

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**JUNE 3, 2026  
6:00 PM**

**Ken Halliburton  
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the May 20, 2026 Planning Commission regular meeting.**
- 5. Old Business:**
  - a. Zoning application [2026-407] for approximately 1.37 acres located along Rushwood Drive to be rezoned from OG and RS-8 to PCD (Bellwood Office Park PCD), Wayne Belt applicant. (Project Planner: Brad Barbee)
- 6. Public Hearings and Recommendations to Council:**
  - a. Zoning application [2026-412] for approximately 30.17 acres located along Elam Road and Joe B Jackson Parkway to be rezoned from G-I to G-I and PSO (Buc-ee's PSO), Buc-ee's LTD applicant. (Sign Administrator: Teresa Stevens)
  - b. Annexation petition and plan of services [2026-503] for approximately 35.3 acres located along Franklin Road, Gresham Lane, and Almar Knot Drive, including an approximately 2,400-foot segment of Franklin Road right-of-way and a 975-foot segment of Almar Knot Drive right-of-way, Franklin Road Baptist Church applicant. (Project Planner: Holly Smyth)
  - c. Zoning application [2026-411] for approximately 1.9 acres located along Franklin Road to be rezoned from PUD to CF and for approximately 25.1 acres to be zoned CF simultaneous with annexation, Franklin Road Baptist Church applicant. (Project Planner: Holly Smyth)
  - d. Annexation petition and plan of services [2026-502] for approximately 16.78 acres located along Shelbyville Pike, Joe Avery Curtis, Jr. applicant. (Project Planner: Brad Barbee)

# MURFREESBORO PLANNING COMMISSION AGENDA

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JUNE 3, 2026

- e. Zoning application [2026-410] for approximately 16.78 acres located along Shelbyville Pike to be zoned PCD (Lowes Home Center PCD) simultaneous with annexation, Lowe's Home Centers, LLC applicant. (Project Planner: Brad Barbee)
- f. Proposed amendment to the Zoning Ordinance [2026-804] related to Automotive/Motor Vehicle Repair and Service uses and pertaining to *Chart 1: Uses Permitted* (including Chart 1 Endnotes), City of Murfreesboro Planning Department applicant. (Project Planner: Matthew Blomeley)

## **7. Staff Reports and Other Business.**

## **8. Adjourn.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

**1:00 P.M.**

**Council Chambers**

**MEMBERS PRESENT**

Ken Halliburton, Chair  
Jami Averwater, Vice-Chair  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright

**STAFF PRESENT**

Ben Newman, Dir. of Land Mngt. & Planning  
Matthew Blomeley, Assistant Planning Director  
Holly Smyth, Principal Planner  
Ryan Robeson, Principal Planner  
Brad Barbee, Principal Planner  
Molly Gilliland, Planner  
Katie Noel, Project Engineer  
Maria Routon, Dev. Services Coordinator  
Lee Holliman, Project Engineer  
Carolyn Jaco, Recording Assistant  
John Tully, Assistant City Attorney

**1. Call to order.**

Chair Ken Halliburton called the meeting to order.

**2. Determination of a quorum.**

Chair Ken Halliburton determined that a quorum was present.

**3. Public Comments.**

Chair Ken Halliburton announced that no one signed up to speak during the Public Comment portion of the Agenda.

**4. Approve minutes of the May 6, 2026 Planning Commission regular meeting.**

Vice-Chair Jami Averwater made a motion to approve the minutes of the May 6, 2026 Planning Commission regular meeting; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

## 5. Consent Agenda:

**Homeplace, Section 1 [FPL26-0009]** final plat for 110 lots on 39.05 acres zoned RS-6 located along Florence Road, Ashton Woods developer.

**Alexander Square, 2nd Resubdivision of Lot 1 [FPL26-0011]** final plat for 2 lots on 4.7 acres zoned CH located along South Rutherford Boulevard, Alexander Square Partnership developer.

**Shelton Square, Section 12 [FPL26-0013]** final plat for 6 lots on 0.9 acres zoned PRD located along Lennis Lane, Shelton Square, LLC developer.

**Steagall [FPL26-0014]** final plat for 3 lots on 2.14 acres zoned RS-10 located along Dill Lane, Terry and Tim Steagall developer.

**The Courtyards at Franklin Road (FPL26-0008)** final plat for 47 lots on 19.95 acres zoned RS-8 located along Franklin Road and Rucker Lane, Epcon Communities developer.

**Hooper, Resubdivision of Lot 3 (FPL26-0010)** final plat for 2 lots on 9.86 acres zoned RS-15 located along Siegel Road, Annette Sharp developer.

**MTE Elam Road Substation (FPL26-0012)** final plat for 2 lots on 57.9 acres zoned G-I & County RM located along Elam Road, Elam Road Ventures, LLC and J.C. Odom Estate developers.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

**Chestnut Hill, Section 6 (PP26-0007)** preliminary plat for 16 lots on 16.1 acres zoned RS-12 & RS-15 located along County Farm Road, Salem Creek Partnership developer.

**Hayes Pipe (Lot 3, NHK Subdivision) [SP26-0021]** site plan for a gate and outdoor storage area at an existing industrial facility on 6.19 acres zoned H-I located at 1740 Joe B Jackson Parkway, Hayes Pipe developer.

There being no further discussion, Mr. Shawn Wright made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

## 6. GDO

### On Motion

**Mazda Office and Off-site Inventory Storage [2026-3038/SP-0020 & 2026- 6003]** final design review and site plan review for a 6,027 ft<sup>2</sup> office and vehicle preparation building and excess inventory storage parking area on 2.49 acres zoned PCD and GDO-1 located along John R Rice Boulevard, Nelson Mazda Murfreesboro developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the final design review and site plan review subject to all staff comments; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

## 7. **Plats and Plans**

**Cummings Corner [SP26-0023] site plan for two warehouse buildings totaling approximately 302,400 ft2 located on 20.1 acres zoned H-I along North Thompson Lane, Alliance Industrial developer.** Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

Ken Halliburton

Abstain: Jami Averwater

Nay: None

**Barfield Creek [PP26-0008] preliminary plat for 16 lots on 15.51 acres zoned RS-A, Type 1 located along Barfield Road, Jeeten “Joe” Patel developer.**

Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Katie Noel stated that this property is in a floodway and floodplain. Further, she stated that there are currently outstanding issues regarding the drainage design.

Mr. Bill Huddleston (design engineer) stated that he would continue working with Ms. Katie Noel to address the drainage concerns during the construction plan design and review process.

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

**St. Karas Coptic Orthodox Church [SP26-0012] site plan for 12,268 ft2 accessory classroom building at an existing church on 3.6 acres zoned RS-15 located along Southeast Broad Street, St. Karas Coptic Orthodox Church developer.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Rob Molchan (landscape architect) was in attendance representing the application.

There being no further discussion, Mr. Bryan Prince made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

## 8. New Business

**Zoning application [2026-412] for approximately 30.17 acres located along Elam Road and Joe B Jackson Parkway to be rezoned from G-I to G-I and PSO (Buc-ee's PSO), Buc-ee's LTD applicant.** Ms. Teresa Stevens presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

There being no further discussion, Vice-Chair Jami Averwater made a motion to schedule a public hearing on June 3, 2026; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

**Annexation petition and plan of services [2026-504] for approximately 10.97 acres located along Elam Road, NG Elam, LLC applicant.** Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Hamilton with Kimley-Horn (landscape architect) and Chase Kerley with Crescent Communities (developer) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing on July 1, 2026; the motion was seconded by Vice-Chair Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION MAY 20, 2026

Proposed amendment to the Zoning Ordinance [2026-804] related to Automotive/Motor Vehicle Repair and Service uses and pertaining to Chart 1: Uses Permitted (including Chart 1 Endnotes), City of Murfreesboro Planning Department applicant. Mr. Matthew Blomeley presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Bryan Prince made a motion to schedule a public hearing on June 3, 2026; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright  
Ken Halliburton

Nay: None

## **9. Staff Reports and Other Business.**

### **Monthly update from Director of Land Management and Planning.**

Mr. Ben Newman provided updates on a variety of topics, including efforts with consultant Thrivence, CityWorks, Design Guidelines, and staffing.

**MINUTES OF THE MURFREESBORO  
PLANNING COMMISSION  
MAY 20, 2026**

**10. Adjourn.**

There being no further business, the meeting adjourned at 2:00 P.M.

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Chair

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Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: BRAD BARBEE**

- 5.a. Zoning application [2026-407] for approximately 1.37 acres located along Rushwood Drive to be rezoned from OG and RS-8 to PCD (Bellwood Office Park PCD), Wayne Belt applicant.**

**Project Overview:**

The proposal concerns Bellwood Office Park, a planned professional office development on approximately 1.37 acres along Rushwood Drive in Murfreesboro. The applicant seeks rezoning from OG (Office General) and RS-8 (Residential Single-Family) to PCD (Planned Commercial District) to allow development of a six-building office park totaling 12,928 square feet.

During the April 8, 2026, Planning Commission public hearing, citizens expressed concerns over potential negative impacts of additional traffic congestion and the access point onto Rushwood Drive as a result of this development.

It was requested that the applicant reach out to the owner of the adjacent property to the west and inquire about obtaining a driveway access through that property so that the proposed development would have access to South Church Street and that a connection to Rushwood Drive would not be needed. The applicant has contacted the adjacent property owner about vehicular access through his property, but the adjacent property owner has indicated that he has plans to construct an additional building on the east side of his property that would conflict with driveway access from Mr. Belt's development.

In addition, the applicant has provided a traffic study for the Rushwood Drive area and provided a Traffic Analysis Memorandum with the findings from the study.

The Public Infrastructure Department reviewed the project's Traffic Analysis Memorandum and concurred with the design engineer that transportation impacts to Rushwood Drive from the development will be minimal.

### Key findings:

- Expected traffic generation: 209 daily trips, 25 AM peak-hour trips, and 32 PM peak-hour trips, considered very low for a development of this type.
- Existing traffic volumes on Rushwood Drive and South Church Street have sufficient capacity to absorb projected traffic without degrading operations.
- Traffic volumes do not meet thresholds for signalization.
- Measured roadway speeds on Rushwood Drive align with expected conditions for a collector street; no operational or regulatory intervention is indicated.
- No traffic mitigation measures are recommended, and the department concurs that the project will produce “little to no traffic impacts.”

### **Staff Recommendation:**

Planning staff support approval of the rezoning request for following reasons:

- 1) The request is consistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan.
- 2) Landscape buffers will be provided to mitigate any potential negative impacts to the neighboring properties.
- 3) Uses will primarily be daytime-oriented uses, so as to minimize intrusion on adjacent residential uses.
- 4) The traffic analysis indicates that the proposed development will have minimal impact to Rushwood Drive.

### **Action Needed:**

Because a public hearing has already been conducted, no additional public hearing is required. The Planning Commission should discuss the application and then formulate a recommendation for City Council. Included in the agenda packet for reference are the staff comments from the April 8<sup>th</sup> Planning Commission meeting as well as traffic analysis, a memorandum from the City's Public Infrastructure Division, and a copy of the PCD pattern book.

The Public Infrastructure Department has completed its review of the submitted Traffic Analysis Memorandum for the proposed Bellwood Office Park located on the north side of Rushwood Drive east of South Church Street. The analysis evaluates anticipated traffic impacts associated with the development of 12,928 square feet of office space across six buildings.

Based on the trip-generation data provided, the development is expected to generate 209 daily trips, 25 AM peak-hour trips, and 32 PM peak-hour trips. As noted in the report, *“These volumes are very low: 209 total trips daily, 25 total trips in the AM Peak Hour and 32 total trips in the PM Peak Hour.”* This level of activity is consistent with typical small office development and is not anticipated to create operational concerns.

Peak-hour turning-movement counts collected on April 21, 2026, at the intersection of Rushwood Drive and South Church Street indicate that the majority of traffic volume is carried by US-231 (South Church Street), with Rushwood Drive contributing a comparatively small share. The additional site-generated trips represent a minor increase relative to existing conditions and are not expected to degrade intersection performance. The volumes observed during both peak hours do not meet the minimum thresholds for traffic signalization.

The speed data collected along Rushwood Drive indicates prevailing operating speeds that are consistent with expected driver behavior on a lower-volume collector facility. The memorandum notes that *“the speeds recorded...follow a normal bell curve,”* reflecting the typical distribution of free-flow speeds observed on similar roadway types. The measured 85th-percentile speeds of 32 mph eastbound and 34 mph westbound fall within the range FHWA identifies as characteristic of urban and suburban collectors with comparable geometric and roadside conditions. According to FHWA guidance, operating speeds in this range generally represent reasonable and stable driver behavior and do not, by themselves, suggest a need for geometric, operational, or regulatory intervention. Based on these findings, the observed speeds on Rushwood Drive are consistent with the functional classification and surrounding land-use context, supporting the conclusion that the corridor is operating within normal parameters for a collector street.

The City’s traffic calming program is a partnership with the community and requires a neighborhood representative to work with staff to communicate concerns and desired outcomes. This process includes collecting signatures from impacted residents to demonstrate support for any proposed traffic-calming measures.

Impact study was not asked to conduct pedestrian counts to address the concerns for bus pick up along Rushwood Dr. Student pickup is determined by each school system. In the event the current pickup area needs to be adjusted, the appropriate school systems will need to be notified, and suitable pickup locations will need to be determined by the school system deploying the bus.

Based on the information provided, the Traffic Analysis concludes that “there will be little to no traffic impacts on Rushwood Drive and South Church Street or the surrounding roadway network.” The Public Infrastructure Department concurs with this assessment. The projected trip volumes are low, the roadway network has adequate capacity, and no mitigation measures are warranted from the Development Team.

Public Infrastructure Department - City of Murfreesboro

TRAFFIC ANALYSIS MEMORANDUM  
Bellwood Office Park  
Rushwood Drive  
Murfreesboro, Tennessee

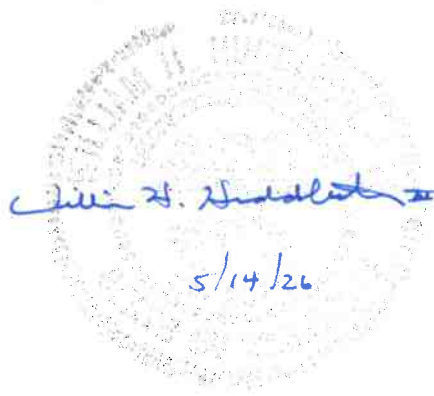
This memorandum is written to serve as a Traffic Analysis for the Bellwood Office Park proposed on the north side of Rushwood Drive east of South Church Street in Murfreesboro, Tennessee (see attached map). Wayne Belt proposes to develop 12,928 square feet of offices in 6 buildings.

Table 1 shows the ITE Trip Generation volumes for the Weekday and AM and PM Peak Hours. These volumes are very low: 209 total trips daily, 25 total trips in the AM Peak Hour and 32 total trips in the PM Peak Hour.

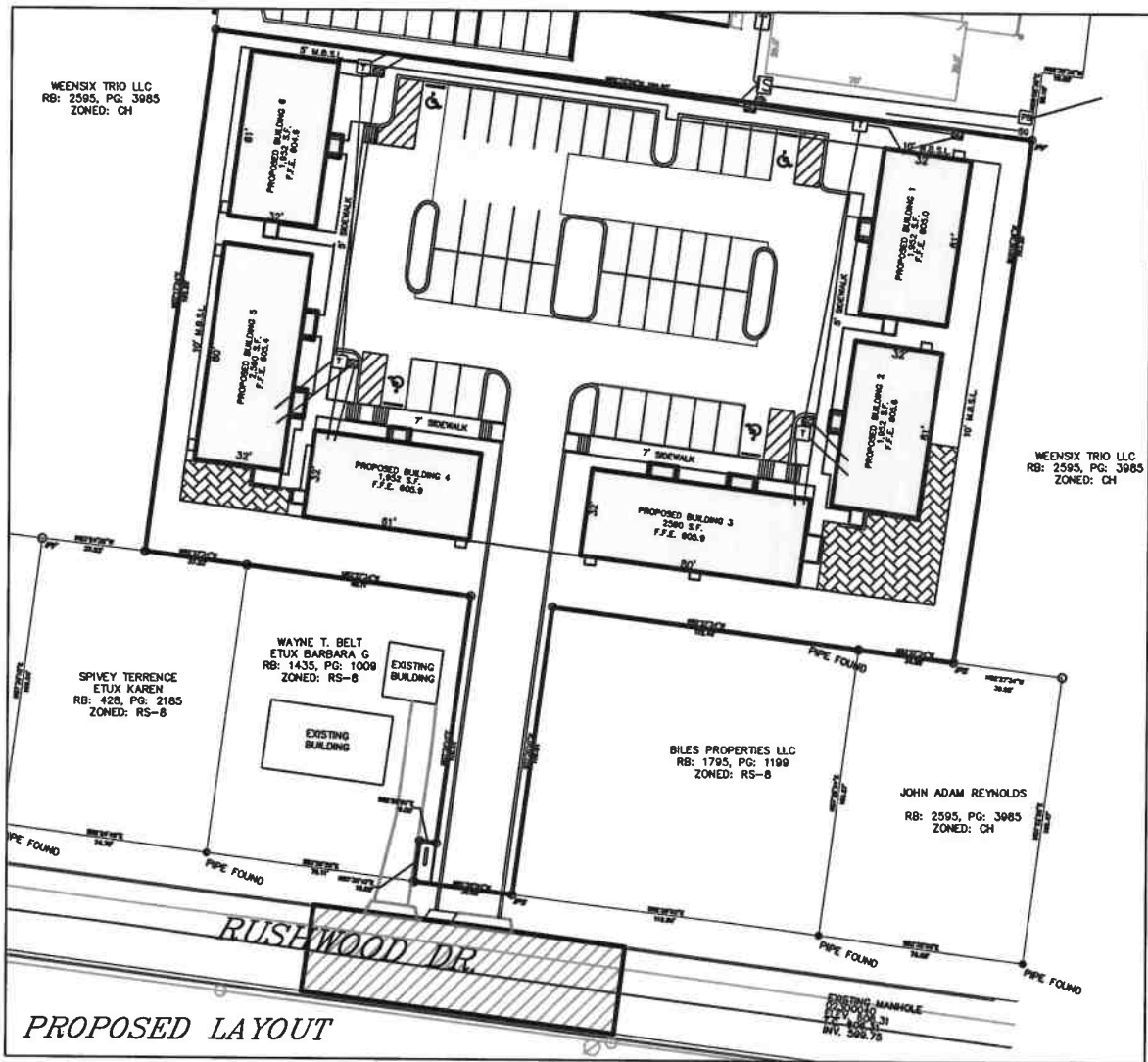
Peak hour traffic counts were conducted at the intersection of Rushwood Drive and South Church Street on April 21, 2026. The Peak Hour Counts on each roadway are shown in Figure 1. The raw data for these counts are shown in Appendix A.

Speed data was recorded on Rushwood Drive at the proposed access for the Bellwood Office Park on April 21, 2026. The speeds recorded for eastbound and westbound directions follow a normal bell curve with most vehicles travelling at a Pace Speed that includes 30 MPH. More specifically, the predominant Pace Speed eastbound was 21-30 MPH and the predominant Pace Speed westbound was 26-35 MPH. The raw data for this speed study are shown in Appendix B.

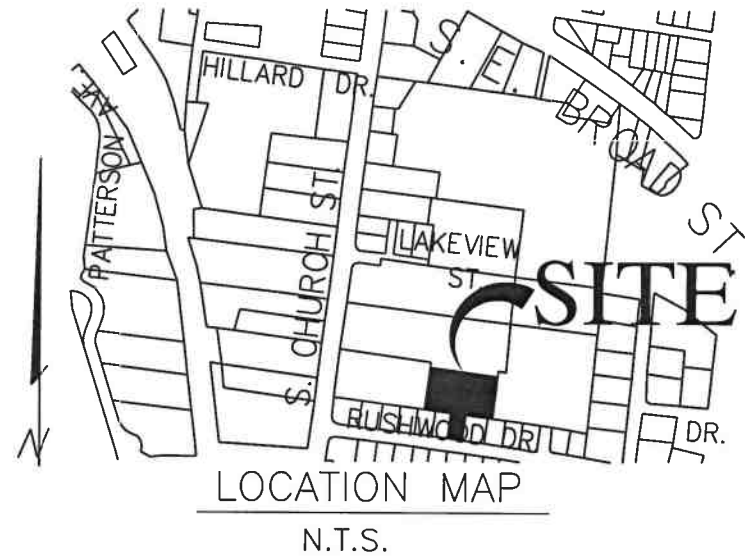
Given the above data, there will be little to no traffic impacts on Rushwood Drive and South Church Street or the surrounding roadway network.



*Chris H. Huddleston*  
5/14/26



PROPOSED LAYOUT



*SITE MAP  
BELLWOOD OFFICE  
PARK  
(N.T.S.)*

Table 1  
 Trip Generation Equations  
 Bellwood Office Park  
 Rushwood Drive  
 Murfreesboro, Tennessee

Use	Magnitude (X)	Daily Trips (T)	AM Trips (T)	PM Trips (T)
Small Office Building	X = 12.928 (12,928 Square Feet)	T = 16.19 (X) T = 209 50% Enter/50% Exit 104 Enter/105 Exit	T = 1.92 (X) T = 25 83% Enter/18% Exit 21 Enter/4 Exit	T = 2.45 (X) T = 32 32% Enter/68% Exit 10 Enter/22 Exit



443(879)  
49(63)

S. CHURCH ST

74(38)  
36(12)

RUSHWOOD DR

(744)1052  
(26)34

LEGEND  
74 AM PEAK HOUR  
(38) PM PEAK HOUR

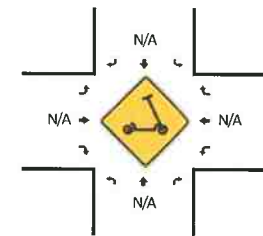
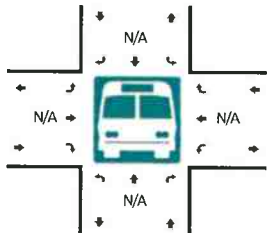
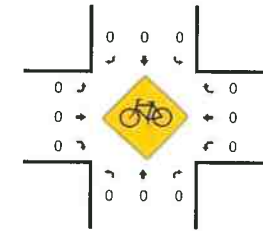
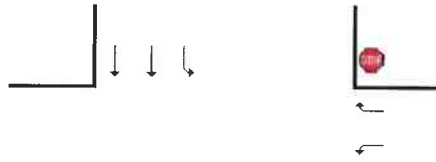
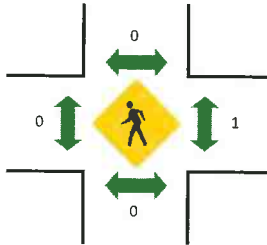
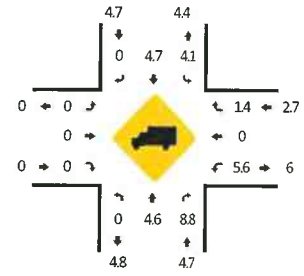
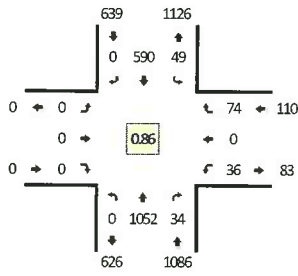
FIGURE 1  
PEAK HOUR TRAFFIC COUNTS

APPENDIX A  
EXISTING TRAFFIC COUNTS

**LOCATION:** US 231 -- Rushwood Dr  
**CITY/STATE:** Murfreesboro, TN

**QC JOB #:** 17564301  
**DATE:** Tue, Apr 21 2026

**Peak-Hour: 7:15 AM -- 8:15 AM**  
**Peak 15-Min: 7:30 AM -- 7:45 AM**



15-Min Count Period Beginning At	US 231 (Northbound)				US 231 (Southbound)				Rushwood Dr (Eastbound)				Rushwood Dr (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
7:00 AM	0	203	1	0	10	95	0	0	0	0	0	0	6	0	10	0	325	
7:15 AM	0	257	14	0	20	146	0	0	0	0	0	0	7	0	10	0	454	
7:30 AM	0	292	13	0	19	161	0	0	0	0	0	0	13	0	37	0	535	
7:45 AM	0	264	4	0	8	158	0	0	0	0	0	0	10	0	13	0	457	1771
8:00 AM	0	239	3	0	2	125	0	0	0	0	0	0	6	0	14	0	389	1835
8:15 AM	0	195	2	0	5	129	0	0	0	0	0	0	5	0	13	0	349	1730
8:30 AM	0	220	4	0	5	129	0	0	0	0	0	0	6	0	10	0	374	1569
8:45 AM	0	192	6	0	6	133	0	0	0	0	0	0	7	0	6	0	350	1462

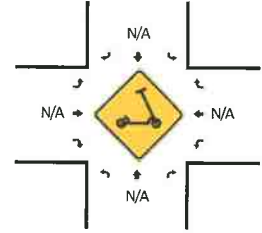
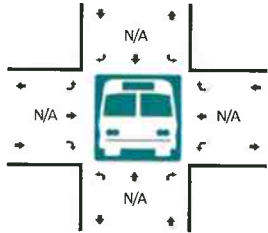
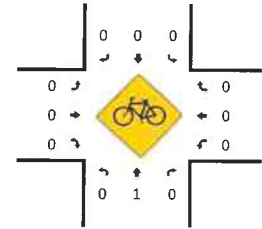
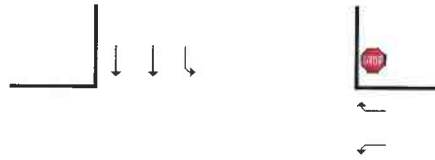
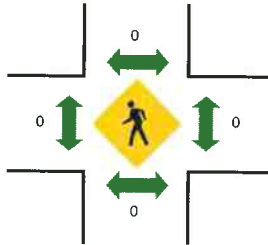
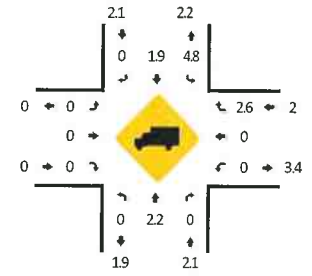
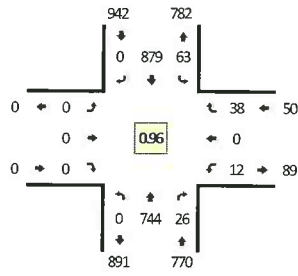
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	
All Vehicles	0	1168	52	0	76	644	0	0	0	0	0	0	52	0	148	0	2140
Heavy Trucks	0	72	0	0	0	28	0	0	0	0	0	0	0	0	0	0	100
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Scooters	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

Comments:

LOCATION: US 231 -- Rushwood Dr  
 CITY/STATE: Murfreesboro, TN

QC JOB #: 17564302  
 DATE: Tue, Apr 21 2026

Peak-Hour: 4:15 PM -- 5:15 PM  
 Peak 15-Min: 5:00 PM -- 5:15 PM



15-Min Count Period Beginning At	US 231 (Northbound)				US 231 (Southbound)				Rushwood Dr (Eastbound)				Rushwood Dr (Westbound)				Total	Hourly Totals
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
4:00 PM	0	181	6	0	15	223	0	0	0	0	0	0	8	0	10	0	443	
4:15 PM	0	182	9	0	18	212	0	0	0	0	0	0	3	0	6	0	430	
4:30 PM	0	179	7	0	11	237	0	0	0	0	0	0	4	0	9	0	447	
4:45 PM	0	198	4	0	19	186	0	0	0	0	0	0	2	0	15	0	424	
5:00 PM	0	185	6	0	15	244	0	0	0	0	0	0	3	0	8	0	461	1744
5:15 PM	0	143	5	0	9	212	0	0	0	0	0	0	5	0	10	0	384	1716
5:30 PM	0	138	10	0	14	176	0	0	0	0	0	0	3	0	5	0	346	1615
5:45 PM	0	135	6	0	9	159	0	0	0	0	0	0	2	0	9	0	320	1511
Peak 15-Min Flowrates	Northbound				Southbound				Eastbound				Westbound				Total	
	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U	Left	Thru	Right	U		
All Vehicles	0	740	24	0	60	976	0	0	0	0	0	0	12	0	32	0	1844	
Heavy Trucks	0	16	0	0	0	20	0	0	0	0	0	0	0	0	0	0	36	
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Pedestrians	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Bicycles	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Scooters	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	

Comments:

APPENDIX B

SPEED DATA

**SUMMARY - Midblock Count - Speed Data**

<b>LOCATION:</b> 202 Rushwood Dr														<b>QC JOB #:</b> 17564303			
<b>SPECIFIC LOCATION:</b>														<b>DIRECTION:</b> EB			
<b>CITY/STATE:</b> Murfreesboro, TN														<b>DATE:</b> Apr 21 2026			
Speed Range	1 15	16 20	21 25	26 30	31 35	36 40	41 45	46 50	51 55	56 60	61 65	66 70	71 75	76 999	Total	Pace Speed	Number in Pace
Grand Total	9	54	225	356	196	31	8	1	0	0	1	0	0	1	882	21-30	581
Percent	1%	6.1%	25.5%	40.4%	22.2%	3.5%	0.9%	0.1%	0%	0%	0.1%	0%	0%	0.1%			
Cumulative Percent	1%	7.1%	32.7%	73%	95.2%	98.8%	99.7%	99.8%	99.8%	99.8%	99.9%	99.9%	99.9%	100%			
ADT 882															85th Percentile: 32 MPH Mean Speed(Average): 27 MPH Median: 27 MPH Mode: 28 MPH		
<i>Comments:</i>																	

Report generated on 4/27/2026 6:45 AM

SOURCE: Quality Counts, LLC (<http://www.qualitycounts.net>)

**SUMMARY - Midblock Count - Speed Data**

<b>LOCATION:</b> 202 Rushwood Dr														<b>QC JOB #:</b> 17564303			
<b>SPECIFIC LOCATION:</b>														<b>DIRECTION:</b> WB			
<b>CITY/STATE:</b> Murfreesboro, TN														<b>DATE:</b> Apr 21 2026			
Speed Range	1	16	21	26	31	36	41	46	51	56	61	66	71	76	Total	Pace Speed	Number in Pace
	15	20	25	30	35	40	45	50	55	60	65	70	75	999			
<b>Grand Total</b>	5	40	132	256	172	68	10	1	2	0	0	0	0	0	686	26-35	428
<b>Percent</b>	0.7%	5.8%	19.2%	37.3%	25.1%	9.9%	1.5%	0.1%	0.3%	0%	0%	0%	0%	0%			
<b>Cumulative Percent</b>	0.7%	6.6%	25.8%	63.1%	88.2%	98.1%	99.6%	99.7%	100%	100%	100%	100%	100%	100%			
<b>ADT</b> 686															85th Percentile: 34 MPH Mean Speed(Average): 28 MPH Median: 28 MPH Mode: 28 MPH		
<i>Comments:</i>																	

# Original Staff Comments from April 8th PC meeting

## MURFREESBORO PLANNING COMMISSION

### STAFF COMMENTS, PAGE 1

APRIL 8, 2026

PROJECT PLANNER: BRAD BARBEE

**5.c. Zoning application [2026-407] for approximately 1.37 acres located along Rushwood Drive to be rezoned from OG and RS-8 to PCD (Bellwood Office Park PCD), Wayne Belt applicant.**

The subject property is approximately 1.37 acres in size and is located along the north side of Rushwood Drive. The main subject parcel is identified as Tax Map 102C, Group F, Parcel 12.00. The requested area also includes a strip of property identified as Tax Map 102C, Group F, Parcel 5.00 (addressed as 123 Rushwood Drive). The applicant, Mr. Wayne Belt, is requesting to rezone the subject property from OG (Office General District; 1.3 acres) and RS-8 (Single Family Residential District; 0.07 acres) to PCD (Planned Commercial District).

