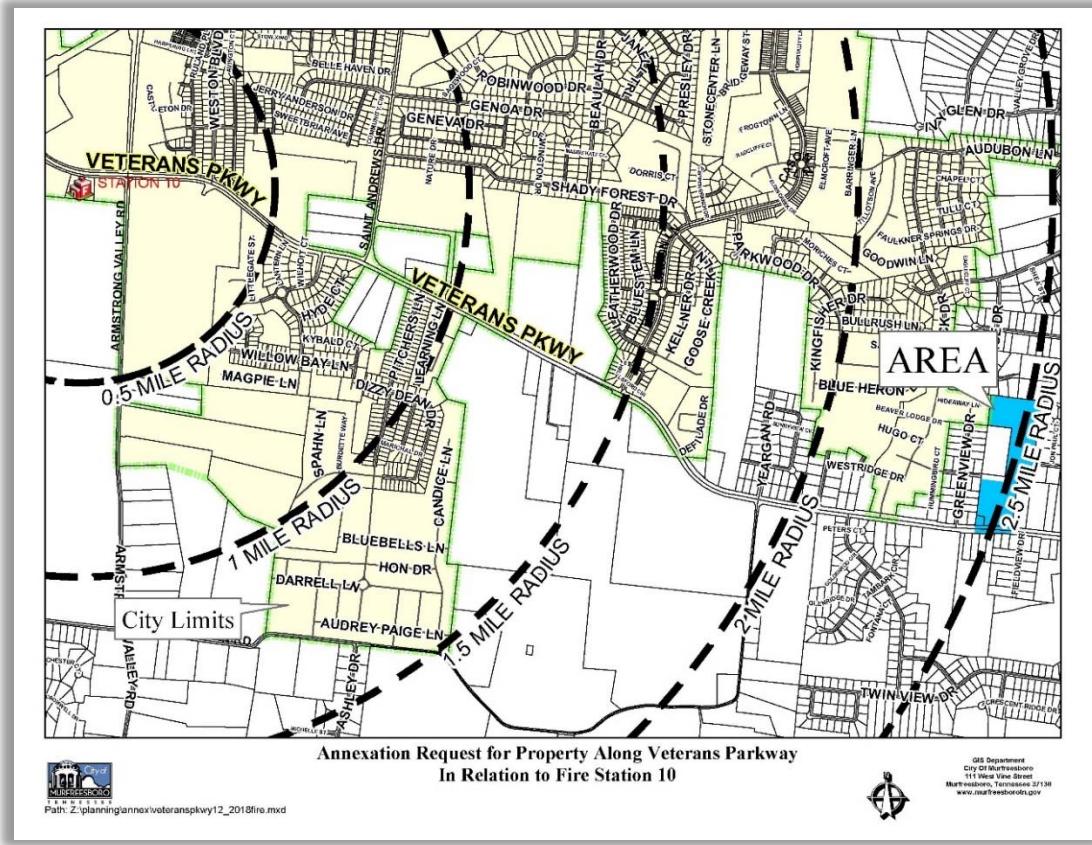
The adjacent map shows the floodway boundary in purple and the 100-year floodplain boundary in blue.



FIRE AND EMERGENCY SERVICE

The study area contains two existing single-family residences and several accessory structures. Murfreesboro Fire and Rescue Department (MFRD) will provide fire protection to the study area with a full-time, professional staff as well as medical first responder service immediately upon the effective date of annexation. Prior to any development in the study area, the developer shall provide adequate fire flows and install water lines and fire hydrants per the Murfreesboro Water Resources Department (MWRD) policies and procedures.

The closest fire station to the subject property is Fire Station #10, located at 2563 Veterans Parkway, 2.5 miles from the study area. The dashed lines on the adjacent map represent linear distance ranges from the nearest fire stations.



SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The cost to provide carts to the two existing single-family homes will be \$226.60 (\$53.30/cart+\$60.00/cart for assembly and delivery) and service to the two existing homes will cost approximately \$201.84 per year (\$100.92/home per year). In its present state, the study area will generate \$120 annually in revenue from the newly-adopted solid waste fee. At full build-out of the single-family portion of the proposed development, 45 carts will be required at a cost of approximately \$5,107.50. Annual cost for collection for 45 single-family homes will be approximately \$4,541.40. However, at full build-out, the proposed development will generate approximately \$2,700 in annual revenue from the solid waste fee.

ELECTRIC SERVICE

(This section is under development. Additional information will be provided prior to the public hearing.)

STREET LIGHTING

(This section is under development. Additional information will be provided prior to the public hearing.)

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area will be located in the Salem Elementary School zone, if annexed. Additional students residing on the property in its present state or from any proposed development can be accommodated.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area upon the effective date of annexation. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
JANUARY 9, 2019
PROJECT PLANNER: MARINA RUSH**

4.c. Zoning application [2018-440] for approximately 19.94 acres to be zoned PUD simultaneous with annexation (The Cottages at Snell Grove PUD) located along Veterans Parkway, Greenland Partners, LLC developer.

The subject property is located along the north side of Veterans Parkway, west of the intersection of Barfield Road. It is approximately 19.94 acres and identified on Tax Map 124, Parcels 22.0 and 23.0 (1120 and 1142 Veterans Parkway, respectively). The previous item on the agenda was the petition for annexation and plan of services for this property. The applicant is requesting to zone this property to PUD (Planned Unit District) to allow for the development of a 45-lot single-family residential subdivision with 2.29 acres of commercial development directly along Veterans Parkway. The density for the residential portion of the proposed PUD would be 2.55 dwelling units per acre.

The single-family portion of the development contains lots with a minimum lot size of 6,000 square-feet and houses that will contain a minimum 1,800 square-feet of living area, two or more bedrooms, and exterior materials consisting of brick, stone, and cementitious siding. The permitted uses listed in the commercial portion of the PUD are primarily those types of uses that would be permitted in the CF (Commercial Fringe) zone. Development standards for the commercial portion of the PUD are included in the pattern book.

Adjacent Zoning and Land Uses

Adjacent zoning is RS-10 (Single-Family Residential District 10) to the west, and unincorporated Rutherford County zoning RM (Medium-Density Residential) to the north, south, west and east. Adjacent land uses are single-family residences, including Southwood Estates Subdivision to the west, Martha's Haven at Barfield Subdivision to the east, River Downs Subdivision to the north, and Valley View Subdivision to the south across Veterans Parkway.

Future Land Use Map

The future land use map of the *Murfreesboro 2035 Comprehensive Plan*, recommends the “Suburban Residential” land use designation for the subject property. An excerpt from the map is on the next page. The “Suburban Residential” land use designation consists primarily of detached residential dwellings with garages. It also recommends lot sizes equivalent to the RS-15, RS-12, or RS-10 zones or, alternatively, smaller lot sizes in exchange for greater open space. The recommended density is 2.0 - 3.54 dwelling units per acre. The lot sizes proposed in the PUD are 6,000 square-feet, which

is less than the recommended lot size. However, with the open space included in the PUD, the density for the residential portion of the proposed PUD is within the recommended range at 2.55 dwelling units per acre. The residential portion of the PUD is consistent with the recommendations of the comprehensive plan.

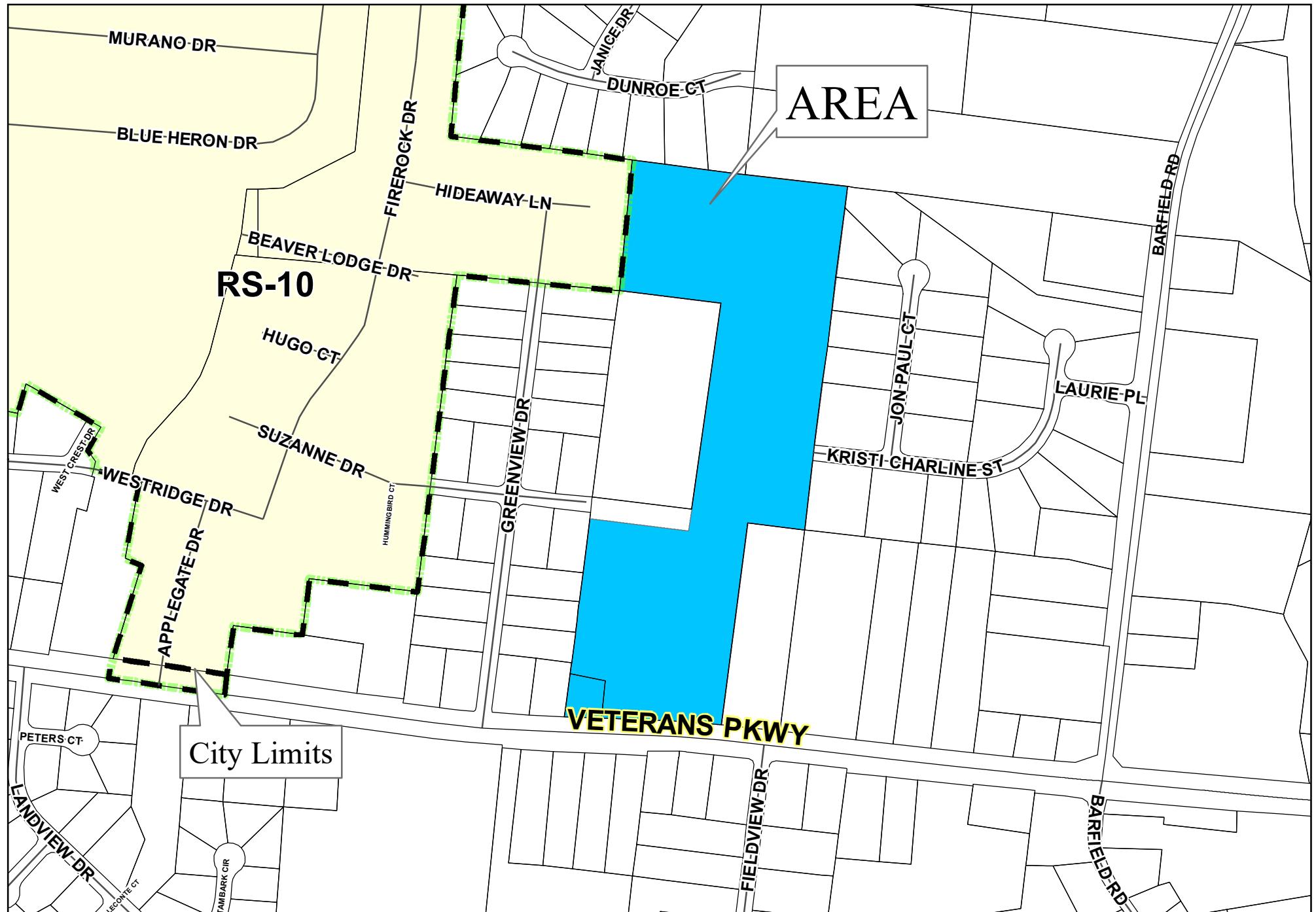
The uses identified for the commercial portion of the PUD are not consistent with the "Suburban Residential" designation and are more consistent with the "Suburban (Neighborhood) Commercial" character designation. The Planning Commission will need to review the PUD request and determine whether or not it is appropriate to deviate from the recommendations of the comprehensive plan for the commercial portion of the PUD along Veterans Parkway.

2035 Comprehensive Plan - Future Land Use Map

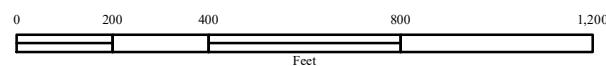


Public Hearing

The applicant will be available at the Planning Commission meeting to make a presentation regarding the proposed rezoning. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and formulate a recommendation for the City Council.



**Zoning Request for Property Along Veterans Parkway
PUD Simultaneous with Annexation (The Cottages at Snell Cove PUD)**



Path: Z:\planning\rezon\veternspkwy12_2018z.mxd

GIS Department
City Of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130
www.murfreesborontn.gov





THE COTTAGES AT SNELL COVE

REQUEST FOR ANNEXATION AND REZONING TO PLANNED UNIT DISTRICT (PUD)
Murfreesboro, Tennessee

Initial Submittal

November 29, 2018

Resubmitted

December 13, 2018 for the December 19, 2018
Planning Commission Workshop

Resubmitted

January 3, 2019 for the January 9, 2019
Planning Commission Public Hearing

SEC, Inc.

SEC Project #18160

SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning/Engineering/Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

*850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129*

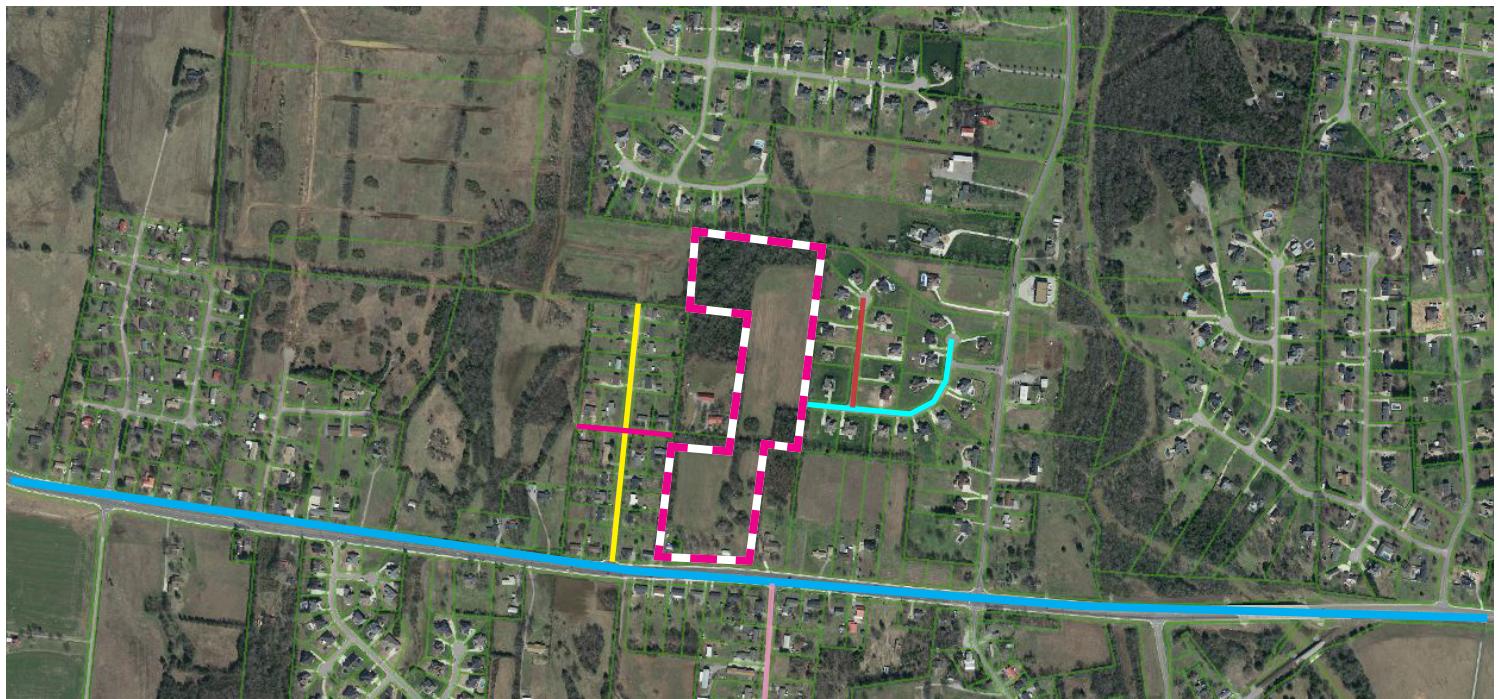
Company Name: Greenland Partners, LLC
Profession: Developer
Attn: Michael Hazlett
Phone: 615-300-2594
Email: mbhazlett@mail.com

Address *1207 Greenland Drive
Murfreesboro, TN 37130*

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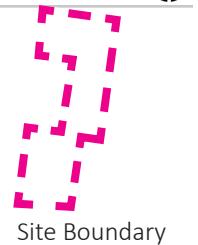
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AERIAL PHOTOGRAPH

Not To Scale 

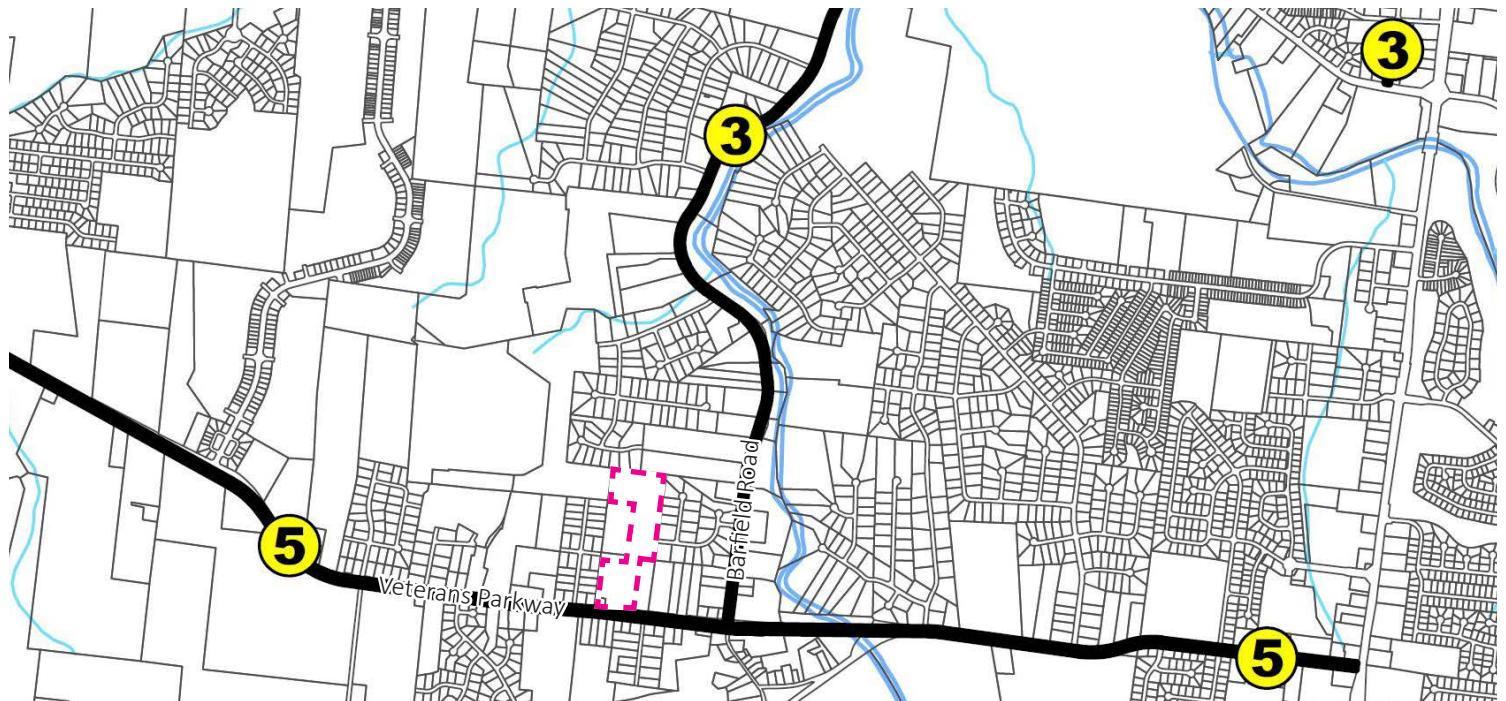
	Veterans Parkway		Suzanne Drive		Fieldview Drive
	Greenview Drive		Kristi Charline Street		
	Barfield Road		Jon Paul Court		



Greenland Partners, LLC respectfully requests annexation and rezoning of the Fred Clark Snell Jr. properties at 1120 and 1142 Veterans Parkway, Murfreesboro from Medium Residential Zoning (RM) in Rutherford County to Planned Unit District (PUD) in the City of Murfreesboro to create The Cottages at Snell Cove PUD. The property is located along the northern side of Veterans Parkway, west of Barfield Road and east of Greenview Drive. The site is identified as Parcels 22.00 and 23.00 of Tax Map 124, and is approximately 19.43 acres.