#### **Adjacent Land Use and Zoning**

The adjacent properties consist of a mix of commercial and residential uses. To the north is a similar office complex named Jefferson Square, which is zoned CH (Commercial Highway District). To the south are residential single-family detached homes zoned RS-8. The property to the east is developed as an apartment complex, Bellwood Trace Apartments, and is zoned RM-16 (Multi-Family Residential District). To the west is a commercial building with multiple office users, also zoned CH.

#### **Bellwood Office Park PCD**

The Bellwood Office Park Planned Commercial Development (PCD) is a proposed professional office development along the north side of Rushwood Drive. The project consists of approximately 1.37 acres and six office buildings totaling 12,928 square feet.

Four buildings will contain approximately 1,952 square feet and one tenant space in each, while two larger buildings will contain 2,560 square feet each and may be subdivided into smaller office units. The development is intended to provide flexible office space for small professional users such as personal service providers and small businesses.

## **Allowed Uses**

The proposed PCD allows a limited range of professional and service-oriented commercial uses compatible with an office park environment. Permitted uses include (complete listing):

- Financial services
- Fitness studio or personal instruction facility ( $\leq 5,000$  sq. ft.)
- Flower or plant store
- Interior decorator
- Art or photography studio or gallery
- Bank or credit union (branch or main office)
- Barber or beauty shop
- Business and communication services
- offices

## **Access**

Sole vehicular access to the development will be provided from Rushwood Drive, which is classified as a “residential collector” roadway.

Key access characteristics include:

- Single vehicular access point from Rushwood Drive
- No secondary vehicular access to the adjacent Jefferson Square Business Park to the north.
- Internal circulation organized around a central parking area serving the six buildings
- Buildings oriented towards the parking lot.

The roadway network in the area includes nearby connections to South Church Street to the west and a residential area to the east that provides vehicular access to Southeast Broad Street and Middle Tennessee Boulevard.

## **Buffering and Landscaping**

The development incorporates multiple landscaping and buffering treatments to ensure compatibility with surrounding land uses, particularly nearby residential properties.

Proposed landscape treatments include:

- Type “B” buffer along the southern property boundary
- Type “A” buffer along the east property line

- Perimeter planting yard along the northern and western property boundaries
- Landscaping along both sides of the access drive
- Additional foundation plantings along building facades
- Formal open space areas integrated into the site plan

The site provides approximately 2,000 square feet of formal open space. The formal open spaces consist of stamped concrete patio areas with benches for seating and trash receptacles provided for convenience.

### **Architectural Design Standards**

The proposed buildings will follow a consistent architectural character intended to match nearby office developments.

Primary design features include:

- Masonry (brick) construction on all elevations
- Architectural shingles on roofs
- Vinyl soffit and trim as secondary materials
- Consistent building forms modeled after nearby buildings in the Jefferson Square office development
- Building heights approximately 10–11 feet to roofline
- Maximum height limited to 25 feet, which is lower than typical comparable commercial zoning standards (45 feet)

These design standards are intended to create a cohesive office park appearance with durable construction materials.

### **Parking**

The development includes on-site parking designed to accommodate professional office uses.

Parking summary:

- **Total parking spaces provided:** 44 spaces
- **Required parking spaces:** 43 spaces
- **ADA accessible spaces:** 4 spaces
- **Parking ratio required:** 1 space per 300 sq. ft.
- **Parking ratio provided:** 1 space per 293 sq. ft.

The parking layout is centrally located to serve all six buildings and provides adequate capacity to meet the City's minimum parking requirements.

### **Future Land Use Map:**

The main parcel included in this request is recommended to be developed consistent with the “Business Park (BP)” land use character, as recommended by the adopted future land use map (see excerpt of map below). The purpose of the BP land use character is to foster stability and growth of high-quality office, technology, research and development centers, and similar industries that provide desirable employment opportunities for the general welfare of the community. Business Parks are suburban in character, are typically developed in a campus-style setting that features reduced site coverage and increased open space; and may include offices and associated administrative, executive professional uses, and specified institutional and limited commercial uses.

### **Suggested City Zoning Districts:**

- General Office District (OG)
- General Office District - Residential (OG-R)
- Medical District - Commercial (CM)
- Planned Commercial District (PCD)
- Planned Institutional District (PND)
- Zoning districts other than the suggested districts may be evaluated on a case-by case basis.

The zoning request and uses proposed are consistent with the recommendation of the Murfreesboro 2035 Comprehensive Plan.

**Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**



**Neighborhood Meeting:**

At the request of staff, the applicant conducted a neighborhood meeting on the proposed rezoning request. This meeting was held at Portico Pregnancy Support Center on Monday, February 23<sup>rd</sup>, at 5:30 PM.

No residents attended the meeting.

### **Recommendation:**

Staff is supportive of this zoning request as described above for the following reasons:

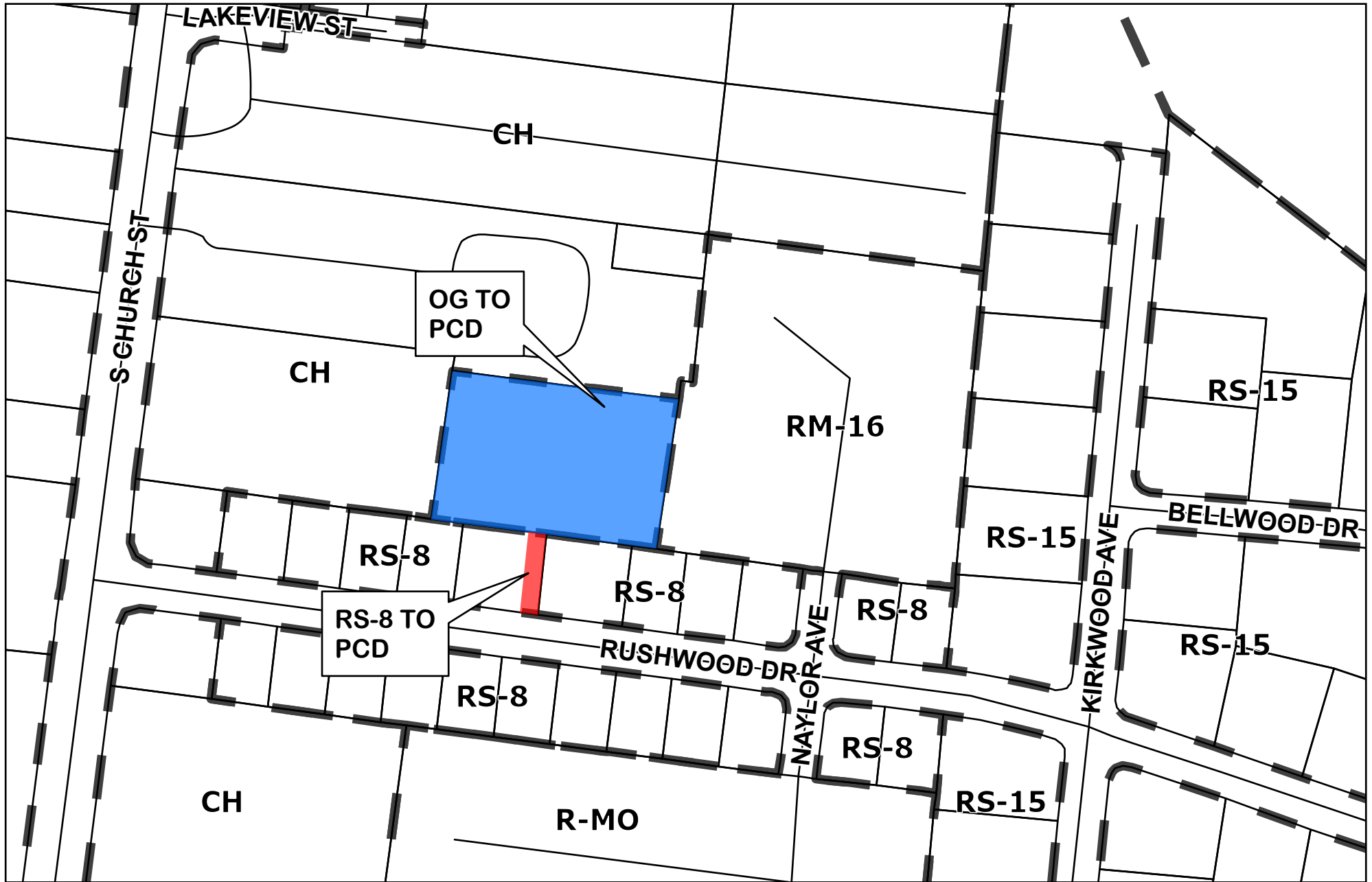
- 1) The request is consistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan.
- 2) Landscape buffers will be provided to mitigate any potential negative impacts to the neighboring properties.
- 3) Uses will primarily be daytime-oriented uses, so as to minimize intrusion on adjacent residential uses.

### **Action Needed**

The applicant will make a presentation at the meeting. The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to the City Council.

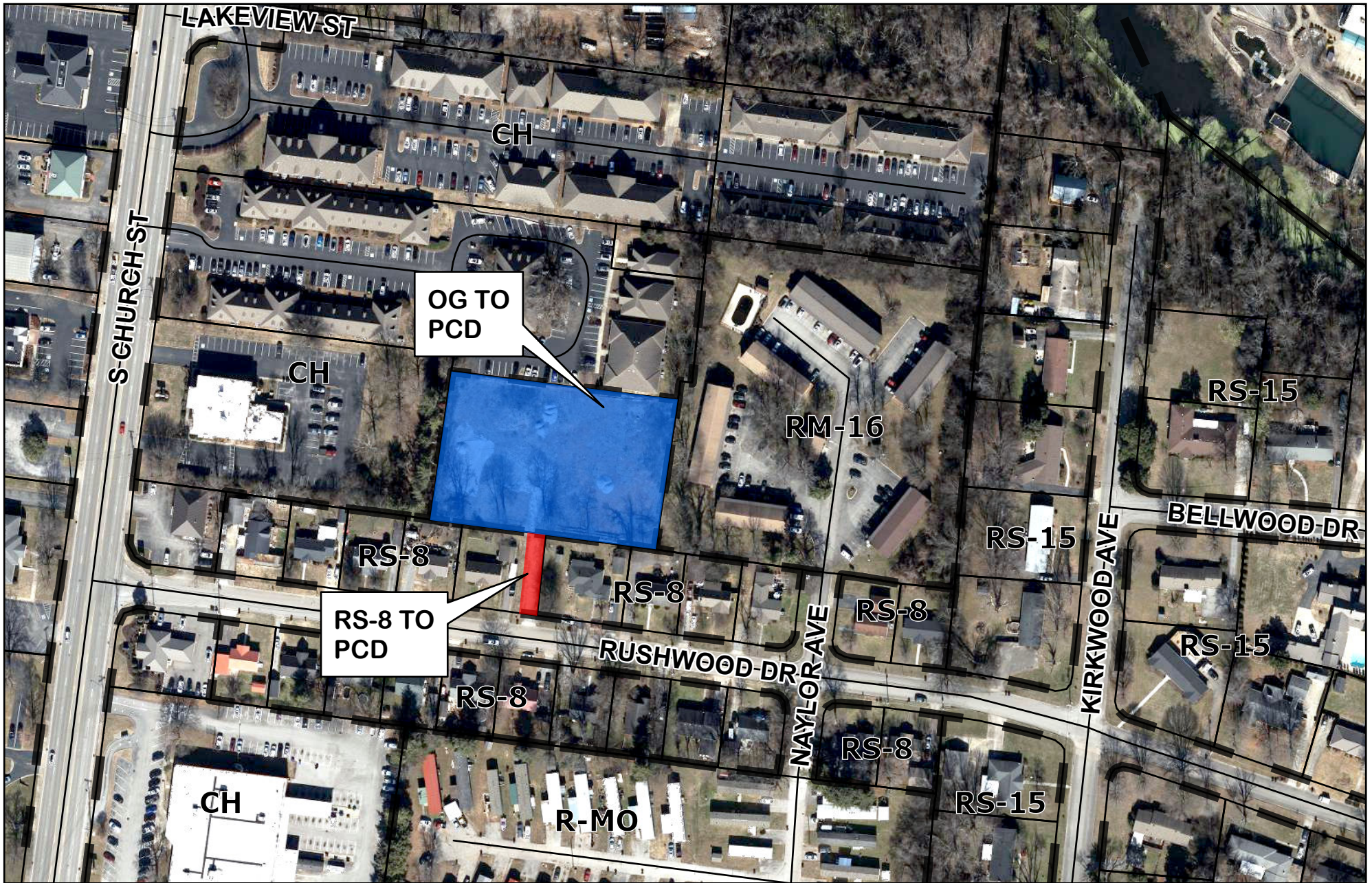
### **Attachments**

Non-Ortho Map  
Ortho Map  
Program Book



Zoning Request for property along Rushwood Drive  
 OG and RS-8 to PCD (Bellwood Office Park PCD)

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



Zoning Request for property along Rushwood Drive  
OG and RS-8 to PCD (Bellwood Office Park PCD)

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# BELLWOOD OFFICE PARK PCD

Request for Rezoning to  
Planned Commercial  
Development (PCD).

SUBMITTED MARCH 9, 2026 FOR  
THE APRIL 8, 2026 PLANNING  
COMMISSION MEETING

Plans Prepared By:



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➤ PROJECT SUMMARY AND DEVELOPMENT TEAM	2
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➤ EXISTING WATER AND SEWER	4
➤ ROADWAY MAP	5
➤ SOILS AND TOPOGRAPHY	6
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➤ EXISTING CONDITION PHOTOS	9-11
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**PROJECT SUMMARY**

Bellwood Office Park is a proposed 1.30-acre professional office development located just off South Church Street near downtown Murfreesboro. The project is being submitted for approval by Wayne Belt, a respected local builder and real estate professional with over 45 years of experience in commercial, residential, and institutional construction.

The development will consist of six masonry brick office buildings totaling 12,928 square feet of professional office space. Four buildings are planned at 1,952 square feet each, while two larger buildings will total 2,560 square feet each and will be divided into two 1,280-square-foot office units per building. The layout is designed to provide flexibility for small professional users while maintaining a cohesive, well-organized site plan.

The purpose of Bellwood Office Park is to address the ongoing shortage of professional office space in this area of Murfreesboro. Nearby office condominium developments have demonstrated strong market demand, with approximately 95% occupancy for both sale and lease. This project is intended to meet that demand by offering high-quality, small-scale office units suited for local businesses and professional service providers.

With its cohesive layout, durable masonry construction, and compatibility with surrounding land uses, Bellwood Office Park is designed to comply with the requirements of the Planned Commercial Development (PCD) zoning designation. The project supports orderly growth, fulfills a clearly identified community need, and contributes positively to Murfreesboro's expanding professional office corridor.

**SITE LOCATION**



GENERAL SITE INFORMATION					
ADDRESS	805 S CHURCH ST & 123 Rushwood Dr, Murfreesboro, TN, 37133				
TAX MAP	102C	GROUP	F	PARCEL NUMBER	012.00 & 005.00
R. BOOK	859	PAGE	1303	LOT SIZE (ACRES)	1.30± & 0.27
ZONING	OG & RS-8	REZONE TO	PCD	NO. OF UNITS OR LOTS	2 Lots

**DEVELOPMENT TEAM**

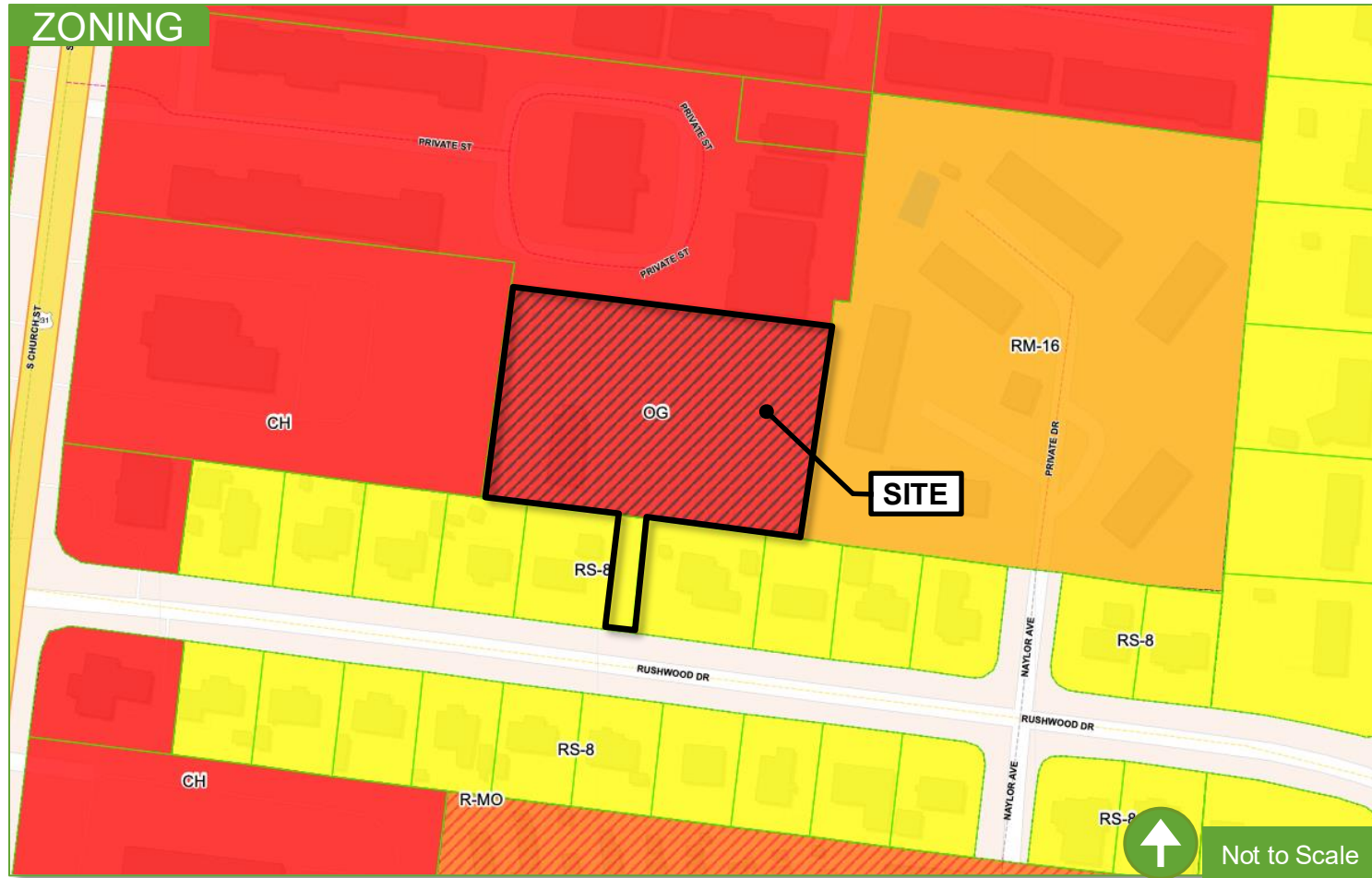
OWNER/ DEVELOPER			
OWNER:	Wayne Belt		
ADDRESS	745 S Church St, Suite 701, Murfreesboro, TN 37130.	PHONE	615.849.5046
		EMAIL	[REDACTED]

PLANNING			
COMPANY	Huddleston-Steele Engineering Inc.	ATTN	Clyde Rountree, RLA
ADDRESS	2115 N.W. Broad Street, Murfreesboro, TN, 37129	PHONE	615.509.5930
		EMAIL	[REDACTED]

ENGINEERING			
COMPANY	Huddleston-Steele Engineering Inc.	ATTN	Bill Huddleston
ADDRESS	2115 N.W. Broad Street, Murfreesboro, TN, 37129	PHONE	615.893.4084
		EMAIL	[REDACTED]



## ZONING



## Legend

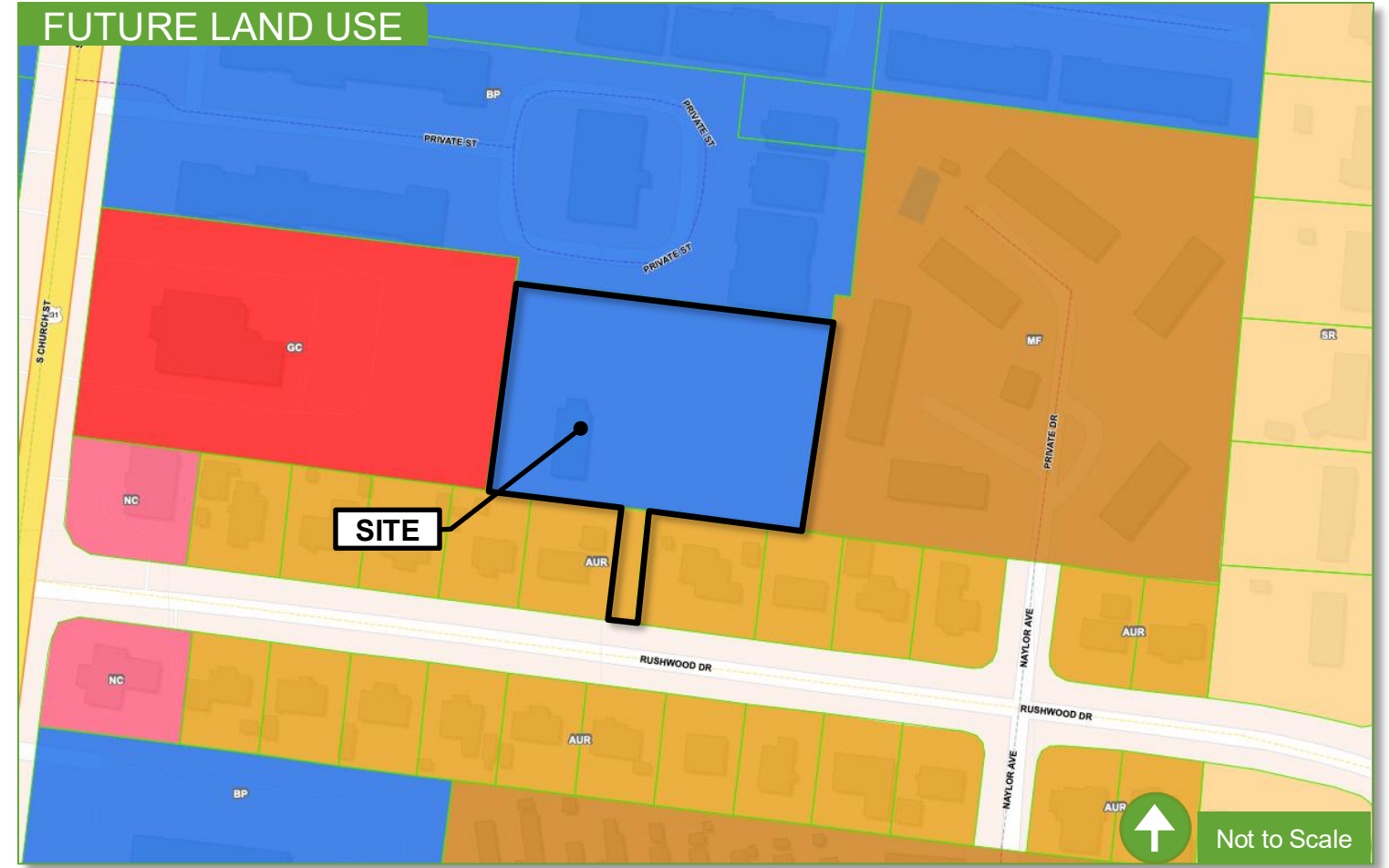
Residential Multi Family		Planned Unit Development		Medium Density Residential		Site boundary
Planned Residential Development		Planned Commercial Development				

## Map Summary

The property is currently zoned Office General (OG), and the request is to rezone the site to Planned Commercial Development (PCD). A portion of the property is currently zoned RS-8, which is also included in this rezoning request to PCD.

Adjacent zoning includes RM-16 along the eastern boundary, developed as an existing apartment complex. Property to the south is zoned RS-8, while properties to the north and west are zoned CH.

## FUTURE LAND USE

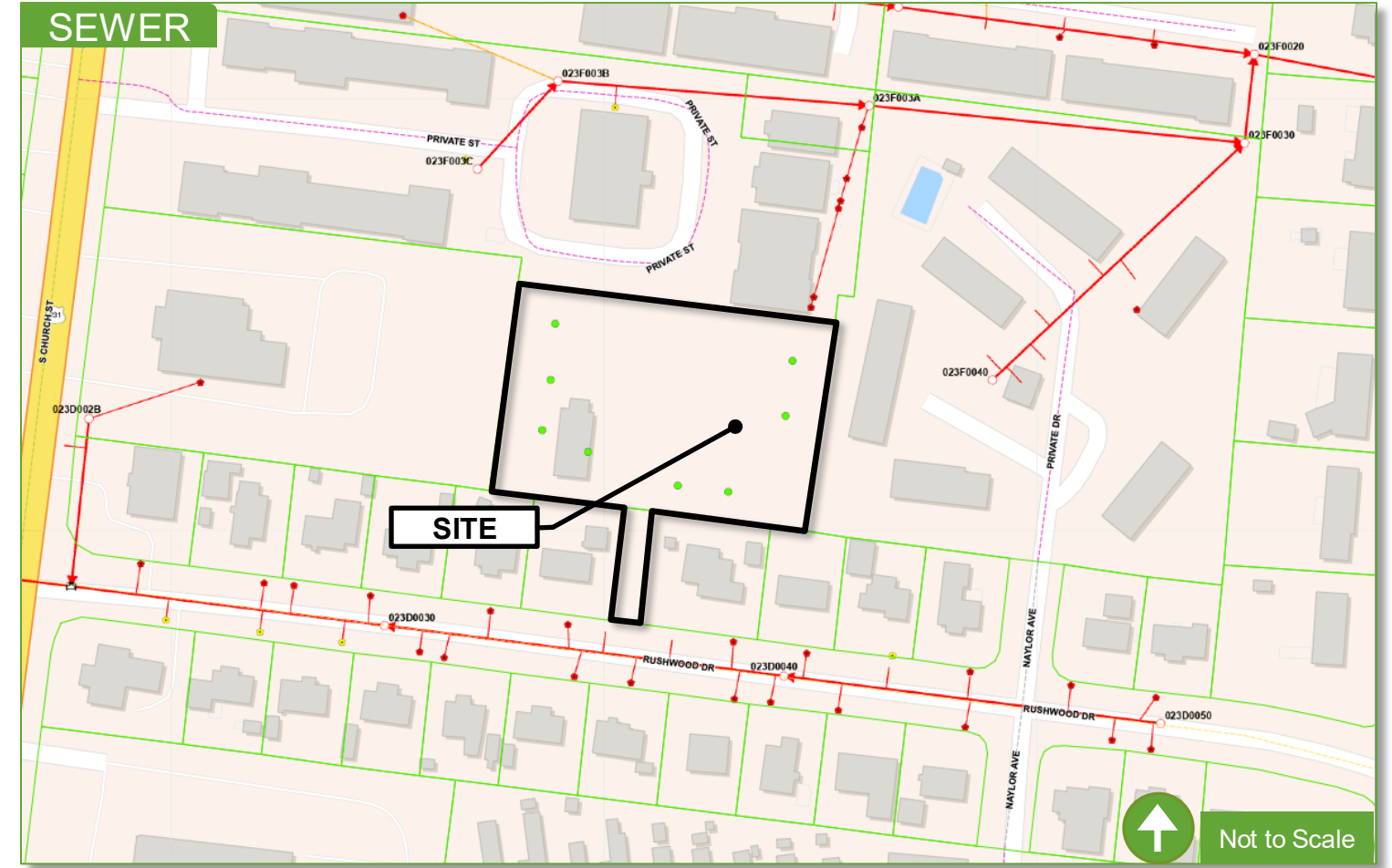
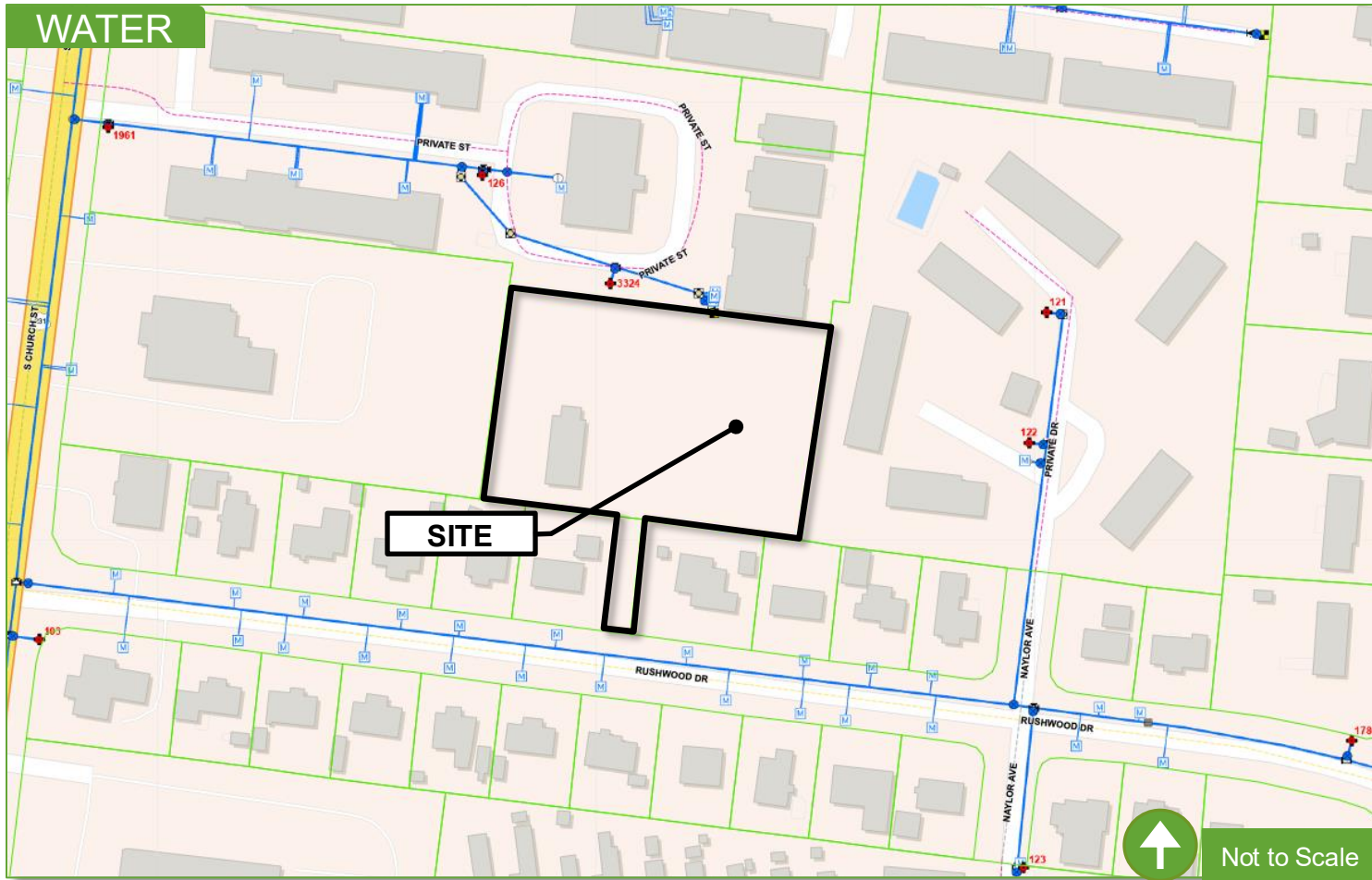


## Legend

Suburban Residential		Future Study Area		Auto-Urban Residential		Site boundary
Business Park						

## Map Summary

The City of Murfreesboro Future Land Use Plan designates the majority of the project site as Business (Office) Park (BP) Character. This designation supports office, medical, and limited commercial uses within a suburban-style setting that includes 20–30% open space, enhanced landscaping, and special design treatments. The proposed development emphasizes indoor operations with no outdoor storage and utilizes existing infrastructure, consistent with the intent of the BP Character and the requested PCD zoning. A portion of the property is designated AUR (Urban Residential). The proposed PCD provides a cohesive master-planned approach that creates an appropriate transition between the BP and AUR areas, ensuring compatibility in scale, buffering, and overall site design while remaining consistent with the City's long-term growth framework.



**Legend**

Water Line			Site boundary
Fire Hydrant			

**Legend**

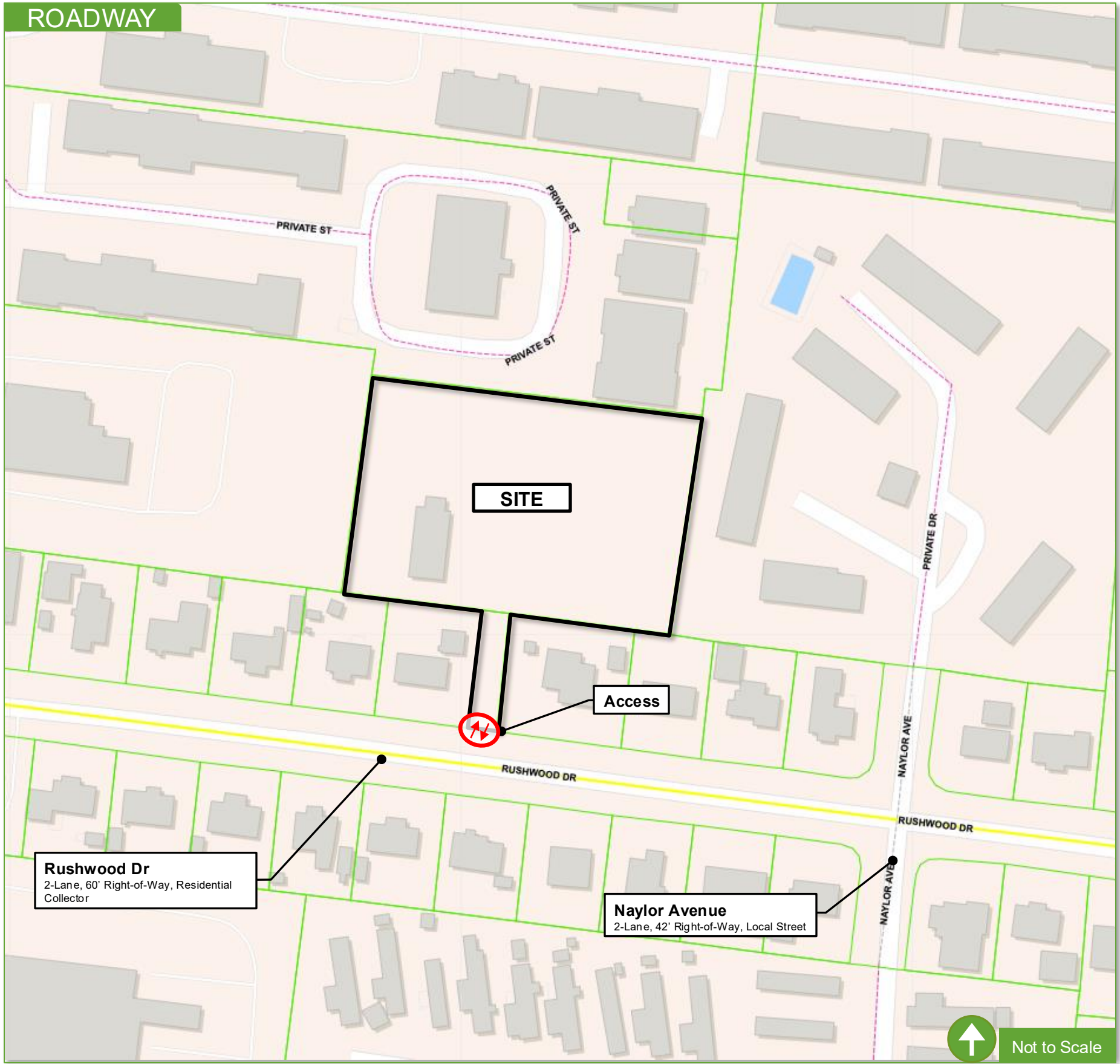
Existing Sewer Gravity Main			Site boundary
Existing Sewer Manhole			
Proposed Sewer Extension			

**Map Summary**

Water Services will be provided by MWRD. The current plan is to tie into the water line to the north in the Jefferson Square development.

**Map Summary**

- MWRD will provide Sewer Services. The current plan is to tie into the sewer line to the north in the Jefferson Square development.



**Map Summary**

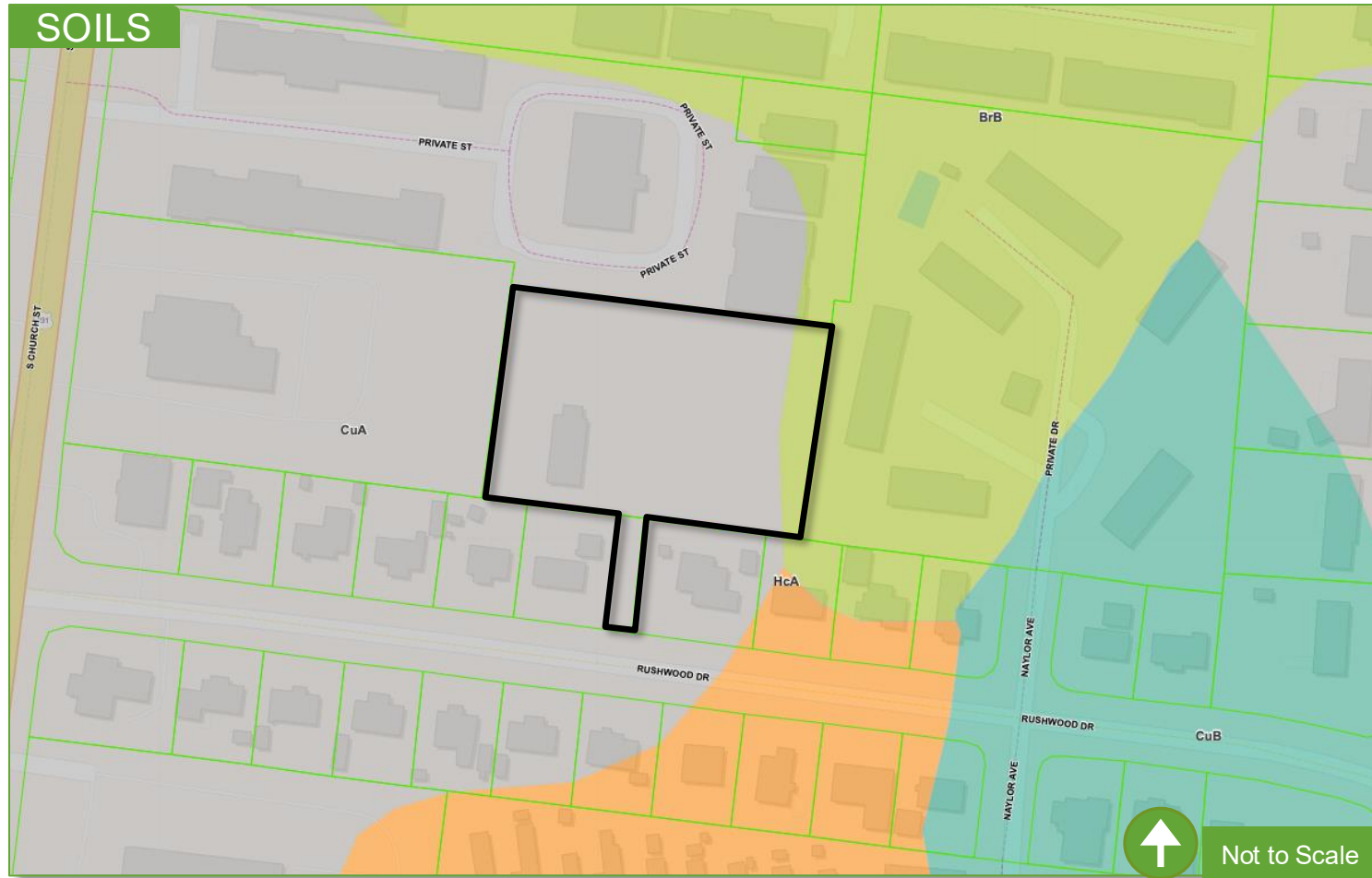
- Primary access to the site will be from Rushwood Drive. Rushwood Drive is classified as a residential collector. No secondary access is planned to connect to the Jefferson Square Business Park.

**Legend**

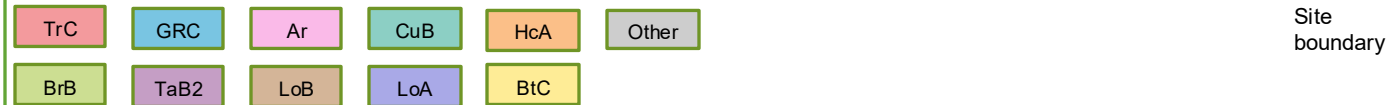
Community Collector		Residential Collector		Access Point	
Major Arterial		Local Collector		Site boundary	
Minor Arterial					

**H HUDDLESTON-STEELE**  
**ENGINEERING, INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

## SOILS



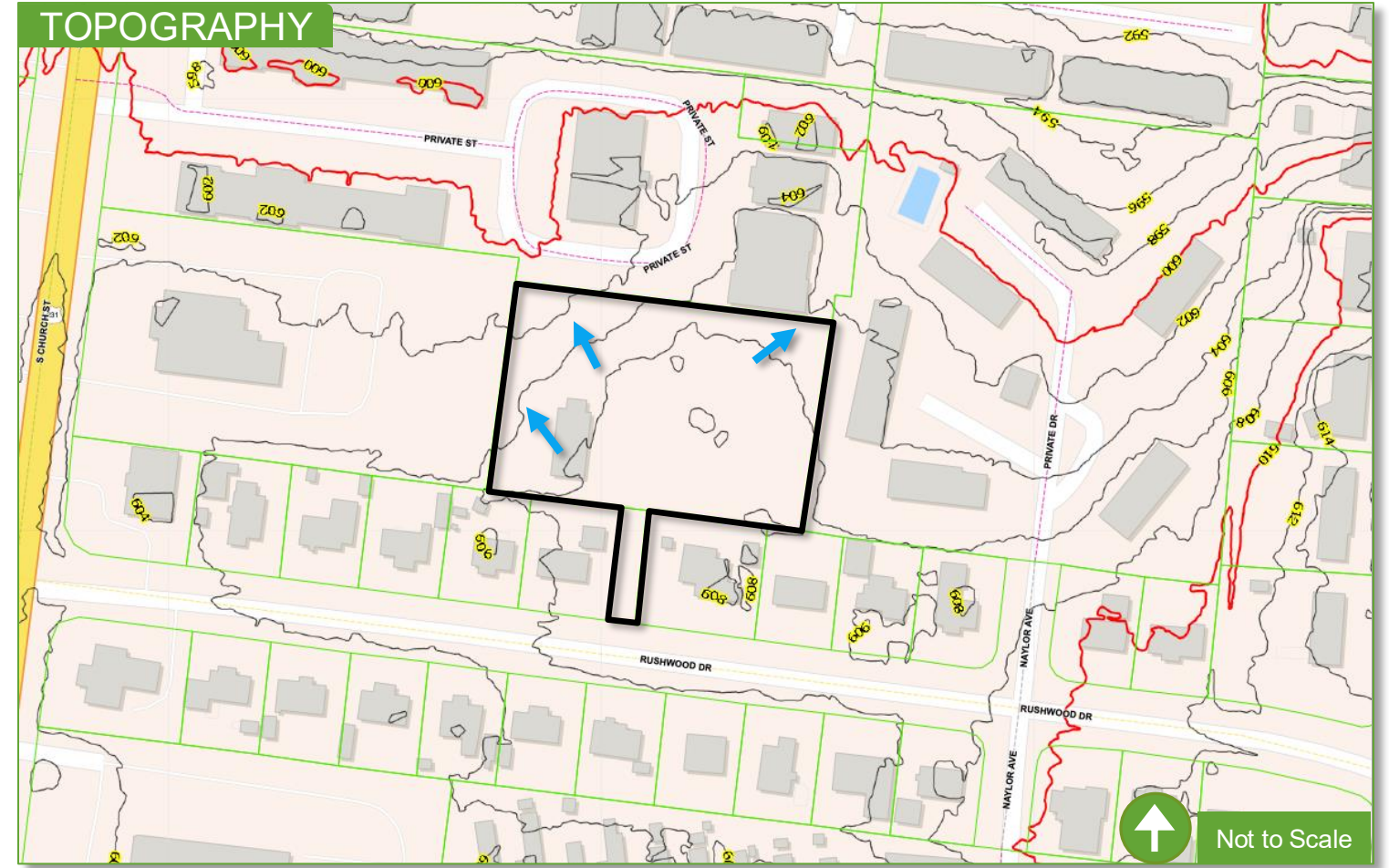
### Legend



### Map Summary

- **BrB** - Bradyville silt loam, 2 to 5 percent slopes.
- **HcA** - Harpeth silt loam, 0 to 2 percent slopes.
- **Ar**- Talbott-Barfield-Rock outcrop complex, 2 to 12 percent slopes.
- **BrA** - Bradyville-Rock outcrop complex, 2 to 12 percent slopes.

## TOPOGRAPHY

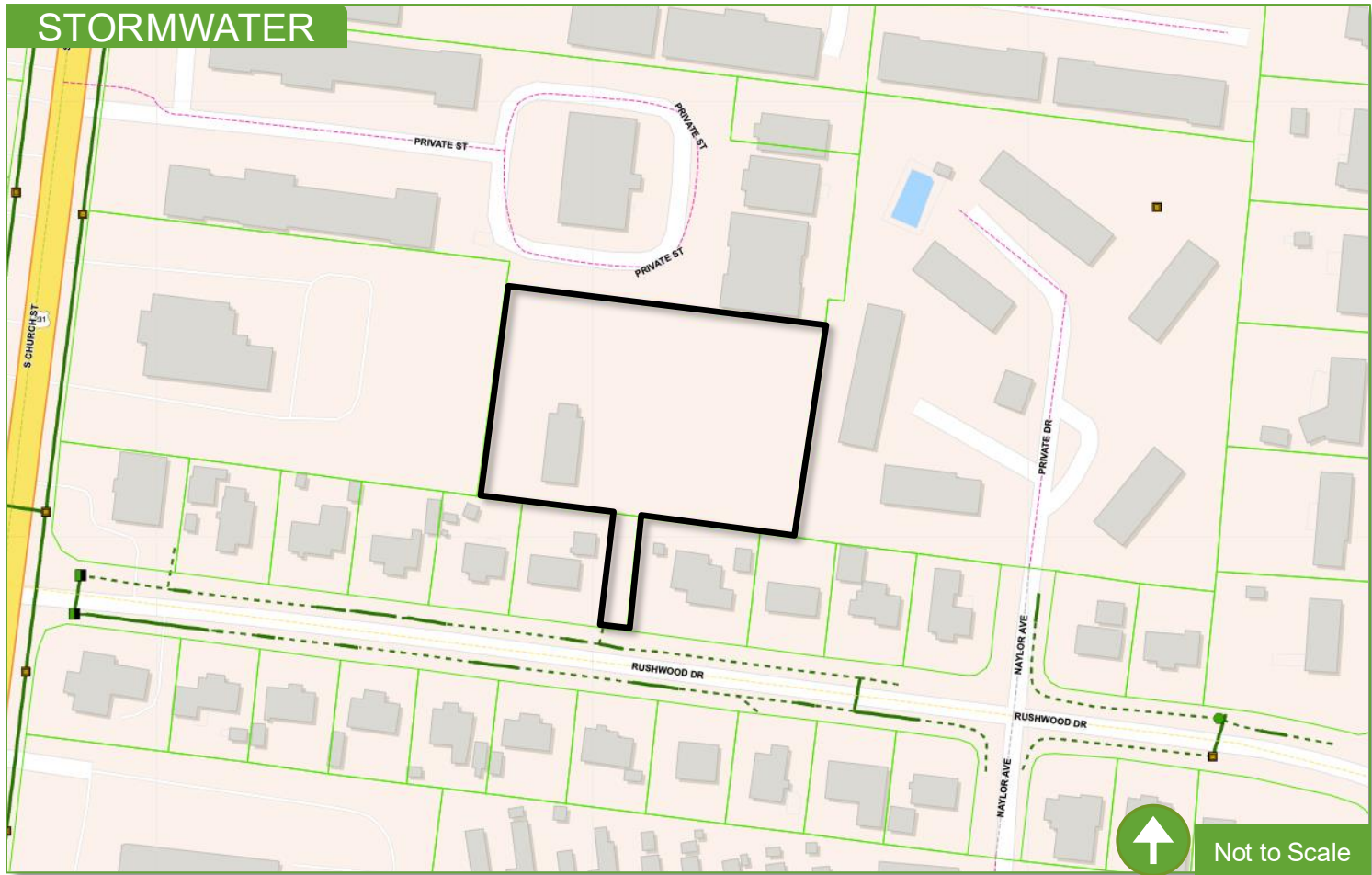


### Legend



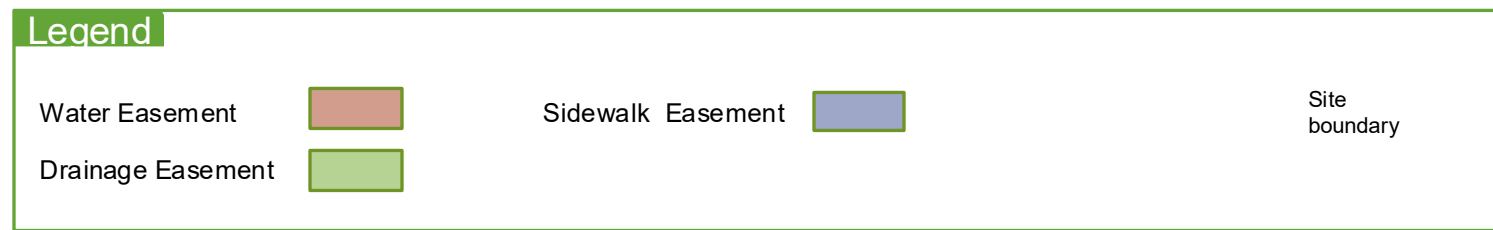
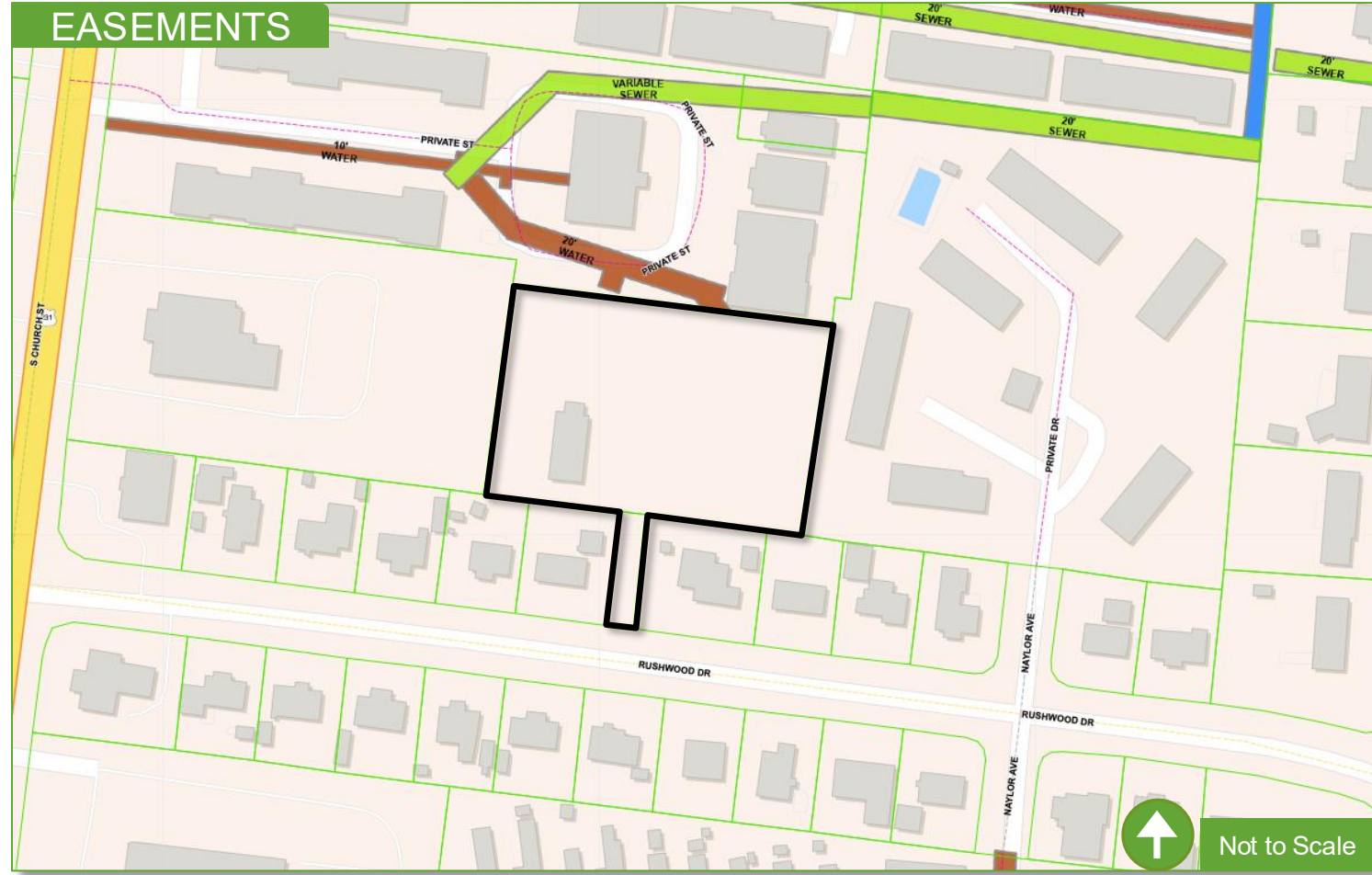
### Map Summary

The property is generally flat with 0'-4' of fall from a south-to-north direction. The property has been graded and is in near pad ready conditions.



**Map Summary**

- Stormwater is to tie into existing systems servicing the Jefferson Square Office Park.



**Map Summary**

- No Easements are currently impacting subject property.



**Map Summary**

The subject property is located in an existing neighborhood with a mixture of uses surrounding the development. To the north is the Jefferson Square Business Park, to the east is the Bellwood Trace Apartments, to the south are single family detached homes, and to the west is a free-standing commercial building. It is believed that many of the homes along Rushwood Drive are rental properties up tp Naylor Avenue.





**HS HUDDLESTON-STEELE**  
**ENGINEERING, INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 TELEPHONE: 615-893-4084 FAX: 615-893-0080



**SITE PLAN**



SITE DATA	
Total Area (SF)	56,628
Total Acreage	1.30
Building Area (SF)	(2) 2,560 (4) 1,952
Total Building Area (SF)	12,928
PARKING	
Reg Parking Required	43
Reg Parking Provided	44
ADA Compliant Parking	4
PARKING RATIO	
Parking Ratio Required	1 space per 300sf
Parking Ratio Provided	1 space per 293sf
Parking Ratio w/ ADA	1 space per 269sf
SETBACK	
Front	42
Side	10
Rear	20

**Parking Summary**

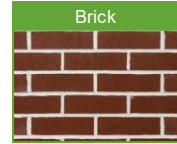
The office park will consist of six commercial buildings, including two 2,560-square-foot buildings and four 1,952-square-foot buildings. All buildings will be oriented toward the parking lot, consistent with the established character of Jefferson Square. The development will provide 45 parking spaces, with primary access from Rushwood Drive.

**SHUDDLESTON-STEELE ENGINEERING, INC.**  
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
 TELEPHONE: 615-893-4084 FAX: 615-893-0080

↑ Not to Scale

## Building Elevations Materials

Front Elevation:	Brick
Side Elevations:	Brick
Rear Elevations:	Brick
Alternate Materials:	Vinyl Soffit & Trim



\*Different colors, cuts and patterns will be allowed

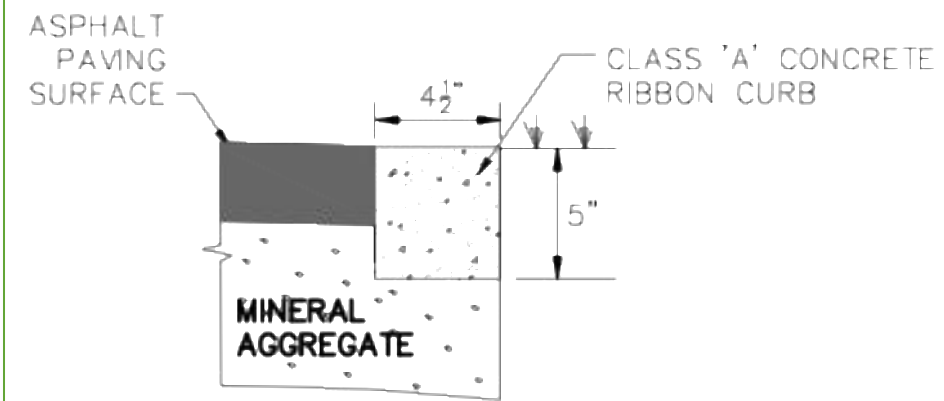
## Developmental Standards

- The new buildings will be consistent in character with the existing buildings located in the Jefferson Square development. The developer will be providing all brick buildings, with vinyl trim, and asphalt shingles to match the existing roofs. The bricks at Jefferson Square are discontinued, so the developer will match the existing brick as closely as possible. The Asphalt shingles will be an exact match. Vinyl will be used to accent materials.