The request for rezoning to PUD is to create The Cottages at Snell Cove. The development will consist of 45 single-family detached lots on 17.65 acres, for a density of 2.55 dwelling units per acre. Minimum lot size will be 6,000 square feet, and all homes will be for purchase. The proposed homes will range in size from 1,800 to 2,800+ square feet. All homes will have a minimum of 2 bedrooms, and a minimum two car front entry garage with windowed garage doors. The home elevations will be constructed primarily of masonry materials to add quality and character to the community. Each lot and home will have foundation landscaping at the base of the front elevation, along with sodded front yards. The entrance off of Veterans Parkway will incorporate a development entrance signage, and will be anchored with landscaping and lighting. The H.O.A. will maintain all the common areas.

The commercial portion of this development will provide the residents of Snell Cove and the surrounding Barfield community with a neighborhood retail opportunity. This will provide the residence of the area with a more convenient commercial location without deteriorating or detracting from the neighborhood aesthetic. The commercial lot proposed will be located along Veterans Parkway to the west of the residential entrance. The commercial property will account for approximately 2.29 acres of the overall project.



2040 MAJOR THOROUGHFARE PLAN (MTP)

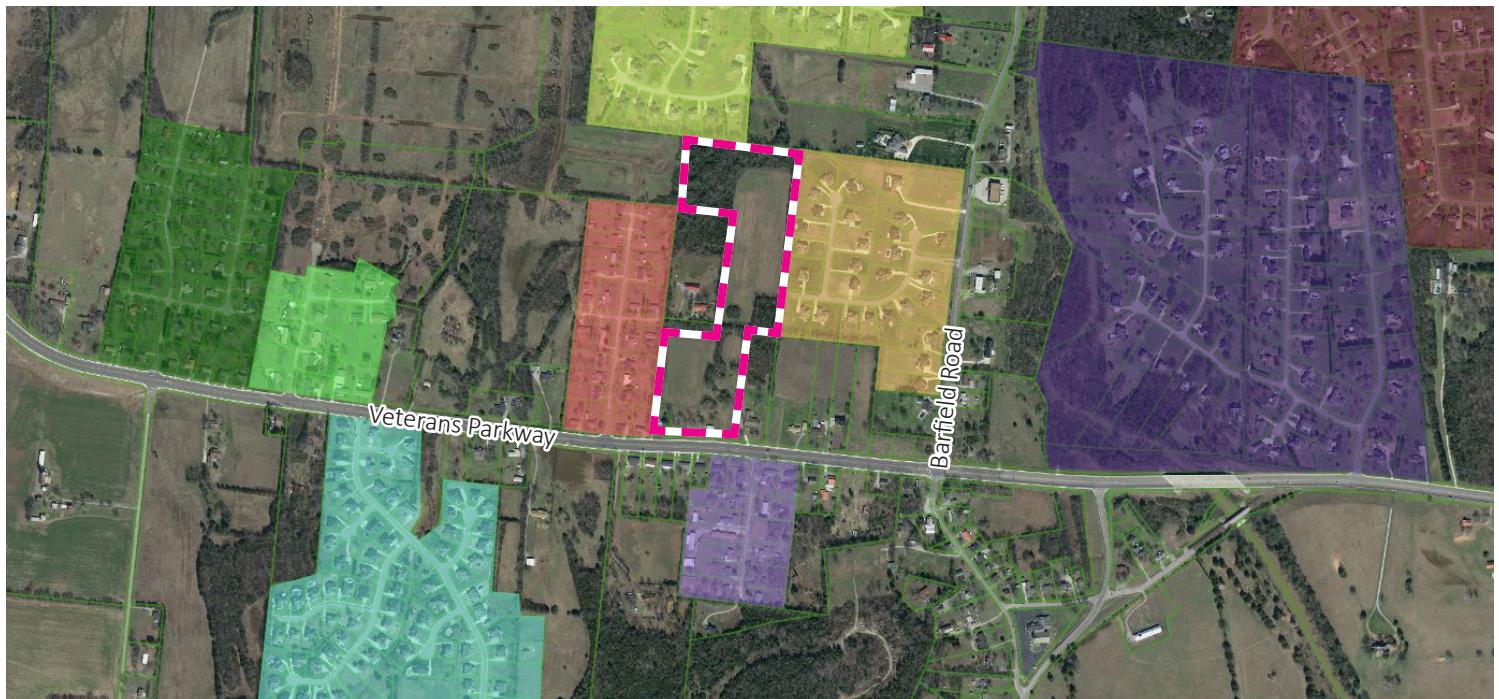
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Major Roadway for Thoroughfare Plan



Site Boundary

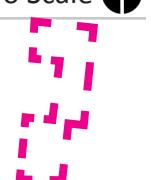
The property has/will have access to the existing public rights-of-way along Veterans Parkway. Veterans Parkway has been widened to a 5-lane roadway. The project will utilize Veterans Parkway as the main access point to the development. Snell Cove will also have access over to Barfield Road via county streets running through Martha's Haven subdivision along the eastern side of the development. Currently, Kristi Charline Street terminates at the eastern boundary between Martha's Haven Subdivision and this project. Kristi Charline runs back to Laurie Place, which ties into Barfield Road. Barfield Road is slated to be widened to a 3-lane as per the 2040 Major Thoroughfare Plan.



ADJACENT SUBDIVISION MAP

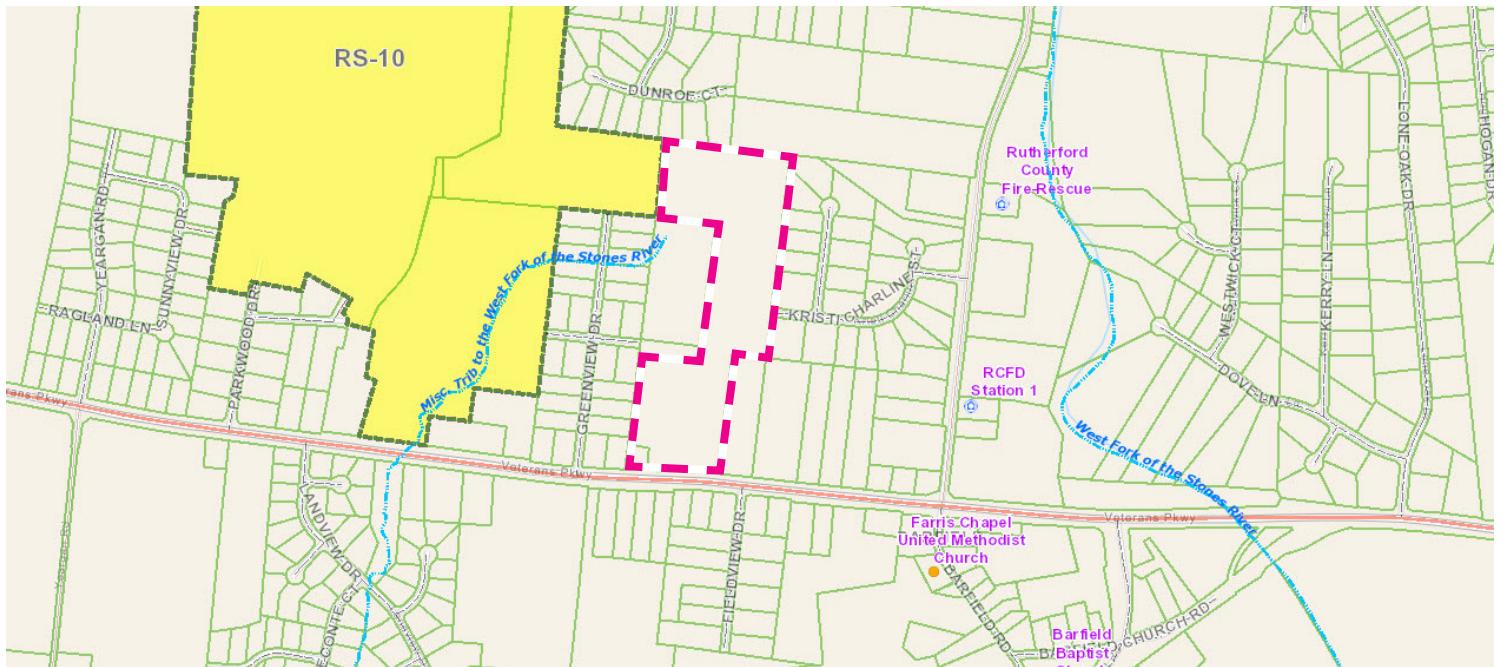
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Barfield Meadows	River Downs	Martha's Haven
Parkwood Estates	Southwood Estates	Dixieland
Valley View	Kimbro Heights	Southridge



Site Boundary

The Cottages at Snell Cove is surrounded by a mixture of residential properties and subdivisions. Southwood Estates is a county subdivision to the west. The subdivision consists of one story single family detached homes, with a mixture of parking pads and car ports. The elevations of the homes are a mixture of brick and siding. Martha's Haven is a county subdivision to the east of Snell Cove. The subdivision is comprised of single-family detached homes, with primarily masonry exterior materials and side entry garages. The subdivision currently has one point of access to Barfield Road, along with a stub street to the Snell property. Kimbro Heights is located along the south side of Veterans Parkway. This subdivision consists of single-family detached lots with a mixture of brick and vinyl materials on the exterior elevations. River Downs Subdivision is to the north of the development, and consists of single-family detached one and two-story homes with brick exteriors and side entry garages.



ZONING MAP

Not To Scale

Single Family Detached (RS-10)

City Boundary

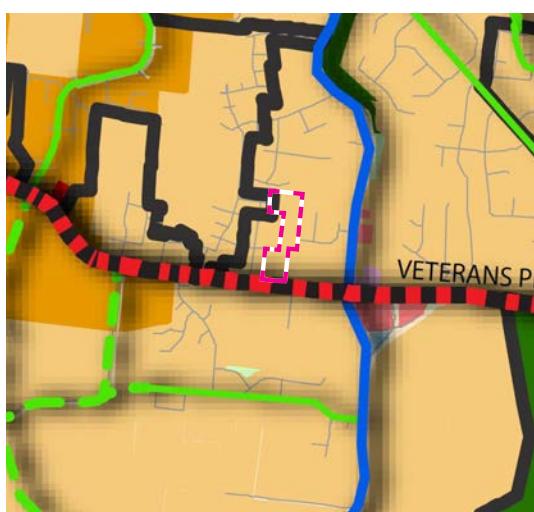


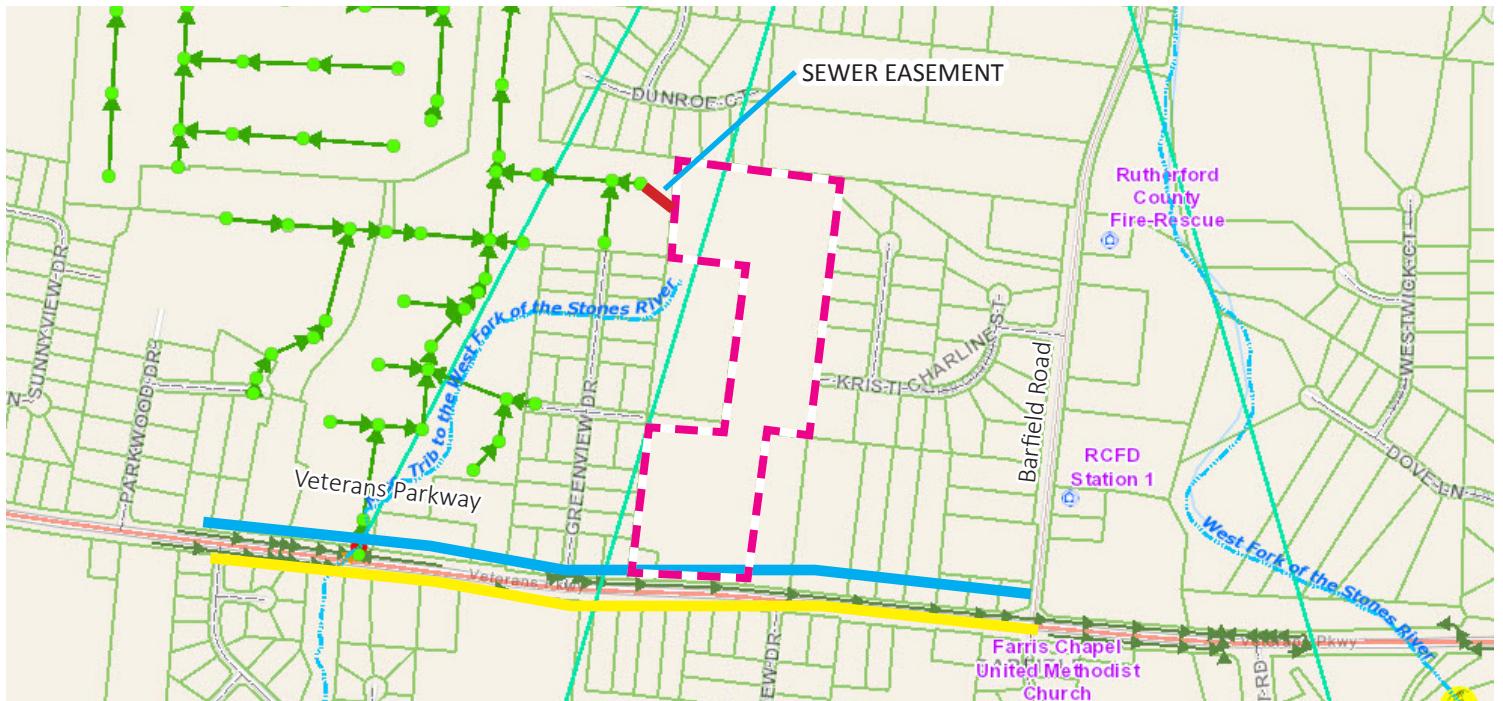
Site Boundary

The property is currently zoned Medium Density Residential (RM) in Rutherford County. A majority of the surrounding properties are currently zoned RM as well. The property to the northwest of the site is a future section of Rivers Edge Subdivision, which is zoned RS-10 within the City of Murfreesboro.

Murfreesboro 2035 Future Land Use Map

The current Murfreesboro 2035 Future Land Use Map indicates that this site is designated Suburban Residential Character (SR). The Suburban Residential designation allows for a variety of residential development types. These types ranging from large estate lots to smaller lots clustered around common open spaces. This character area also understands that these areas, although rural, that they will be developed as the city continues to expand it's boundaries. Characteristically, This development type would allow for; front entry garages with driveways either in the front or side yards, smaller lots with additional open space, and density ranging from 2.0 to 3.54 units per acre. The proposed development is consistent with the Suburban Residential Character. The Snell Cove is proposing small lots with front entry garages, open space that exceeds the minimum requirement, and a density of 2.55 units per acre. It is also providing commercial space to provide neighborhood services to the development and surrounding area. The uses identified for the commercial portion of the PUD are not consistent with the "Suburban Residential" (SR) designation, and are more consistent with the "Suburban (Neighborhood) Commercial" (SC) character designation.





UTILITY MAP

Not To Scale 



WATER



ELECTRIC



SANITARY SEWER



Site Boundary



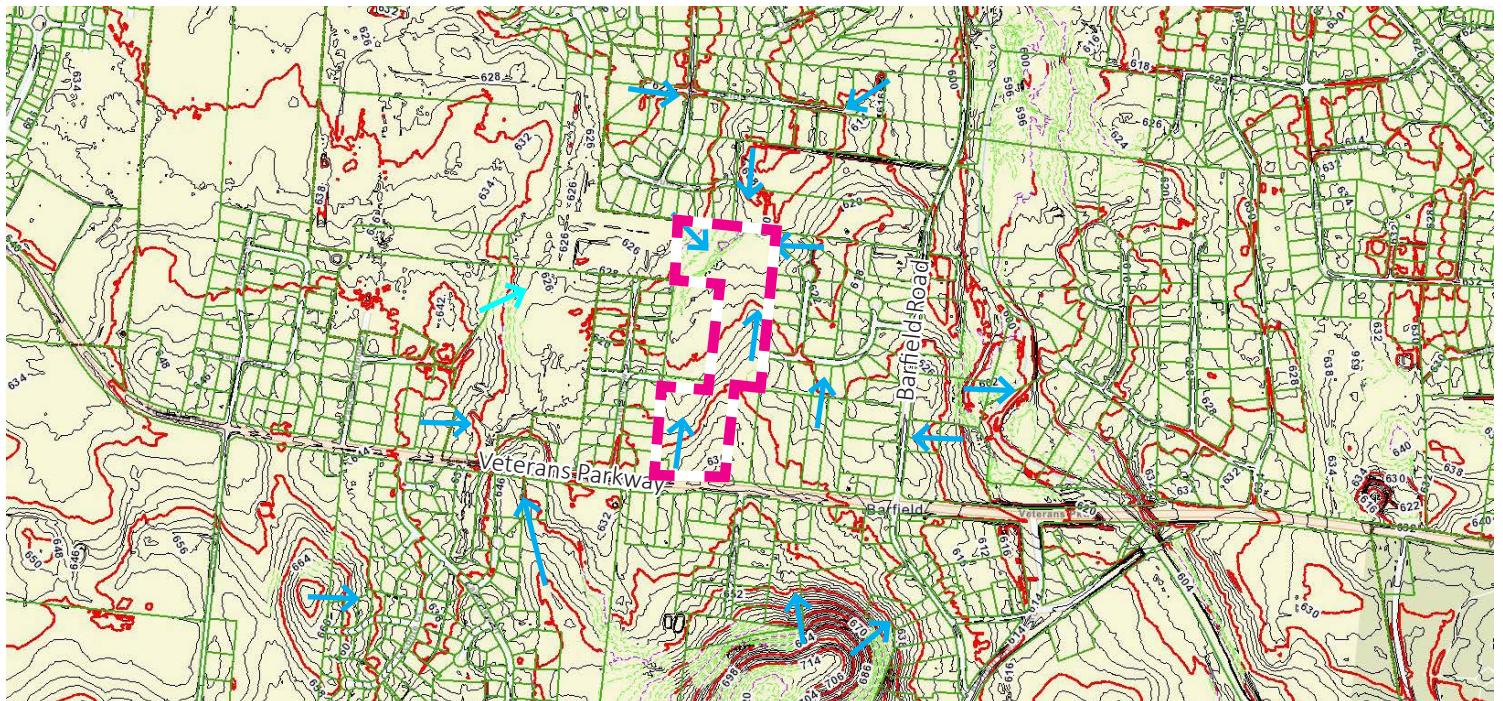
Sanitary sewer service will be provided via a Modified STEP System and force main sewer line connection back to River's Edge subdivision along the northwest corner of the site. A Modified STEP System functions like other STEP systems, the sewer is pumped, via a forcemain, to a gravity sewer line/system, instead of to a treatment unit and drip fields. The developer is responsible for obtaining the sewer easement to the gravity sewer system in River's Edge subdivision. At this time the developer has an agreement for the sewer easement with the developer of River's Edge to allow for connection to the City's gravity sewer system.



Water service will be provided by Consolidated Utility District of Rutherford County. There is an existing 30 inch water line along the north side Veterans Parkway for water and fire service into the site. There is also an 8 inch line at the end of Kristi Charline Street for service as well. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Electric service will be provided by Middle Tennessee Electric Membership Corporation. Electric service will tie into existing overhead lines located south side of Veterans Parkway. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

↙ WATER FLOW DIRECTION

— INTERMEDIATE CONTOURS

— INDEX CONTOURS



Site Boundary

The topographic map above shows the site's topographic high points generally along the southern boundary of the site along Veterans Parkway. The land generally falls from Veterans Parkway towards the north side of the development. The lowest point on the property is located in the northeast corner of the property. Any stormwater that falls on this site follows the general flow of the contours towards the wet weather conveyance running through the northern portion of the development. This property is not located within any FEMA floodplain areas.