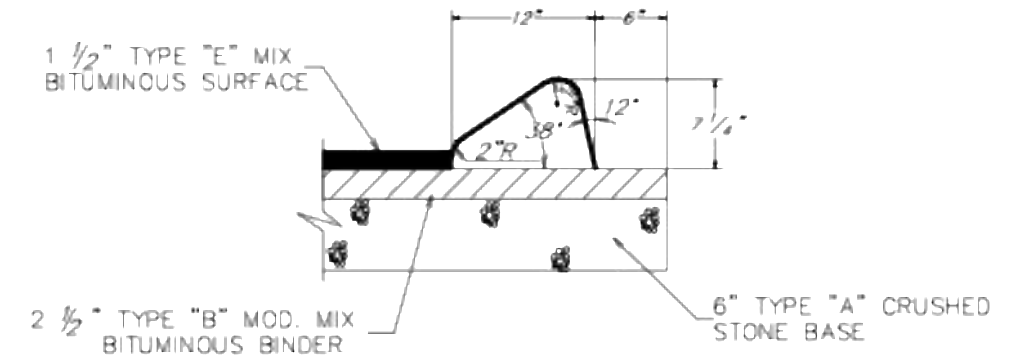
Garbage Enclosure

## Concrete Detail



CONCRETE RIBBON CURB  
DETAIL

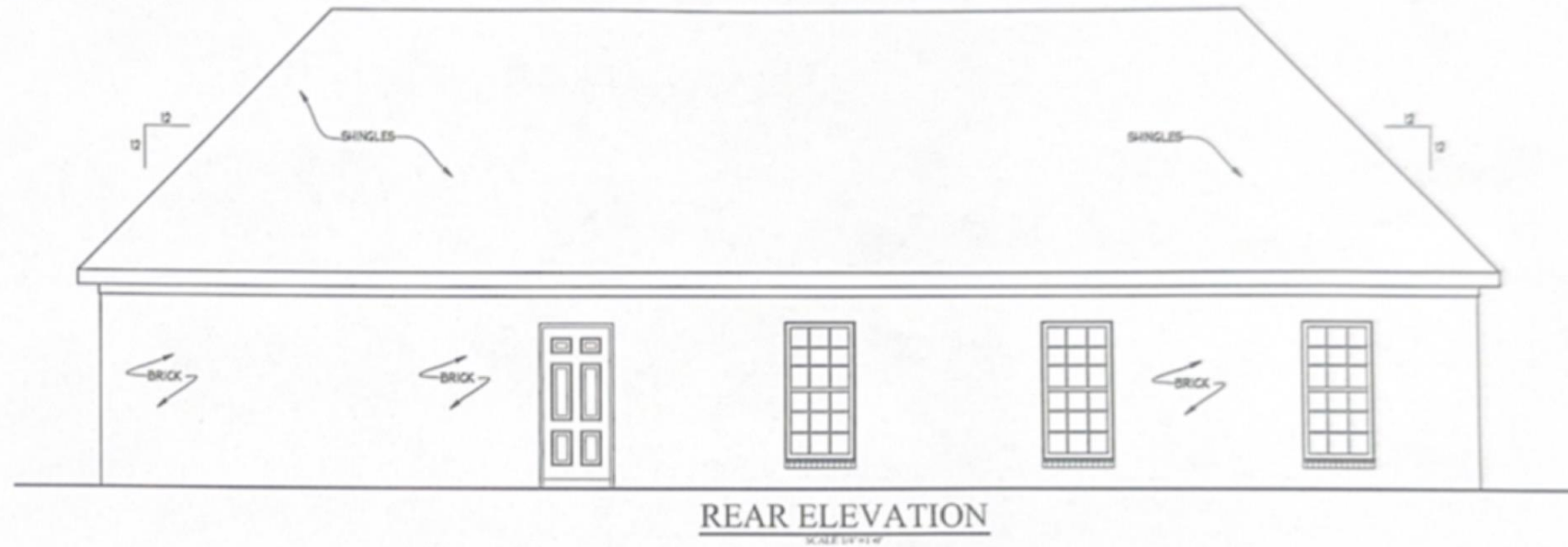
NTS



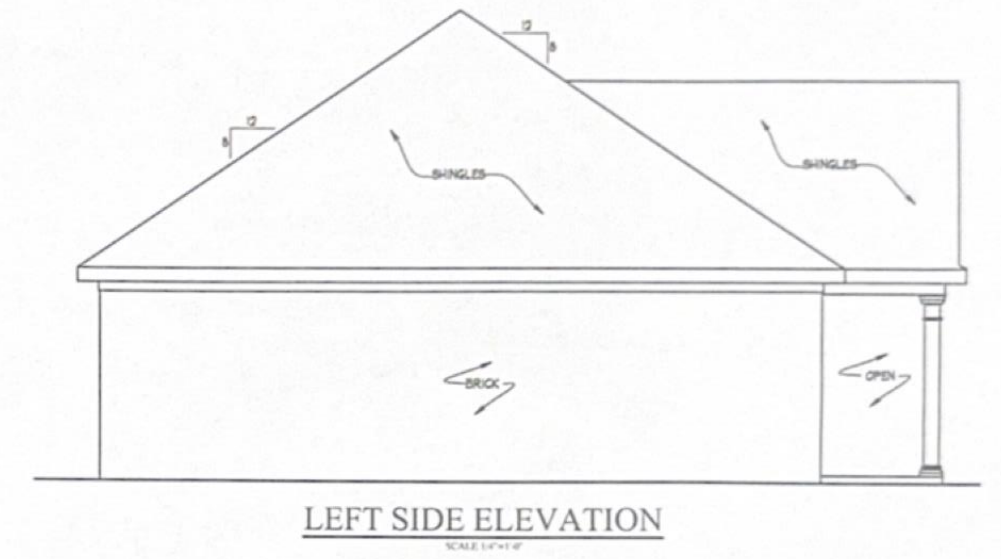
EXTRUDED MOUNTABLE CONCRETE CURB

N.T.S.

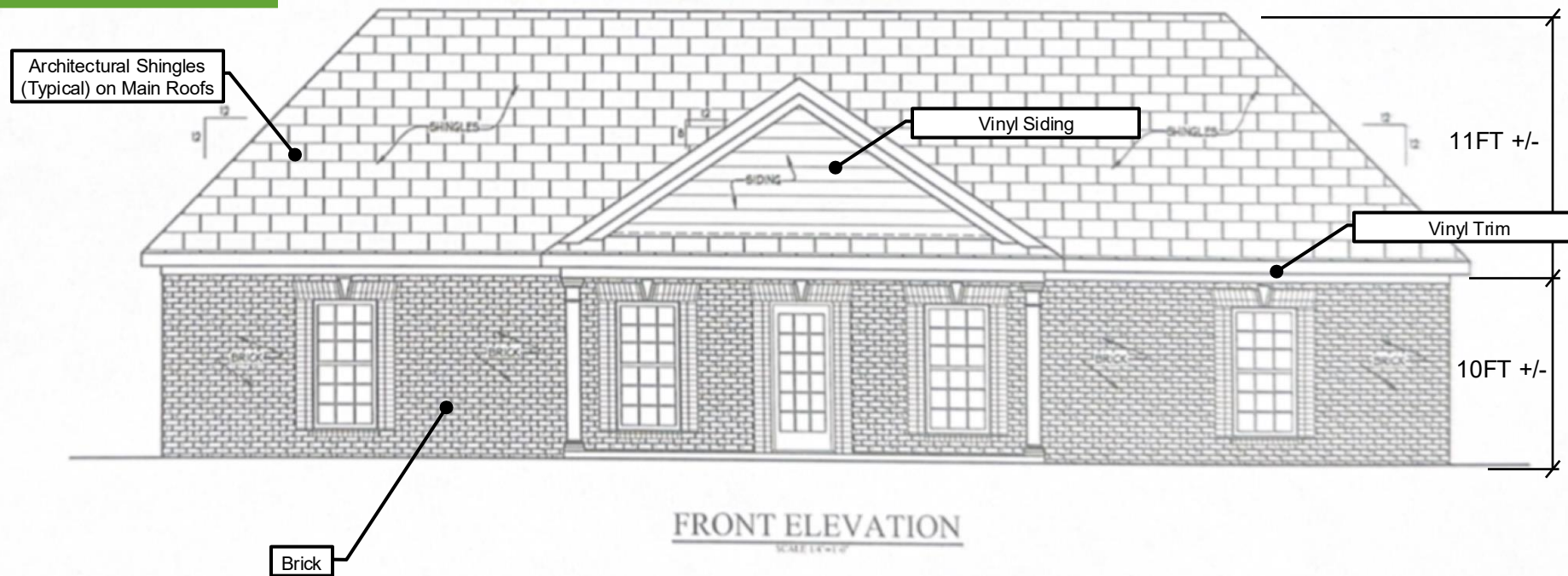
Rear Elevation



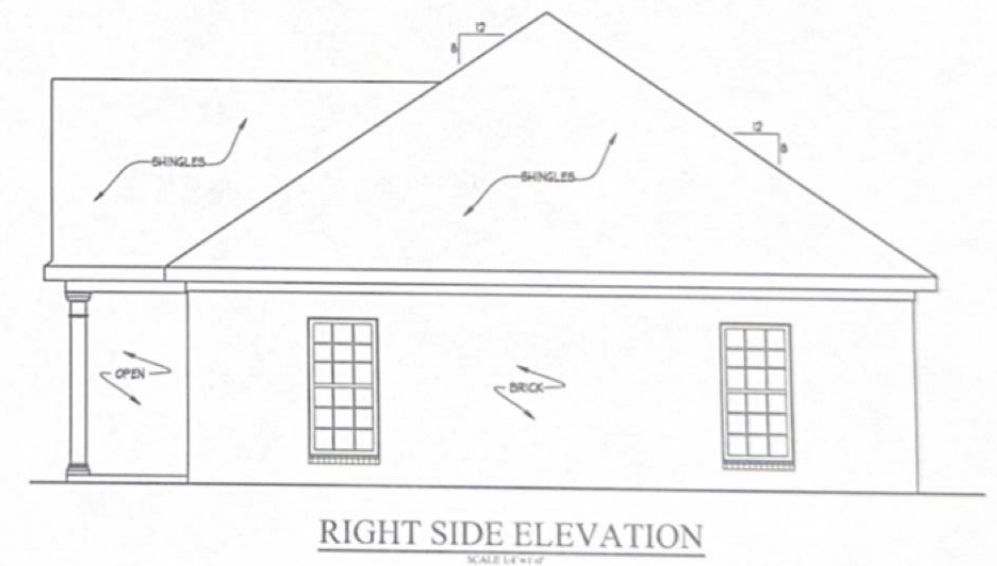
Right Side Elevation



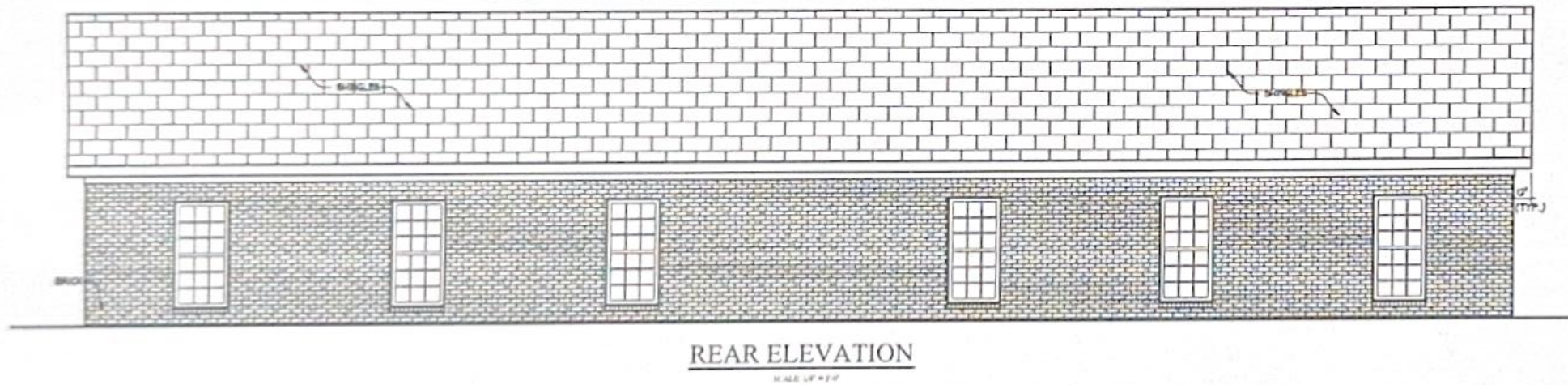
Front Elevation



Right Side Elevation



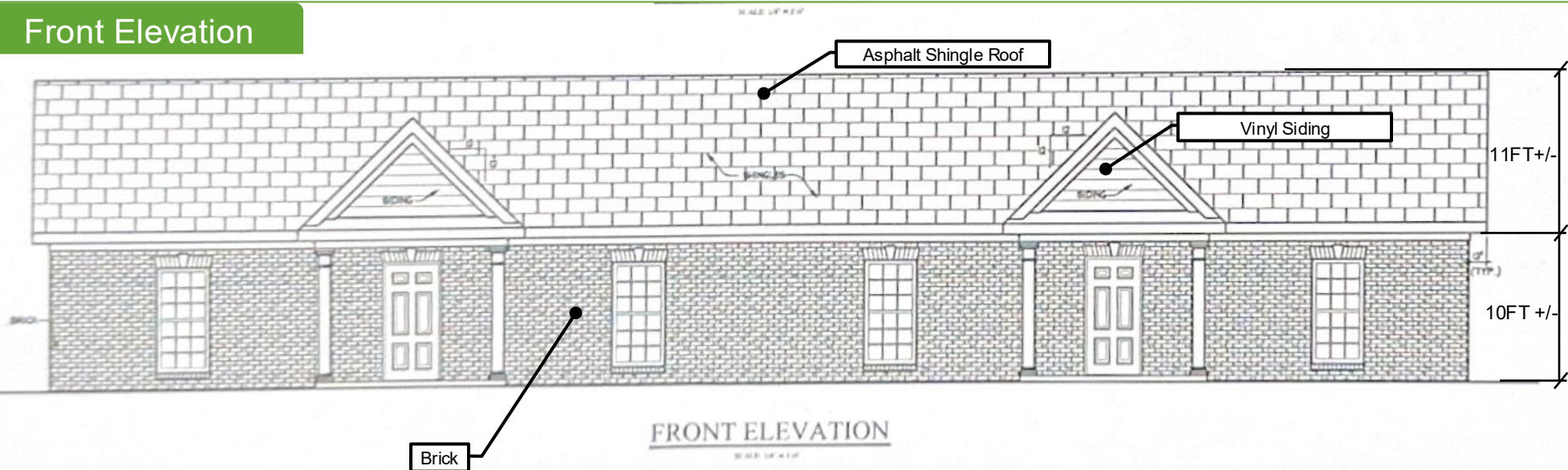
Rear Elevation



Right Side Elevation



Front Elevation



Right Side Elevation

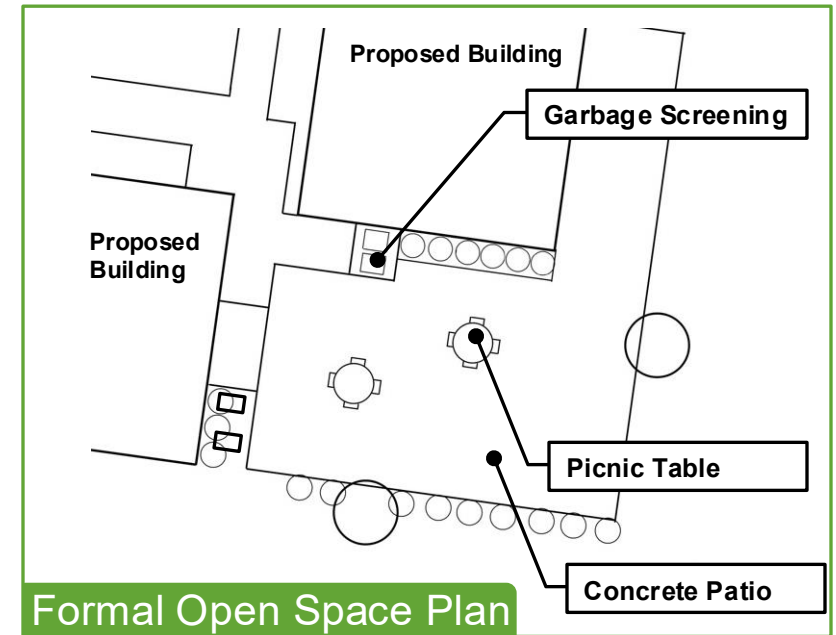


# OPEN SPACE PLAN



# Map Summary

- The site plan provides substantial green space along the rear and side perimeters of the proposed commercial buildings. Additional landscaped areas are incorporated between the sidewalk and building façade to accommodate foundation plantings and enhance the overall streetscape appearance.



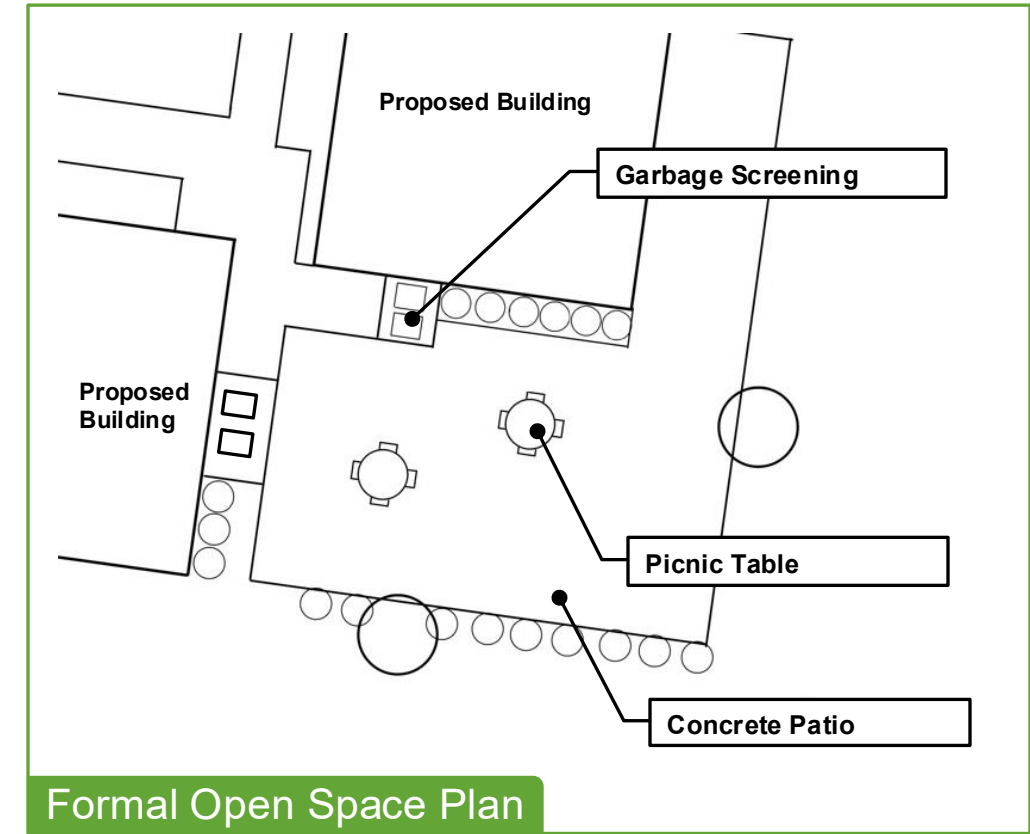
OPEN SPACE	
Formal Open Space Required	<b>2,000 SF</b>
Formal Open Space Provided	<b>2,000 SF</b>
Pervious Area	48,338sf 50,084sf w/ Church Building
Impervious Area	11,126sf 9,380sf w/ Church Building

# LANDSCAPE



## Map Summary

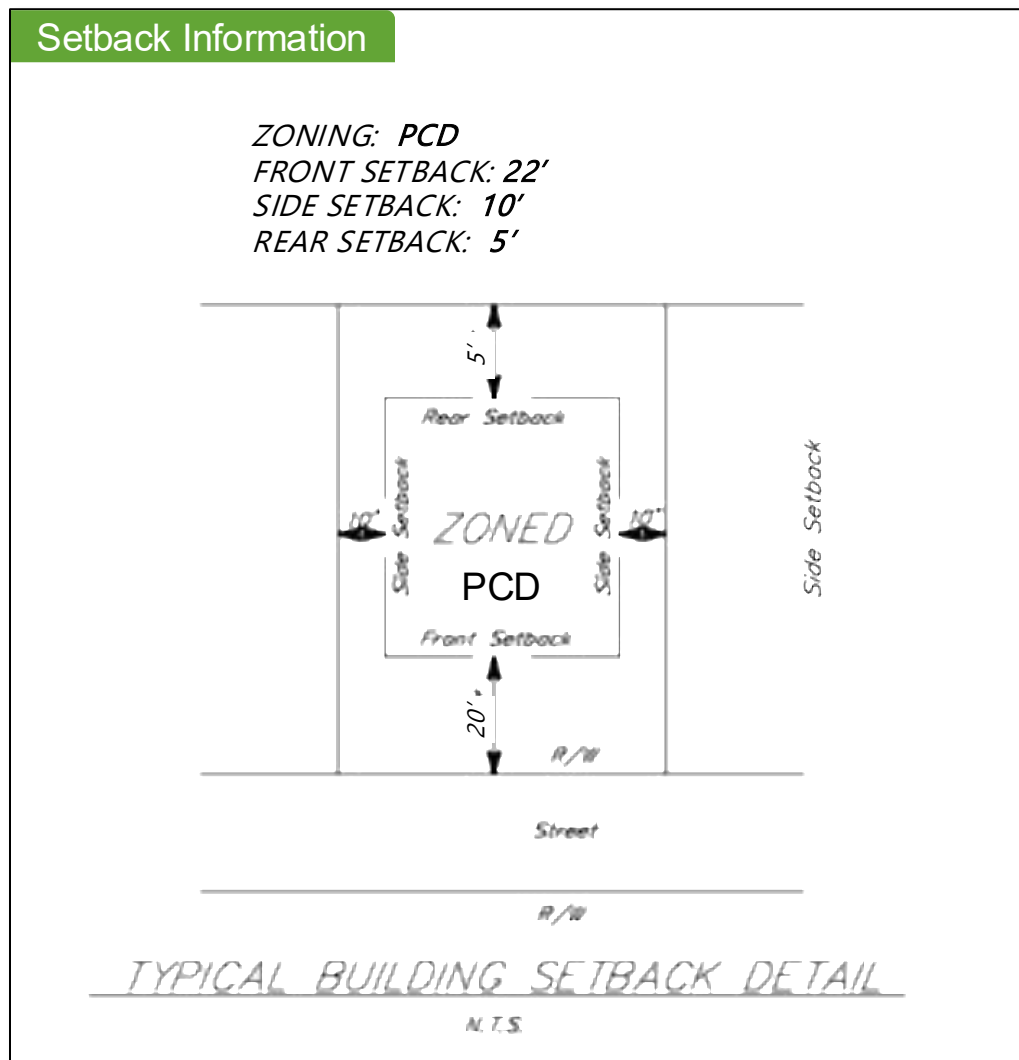
- The development will incorporate a Type "B" buffer along the southern property line, with Type "A" buffers provided along the eastern property line. A perimeter planting yard will be installed along the western and northern property boundaries. Additionally, the access drive will be landscaped on both sides to create separation from the adjacent residential properties.



Formal Open Space Plan

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (COMPARABLE VS PROPOSED)	COMPARABLE (OG)	PROPOSED	DIFFERENCE
<b>MINIMUM EXTERNAL SETBACK REQUIREMENTS</b>			
MINIMUM FRONT SETBACK (FT.)	30	20	-10
MINIMUM SIDE SETBACK (FT.)	10	10	-
MINIMUM REAR SETBACK (FT.)	20	5	-15
MAX HEIGHT (FT.)	45	25	-20

PERMITTED USES
FINANCIAL SERVICES
FITNESS STUDIO/ PERSONAL INSTRUCTION <= 5,000 SF
FLOWER OR PLANT STORE
INTERIOR DECORATOR
ART OR PHOTO STUDIO OR GALLERY
BANK OR CREDIT UNION, BRANCH OFFICE OR MAIN
BARBER OR BEAUTY SHOP
BUSINESS AND COMMUNICATION SERVICE
OFFICES



## City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property; [Shown in pattern book on pages 3-8.](#)
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; [Shown in pattern book on pages 9-10.](#)
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; [Shown in pattern book on Page9 .](#)
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; [Shown in pattern book on Page 11.](#)
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; [Not Applicable in this situation.](#)
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not applicable in this situation.](#)
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [Shown in pattern book pages .](#)
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [Development will be constructed in single phase.](#)
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned

development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; The development will be recorded as one lot of record and maintained by a commercial association. [Not applicable in this situation.](#)

10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
  - **EXCEPTION 1: The access drive functions as an extension of the subject property and, as designed, effectively establishes east, west, and south property lines. Accordingly, we are respectfully requesting an exception to the requirement for a Type "B" buffer along the access drive.**
  - **EXCEPTION 2: And provide 3' Planters with shrubs used to create visual separation from the adjacent homes. In this instance a type 'B' would be required.**
  - **EXCEPTION 3: Reduce Front Setback from 30' to 20'. Reduce Rear Setback From 20' to 5'**
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [The project is not within any overlays.](#)
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [Not applicable in this situation.](#)
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [Shown in pattern book on page 2.](#)
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [Shown in pattern book on pages 13 - 15](#)
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign: The sign will be provided in a 3' x 6' area and will be designed to specifications with TAE current sign ordinance.

**MURFREESBORO PLANNING COMMISSION  
 STAFF COMMENTS, PAGE 1  
 JUNE 3, 2026  
 SIGN ADMINISTRATOR: TERESA STEVENS**

**6.a. Zoning application [2026-412] for approximately 30.17 acres located along Elam Road and Joe B Jackson Parkway to be rezoned from G-I to G-I and PSO (Buc-ee’s PSO), Buc-ee’s LTD applicant.**

The subject property is located at 3355 Elam Road, the corner of Joe B Jackson Parkway and Elam Road. The property consists of approximately 30.17 acres. The property is zoned G-I (General Industrial District). The applicant has requested PSO (Planned Signage Overlay District) zoning for the property as well. The subject property is currently being developed as a Buc-ee’s gas station/convenience market.

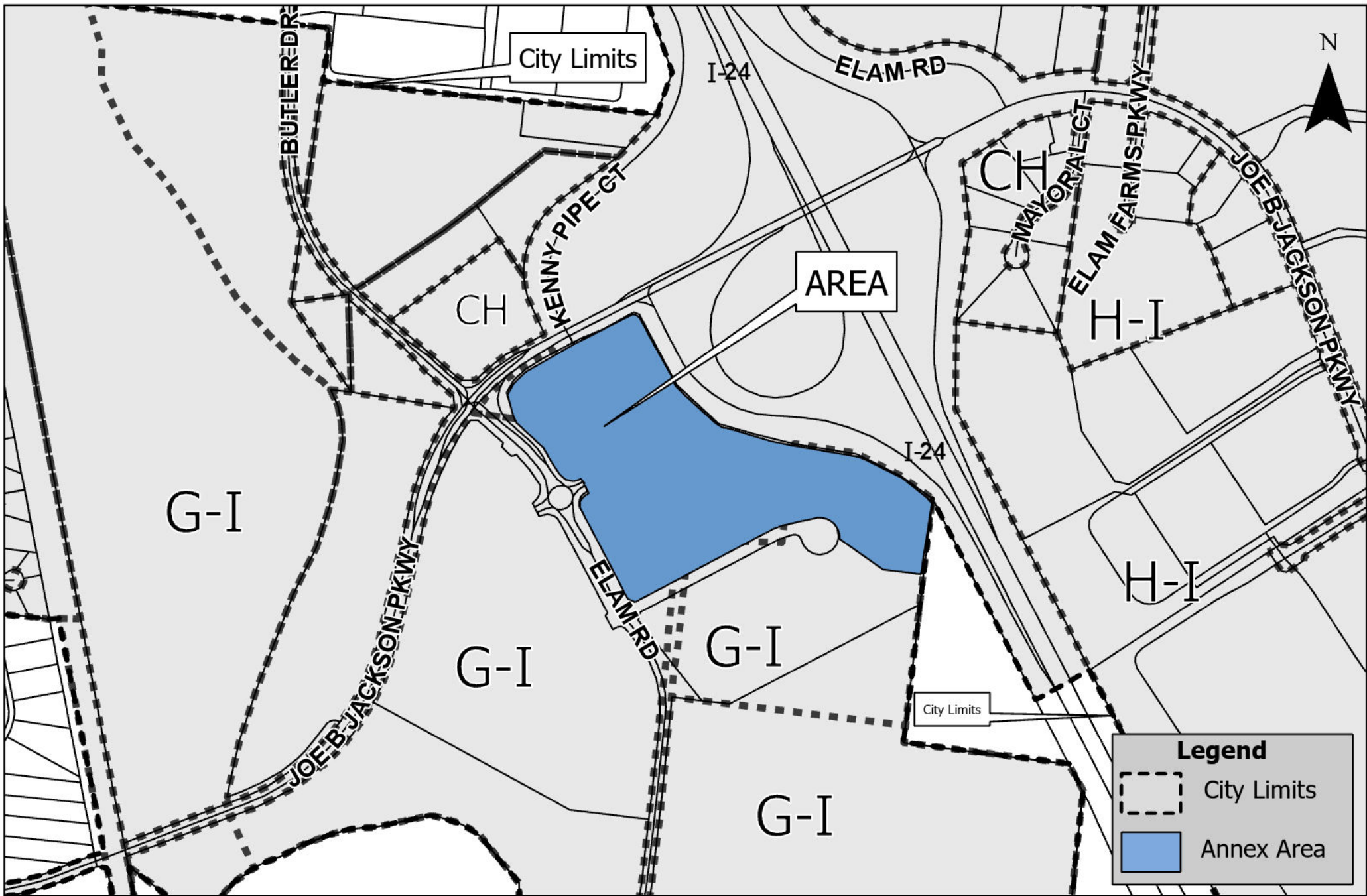
The purpose of the PSO zone is to allow the applicant an opportunity to present a cohesive plan for the entire project that addresses everything from permanent building signage to temporary signs. The property has no existing signs.

The proposed PSO would allow 3 attached building signs, 3 attached canopy signs for each gas canopy, an interstate ground sign, a painted roof sign as well as directional, enter/exit signs and temporary signs, including a number of grand opening temporary signs. The following table provides information as pertains to the current Sign Ordinance as well as the signage proposed in the Planned Sign Overlay.