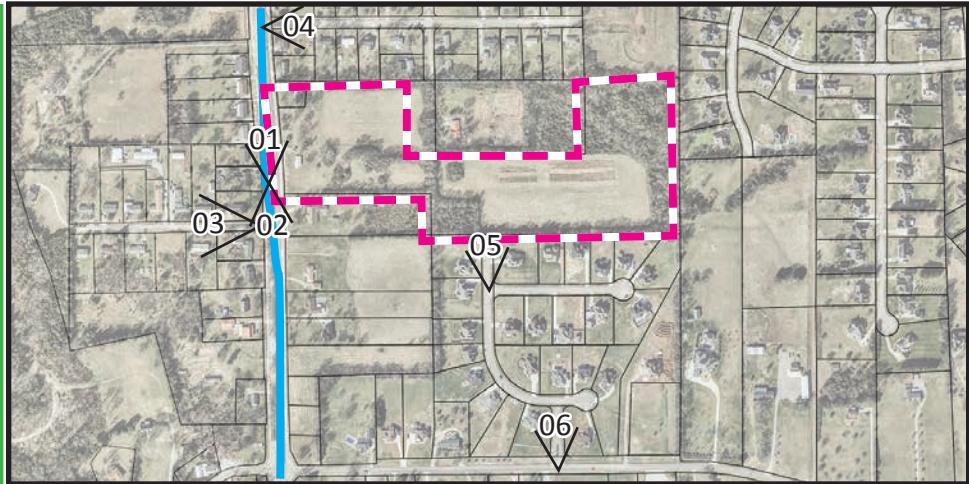


PHOTO DIRECTION MAP

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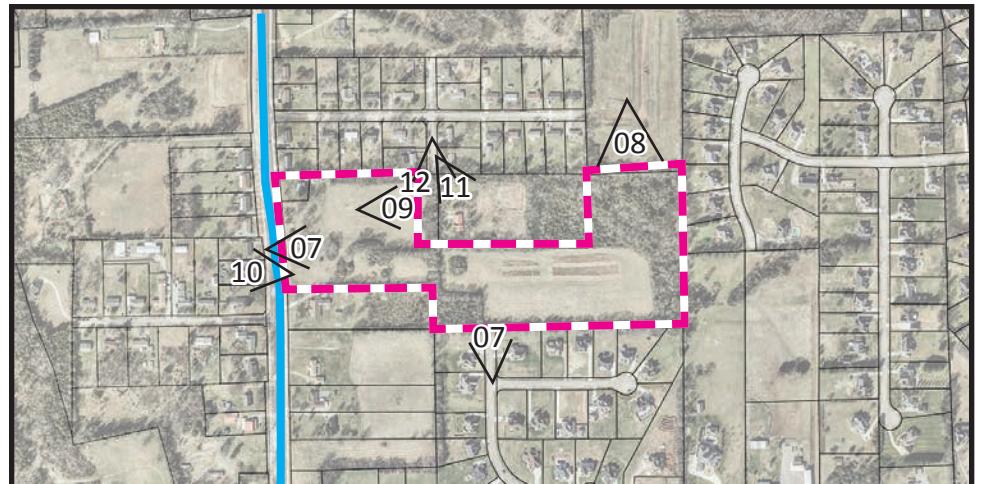


PHOTO DIRECTION MAP

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Veterans Parkway



Site

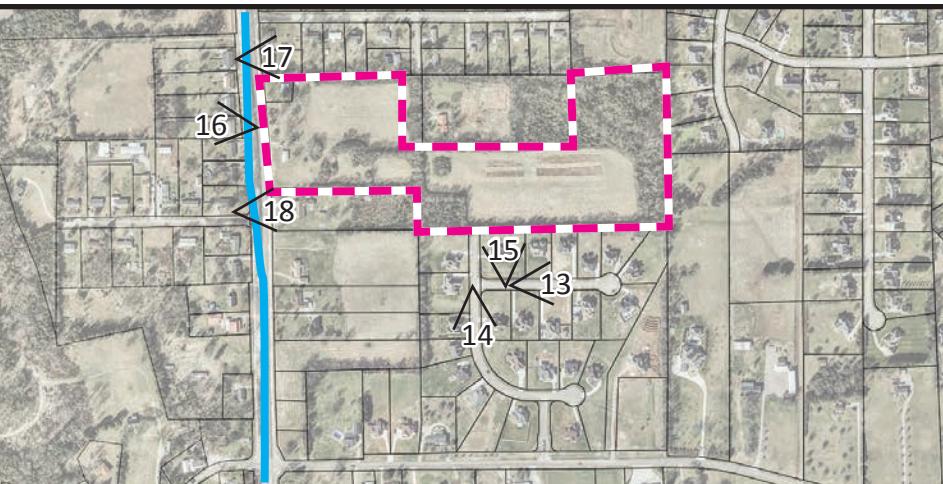


PHOTO DIRECTION MAP

Not To Scale

Veterans Parkway



Site



07



08



13



14



09



10



15



16



11



12



17



18



-120' 0' 120' 240'

SEC, Inc.

SEC Project #18160

Murfreesboro, Tennessee

Total Land Area:
Commercial Land Area:
Residential Land Area:
Total Number of Lots:
Yield: 45 Units/17.65 Acres =
Total Open Space:
Temporary Open Space
Usable Open Space
Stormwater (Detention)

±19.94 Acres
±2.28 Acres (11.4%)
±17.65 Acres (88.5%)
45 Residential Lots
±2.55 Units/Acre
±6.08 Acres (30.5%)
±0.51 Acres (2.56%)
±4.14 Acres (20.76%)
±1.95 Acres (9.8%)

Minimum Residential Lot Size:
Minimum Lot Width at R.O.W.
Typical Lot Dimensions:

Concept Plan Notes:
• Conceptual commercial layout. Final design to be approved by the The City of Murfreesboro Planning Commission
• Lots 3 and 4 shall front onto Street 'A' and not onto Kristi Charline Street

6,000 Square Feet
55'
55' x 120'

Commercial:
Maximum Building Area: 36,000 Sq.Ft.

Commercial Parking:
Required:
36,000 Sq.Ft. x (5 Spaces/1,000 Sq.Ft.)
Provided:
180 Spaces
107 Spaces

Open Space/Common Area
Existing Wooded Area to Remain
Proposed Lots
Proposed Road
Detention

Residential Development Standards:

- 45 single-family detached homes with 2 or more bedrooms.
- The minimum home size will be a minimum of 1,800 square feet of living area.
- Minimum lot size shall be 6,000 sf., with a minimum lot width of 55 feet at the R.O.W.
- All homes will have 2 car front entry garages
- All front entry garages shall be setback a minimum of 35 feet from public R.O.W., including side-entry garages on corner lots.
- Garage doors will have windows and colors that complement the architectural elevations
- Each single family lot will provide at least 4 off-street parking spaces per lot (outside of the garage)
- Each lot will have concrete driveways wide enough for 2 vehicles, and have a minimum width of 16 feet
- Builders shall install sod in front yards, as well as landscaping along the front foundation. On corner lots, builders shall install sod and foundation landscaping along secondary front yards.
- Building elevations will consist of a mixture of brick, stone, or fiber cement siding, with fiber cement siding being the predominant exterior building material. A representation of elevation material types are outlined on Pages 14-15: Residential Architectural Characteristics.
- All residential building elevations and materials shall be approved by the developer or H.O.A. Architectural Review Committee (ARC).
- All streets will be public rights-of-way.
- All public streets have been designed to comply with Murfreesboro Street Standards
- Sidewalks will be provided on both sides of the all public streets throughout the development to create a pedestrian friendly community
- Solid waste service will be provided by the City of Murfreesboro.
- All on-site utilities will be underground.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Street lights will be standard Middle Tennessee Electric Membership Corporation poles and lights.
- The residential entrance off of Veterans Parkway will have new entrance signage constructed of masonry materials and anchored by landscaping and lighting.
- Mail delivery will be delivered to a centralized mail kiosk for the entire neighborhood.
- House numbering will be consistent with numbering and fire code.
- The common open spaces will be maintained by an H.O.A.
- All home owners will be required to be a member of the H.O.A.
- H.O.A. will be managed by independent 3rd party management company
- The residential development is planned to be constructed in 1 Phase.
- Construction is anticipated to begin within 90-120 days after rezoning is completed.



Mail Kiosk Example



Development Signage Example



Residential Architecture Characteristics:

- Building heights shall not exceed 35 feet in height.
- There will be a mixture of 1-story and 2-story homes.
- All homes will have at least 2 bedrooms.
- All the homes will have eaves.
- All homes will have a covered front stoop or porch.
- All homes will have an option for a covered or open deck, porch and/or patio area at the rear of the home.
- Secondary front facades on corner lots shall have similar architectural characteristics as the primary front facade.
- Primary building materials shall not be bright or vibrant colors.

Residential Building Elevation Materials:

- Permitted exterior building materials on all elevations: brick, stone, and fiber cement siding.
- Soffits and fascia will consist of aluminum and/or vinyl.
- Vinyl will not be a permitted exterior building material, except in trim, soffits, and fascia.
- Roofs will be shingles, while metal roofing shall be permitted as an accent roofing material.