Allowed by Sign Ordinance	Proposed PSO with Sheet Number
Attached Wall Signs <ul style="list-style-type: none"> <li>• 3 signs per building</li> <li>• Allowed 2 sq ft per linear foot of building front, with a maximum of 150 sf</li> <li>• Internal illumination</li> </ul>	Attached Wall Signs (page 15-18) <ul style="list-style-type: none"> <li>• 3 attached signs</li> <li>• Each sign measures, per the sign ordinance at 575 sf</li> <li>• Internal illumination</li> </ul>
<ul style="list-style-type: none"> <li>• Ground Sign One sign per parcel; two are allowed with two street fronts exceeding 100 ft</li> <li>• Interstate on site sign can be up to 50 ft in overall height.</li> <li>• Sign face area size is max of 200 sf</li> <li>• Internal illumination</li> </ul>	<ul style="list-style-type: none"> <li>• Ground Sign (page 25) One ground sign at 125 ft in overall height</li> <li>• Total of 750 sf in sign face area</li> <li>• Internal illumination</li> </ul>
Roof Sign <ul style="list-style-type: none"> <li>• Prohibited</li> </ul>	Roof Sign (page 27) <ul style="list-style-type: none"> <li>• Painted roof sign at 5674.5 sf</li> </ul>
Canopy Sign <ul style="list-style-type: none"> <li>• One per canopy side, three maximum</li> <li>• 50 sf each, maximum</li> <li>• 25 ft max height</li> </ul>	Canopy Sign (page 19) <ul style="list-style-type: none"> <li>• One Buc-ee logo on the north, east, and west elevations, with a</li> </ul>

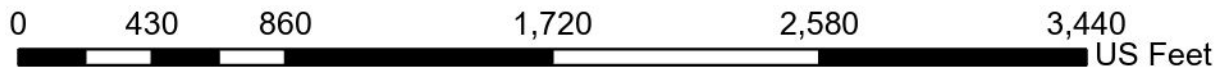
	<p>maximum of three per canopy @ 64 sf each</p> <ul style="list-style-type: none"> <li>• Two fuel description signs on the north elevation at 11 sf each</li> <li>• 30 ft max height</li> </ul>
<p>Equipment Machinery Sign</p> <ul style="list-style-type: none"> <li>• Signs allowed up to 2 sf per linear foot of equipment side to which they're attached.</li> </ul>	<p>Equipment Machinery Sign (pages 30,40,51,53)</p> <ul style="list-style-type: none"> <li>• Various sizes on ice machines, gas pumps, air compressor pump.</li> </ul>
<p>Convenience Sign</p> <ul style="list-style-type: none"> <li>• Defined as a sign 3sqft or less in surface area</li> <li>• Exempt from permitting (must following ordinance regulations)</li> <li>• Illumination allowed with electric permit</li> </ul>	<p>Convenience Sign (page 31,32,33,35,3738,39)</p> <ul style="list-style-type: none"> <li>• Various convenience signs posted throughout the property all are 5 sf or less</li> </ul>
<p>Temporary Signs</p> <ul style="list-style-type: none"> <li>• 'Other Temporary Sign', allowed to have 3 per parcel, 16 sqft maximum sign face area, 6 feet overall height, one foot from ROW, illumination is not allowed, timing is 10 days after conclusion of temporary purpose, multiple signs shall not be placed to appear to be one sign that exceeds the 16 sf, all zones, on-site only</li> <li>• Banner 120 sf, allowed over a sign provided there is a sign permit application on file. Allowed for up to 90 days</li> </ul>	<p>Temporary Signs (page 34)</p> <ul style="list-style-type: none"> <li>• 'Other Temporary Sign' less than the allowable square feet at 12 sf, 3 feet in overall height</li> <li>• Banner over the 'Murfreeboro' part of the interstate on site sign to read 'coming soon', will be removed at opening.</li> </ul>
<p>Temporary Signs Grand Opening 30 days</p> <ul style="list-style-type: none"> <li>• Not addressed in our Sign Ordinance specifically for Grand Openings</li> <li>• 'Streamers', allowed three linear ft of street frontage, 25' maximum height, attached to private perimeter pole, light pole, or canopy pole, but not utility or flag poles</li> <li>• 'Inflatable', 7 consecutive days with a temporary sign permit, 100 sf of sign area</li> </ul>	<p>Temporary Signs Grand Opening 30 days (page 56-57)</p> <ul style="list-style-type: none"> <li>• 'Streamers, 5-7 strands per perimeter light pole</li> <li>• 'Inflatable' one 25' tall mascot at approx. 700 sf, one 12' tall mascot at 175 sf</li> </ul>
•	•

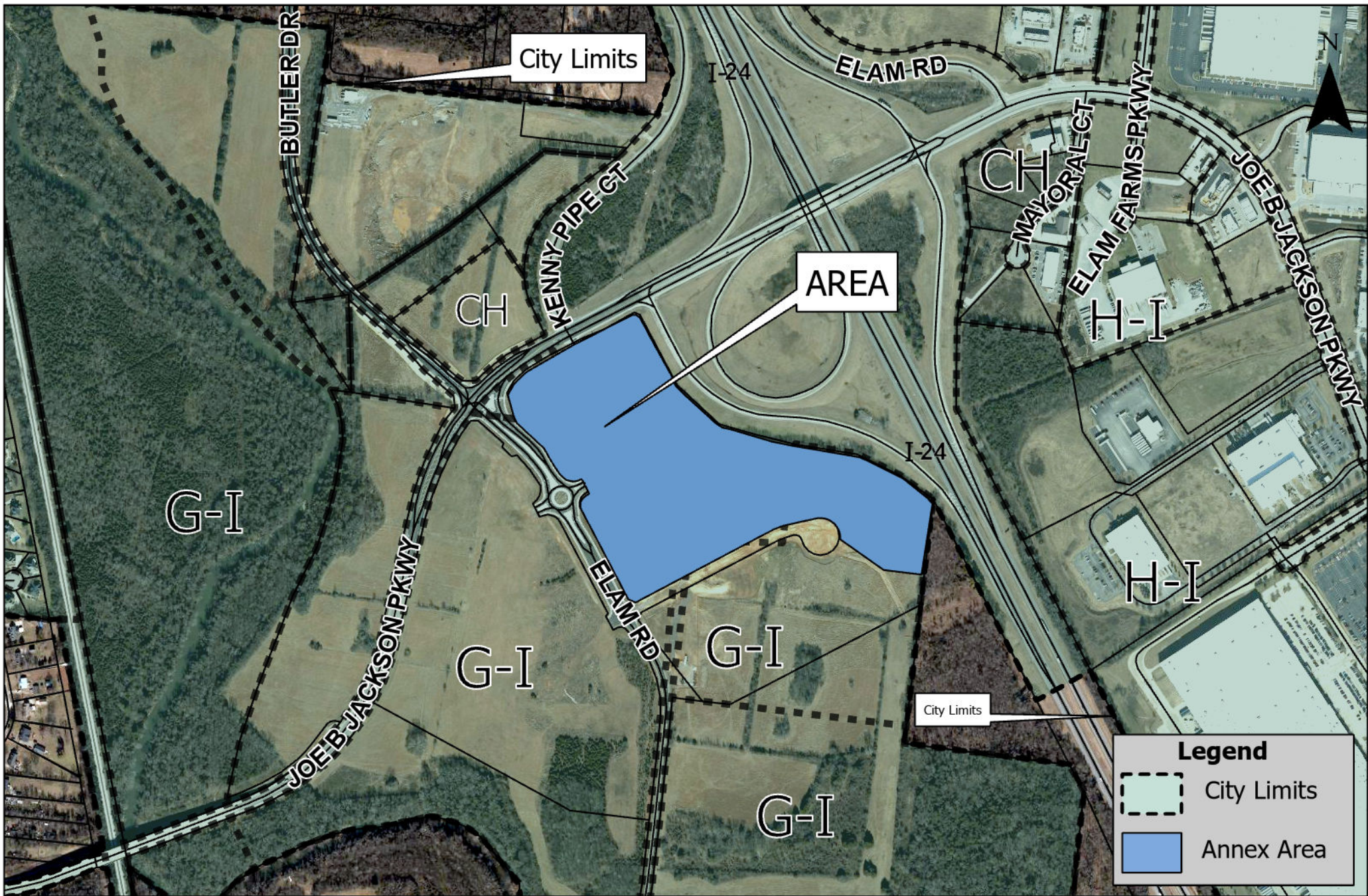
A Buc-ee's representative and City Staff will make a brief presentation regarding the proposed PSO request at the Planning Commission meeting, after which the Planning Commission should conduct a public hearing and then formulate a recommendation for City Council.



Rezoning Request for property along Elam Road & Joe B Jackson Parkway  
 G-I to G-I & PSO (Buc-ee's PSO)

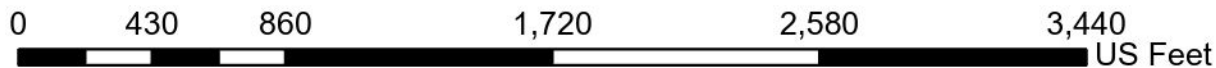
Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





Rezoning Request for property along Elam Road & Joe B Jackson Parkway  
 G-I to G-I & PSO (Buc-ee's PSO)

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)





**PLANNED SIGNAGE OVERLAY DISTRICT**

**Resubmitted on May 27, 2026 for the June 3, 2026 Planning Commission Public Hearing**

# PLANNED SIGNAGE OVERLAY DISTRICT

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## Exhibit - Utilities Easements Roadways ROW

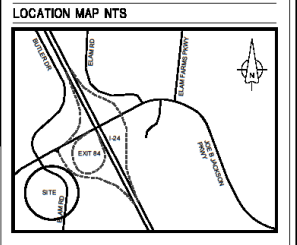


## Exhibit – Plot Plan Aerial

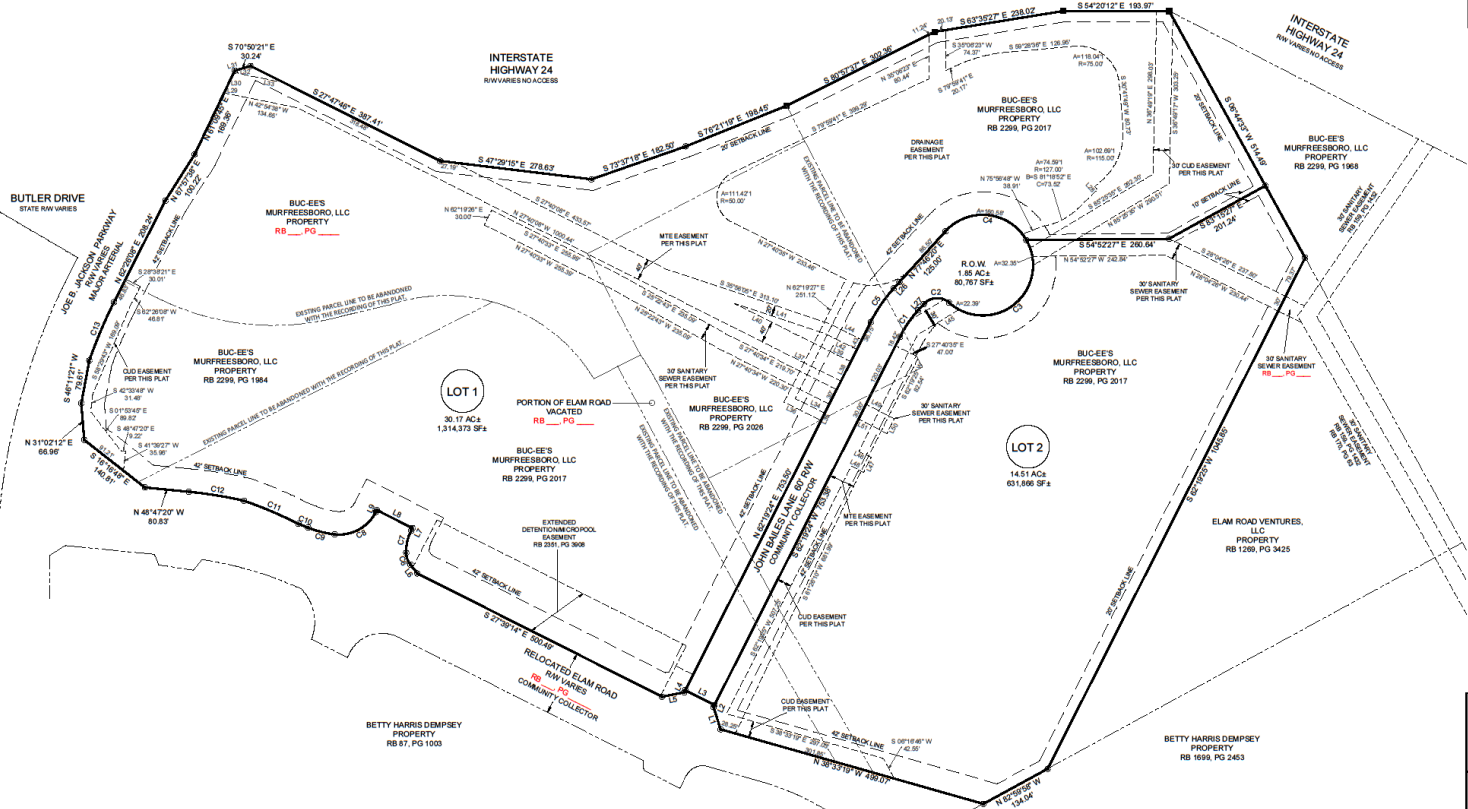


## Exhibit – Buc-ee’s Subdivision Approved Plat

<b>CERTIFICATE OF ACCURACY</b> HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE INTERIOR PROVISIONS OF THE UNADJUSTED SURVEY IS SUBORDINATE TO THE UNADJUSTED SURVEY. THE REQUIREMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE CITY ENGINEER. DATE: _____ SURVEYOR: _____ KENNETH A. BAU, TENNESSEE REG. NO. 2019	<b>CERTIFICATE OF OWNERSHIP AND DEDICATION</b> I (WE) HEREBY CERTIFY THAT I (WE) (ARE) THE (OWNERS) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ACQUIT THIS PLAN OF SUBORDINATION WITH MY (OUR) FREE CONSENT. I (WE) HEREBY RELEASE THE FROM ALL CLAIMS AND OBLIGATIONS OF THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES AS ARE SPECIFICALLY NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT I (HAS) BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE. DATE: _____ PLANNING COMMISSION SECRETARY: _____	<b>CERTIFICATE OF APPROVAL FOR RECORDING</b> I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBORDINATION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES AS ARE SPECIFICALLY NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT I (HAS) BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE. DATE: _____ CITY ENGINEER: _____	<b>CERTIFICATE OF APPROVAL FOR STREETS AND DRAINAGE</b> I HEREBY CERTIFY THAT (1) THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROL SYSTEMS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS OR DESIGNED FOR THESE IMPROVEMENTS HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE. DATE: _____ (PRINT) OFFICIAL: _____	<b>CERTIFICATE OF APPROVAL FOR ELECTRIC POWER (MTEC)</b> MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEC) WILL PROVIDE ELECTRIC SERVICE TO THE SUBJECT PROPERTY ACCORDING TO THE NORMAL OPERATING PRACTICES OF MTEC AS SET FORTH IN THE RULES AND REGULATIONS, BY-LAWS, POLICY BULLETINS AND OPERATIONAL BULLETINS OF MTEC, AND IN ACCORDANCE WITH THE PLAT, APPROVAL CHECKLIST, THE PLANNING GUIDELINES AND OTHER REGULATIONS. CHANGES ON THE MTEC WEBSITE AT WWW.MTEC.COM COLLECTIVELY REFERRED TO AS "MTEC SERVICES" WILL BE PROVIDED UNTIL MTEC'S REQUIREMENTS HAVE BEEN MET AND APPROVED IN WRITING BY AN AUTHORIZED REPRESENTATIVE OF MTEC. MY APPROVAL IS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH MTEC'S REQUIREMENTS. DATE: _____ MURFREESBORO WATER RESOURCES OFFICIAL: _____	<b>CERTIFICATE OF APPROVAL FOR SEWER SYSTEMS</b> I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DESIGN CRITERIA FOR SEWER WORKS; (2) THAT A SURVEY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT. DATE: _____ CONSOLIDATED UTILITY DISTRICT OFFICIAL: _____
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**SOURCE OF TITLE**  
 TM 105 PARCEL 60.00  
 RECORD BOOK 208, PAGE 2028  
 RECORD BOOK 229, PAGE 2017  
 RECORD BOOK 229, PAGE 1094  
 TOOT PROPERTY  
 RECORD BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
 VACATED ELAM ROAD  
 RECORD BOOK \_\_\_\_\_ PAGE \_\_\_\_\_



- SURVEY NOTES:**
- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE 46.53 AC TO CREATE TWO LOTS OF RECORD AND TO RECORD EASEMENTS, AS SHOWN.
  - INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION OF ABOVE GROUND UTILITIES, AVAILABLE AVAILABLE DESIGN PLANS, AND PLACES AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGNESS OF THE UTILITIES SHOWN HEREON. CONSULT THE DESIGN AND INSTALLATION MANUAL FOR UNDERGROUND UTILITIES AND SYSTEM (INC. 1-500-35-1111).
  - CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.
  - THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS FOR RUTHERFORD COUNTY, TENNESSEE. FIRM MAP NO. 47600000A, DATED JANUARY 5, 2005.
  - THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH CHAPTER 300'S STANDARDS OF PRACTICE AS ADOPTED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYS.
  - UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 1/2" DIAMETER IRON 1/2" IN LENGTH WITH A YELLOW PLASTIC CAP STAMPED "YOUNG HOBBS".
  - HEREBY CERTIFY THAT THIS SURVEY HAS BEEN MADE USING THE RECORDING INFORMATION SHOWN AND THAT THIS SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE INTERIOR PROVISIONS OF THE UNADJUSTED SURVEY IS BETTER THAN 1:5000 AS SHOWN HEREON.
  - CONSOLIDATED UTILITY DISTRICT MAY REQUIRE AN ADJUSTMENT PLAT OR SURVEY METES AND BOUNDS DESCRIPTION WITHIN THIRTY (30) DAYS OF ANY NECESSARY EASEMENTS ONCE CONSTRUCTION IS COMPLETE.
  - NO SUBDIVISIONS OF THIS PROPERTY WILL BE APPROVED BY CUD WITHOUT A SEWERAGE SYSTEM BEING INSTALLED FOR EACH BUILDING.

**ZONING TABLE**

ZONED: G1 (GENERAL INDUSTRIAL)

REQUIREMENTS:

FRONT:	42 FEET
SIDE:	10 FEET
REAR:	20 FEET

DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK/RECORD BOOK: \_\_\_\_\_  
 PAGE: \_\_\_\_\_

**FINAL PLAT**  
**BUC-EE'S SUBDIVISION**  
**LOT 1 & 2**  
 CITY OF MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

SHEET NO: 1 OF 1

FIELD DATE: 10/22/2024 TOTAL AREA: 46.53 ACRES  
 OFFICE DATE: 10/30/2024

OWNER: BUC-EE'S MURFREESBORO, LLC REVISIONS:  
 01/14/2025  
 LACE JACKSON, TX 77566

PARCEL NO: MAP 128 PAR. 60.00

WATER JURISDICTION: CONSOLIDATED UTILITY DISTRICT RUTHERFORD COUNTY (GAURCO)

SCALE: 1"=100' 0 100 200 300

**YOUNG HOBBS AND ASSOCIATES**  
 1202 CROSSLAND AVE.  
 CLARKSVILLE, TN 37040  
 (931) 645-2524 FAX: (931) 645-2788

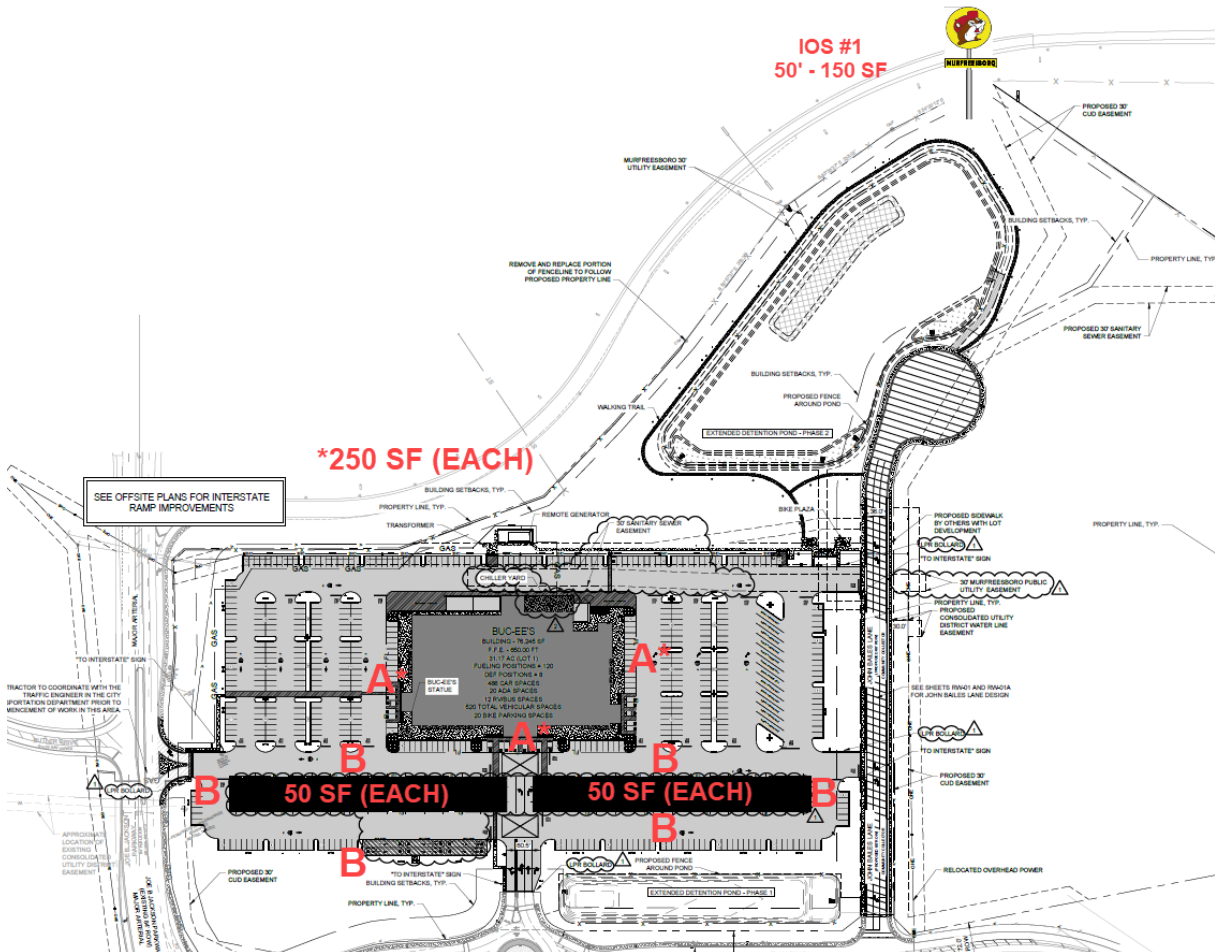
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 17°02'30" E	45.87	L8	S 8°17'00" W	18.90
L2	N 67°19'40" E	4.50	L9	N 27°40'30" W	73.50
L3	N 2°04'00" W	60.00	L10	S 27°02'00" E	114.64
L4	S 85°10'10" W	4.50	L11	N 85°19'20" E	40.00
L5	N 85°03'30" W	41.50	L12	N 27°40'30" W	115.00
L6	N 02°02'30" W	20.50	L13	N 27°40'30" W	104.00
L7	N 85°10'10" W	5.25	L14	S 30°30'00" E	173.90
L8	N 27°40'30" W	73.50	L15	S 27°40'30" E	66.70
L9	S 8°17'00" W	18.90	L16	N 67°19'40" E	20.50
L10	N 27°40'30" W	104.00	L17	N 27°40'30" W	60.10
L11	S 27°02'00" E	114.64	L18	N 67°19'40" E	20.50
L12	N 85°19'20" E	40.00	L19	N 67°19'40" E	20.50
L13	N 27°40'30" W	115.00	L20	S 27°40'30" E	20.50
L14	S 30°30'00" E	173.90	L21	N 67°19'40" E	20.50
L15	S 27°40'30" E	66.70	L22	N 67°19'40" E	20.50
L16	N 67°19'40" E	20.50	L23	N 67°19'40" E	20.50
L17	N 27°40'30" W	60.10	L24	N 67°19'40" E	20.50
L18	N 67°19'40" E	20.50	L25	N 67°19'40" E	20.50
L19	N 67°19'40" E	20.50	L26	N 67°19'40" E	20.50
L20	S 27°40'30" E	20.50	L27	N 67°19'40" E	20.50
L21	N 67°19'40" E	20.50	L28	N 67°19'40" E	20.50
L22	N 67°19'40" E	20.50	L29	N 67°19'40" E	20.50
L23	N 67°19'40" E	20.50	L30	N 67°19'40" E	20.50
L24	N 67°19'40" E	20.50	L31	N 67°19'40" E	20.50
L25	N 67°19'40" E	20.50	L32	N 67°19'40" E	20.50
L26	N 67°19'40" E	20.50	L33	N 67°19'40" E	20.50
L27	N 67°19'40" E	20.50	L34	N 67°19'40" E	20.50
L28	N 67°19'40" E	20.50	L35	N 67°19'40" E	20.50
L29	N 67°19'40" E	20.50	L36	N 67°19'40" E	20.50
L30	N 67°19'40" E	20.50	L37	N 67°19'40" E	20.50
L31	N 67°19'40" E	20.50	L38	N 67°19'40" E	20.50
L32	N 67°19'40" E	20.50	L39	N 67°19'40" E	20.50
L33	N 67°19'40" E	20.50	L40	N 67°19'40" E	20.50
L34	N 67°19'40" E	20.50	L41	N 67°19'40" E	20.50
L35	N 67°19'40" E	20.50	L42	N 67°19'40" E	20.50
L36	N 67°19'40" E	20.50	L43	N 67°19'40" E	20.50
L37	N 67°19'40" E	20.50	L44	N 67°19'40" E	20.50
L38	N 67°19'40" E	20.50	L45	N 67°19'40" E	20.50
L39	N 67°19'40" E	20.50	L46	N 67°19'40" E	20.50
L40	N 67°19'40" E	20.50	L47	N 67°19'40" E	20.50
L41	N 67°19'40" E	20.50	L48	N 67°19'40" E	20.50
L42	N 67°19'40" E	20.50	L49	N 67°19'40" E	20.50
L43	N 67°19'40" E	20.50	L50	N 67°19'40" E	20.50
L44	N 67°19'40" E	20.50	L51	N 67°19'40" E	20.50
L45	N 67°19'40" E	20.50	L52	N 67°19'40" E	20.50
L46	N 67°19'40" E	20.50	L53	N 67°19'40" E	20.50
L47	N 67°19'40" E	20.50	L54	N 67°19'40" E	20.50
L48	N 67°19'40" E	20.50	L55	N 67°19'40" E	20.50
L49	N 67°19'40" E	20.50	L56	N 67°19'40" E	20.50
L50	N 67°19'40" E	20.50	L57	N 67°19'40" E	20.50
L51	N 67°19'40" E	20.50	L58	N 67°19'40" E	20.50
L52	N 67°19'40" E	20.50	L59	N 67°19'40" E	20.50
L53	N 67°19'40" E	20.50	L60	N 67°19'40" E	20.50
L54	N 67°19'40" E	20.50	L61	N 67°19'40" E	20.50
L55	N 67°19'40" E	20.50	L62	N 67°19'40" E	20.50
L56	N 67°19'40" E	20.50	L63	N 67°19'40" E	20.50
L57	N 67°19'40" E	20.50	L64	N 67°19'40" E	20.50
L58	N 67°19'40" E	20.50	L65	N 67°19'40" E	20.50
L59	N 67°19'40" E	20.50	L66	N 67°19'40" E	20.50
L60	N 67°19'40" E	20.50	L67	N 67°19'40" E	20.50
L61	N 67°19'40" E	20.50	L68	N 67°19'40" E	20.50
L62	N 67°19'40" E	20.50	L69	N 67°19'40" E	20.50
L63	N 67°19'40" E	20.50	L70	N 67°19'40" E	20.50
L64	N 67°19'40" E	20.50	L71	N 67°19'40" E	20.50
L65	N 67°19'40" E	20.50	L72	N 67°19'40" E	20.50
L66	N 67°19'40" E	20.50	L73	N 67°19'40" E	20.50
L67	N 67°19'40" E	20.50	L74	N 67°19'40" E	20.50
L68	N 67°19'40" E	20.50	L75	N 67°19'40" E	20.50
L69	N 67°19'40" E	20.50	L76	N 67°19'40" E	20.50
L70	N 67°19'40" E	20.50	L77	N 67°19'40" E	20.50
L71	N 67°19'40" E	20.50	L78	N 67°19'40" E	20.50
L72	N 67°19'40" E	20.50	L79	N 67°19'40" E	20.50
L73	N 67°19'40" E	20.50	L80	N 67°19'40" E	20.50
L74	N 67°19'40" E	20.50	L81	N 67°19'40" E	20.50
L75	N 67°19'40" E	20.50	L82	N 67°19'40" E	20.50
L76	N 67°19'40" E	20.50	L83	N 67°19'40" E	20.50
L77	N 67°19'40" E	20.50	L84	N 67°19'40" E	20.50
L78	N 67°19'40" E	20.50	L85	N 67°19'40" E	20.50
L79	N 67°19'40" E	20.50	L86	N 67°19'40" E	20.50
L80	N 67°19'40" E	20.50	L87	N 67°19'40" E	20.50
L81	N 67°19'40" E	20.50	L88	N 67°19'40" E	20.50
L82	N 67°19'40" E	20.50	L89	N 67°19'40" E	20.50
L83	N 67°19'40" E	20.50	L90	N 67°19'40" E	20.50
L84	N 67°19'40" E	20.50	L91	N 67°19'40" E	20.50
L85	N 67°19'40" E	20.50	L92	N 67°19'40" E	20.50
L86	N 67°19'40" E	20.50	L93	N 67°19'40" E	20.50
L87	N 67°19'40" E	20.50	L94	N 67°19'40" E	20.50
L88	N 67°19'40" E	20.50	L95	N 67°19'40" E	20.50
L89	N 67°19'40" E	20.50	L96	N 67°19'40" E	20.50
L90	N 67°19'40" E	20.50	L97	N 67°19'40" E	20.50
L91	N 67°19'40" E	20.50	L98	N 67°19'40" E	20.50
L92	N 67°19'40" E	20.50	L99	N 67°19'40" E	20.50
L93	N 67°19'40" E	20.50	L100	N 67°19'40" E	20.50
L94	N 67°19'40" E	20.50	L101	N 67°19'40" E	20.50
L95	N 67°19'40" E	20.50	L102	N 67°19'40" E	20.50
L96	N 67°19'40" E	20.50	L103	N 67°19'40" E	20.50
L97	N 67°19'40" E	20.50	L104	N 67°19'40" E	20.50
L98	N 67°19'40" E	20.50	L105	N 67°19'40" E	20.50
L99	N 67°19'40" E	20.50	L106	N 67°19'40" E	20.50
L100	N 67°19'40" E	20.50	L107	N 67°19'40" E	20.50
L101	N 67°19'40" E	20.50	L108	N 67°19'40" E	20.50
L102	N 67°19'40" E	20.50	L109	N 67°19'40" E	20.50
L103	N 67°19'40" E	20.50	L110	N 67°19'40" E	20.50
L104	N 67°19'40" E	20.50	L111	N 67°19'40" E	20.50
L105	N 67°19'40" E	20.50	L112	N 67°19'40" E	20.50
L106	N 67°19'40" E	20.50	L113	N 67°19'40" E	20.50
L107	N 67°19'40" E	20.50	L114	N 67°19'40" E	20.50
L108	N 67°19'40" E	20.50	L115	N 67°19'40" E	20.50
L109	N 67°19'40" E	20.50	L116	N 67°19'40" E	20.50
L110	N 67°19'40" E	20.50	L117	N 67°19'40" E	20.50
L111	N 67°19'40" E	20.50	L118	N 67°19'40" E	20.50
L112	N 67°19'40" E	20.50	L119	N 67°19'40" E	20.50
L113	N 67°19'40" E	20.50	L120	N 67°19'40" E	20.50
L114	N 67°19'40" E	20.50	L121	N 67°19'40" E	20.50
L115	N 67°19'40" E	20.50	L122	N 67°19'40" E	20.50
L116	N 67°19'40" E	20.50	L123	N 67°19'40" E	20.50
L117	N 67°19'40" E	20.50	L124	N 67°19'40" E	20.50
L118	N 67°19'40" E	20.50	L125	N 67°19'40" E	20.50
L119	N 67°19'40" E	20.50	L126	N 67°19'40" E	20.50
L120	N 67°19'40" E	20.50	L127	N 67°19'40" E	20.50
L121	N 67°19'40" E	20.50	L128	N 67°19'40" E	20.50
L122	N 67°19'40" E	20.50	L129	N 67°19'40" E	20.50
L123	N 67°19'40" E	20.50	L130	N 67°19'40" E	20.50
L124	N 67°19'40" E	20.50	L131	N 67°19'40" E	20.50
L125	N 67°19'40" E	20.50	L132	N 67°19'40" E	20.50
L126	N 67°19'40" E	20.50	L133	N 67°19'40" E	20.50
L127	N 67°19'40" E	20.50	L134	N 67°19'40" E	20.50
L128	N 67°19'40" E	20.50	L135	N 67°19'40" E	20.50
L129	N 67°19'40" E	20.50	L136	N 67°19'40" E	20.50
L130	N 67°19'40" E	20.50	L137	N 67°19'40" E	20.50
L131	N 67°19'40" E	20.50	L138	N 67°19'40" E	20.50
L132	N 67°19'40" E	20.50	L139	N 67°19'40" E	20.50
L133	N 67°19'40" E				

## PROPOSED MASTER SIGNAGE PLAN

# BUC-EE'S MURFREESBORO: CONCEPTUAL SITE PLAN RENDERING



# BUC-EE'S MURFREESBORO: ALLOWED BY ORDINANCE





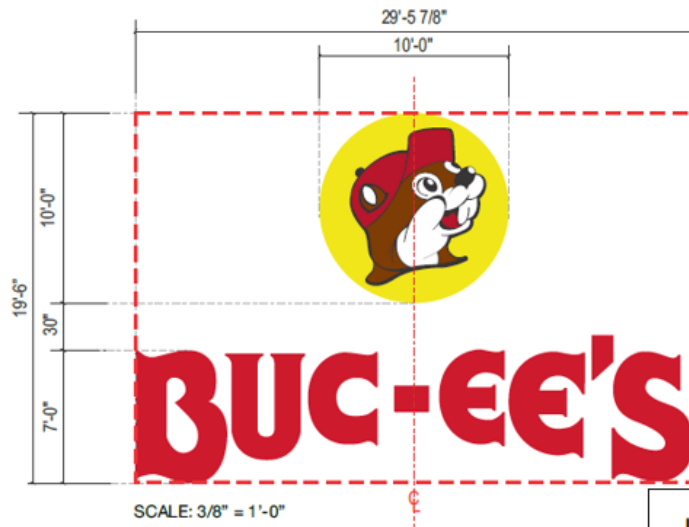
WALL SIGNS – Sign Type A – Rendering



# WALL SIGNS – Sign Type A – Dimensions

<b>LOGO &amp; LTRS. ACTUAL AREA</b> EACH: 284.92 SQ FT TOTAL: 854.76 SQ FT
<b>MEASURED AREA PER ORDINANCE</b> EACH: 574.04 SQ FT TOTAL: 1722.12 SQ FT

## WALL SIGNS Sign Type A



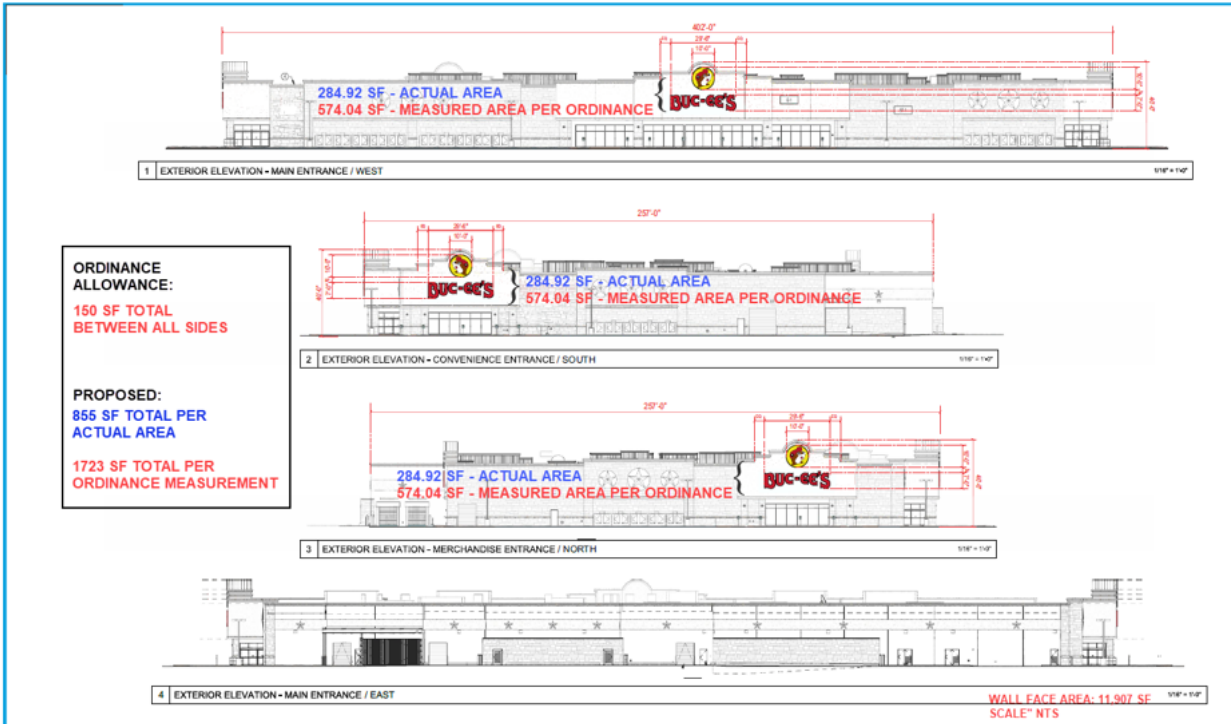
<b>LOGO COLOR SPECS</b>	
■	ARLON 33 RED • PMS 485c
■	ARLON 63 RUST • PMS 483c
■	ARLON 15 YELLOW • PMS 109c
■	ARLON 22 BLACK □ WHITE
<b>LETTER COLOR SPECS</b>	
■	2283 RED ACRYLIC
■	2" RED TRIMCAPS
■	5" PRE-FINISHED RED RETURNS

# WALL SIGNS – Sign Type A - ALLOWED BY ORDINANCE vs. PROPOSED

LOGO & LTRS. ACTUAL AREA  
EACH: 284.92 SQ FT  
TOTAL: 854.76 SQ FT

MEASURED AREA PER ORDINANCE  
EACH: 574.04 SQ FT  
TOTAL: 1722.12 SQ FT

## WALL SIGNS Sign Type A



# WALL SIGN COVERAGE ANALYSIS

## MURFREESBORO, TN - WALL SIGN COVERAGE ANALYSIS

BUC-EE'S TRAVEL CENTER		SIGN SQUARE FOOTAGE PER WALL					
74K BUILDING SIGNS	LF	Area (SF)	Buc-ee's	Beaver	DEF/ETH	Total	Coverage
Front Entrance Wall	401	12,058	206.42	78.50	-	284.92	2.36%
Rear Building Wall	401	11,151	-	-	-	-	0.00%
Side Entrance Wall	256	8,082	206.42	78.50	-	284.92	3.53%
Side Entrance Wall	256	7,700	206.42	78.50	-	284.92	3.70%
<b>Subtotal Building</b>		<b>38,991</b>	<b>619.26</b>	<b>235.50</b>	<b>-</b>	<b>854.76</b>	<b>2.19%</b>

FUEL CANOPIES (2)							
Canopy Front		5,480	-	100.00	47.12	147.12	2.68%
Canopy Side		806	-	100.00	23.56	123.56	15.33%
Canopy Back		5,480	-	100.00	47.12	147.12	2.68%
Canopy Side		806	-	-	-	-	0.00%
<b>Subtotal Canopy</b>		<b>12,571</b>	<b>-</b>	<b>300.00</b>	<b>117.80</b>	<b>417.80</b>	<b>3.32%</b>
<b>CUMULATIVE WALL COVERAGE</b>		<b>51,562</b>	<b>619.26</b>	<b>535.50</b>	<b>117.80</b>	<b>1,272.56</b>	<b>2.47%</b>

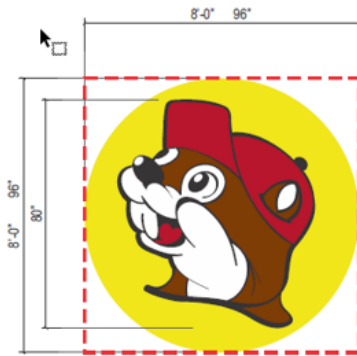
CANOPY SIGNS – Sign Type B – Rendering



# CANOPY SIGNS – Sign Type B – Dimensions

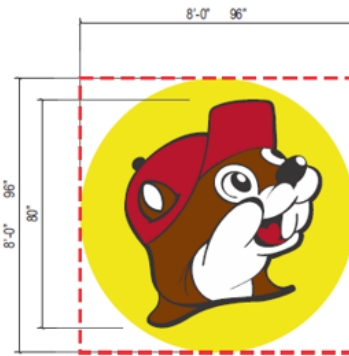
LOGO ACTUAL AREA EACH: 50.24 SQ FT TOTAL: 301.44 SQ FT
MEASURED AREA PER ORDINANCE EACH: 64.00 SQ FT TOTAL: 384.00 SQ FT

## CANOPY SIGNS Sign Type B



SCALE: 3/4" = 1'-0"

**MFG. & INSTALL  
THREE (3) LEFT FACING LOGOS  
TO BE INSTALLED ON THE  
GAS CANOPY**



**MFG. & INSTALL  
THREE (3) RIGHT FACING LOGOS  
TO BE INSTALLED ON THE  
GAS CANOPY**

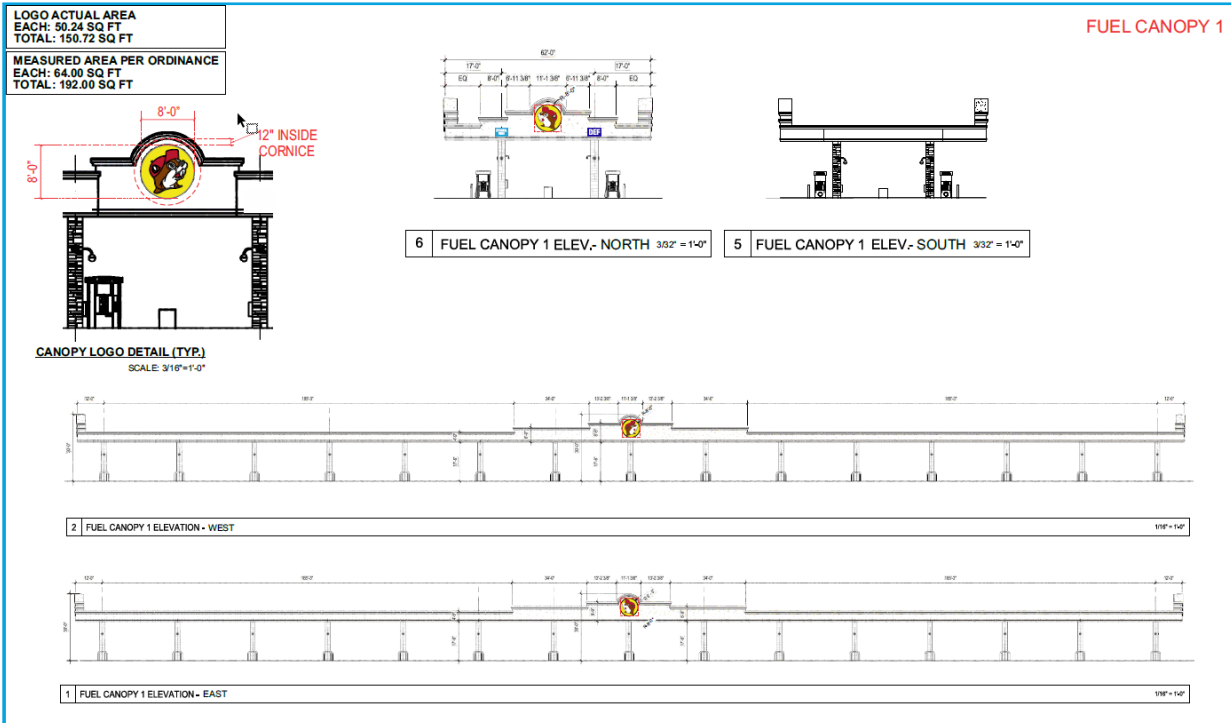
### LOGO COLOR SPECS

- ARLON 33 RED • PMS 485c
- ARLON 63 RUST • PMS 483c
- ARLON 15 YELLOW • PMS 109c
- ARLON 22 BLACK □ WHITE

### LETTER COLOR SPECS

- 2283 RED ACRYLIC
- 2" RED TRIMCAPS
- 5" PRE-FINISHED RED RETURNS

# CANOPY SIGNS – Sign Type B – Fuel Canopy 1

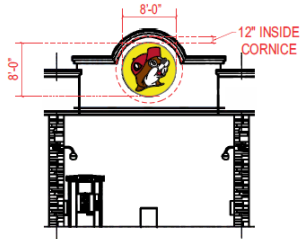


# CANOPY SIGNS – Sign Type B – Fuel Canopy 2

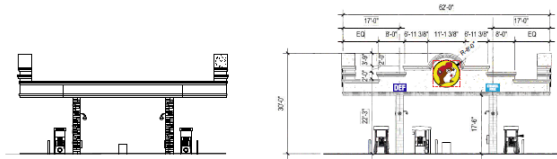
FUEL CANOPY 2

LOGO ACTUAL AREA  
EACH: 50.24 SQ FT  
TOTAL: 150.72 SQ FT

MEASURED AREA PER ORDINANCE  
EACH: 64.00 SQ FT  
TOTAL: 192.00 SQ FT

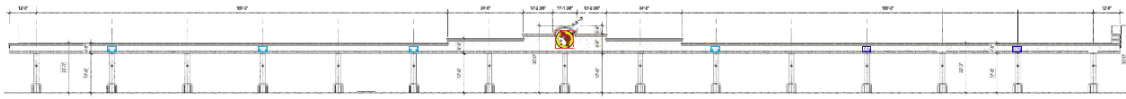


CANOPY LOGO DETAIL (TYP)  
SCALE: 3/16"=1'-0"



8 FUEL CANOPY 2 ELEV.- NORTH 3/32" = 1'-0"

7 FUEL CANOPY 2 ELEV.- SOUTH 3/32" = 1'-0"



4 FUEL CANOPY 2 ELEVATION - WEST 1/8" = 1'-0"



3 FUEL CANOPY 2 ELEVATION - EAST 1/8" = 1'-0"

# CANOPY SIGNS – Sign Type B – DEF/ETHANOL FREE Canopy Signage

ETHANOL FREE PANELS:  
EACH: 10.62 SQ. FT.  
(10) PANELS TOTAL AREA PER  
ORDINANCE: 106.20 SQ. FT.

SCALE: 3" = 1'-0"

QTY: TEN (10)



**ETHANOL FREE SIGN**

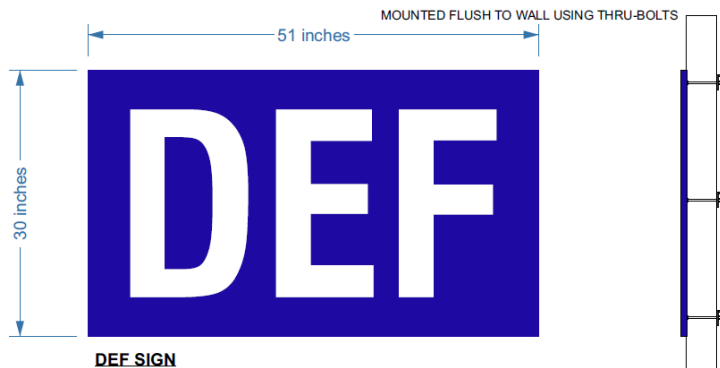
• MFG. & INSTALL:  
**TEN (10) ETHANOL FREE SIGNS**  
NON-ILLUMINATED, .125" ALUM. PANEL PTD BLUE  
W/ WHITE VINYL LETTERING APPLIED  
INSTALL FLUSH ON EXISTING GAS CANOPY

**COLOR SPECS**  
■ PROCESS CYAN  
□ WHITE

DEF PANELS:  
EACH: 10.62 SQ. FT.  
(6) PANELS TOTAL AREA PER  
ORDINANCE: 63.72 SQ. FT.

SCALE: 3" = 1'-0"

QTY: SIX (6)



**DEF SIGN**

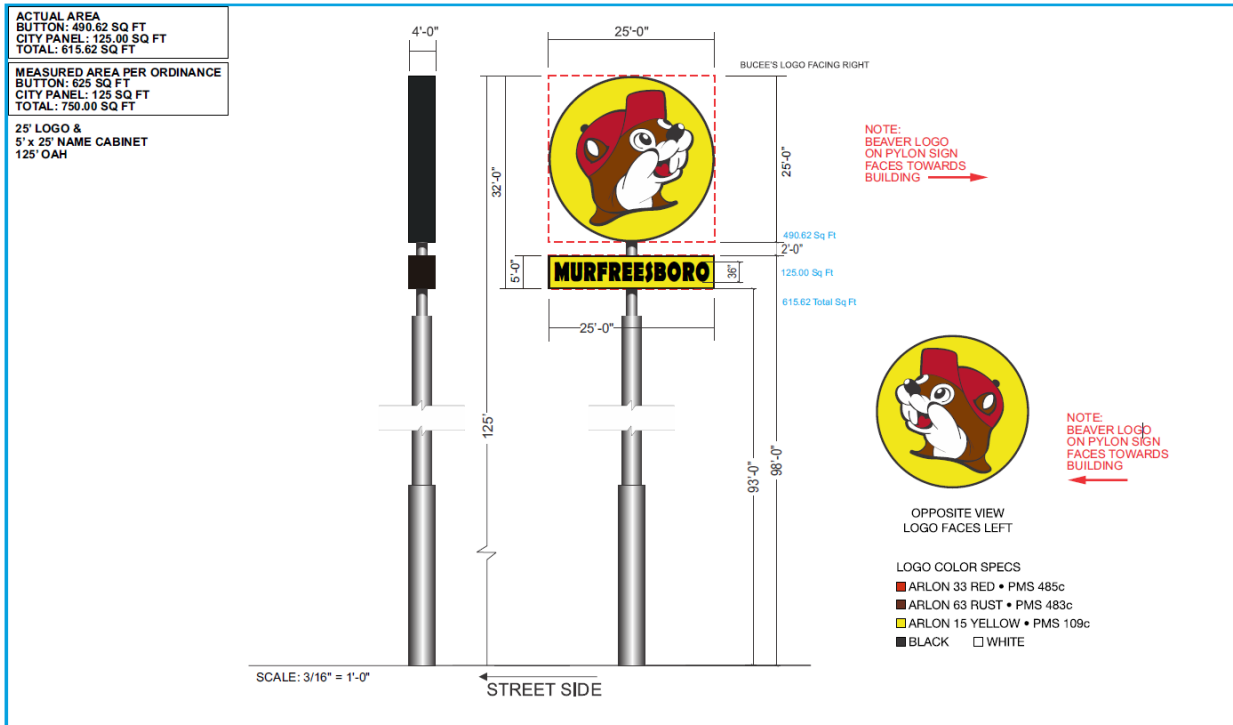
• MFG. & INSTALL:  
**SIX (6) DEF SIGNS**  
NON-ILLUMINATED, .125" ALUM. PANEL PTD BLUE  
W/ WHITE VINYL LETTERING APPLIED  
INSTALL FLUSH ON EXISTING GAS CANOPY

**COLOR SPECS**  
■ PMS 072 BLUE  
□ WHITE

FREESTANDING POLE SIGN – Type IOS #1 – Rendering



# FREESTANDING POLE SIGN – Type IOS #1 – Dimensions



## POLE SIGN COMPARISON – VARIANCES APPROVED

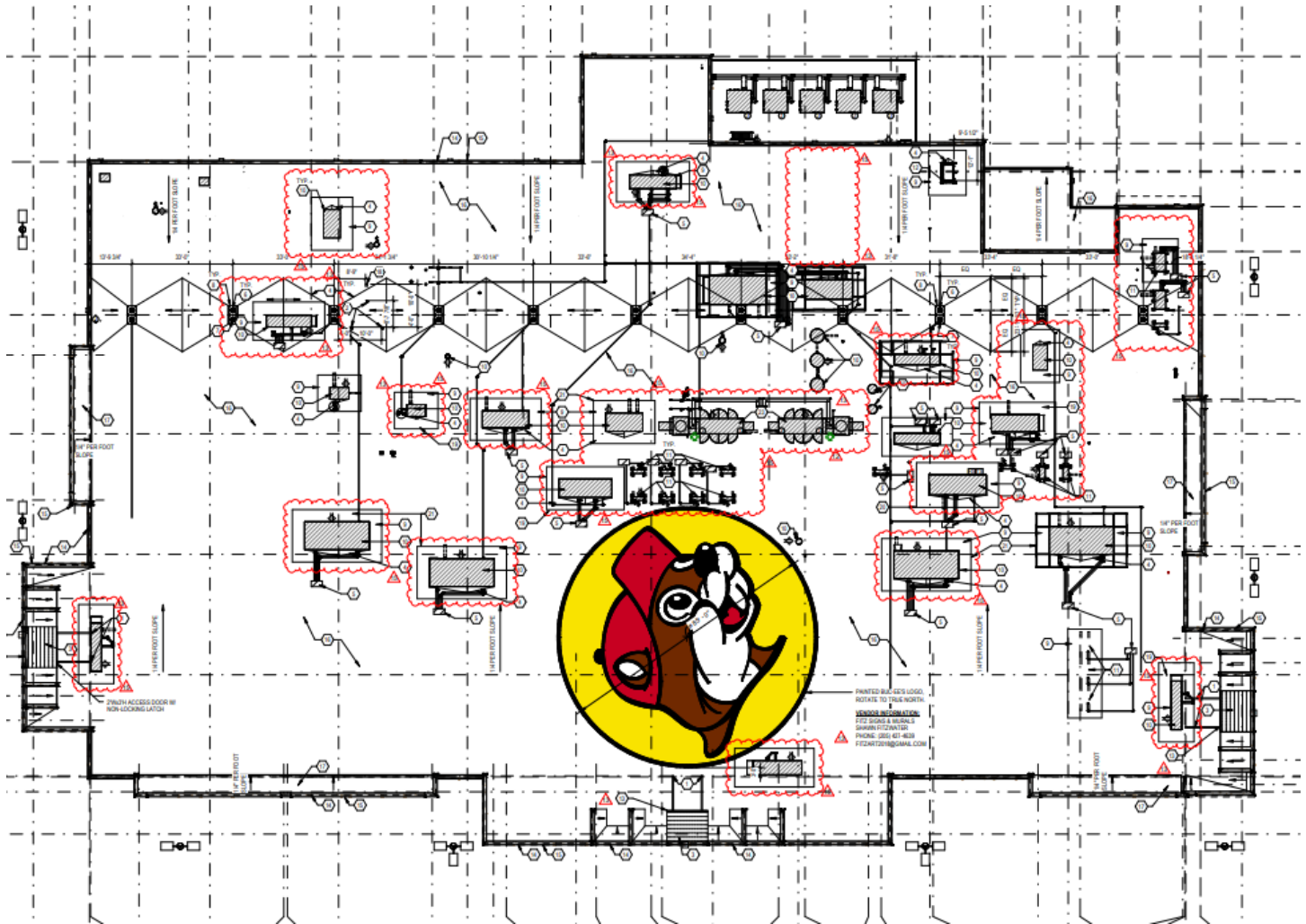
BUC-EE'S POLE SIGN COMPARISON - VARIANCES APPROVED							
LOCATION	HEIGHT	BUTTON	CITY PANEL	TOTAL	VARIANCE	ORDINANCE	NOTES
Daytona Beach, FL	125	491	195	686	Y	100/400	Variance via PD
Ocala, FL	125	491	110	601	Y	55/600	Variance via PD
St. Johns FL	100	298	0	298	Y	75/300	Bldg signs received variance for size/number
Crossville TN	150	707	133	840	N	NA	No Ordinance
Springfield MO	70	415	125	540	Y	70/600	Measured from interchange elevation
Auburn AL	70	415	90	505	Y	100/300	Measured from interchange elevation
Athens AL	125	491	90	581	Y	70/300	Ordinance Revision via Incentive Agreement
Sevierville TN	100	491	163	654	Y	100/300	Variance via PD
Richmond KY	100	491	110	601	Y	40/NA	Variance via Incentive Agreement
Florence SC	100	452	125	577	Y	NA	Variance via Incentive Agreement
Calhoun GA	150	491	113	604	Y	100/300	Variance via Incentive Agreement
Warner Robins GA	100	491	163	654	Y	30/300	Ordinance Revision
<b>AVERAGE</b>	<b>110</b>	<b>477</b>	<b>111</b>	<b>590</b>			

# PAINTED FLAT ROOF SIGN

7,225 SQ FT (ORDINANCE)

5,674.50 SQ FT (ACTUAL)

QTY: 1



PAINTED FLAT ROOF SIGN

AERIAL VIEW



OVERALL EXTERIOR SIGNAGE

# OUTSIDE ICE MERCHANDISER, DOOR DECALS

6.263 SQ FT

QTY: 40

TOTAL: 251 SQ FT

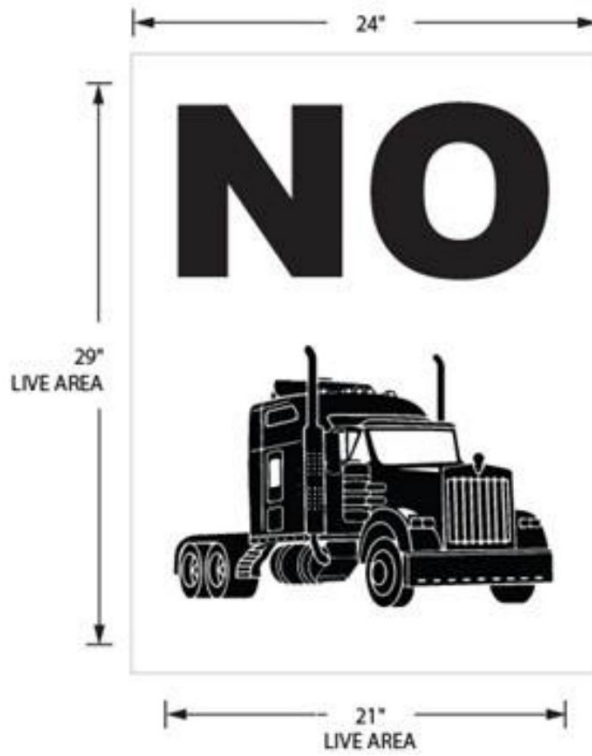


**DOUBLE SIDED "NO 18-WHEELER"**

**4.833 SQ FT**

**QTY: 12**

**TOTAL: 116 SQ FT**



## CUSTOMER PARKING

1.5 SQ FT

QTY: 60

TOTAL: 90 SQ FT



**DOUBLE SIDED DOGGY DUTY (A)**

**3 SQ FT**

**QTY: 24**

**TOTAL: 144 SQ FT**



**\*Design may vary**

# DOUBLE SIDED DOGGY DUTY (B)

12 SQ FT

QTY: 12 (12 SETS)

TOTAL: 288 SQ FT



\*Design may vary

**GLADIATOR WASTE STATION (6.08' H x 1.5' W)**

**3.75 SQ FT**

**QTY: 24**

**TOTAL: 90 SQ FT**



**\*Design may vary**

# DOUBLE SIDED WINDMASTER

INSERT: 8.56 SQ FT

QTY: 8

TOTAL: 136.96 SQ FT



\*Design may vary

ADA PARKING

3 SQ FT

QTY: 20

TOTAL: 60 SQ FT



# SNAKE OR ALLIGATOR

1.5 SQ FT

QTY: 10

TOTAL: 15 SQ FT



\*Signage depends on wildlife presence

## TOWING

5 SQ FT

QTY: 8

TOTAL: 40 SQ FT



\*Towing signs, provided by the towing company, vary by size and local requirements and are typically placed on entrance light poles.