Front: Brick, Stone, Fiber Cement Board

Secondary Front: Brick, Stone, Fiber Cement Board

Side: Fiber Cement Board

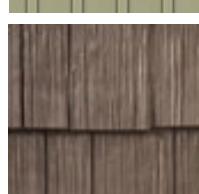
Rear: Fiber Cement Board



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)



Example of Fiber Cement Board and Batten Siding
(different colors, patterns will be allowed)



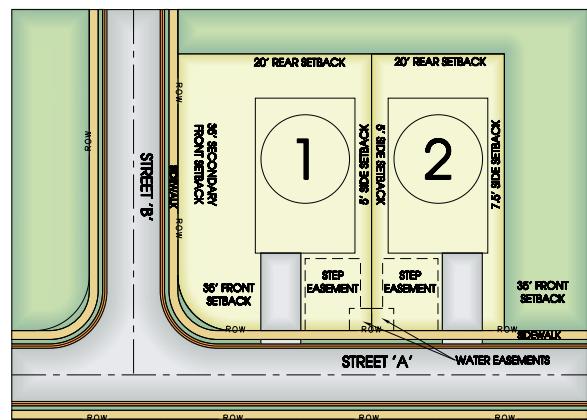
Example of Fiber Cement Shakes
(different colors, patterns will be allowed)



Example of Fiber Cement Board Siding
(different colors will be allowed)



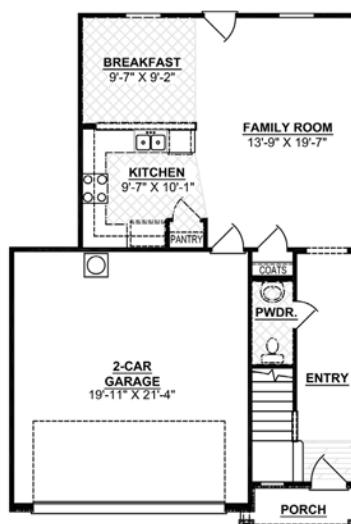
Example of Brick
(different colors and patterns will be allowed)



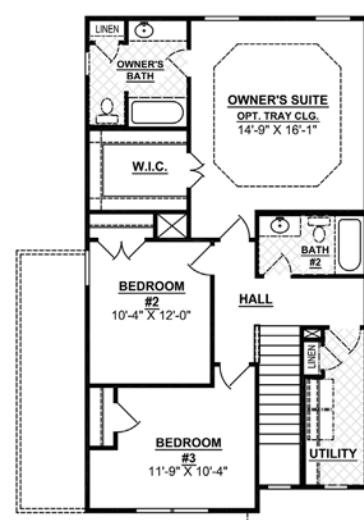
**TYPICAL LOT DIAGRAM
N.T.S.**

Minimum Building Setbacks:

Front:	35-Feet
Side Entry Garage on Corner Lots:	35-Feet
Corner Lot Front:	35-Feet
Side:	5-Feet
Rear:	20-Feet



First Floor



Second Floor



*The elevations and floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

Commercial Lot Development Standards

While the immediate end users of the commercial lot are unknown at this time, additional standards for those anticipated uses have been outlined here below.

Minimum Site Characteristics - Commercial Lot:

- All parking will be located at least 8 feet from property lines (side, rear, and R.O.W.), and have curbing.
- All parking areas to be screened from public right-of-way by landscaping and/or in combination with mounds.
- Any solid waste enclosures will be constructed of materials consistent with building architecture, and be at least 8 feet tall with opaque gates.
- Type 'D' Buffer will be constructed along the western property line of commercial property to screen the side and rear yards of the existing adjacent residential lots from the site's commercial uses and parking areas.
- Commercial buildings shall have pedestrian connections to Veterans Parkway and the residential street network.
- Buildings will have a well-defined architectural base by use of different materials, colors and change in pattern or a combination of these techniques.
- Building elevations will have articulation or multiple building planes along street facing elevations.
- The main entrances are to be well defined and easily recognizable by the use of one or more of the following design options; raised roof lines, canopies, glazing, changes in materials, changes in colors, and changes in building planes.
- Monument signage located at entrances along roadways to have materials consistent with building architecture and accented with landscaping and lighting.
- All mechanical equipment (i.e. HVAC and transformers) to be screened with landscaping. If mechanical equipment is located on the roof, then they should be screened from view.
- All on-site utilities will be underground.
- On-site lighting styles will complement the commercial development, and will comply with city lighting standards to prevent light pollution.
- Parking will comply with Murfreesboro's Zoning Ordinance for uses outlined on page 18.
- Construction on the commercial lot will begin once an end-user has chosen the site and receives site plan approval from the Murfreesboro Planning Commission.
- All buildings on the commercial lot will have consistent materials & architecture to create an overall theme for the development, that blends with the residential development.
- Commercial lot will not be part of the residential H.O.A. and will be owned and maintained by a separate commercial H.O.A.

Architectural Characteristics:

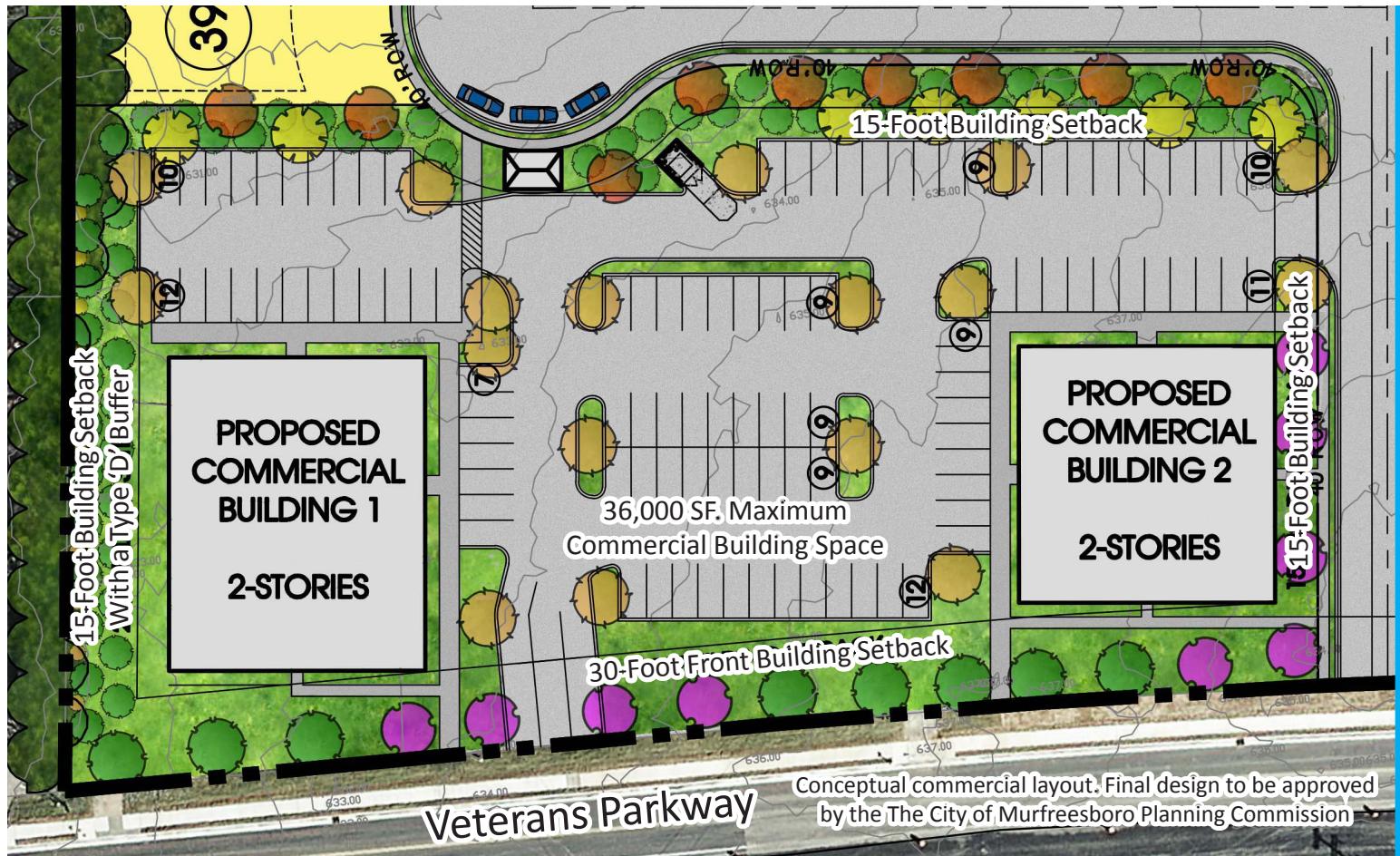
- Maximum building height of 35 Feet
- Maximum 36,000 sf of commercial/office space shall be permitted, which will be dependent on parking requirements for the proposed use as per the zoning ordinance.
- 2-story buildings, although they might developer as 1-story buildings.
- Primary building materials shall not be bright or vibrant colors. Secondary building material may be brighter than that which is used on the primary materials.
- Roof types: Hip, gable, parapet, or pitched

Building Elevation Materials:

- Brick or painted brick
- Fiber cement board siding
- Stone or cast stone
- Asphalt shingles or metal roofs
- Applied cement stucco
- Integrally Colored Split Face Block (secondary material used in very limited amounts as accents)
- Dryvit will be allowed, but only in combination with other materials. No single elevation shall be all Dryvit.
- Textured metal (secondary material used in very limited amounts as accents)
- Soffits and fascia will consist of aluminum and/or vinyl.
- Vinyl will not be a permitted exterior building material, except in trim, soffits, and fascia.
- The front of the commercial buildings shall be the elevations facing Veterans Parkway. All building elevations facing streets, shall have the same architectural treatment as those facing Veterans Parkway.
- The commercial buildings and development will be designed as per the standards listed in this book, and all others shall comply with the Murfreesboro Design Guidelines.
- Architectural materials and colors will be reviewed at the time of a site plan submittal by the various departments of the City of Murfreesboro, and approved by the Murfreesboro Planning Commission

Minimum Building Setbacks - Commercial Lots:

<u>Veterans Parkway Frontage:</u>	30-foot
<u>Street 'A':</u>	15-foot
<u>Street 'B':</u>	15-foot
<u>Western Property Line:</u>	15-foot



Commercial Lot

The building architecture will be designed to be functional for the intended uses, while maintaining a residential architectural character to blend with the proposed residential development and adjoining properties.



*The images above are meant to convey the general appearance and functionality of the commercial buildings.

Commercial Development Timetable:

Since the commercial lots are not anticipated to be built initially with the residential development, the two existing rental homes will remain until commercial development is approved. The remaining commercial land will be left undisturbed and the lawn areas around the rental properties will be maintained until such time that commercial development commences. If the rental properties were to be removed, then the commercial lots will be brought up to grade and covered with seed and straw to create a park like setting along Veterans Parkway. The finished commercial lots will be mowed and maintained until construction of the commercial lots commences.