**AIR & WATER STATION**

**9.25 SQ FT**

**QTY: 1**

**TOTAL: 9.25 SQ FT**

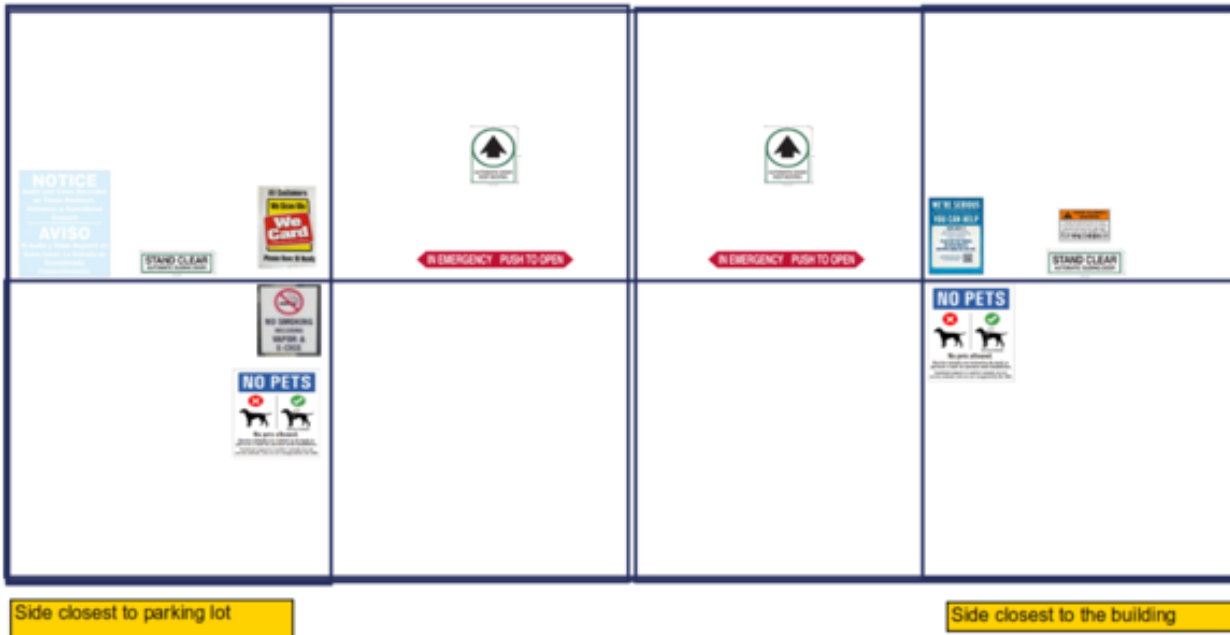


# DOOR DECALS (OVERALL)

QTY: 96 (32 PER SET OF DOORS X 3)

TOTAL: 67.092 SQ FT (22.364 SQ FT PER SET OF DOORS X 3)

## Out of Texas locations



DOOR DECAL

AUTOMATIC DOOR – KEEP MOVING

0.4 SQ FT (ESTIMATE)

QTY: 18

TOTAL: 14.4 SQ FT



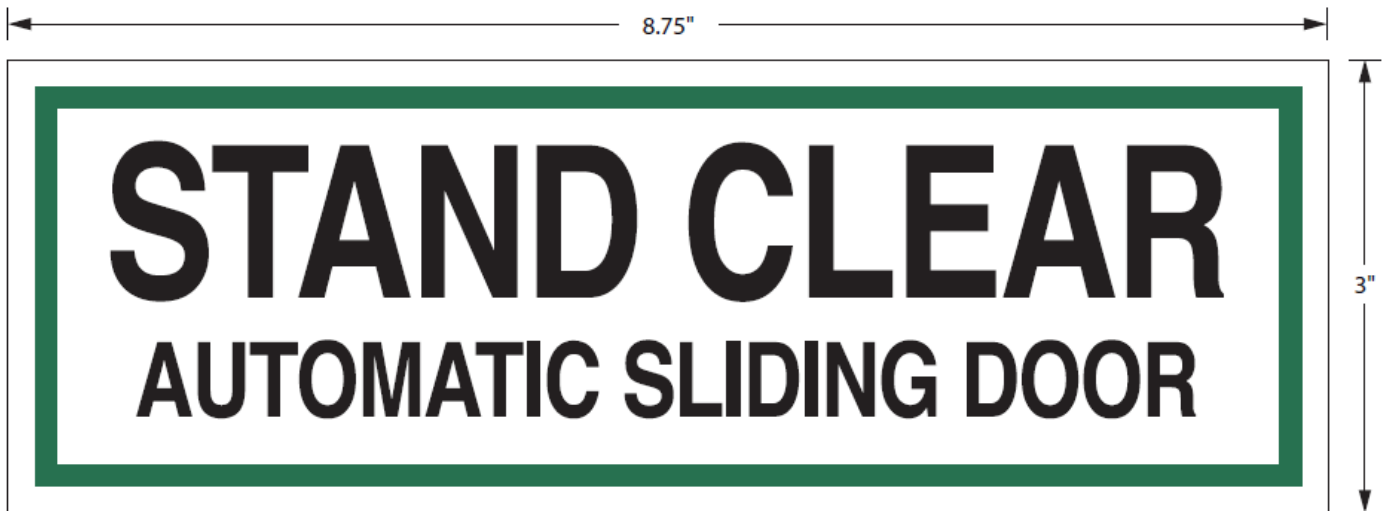
DOOR DECAL

STAND CLEAR – AUTOMATIC SLIDING DOOR

0.1875 SQ FT (ESTIMATE)

QTY: 18

TOTAL: 6.75 SQ FT



DOUBLE SIDED

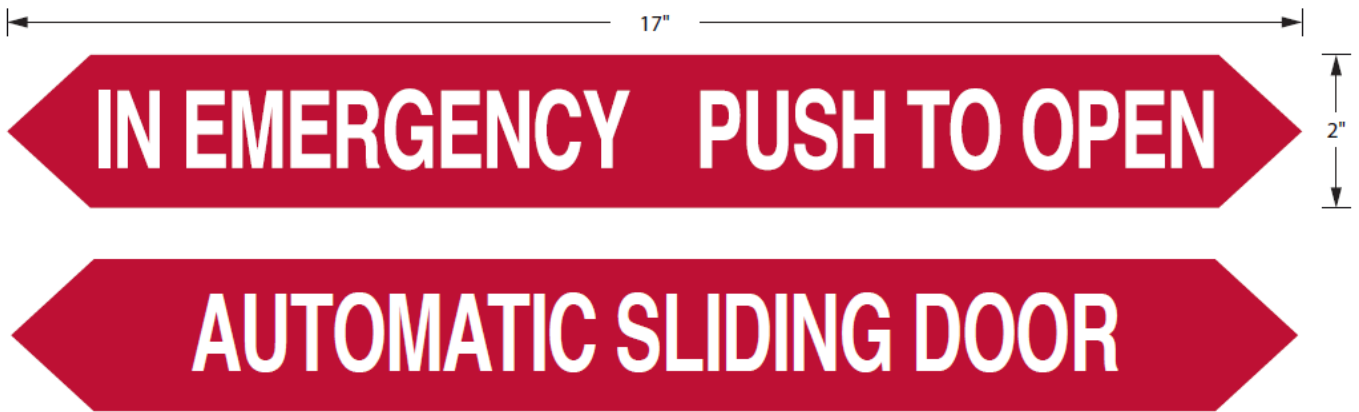
DOOR DECAL

IN EMERGENCY PUSH TO OPEN

0.234 SQ FT (ESTIMATE)

QTY: 18

TOTAL: 8.424 SQ FT



DOUBLE SIDED

DOOR DECAL

NO PETS

0.651 SQ FT (ESTIMATE)

QTY: 12

TOTAL: 15.624 SQ FT



DOOR DECAL

NO SMOKING INCLUDING VAPOR & E-CIGS

0.33 SQ FT (ESTIMATE)

QTY: 6

TOTAL: 1.98 SQ FT



DOOR DECAL

FOOD ALLERGY WARNING

0.243 SQ FT (ESTIMATE)

QTY: 6

TOTAL: 1.458 SQ FT



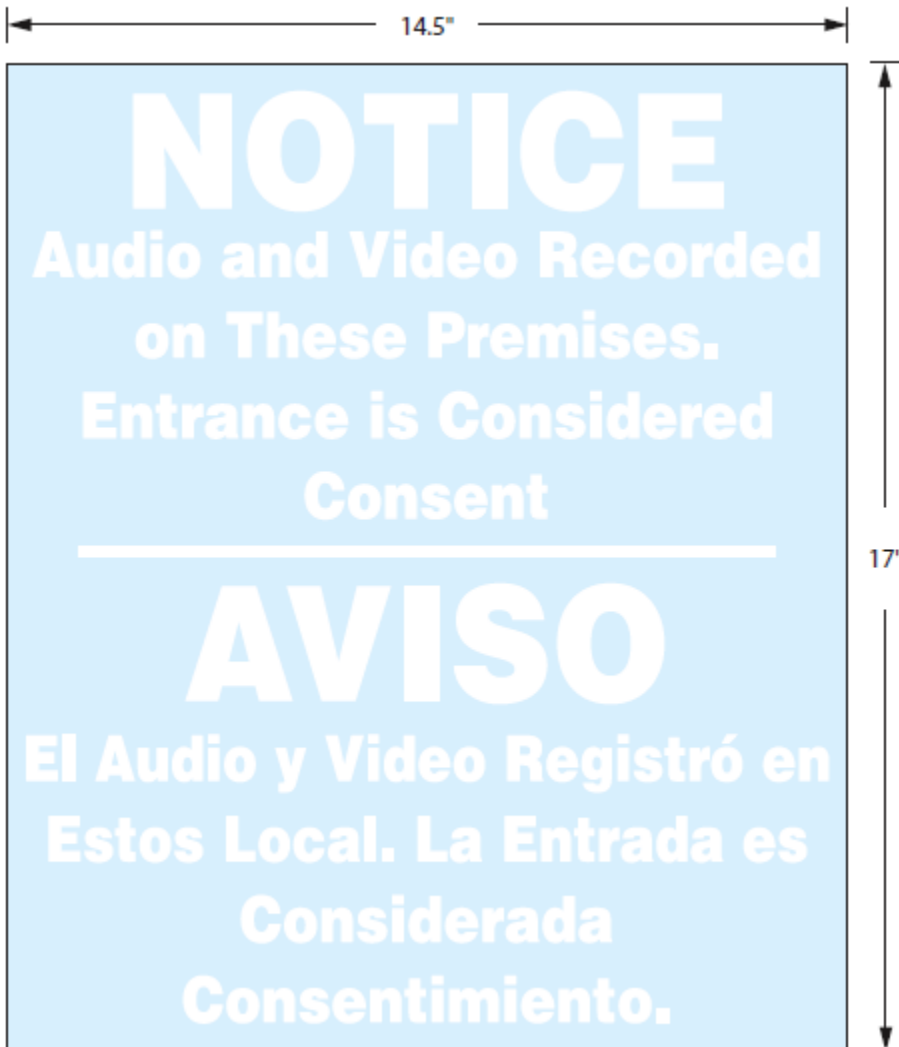
DOOR DECAL

NOTICE - AV

1.66 SQ FT (ESTIMATE)

QTY: 6

TOTAL: 9.96 SQ FT



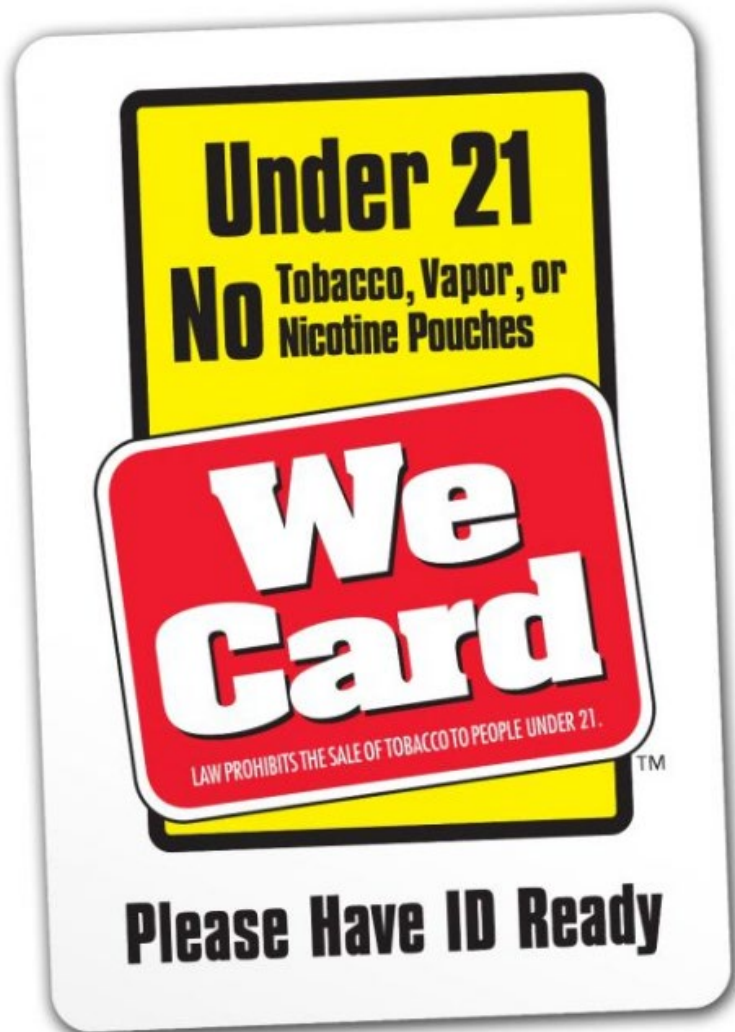
DOOR DECAL

WE CARD

0.354 SQ FT (ESTIMATE)

QTY: 6

TOTAL: 4.248 SQ FT



DOOR DECAL

WE'RE SERIOUS

0.354 SQ FT (ESTIMATE)

QTY: 6

TOTAL: 4.248 SQ FT



DOUBLE SIDED

## FUELING POSITION

### BUC-EE'S LOGO

4 SQ FT

QTY: 58

TOTAL: 232 SQ FT

### FUELING POSITION NUMBER

0.2 SQ FT

QTY: 120

TOTAL: 24 SQ FT

### BEAVER LOGO

6.25-8 SQ FT (STD/STD+DEF)

QTY: 120

TOTAL: 757 SQ FT

### STATE-SPECIFIC



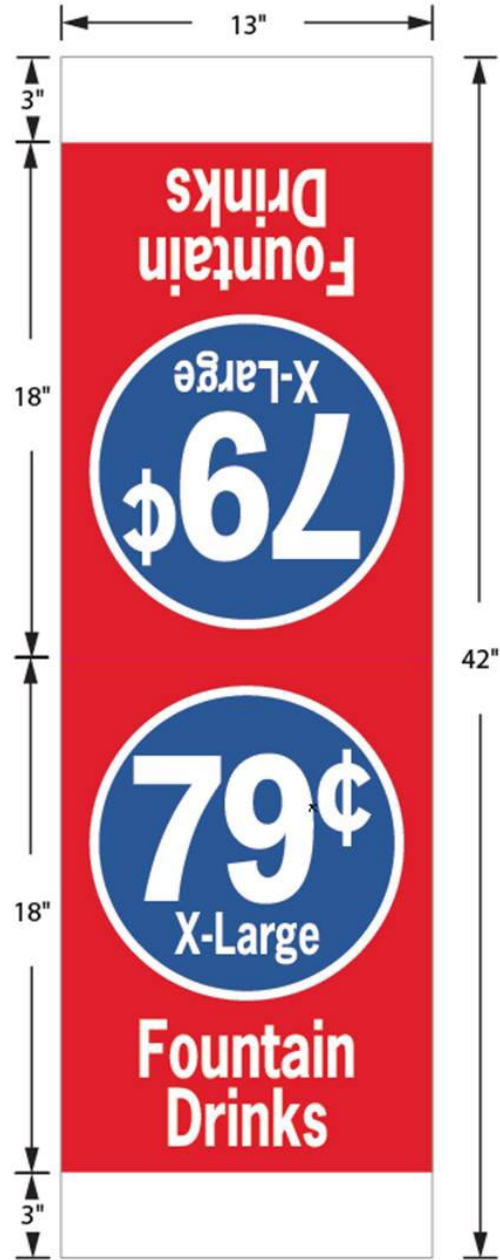
**\*\*Pump decals vary from state to state**

# PUMP TOPPERS

1.625 SQ FT

QTY: 60

TOTAL: 97.5 SQ FT



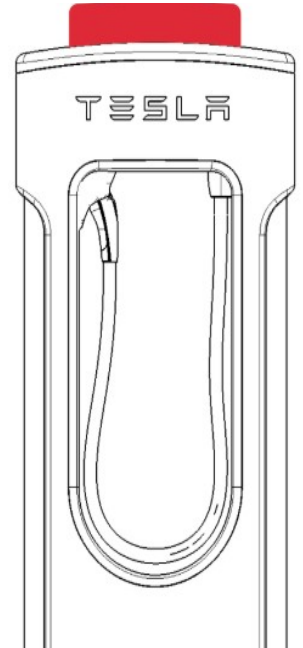
\*Signage will vary based on current marketing promotion

# TESLA SUPERCHARGERS

2 SQ FT

QTY: 16

TOTAL: 64 SQ.FT.



\*Signage may or may not have the "Except for EV Charging" topper.

## MERCEDES SUPERCHARGERS

2 SQ FT

QTY: 10

TOTAL: 40 SQ.FT.



TEMPORARY SIGNAGE

# OPENING SOON BANNER



25' INFLATABLE MASCOT AT ENTRANCE

+/- 700 SQ FT

12' INFLATABLE MASCOT ON SIDEWALK

+/- 175 SQ FT

PENNANTS/BANNER = 5-7 STRANDS PER PERIMETER LIGHT POLES

7,364 SQ FT



\*USED AT GRAND OPENING FOR 30 DAYS

# DIFFERENTIATION FROM MURFREESBORO MASTER SIGN PLAN

## Request for Exception to City of Murfreesboro Signage Ordinance

On behalf of Buc-ee's, this letter formally requests an exception to the City of Murfreesboro's current signage ordinance. The proposed signage for the Murfreesboro location includes pole signs, wall signs, and canopy signs that exceed the specifications outlined in the city's regulations. Below is a summary of the requested exceptions and the rationale for each:

---

### 1. Pole Signage

The ordinance allows a pole sign with a maximum height of 55 feet and a surface area of 200 square feet, or a maximum height of 40 feet with a surface area of 345 square feet. The proposed pole sign is 125 feet in height with a surface area of 616 square feet. This design significantly exceeds the current limits and is essential to meet branding and visibility requirements.

---

### 2. Wall Signage

The ordinance permits wall signage up to 250 square feet per sign. The proposal includes 3 wall signs, each measuring 285 square feet—35 square feet over the allowable size. The combined square footage of the three wall signs is 855 square feet, 2.19% of the cumulative surface area of the store frontage. These signs are critical for visibility given the property's scale and the need to engage customers from multiple directions.

---

### 3. Canopy Signage

The ordinance limits canopy signs to 50 square feet. The proposed canopy signs measure 50.24 square feet each, a minimal increase necessary to maintain brand design specifications. The proposal includes a total of 6 canopy signs with a combined square footage of 301.44 square feet, 3.32% of the cumulative surface area of the gas canopies.

---

Consideration of these exceptions will support the successful establishment of Buc-ee's in Murfreesboro, contributing to local economic growth and community development. The signage plan has been designed to balance functionality, brand alignment, and respect for the city's regulatory framework.

Additional information, including design plans or further justification, can be provided upon request.

# STATEMENT OF GENERAL CONDITIONS

## **General Conditions Applicable to All Signage within the Planned Signage Overlay District**

The following general conditions shall apply to all signage located within the Planned Signage Overlay District (PSOD):

**1. Compliance with Applicable Codes and Regulations:**

All signage shall be designed, constructed, installed, and maintained in full compliance with all applicable provisions of the City of Murfreesboro's zoning ordinance, building codes, and any other relevant federal, state, or local laws and regulations. This includes, but is not limited to, requirements concerning structural integrity, electrical safety, and accessibility.

**2. Ongoing Maintenance and Safety:**

All signage shall be maintained in good condition, free from damage, deterioration, or safety hazards. Property owners or tenants shall ensure that signage remains structurally sound and visually presentable throughout its use.

**3. Administrative Review and Permitting:**

No sign shall be erected or modified without prior review and approval from the appropriate city departments, including the issuance of necessary sign permits in accordance with City procedures.

**4. Transfer of Zoning Provisions:**

A written statement outlining the signage-related provisions of the Planned Signage Overlay District zoning shall be communicated and provided in writing to all subsequent property owners, tenants, lessees, or users of the subject property. This communication shall occur at or prior to the time of property transfer or lease agreement execution to ensure ongoing compliance with all applicable signage regulations.

**5. Consistency with Approved Signage Plan:**

All signage must conform to the signage plan approved as part of the Planned Signage Overlay District. Any proposed changes or deviations shall require formal review and approval by the appropriate city authority.

These general conditions are intended to preserve the integrity and uniformity of signage within the district, support public safety, and ensure the long-term viability and aesthetic quality of the development.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: HOLLY SMYTH**

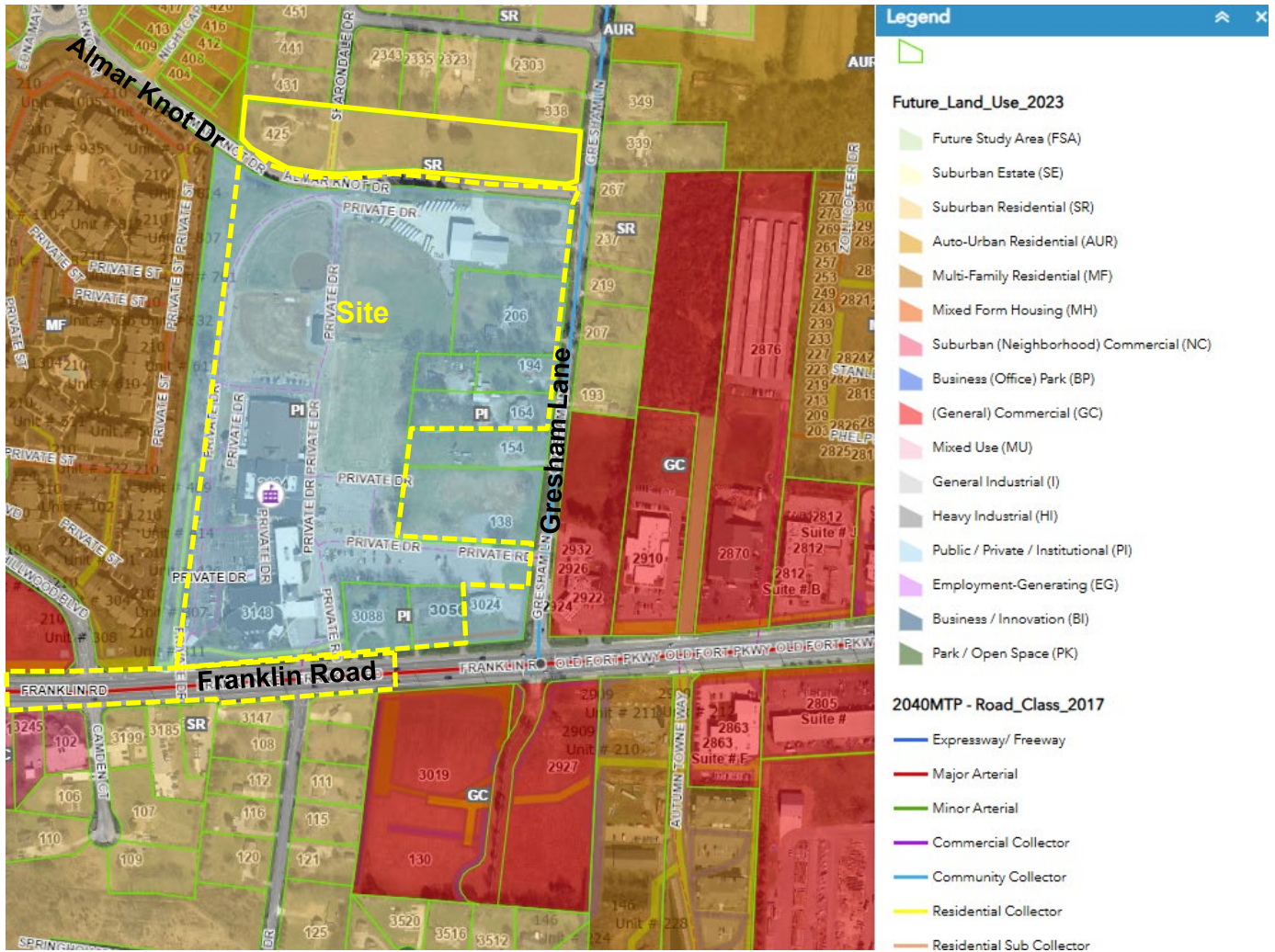
- 6.b. Annexation petition and plan of services [2026-503] for approximately 35.3 acres located along Franklin Road, Gresham Lane, and Almar Knot Drive, including an approximately 2,400-foot segment of Franklin Road right-of-way and a 975-foot segment of Almar Knot Drive right-of-way, Franklin Road Baptist Church applicant.**

Franklin Road Baptist Church (FRBC) has submitted a petition requesting annexation for seven parcels into the City of Murfreesboro. The subject parcels are located on the north side of Franklin Road, on the west side of Gresham Lane, and both sides of Almar Knot Drive per the attached maps. Additionally, right-of-way (ROW) of both Almar Knot Drive and Franklin Road are included in the annexation study area. The Tennessee Department of Transportation granted its consent for the annexation of Franklin Road and, at its April 6<sup>th</sup> meeting, the County Road Board granted its consent for the annexation of Almar Knot Drive. The total study area consists of approximately 35.3 acres and the following components:

- A portion of Tax Map 092, Parcel 47.00 containing approximately 24.18 acres (with the majority of the parcel on the south side of Almar Knot Drive with the main church campus & school buildings and a smaller portion on the north side with a single-family home)
  - Tax Map 092, Parcel 40.00 with approximately 1.72 acres with a single-family home
  - Tax Map 092, Parcel 50.00 with approximately 0.82 acres that is vacant
  - Tax Map 092, Parcel 51.00 with approximately 0.58 acres that is vacant
  - Tax Map 092, Parcel 55.00 with approximately 1.0 acres with a single-family home
  - Tax Map 092, Parcel 56.00 containing approximately 0.55 acres that is vacant
  - Tax Map 092, Parcel 56.01 containing approximately 0.4 acres that is vacant
- Almar Knot Drive ROW: Approximately 975 linear feet (or 1.12 acres)
- Franklin Road (State Route 96) ROW: Approximately 2,400 linear feet (or 4.93 acres)

The annexation study area is contiguous to the existing City limits along its western and eastern property lines as well as a portion of the southern property line. The study area is located within the adopted Urban Growth Boundary as well as within the Infill Service Area Boundary contained within the *Murfreesboro 2035 Comprehensive Plan Future Land Use Map* (see below map). Zoning application #2026-411 was submitted simultaneously with this annexation petition to zone the FRBC parcels south of Almar Knot Drive to CF (Commercial Fringe District) to allow for future expansion of the church and school campuses. The portion of Parcel 47.00 north of Almar Knot Drive will come into the City with an interim zoning classification of RS-15 (Residential Single-Family District), if annexed. The church is currently an outside-city sewer customer.

The church/school parcels are designated as “Public / Private/ Institutional (PI)” on the adopted Murfreesboro 2035 Comprehensive Plan Future Land Use Map. An excerpt from the future land use map can be found below. All of the church/school parcels are currently zoned RM (Medium-Density Residential) in the unincorporated County. All existing uses on the property would be allowed to continue under the proposed zoning, except for 2 homes that would become legal non-conforming uses. However, all future uses or expansions to existing uses would be required to comply with the City’s zoning regulations.



Staff has prepared a Plan of Services for the proposed annexation, which has been provided to the Planning Commission in the agenda packet. It demonstrates how services can be provided to the subject property upon annexation. No significant difficulties in providing services to the property as it exists today are identified in the plan of services. However, the sewer usage for any future development on the property will need to be evaluated to determine that it conforms to the Sewer Allocation Ordinance. Any new sanitary sewer extensions proposed or required will be done at the expense of the property owner or developer.