Commercial Lot - Allowable Uses

While the immediate end user(s) of the commercial lot is unknown at this time, the allowable uses shall consist of all permitted uses listed on this page. The uses below were pulled from the allowable uses listed under the Commercial Fringe (CF) zoning district as outlined in the current Murfreesboro Zoning Ordinance. These uses are intended to allow low impact commercial uses in relative close proximity to residential developments. These uses would neighborhood conveniences such as commercial, office and personal services uses for the surrounding developments.

USES PERMITTED	
	2, ¹⁴
OTHER HOUSING	CF
Accessory Dwelling Unity	X
Assisted-Care Living Facility ¹⁵	X
INSTITUTIONS	
Day-Care Center	X
Public Building ¹³	X
COMMERCIAL	
Animal Grooming Facility	X
Amusements, Commercial Indoor	X
Antique Mall	X
Antique Shop <3,000 sq. ft.	X
Art or Photo Studio or Gallery	X
Bakery, Retail	X
Bank, Branch Office - No Drive Thru Service	X
Bank, Drive-Up Electronic Teller	X
Barber or Beauty Shop	X
Book or Card Shop	X
Business School	X
Business and Communication Service	X
Catering Establishment	X
Clothing Store	X
Chiropractor's Office	X
Coffee, Food, or Beverage Kiosk	X
Commercial Center	X
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X
Delicatessen	X
Dentist's Office	X
Discount Store	X
Dry Cleaning	X
Dry Cleaning Pick-Up Station	X
Financial Service (No Check into Cash)	X
Flower or Plant Store	X
Garden and Lawn Supplies	
Glass--Stained and Leaded	X
Glass Services	X
Group Assembly, <250 persons	X
Health Club	X

USES PERMITTED	
	2, ¹⁴
COMMERCIAL (Cont.)	CF
Ice Retail	X
Interior Decorator	X
Janitorial Service	X
Karate, Instruction	X
Keys, Locksmith	X
Laboratories, Medical	X
Laboratories, Testing	X
Laboratories, Self-Service	X
Movie Theater	X
Music or Dancing Academy	X
Offices	X
Optical Dispensaries	X
Personal Service Establishment	X
Pharmacies	X
Photo Finishing	X
Photo Finishing Pick-Up Station	X
Physician's Office	X
Reducing and Weight Control Service	X
Restaurant and Carry-Out Restaurant	X
Restaurant, Specialty	X
Restaurant, Specialty -Limited	X
Retail Sales	X
Retail Shop, other than enumerated elsewhere	X
Shopping Center, Neighborhood	X
Specialty Shop	X
Veterinary Office	X
Veterinary Clinic	X
Video Rental	X
Walk-in Clinic	X
Urgent Care Clinic	X
TRANSPORTATION AND PUBLIC UTILITIES	
Post Office or Postal Facility	X
Telephone Service Center	X
X = Use permitted by right.	

Commercial Lot - Landscaping

The commercial lots will have ample landscaping to provide not only aesthetically pleasing experience, but to aid in mitigating impacts to the proposed residential lots within Snell Cove and surrounding properties. To ensure these characteristics, some standards are outlined below as well as a sample palette of

Minimum Landscape Characteristics - Commercial Lot:

- All parking will be located at least 8 feet from all property lines (side, rear, and R.O.W.) to provide for perimeter landscape plantings.
- All parking areas to be screened from public right-of-way by landscaping or a combination with mounds.
- Any solid waste enclosures will be screened with evergreen shrubs.
- Type 'D' Buffer will be constructed along the western property line of commercial property to screen the side and rear yards of the existing adjacent residential lots from the site's commercial uses and parking areas.
- The base of the building will have a minimum 3 feet wide landscape bed with foundation plantings.
- Monument signage located at entrances along roadways to have materials consistent with building architecture and accented with landscaping and lighting.
- All mechanical equipment (i.e. HVAC and transformers) to be screened with landscaping if located on the ground. All roof mounted equipment shall be screened from public view by architectural elements.
- Landscaping will be in conformance with City of Murfreesboro's Landscape Ordinance.



TYPICAL EVERGREEN TREES FOR USE IN THE LANDSCAPE BUFFER



Proposed Residential and Commercial Entrances



Pursuant to the City of Murfreesboro's 2025 Major Transportation Plan (MTP), Veterans Parkway has been improved to a 5-lane road. Veteran Parkway will be used for as the primary means of ingress and egress for this development.

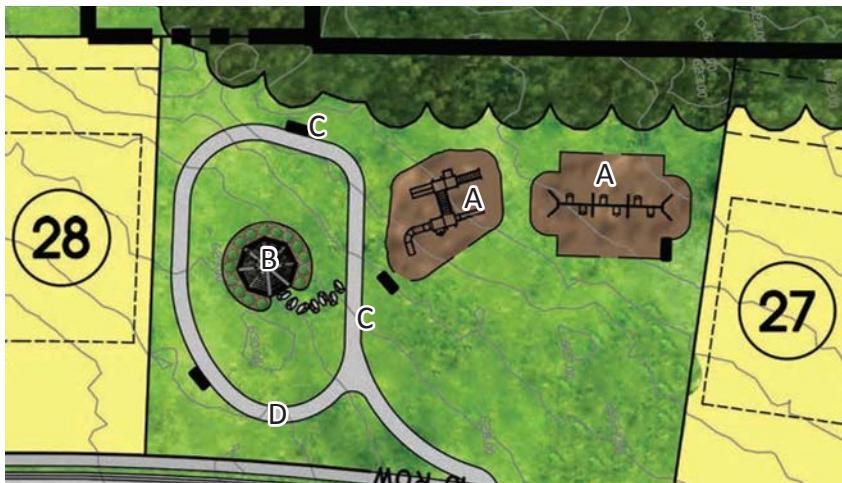
As stated above, the primary means of ingress/egress from this site will be onto Veterans Parkway. There are two entrances proposed off of Veterans Parkway. The east entrance shall incorporate three travel lanes for proper circulation into and out of the development. This intersection will provide dedicated left and right turns lanes out of the neighborhood, as well as single lane for traffic entering the development. This entrance will be the main entrance into the residential part of the development. The west entrance off of Veterans will provide direct access to the commercial portion of the development. A second commercial entrance has been provided back to the Street 'A', just to the north of the residential intersection of Veterans Parkway. This second entrance will allow for circulation into and out of the commercial development back to public streets.

The concept plan has included a secondary means of ingress/egress to the development. The illustration below shows a connection to the existing public stub street in the Martha's Haven subdivision along the eastern boundary of the development. The Kristi Charline Street stub connection will provide access back to Barfield Road from this development.

All streets within the development will be local city streets with a typical 40 foot R.O.W. cross-section. These streets will be built in accordance with the Murfreesboro Street Standards.



Stub Road Connection to Kristi Charline Street



LOCATION MAP - AMENITIES

Not To Scale

A Playground Area

B Pavilion

C Seating Area

D Paved Walking Path

The Cottages at Snell Cove will provide a total of 6.08 acres (30.5%) of common open space, of which 4.14 acres will be Usable Open Space and 1.95 acres will be for stormwater detention. The development will be exceeding the minimum open space requirement of 20% for the residential and commercial areas. Usable open space areas around the development will offer amenities such as; a playground area, a pavilion, a paved walking path in the park, and seating areas. Additionally, sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents. The residential entrance off of Veterans Parkway will incorporate development signage constructed of masonry materials, that will be anchored with landscaping and lighting.



Example of a Playground



Example of a Pavilion



Example of a Paved Walking Path and Seating Area



Example of a Swing Set

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 8 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 9 that shows the existing contours and drainage patterns, along with an aerial photograph of the area on Page 4. No portion of the property is subject to floodplains or floodways.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Pages 12-15 lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: The maximum number of dwelling units with two (2) bedrooms or more are listed on Page 13.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PUD.

TOTAL SITE AREA (RESIDENTIAL)	747,172 s.f.
TOTAL MAXIMUM FLOOR AREA	81,000.00 s.f.
TOTAL LOT AREA	378,505 s.f.
TOTAL BUILDING COVERAGE	63,000 s.f.
TOTAL DRIVE/ PARKING AREA	134,670 s.f.
TOTAL RIGHT-OF-WAY	108,734 s.f.
TOTAL LIVABLE SPACE	612,502 s.f.
TOTAL OPEN SPACE	264,471 s.f.
FLOOR AREA RATIO (F.A.R.)	0.11
LIVABILITY SPACE RATIO (L.S.R.)	0.74
OPEN SPACE RATIO (O.S.R.)	0.92

TOTAL SITE AREA (COMMERCIAL)	99,223 s.f.
TOTAL MAXIMUM FLOOR AREA	36,000 s.f.
TOTAL LOT AREA	99,223 s.f.
TOTAL BUILDING COVERAGE	18,000 s.f.
TOTAL DRIVE/ PARKING AREA	39,248 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	59,975 s.f.
TOTAL OPEN SPACE	35,640 s.f.
FLOOR AREA RATIO (F.A.R.)	0.36
LIVABILITY SPACE RATIO (L.S.R.)	0.42
OPEN SPACE RATIO (O.S.R.)	0.82

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned Medium Density Residential (RM) in the county. The surrounding area has a mixture of residential properties and subdivisions. The 2035 Land Use plan suggests a Suburban Residential (SR). The concept plan and development standards combined with the architectural requirements of the homes and commercial buildings shown within this booklet align and closely mimic the type of developments in the surrounding area and are envisioned to complement the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in one phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 13 & 16.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: The applicant is requesting the following exceptions with this PUD.

RESIDENTIAL SETBACKS	RS-6	PUD	DIFFERENCE
Front Setback	35.0'	35.0'	0'
Secondary Front Setback	35.0'	35.0'	0'
Side Setback	5.0'	5.0'	0'
Rear Setback	20.0'	20.0'	0'
Minimum Lot Size	6,000 s.f.	6,000 s.f.	0 s.f.
Minimum Lot Width	50.0'	55.0'	+5.0'

COMMERCIAL SETBACKS	CF	PUD	DIFFERENCE
Front Setback - Veterans	42.0'	30.0'	-12.0'
Street 'A'	42.0'	15.0'	-27.0'
Street 'B'	42.0'	15.0'	-27.0'
Western Property Line	10.0'	15.0'	+15.0'
Building Height	45.0'	35.0'	-10.0'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0270H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 16 discusses the Major Thoroughfare Plan. Veterans Parkway has been improved to a 5-lane roadway width according to the Murfreesboro 2025 Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Rob Molchan of SEC, Inc. Developer/ applicant is Greenland Partners, LLC. Contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 14-17 show the architectural character of the proposed residential and commercial buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 13 and a description is on Pages 13, 16, 19, and 21.

**Minutes of the
Murfreesboro Planning Commission
December 19, 2018
City Hall 1:00 P.M.**

Members Present

Bob Lamb, Chairman
Kathy Jones, Vice Chair
Ken Halliburton
Eddie Smotherman
Warren Russell
Ronnie Martin

Staff Present

Donald Anthony, Planning Director
Matthew Blomeley, Assist. Planning Director
Margaret Ann Green, Principal Planner
Marina Rush, Principal Planner
Dianna Tomlin, Principal Planner
Lexi Stacey, Recording Assistant
David Ives, Assistant City Attorney
Austin Cooper, Planner
Brad Barbee, Landscape Site Plan Inspector
Katie Noel, Project Engineer
Matt Fasig, Project Engineer

Chairman Bob Lamb called the meeting to order after determining there was a quorum. Chairman Bob Lamb approved the minutes of October 17th, November 7th, and December 5th, 2018, Planning Commission meetings as submitted.

Consent Agenda

Northstar Drive Warehouse [2018-3171] site plan for a 13,500 ft2 warehouse on 4.02 acres zoned L-I along Northstar Drive, Alan Honer developer.

SCI Telecommunications Tower [2018-3166] site plan for telecommunication tower on 0.5 acres zoned CH located at 1631 Northwest Broad Street, SCI Towers, Inc. developer.

Maxsteel, Lots 1-3 and Resubdivision of Samsonite Development, Lot 3 [2018-2116] final plat for 4 lots on 24.79 acres zoned H-I located along Old Salem Road and Captain Joe Fulghum Drive, B&T, LLC developer.

The Reserve at Marymont Springs, Section 2 [2018-2114] final plat for 24 lots on 7.08 acres zoned PUD located along Peacemill Lane, New South Developments, LLC developer.

Westlawn, Section 5 [2018-2119] final plat for 70 lots on 26.01 acres zoned PUD located along Tulip Tree Drive and Shores Road, D.R. Horton, Inc. developer.

Maple Street Townhomes [2018-2110] horizontal property regime plat for 9 units and final plat for 1 lot on 0.64 acres zoned RM-16 located along North Maple Street, Deep River Development, LLC developer.

Roy McMahan, Resubdivision of Lots 2&3 and Woodfin, Resubdivision of Lot [2018-2118] final plat for 1 lot on 8.19 acres zoned RM-16 located along Hazelwood Street and Lascassas Pike, Oakland Properties developer.

The Shoppes at Northgate Lot 4 [2018-3173] site plan for 9,650 ft² restaurant/medical office on 1.4 acres zoned CH located along Memorial Boulevard, D3 Murfreesboro LLC developer.

Commissioners Martin and Smotherman engaged with staff in brief discussions regarding Maple Street Townhomes and The Shoppes at Northgate Lot 4.

Ms. Kathy Jones made a motion to approve the consent agenda, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

Gateway Design Overlay

Davita Dialysis Center [2018-3157 & 2018-6023] final design & site plan review for a 8,000 ft² medical office on 1.8 acres zoned CH & GDO-3 located along Gateway Boulevard and Carl Adams Drive, Genesis KC Development developer. Ms. Margaret Ann Green explained that this is final design review and site plan review for a proposed medical office located along Gateway Boulevard and Carl Adams Drive. If approved by the Planning Commission, the project will go to the Design Review Committee for final design approval. Ms. Green summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Green recommended that approval be made subject to staff comments. Mr. David Lex with Alex Roush Architects, Inc. and Chris Sakers with Kimley-Horn were in attendance to represent the applicant.

Mr. Ronnie Martin made a motion to approve, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

SpringHill Suites & TownePlace Suites [2018-3170 & 2018-6025] initial design review for 20,284 ft² hotels on 3.3 acres zoned CH & GDO-1 located along Avenue Way & Silohill Lane, Platinum Gateway 1 LLC, developer. Ms. Margaret Ann Green explained that this is initial design review of a proposed hotel located along Silo Hill Lane and I-24. Ms. Green summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Green added that the subject property is located along a section of I-24 that has a 50-foot buffer which does not allow parking or storage; further, existing trees must be maintained in the buffer. Ms. Green added that the proposed hotel would contain 160 rooms, be dual-branded, and consist of five stories. It would be built with modular units on floors two through five, and the first floor would be built on site and act as a pedestal. Mr. Alan Gillery, Mr. David Wallace, Mr. Javier Ramos and Steven Haskey were in attendance to represent the applicant. The applicants discussed the modular construction method for the hotel, noting the following:

- Two rooms per modular unit
- Less labor required, good for labor shortage
- Controlled climate construction
- Inspected by third party licensed by the State of Tennessee
- 19 days of construction to produce 160 rooms
- Stick built
- 45,000 lbs per unit

The Planning Commission viewed a brief video depicting the construction of a modular hotel.

Mr. Ken Halliburton made a motion to approve subject to all staff comments, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Plats and Plans

Florence Car Wash [208-3142] site plan for 3,180 ft² vehicle wash on 1.1 acres zoned CH located along NW Broad Street & Florence Road, Prime Time LLC developer.

Ms. Margaret Ann Green explained that the site plan was for a proposed car wash, a use allowed by right in the CH zoning district. The subject property is located at the corner of NW Broad Street and Florence Road. Ms. Green summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Green added that the required entrance to the site would be located along Florence Road. There would also be access on NW Broad Street, but the plan allows exit only; Ms. Green stated that staff

has asked the applicant to provide a plan showing how people will be prevented from misusing that access drive. Mr. Bill Huddleston was in attendance to represent the applicant. Mr. Huddleston said that there would be two “do not enter” signs at the NW Broad Street access point; there would also be markings on the pavement. Ms. Kathy Jones suggested that a barrier arm gate be used to prevent vehicles from entering through the NW Broad Street access point. Ms. Green said she would consult with the Fire Department regarding the possibility of a barrier arm gate being placed along the NW Broad Street access.

Mr. Warren Russell made a motion to approve subject to all staff comments including adjusting the plan to include a barrier gate arm for the NW Broad Street access point, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

New Business

Annexation plan of services and annexation petition [2018-512] for approximately 1.8 acres located along Joe B Jackson Parkway and Annell Drive, Ginger McCreery applicant. Ms. Dianna Tomlin summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Tomlin noted that the application was for a 1.8-acre parcel. Staff has also included approximately 300 feet of right-of-way in the annexation study. Ms. Tomlin noted that staff was in the process of writing a plan of services, and she recommended a public hearing on January 9th, 2019.

Ms. Kathy Jones made a motion to schedule a public hearing on January 9th, 2019, seconded by Ken Halliburton. The motion carried by unanimous vote in favor.

Annexation plan of services and annexation petition [2018-513] for approximately 21.16 acres located along Veterans Parkway, Fred Snell, Jr. applicant. Ms. Marina Rush summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Rush noted that the annexation request was for two parcels totaling approximately 21 acres. Additionally, 500 linear feet of right-of-way would be included in the annexation study. Ms. Rush added that the subject property was contiguous to the City limits on the northwest property line and was located within the City’s Urban Growth Boundary. An accompanying rezoning request would be the following item on the agenda. Ms. Rush recommended a public hearing on January 9th, 2019. Mr. Rob Molchan was in attendance to represent the applicant.

Mr. Ken Halliburton made a motion to schedule a public hearing on January 9th, 2019, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

Zoning application [2018-440] for approximately 19.94 acres to be zoned PUD simultaneous with annexation (The Cottages at Snell Grove PUD) located along Veterans Parkway, Greenland Partners, LLC developer. Ms. Marina Rush explained that the subject properties total 19.94 acres and are identified as Tax Map 124, Parcels 22.0 and 23.0. Ms. Rush summarized the staff report, which was made available in the agenda packet provided to the Planning Commission. Ms. Rush noted that the rezoning request included 45 single family lots with commercial lots on the front of the properties along Veterans Parkway. There was a neighborhood meeting for this rezoning request. Ms. Rush referred to the Murfreesboro 2035 Land Use Plan Map, which identifies the subject property as appropriate for suburban residential development. The suburban residential classification allows for smaller lots in exchange for more open space. Ms. Rush noted that the commercial component of the request was not consistent with the Future Land Use Map. Ms. Rush recommended setting a public hearing on January 9th, 2019.

Mr. Rob Molchan was in attendance on behalf of the applicant. Mr. Molchan stated that the proposed commercial uses were based on CF zoning. Mr. Molchan explained that the development would rely on a “modified step-system,” which would utilize the same vault system on the fronts with the force mains pushing the sewer to the north. The development would attach to the sewer being used by a subdivision that is to the northwest. Mr. Molchan stated that the applicant would like to construct two-story buildings on the commercial portion to better accommodate parking. Mr. Molchan stated that a large landscape buffer would be provided between the commercial and residential properties.

Mr. Ken Halliburton made a motion to schedule a public hearing on January 9, 2019, seconded by Ms. Kathy Jones. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

Discussion of City Core Overlay (CCO) expansion.

Ms. Dianna Tomlin gave a presentation regarding a potential expansion of the City Core Overlay (CCO) zoning district. Ms. Tomlin requested that Commissioners provide any feedback that they may have regarding the potential expansion. Commissioners had no

specific suggestions and agreed that the expansion project was ready to be presented to the public for additional feedback. This was an informational item, and no vote was necessary.

Mandatory Referral for a gas line easement located at McKnight Park to service the new Maintenance building and Hangar.

Mr. David Ives discussed a proposed gas line easement, which would run to the new McKnight Park maintenance building and Murfreesboro Municipal Airport hangar. The easement would be granted to Atmos. Mr. Ives recommended that the Planning Commission approve the mandatory referral.

Mr. Eddie Smotherman made a motion to approve, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

Mr. Bob Lamb adjourned the meeting at 2:05 pm, as there was no further discussion.