### **Staff Recommendation:**

Staff supports the subject annexation for the following reasons:

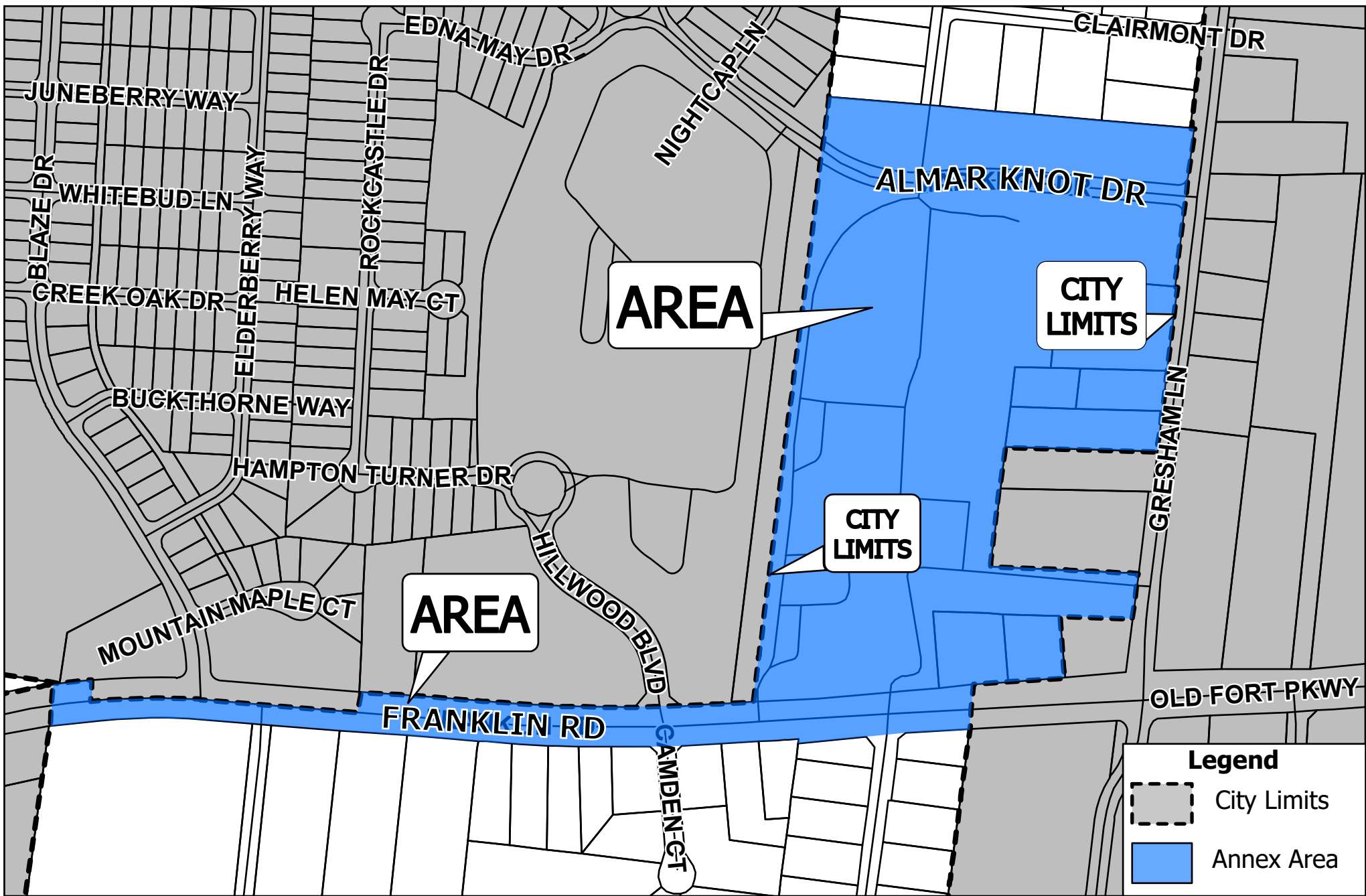
- 1) Annexation of these properties in the City, as well as their future development, may help create potential opportunities for improvements to Gresham Lane.
- 2) The area is within the adopted Service Infill Line and the City's Urban Growth Boundary. It is also contiguous with the existing City limits on 3 sides.
- 3) Annexation of the subject parcels in their current state will not pose any issues for delivery of services, especially given existing City services are already being provided in the form of outside the City sewer customer. In addition, City "rolling services" are already serving the area around the subject property.

### **Action Needed:**

The applicant will be available at the Planning Commission meeting to discuss this proposed annexation petition and plan of services. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation to City Council.

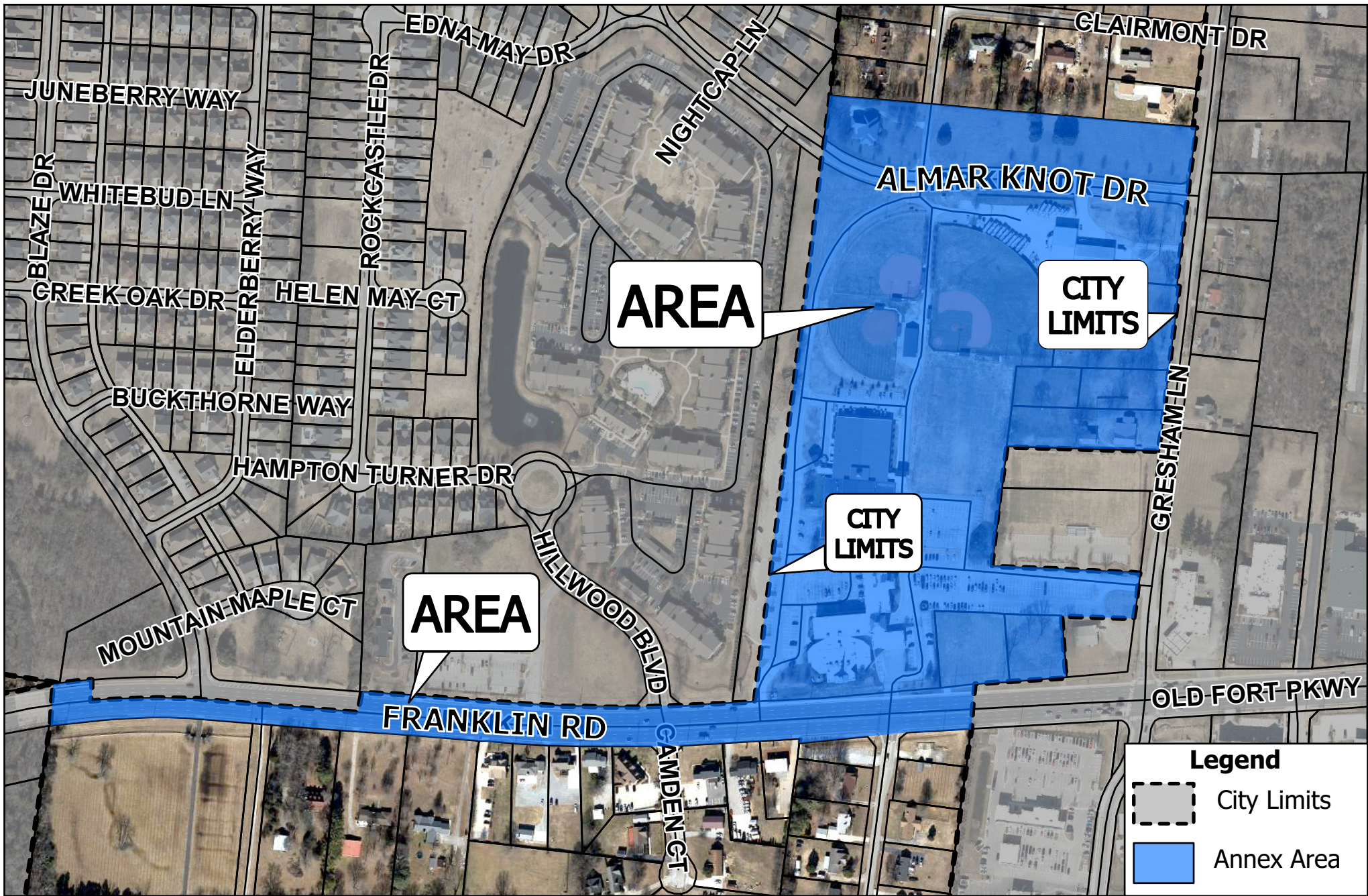
### **Attachments:**

- Ortho Map
- No Ortho Map
- Owner Annexation petition application
- Draft combination Plat #2
- Plan of Service



## Annexation Request for property along Franklin Road

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



## Annexation Request for property along Franklin Road



Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

**PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO**

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

**Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.**

1. Joel Norris Franklin Road Baptist Church Primary Contact: Sam Huddleston  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Joel Norris Status: Senior Pastor Date: 3/12/26  
3148 Franklin Road Murfreesboro TN 37128

Mailing Address (if not address of property to be annexed)

2.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

3.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

4.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

**Legal Description is attached:  X  Yes**

**Power of Attorney applies and is attached: \_\_\_\_\_ Yes  X  No**

Franklin Road Baptist Church

Annexation – 28.38 acres

Map 92 Parcel 47.00

Map 92 Parcel 40.0

Map 92 Parcel 50.00

Map 92 Parcel 51.00

Map 92 Parcel 55.00

Map 92 Parcel 56.00

Map 92 Parcel 56.01

Rezoning

PUD to CF 1.89 ac part of Map 92 Parcel 47.00

CH keep 0.59 ac Part of Map 92 Parcel 47.00

CL to PND to 1.84 Part of Map 92 Parcel 47.00

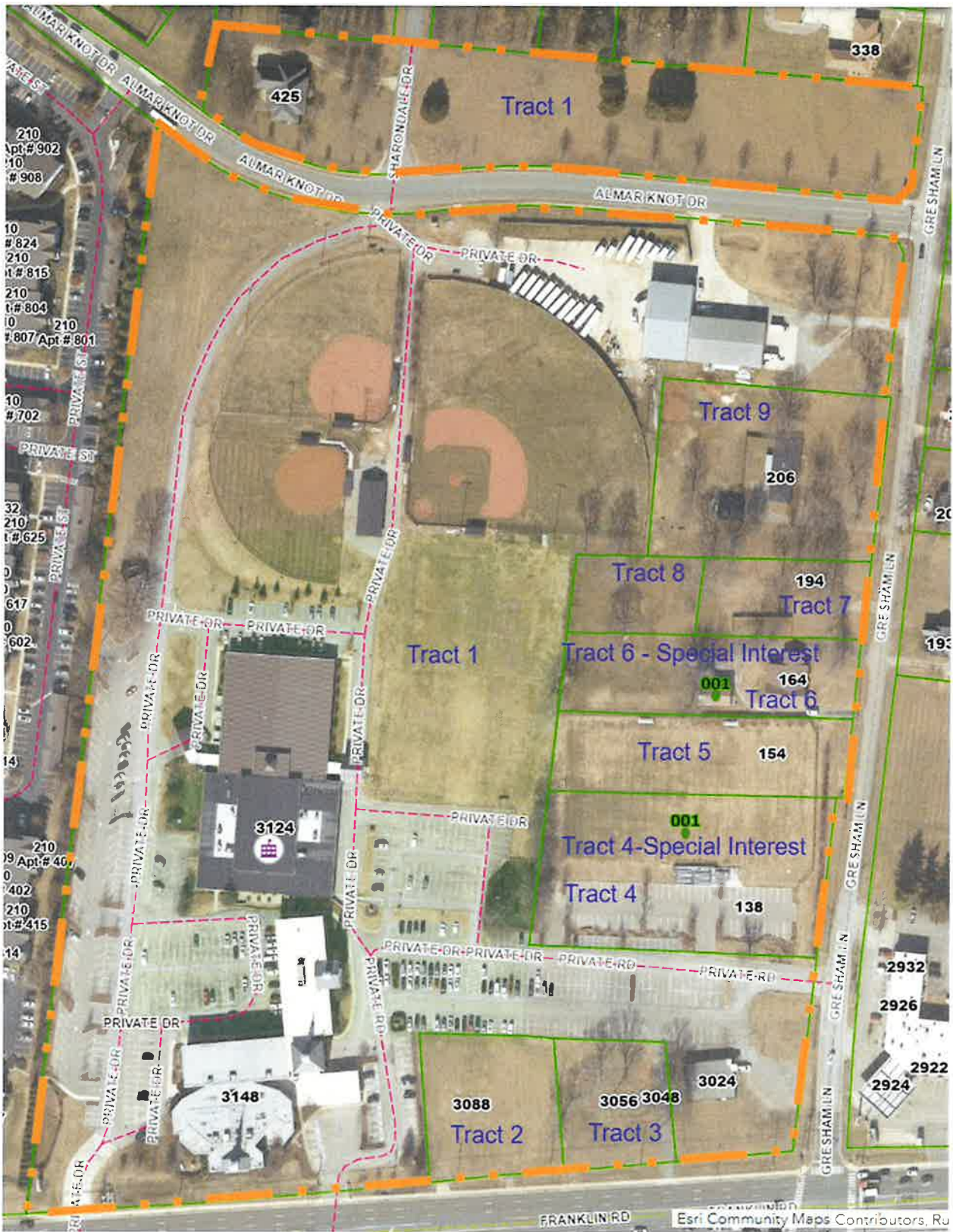
RS-15 to PND 0.95ac Map 92 Parcel 54.00

County to CF 25.03 Part of Map 92 Parcel 47.00, Map 92 Parcel 40, Map 92 Parcel 50.00  
Map 92 Parcel 51.00, Map 92 Parcel 55.00, Map 92 Parcel 56.00, Map 92 Parcel 56.01

County to RS-15 3.35 part of Map 92 Parcel 47.00

**Table 1 – Franklin Road Baptist Church Tax ParcelsAccounts**

<b>Parcel</b>	<b>FRBC Tract</b>	<b>Assessor Account Type</b>	<b>Purchase Year</b>	<b>Previous Use</b>	<b>Current Use</b>
92 47.00	1	Religious Exempt	1955-1987	Farm Residential Commercial	Church/School Campus
92 50.00	2	Residential Taxable	2021	Residential	Overflow Parking and Outdoor Event Space
92 51.00	3	Residential Taxable	2006	Residential	Site Access to Franklin Road and Overflow Parking
92 53.00	4	Religious Exempt	2004	Residential	School/Church Soccer Field and Parking
92 53.00 SI001	4	Special Interest Residential Taxable		Residential	School/Church Soccer Field and Parking
92 54.00	5	Residential Taxable	2018	Residential	School/Church Soccer Field
92 55.00	6	Residential Taxable	2023	Residential	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space
92 55.00 SI001	6	Special Interest Commercial Taxable	N/A	Commercial-Contractor's Yard	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space
92 56.00	7	Residential Taxable	2023	Residential	School/Church Recess PE Sports Practice Fields Outdoor Event Space
92 56.01	8	Residential Taxable	2023	Residential	School/Church Recess PE Sports Practice Fields Outdoor Event Space
92 40.00	9	Residential Taxable	2017	Residential	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space



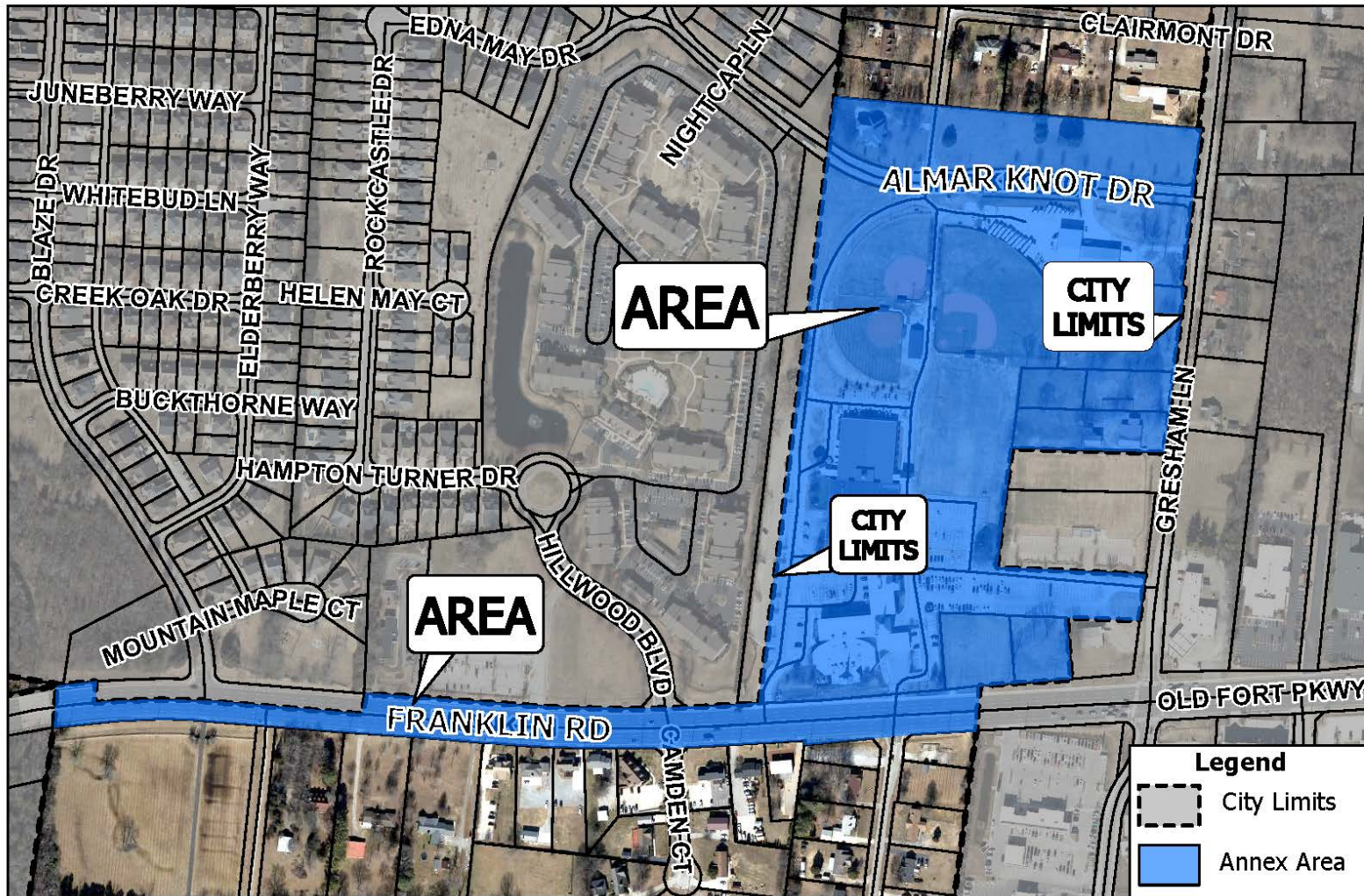




**ANNEXATION REPORT FOR PROPERTY LOCATED  
ALONG THE NORTH SIDE OF FRANKLIN ROAD  
INCLUDING PLAN OF SERVICES  
(FILE 2026-503)**



**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
JUNE 3, 2026**



Annexation Request for property along Franklin Road

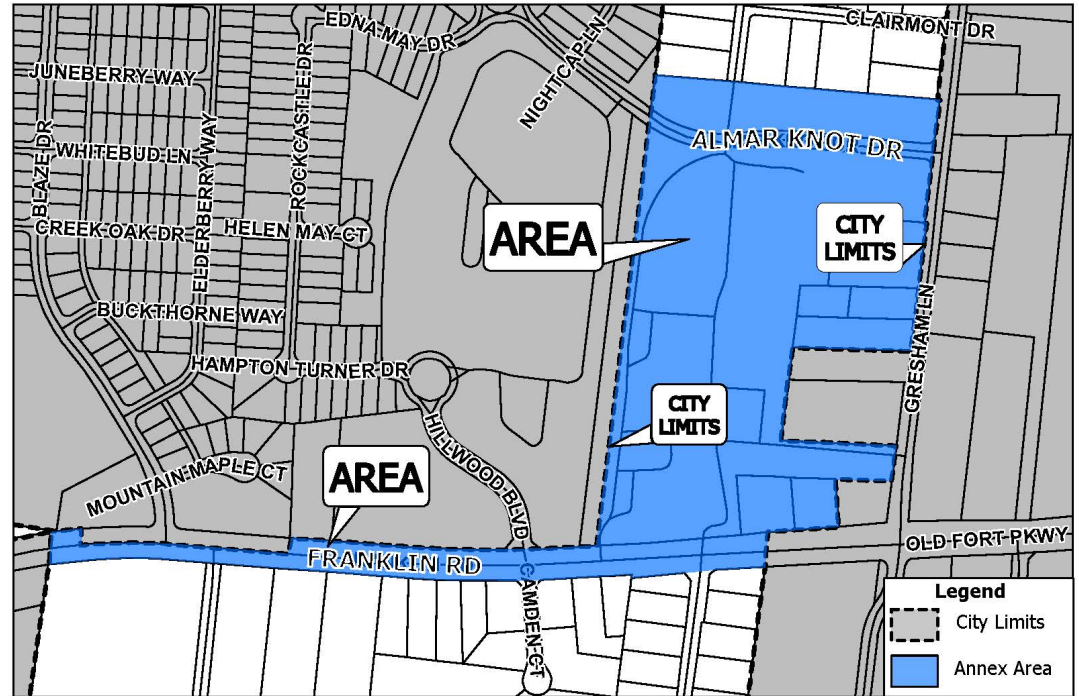
Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# INTRODUCTION

## OVERVIEW

The property owner, Franklin Road Baptist Church, has submitted a petition requesting its 7 parcels be annexed into the City of Murfreesboro. Also included in the annexation study area is approximately 2,400 linear feet of Franklin Road right-of-way (ROW) and approximately 975 linear feet of Almar Knot Drive ROW. TDOT and the County Road Board have both granted consent for the annexation of those two roadways, respectively. The study area is located along the north side of Franklin Road, on the west side of Gresham Lane, and both sides of Almar Know Drive. The total study area is 35.3 acres and includes the following:

- A portion of Tax Map 092, Parcel 47.00 containing approximately 24.18 acres (with the majority of the parcel on the south side of Almar Knot Drive with the main church & school campus and a smaller portion on the north side with a single-family home)
- Tax Map 092, Parcel 40.00 containing approximately 1.72 acres with a single-family home
- Tax Map 092, Parcel 50.00 containing approximately 0.82 acres that is vacant
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- Almar Knot Drive ROW: approximately 975 linear feet (or 1.12 acres)
- Franklin Road (State Route 96) ROW: approximately 2,400 linear feet (or 4.93 acres)



Annexation Request for property along Franklin Road

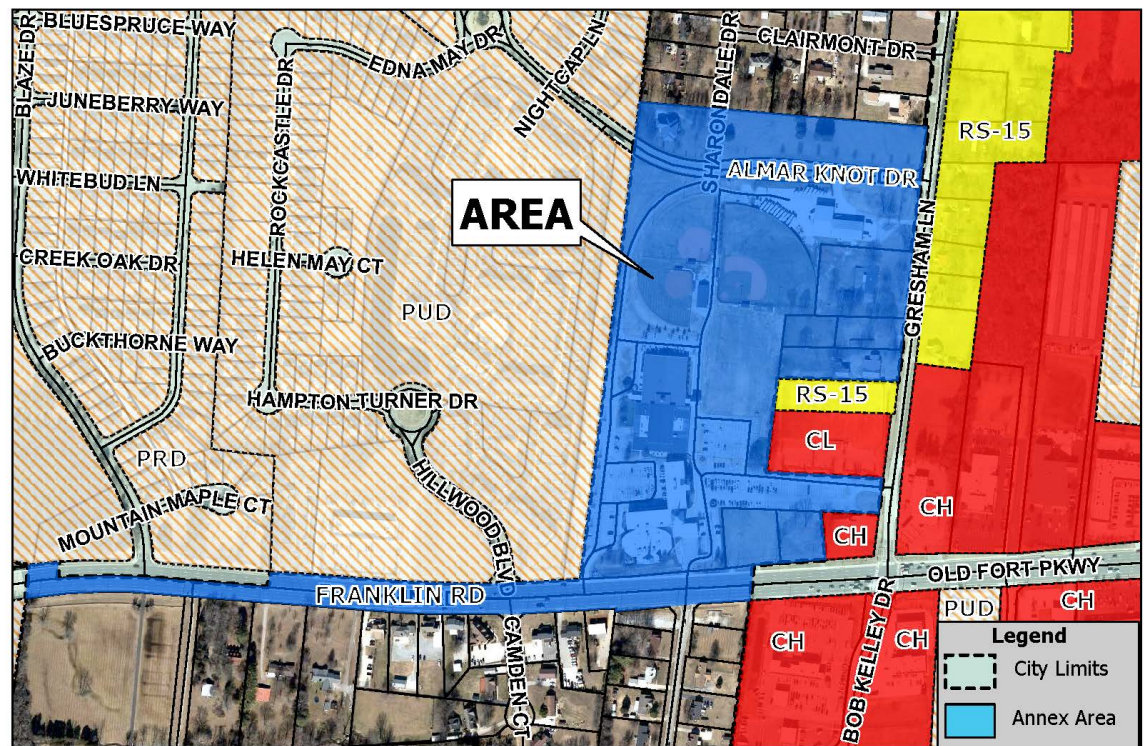
Planning Department  
City of Murfreesboro  
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The study area is located within the City of Murfreesboro’s Urban Growth Boundary, is contiguous to the City limits along its western and eastern boundaries. It is also within the City’s Infill Service Area Boundary.

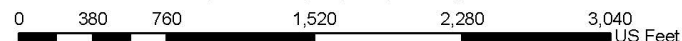
The study area is currently zoned Single Family Residential – Medium Density (RM) in the unincorporated County. There is a zoning application submitted simultaneously with this annexation request, to zone the portion of the study area south of Almar Knot Drive to CF (Commercial Fringe District) simultaneously with annexation. The reason for the annexation and zoning request is to allow the provision of sanitary sewer to serve the growing church campus.

**SURROUNDING ZONING**

The subject property is currently zoned RM (Residential Medium Density) in unincorporated Rutherford County. The surrounding properties to the south and north are zoned RM (Residential Medium Density) and OP (Office Professional) within unincorporated Rutherford County. Properties along the east side of Gresham Lane are zoned either RS--15 (Residential Single-Family) or CH (Commercial Highway) in the City limits. Several properties owned by the church on the west side of Gresham Lane are zoned CH, CL (Commercial Local), and RS-15 (with the CL & RS-15 parcels in process of being rezoned to PND – Planned Institutional District). Properties south of Old Fort Parkway are zoned CH (Highway Commercial) in the City.



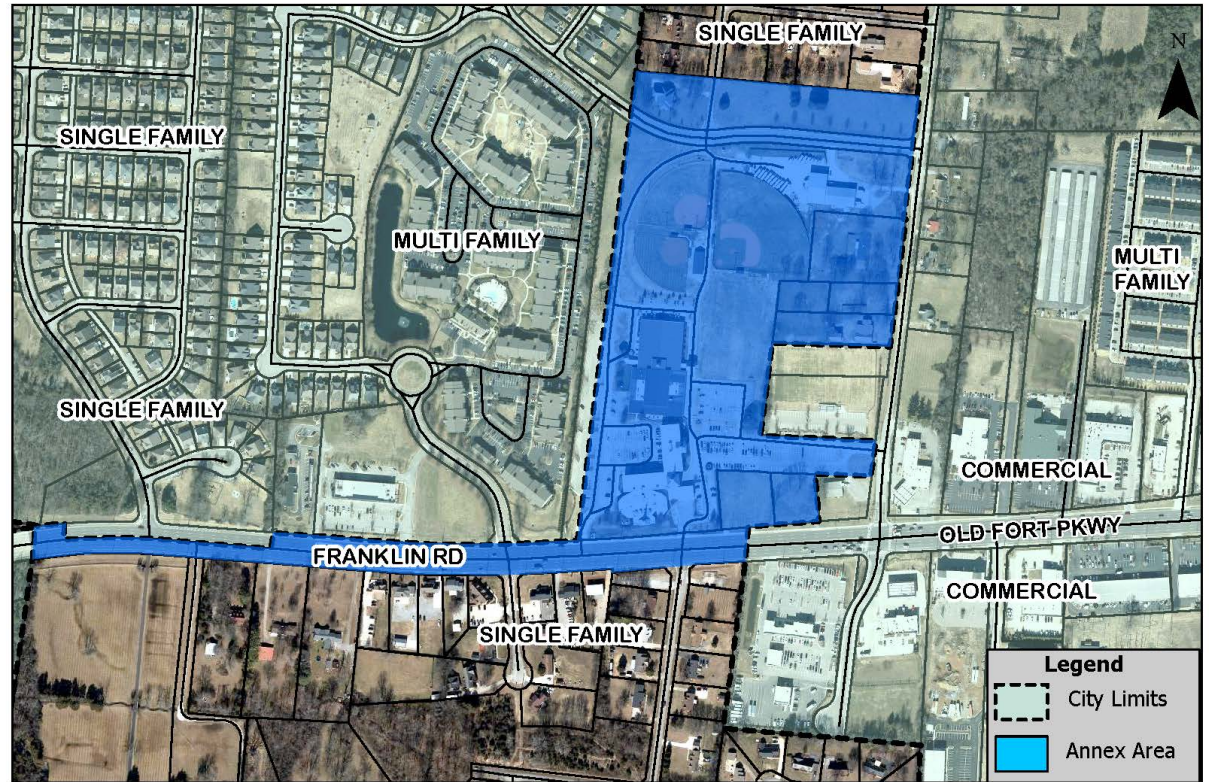
Annexation Request for property along Franklin Road



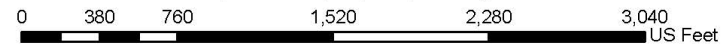
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## PRESENT AND SURROUNDING LAND USE

The study area contains 3 single-family homes, some sports fields, and the church and school campus. A mixture of uses are developed on the properties in the surrounding area. Surrounding parcels contain single-family detached homes to the north, east, and south. To the west are multi-family apartments. There are also various commercial uses to the south along Old Fort Parkway/Franklin Road.



Annexation Request for property along Franklin Road



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## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2026 will be due on December 31, 2027. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100 assessed value. Residential property is assessed at a rate of 25% of its appraised value and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected, if the property were to be annexed in its present state.

*Table I  
Estimated Taxes from Site*

<b>Owner of Record</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
Franklin Road Baptist Church	24.18	\$577,900	\$12,380,200	\$0	\$0
Franklin Road Baptist Church	1.72	\$129,300	\$242,600	\$92,975	\$885.68
Franklin Road Baptist Church	0.82	\$62,000	\$0	\$15,500	\$147.65
Franklin Road Baptist Church	0.58	\$48,700	\$0	\$12,175	\$115.98
Franklin Road Baptist Church	1.0	\$78,400	\$287,400	\$91,450	\$871.15
Franklin Road Baptist Church	0.55	\$43,100	\$0	\$10,775	\$102.64
Franklin Road Baptist Church	0.4	\$11,200	\$0	\$2,800	\$26.67

# **PLAN OF SERVICES**

### **POLICE PROTECTION**

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 4.

### **ELECTRIC SERVICE**

Middle Tennessee Electric (MTE) currently serves the existing development on the various properties and will serve any future development that occurs in the study area. MTE has capacity to accommodate any such future development in the study area. All new electrical infrastructure installed to serve the future development will be required to adhere to MTE standards.

### **STREET LIGHTING**

Streetlights exist along the south side of the segment of Franklin Road within the study area. However, no streetlights exist along the segments of Gresham Lane or Almar Knot Drive within the study area. No new

street lighting is anticipated with this annexation. Streetlights will be installed by the developer if new public roadways are constructed.

### **SOLID WASTE COLLECTION**

The study area currently contains three homes with private solid waste service. Curbside solid waste collection service would be available to the study area upon annexation. The cost of the solid waste cart is \$74.75 per residence. Any future development of single-family detached homes can also receive City services but church or school expansion would need to be served by a private solid waste hauler.

### **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. Considering both the existing and proposed use of the study area, it would have minimal impact to the Recreation Department.

### **CITY SCHOOLS**

The Murfreesboro City School (MCS) system serves grades kindergarten through sixth and is offered to students who reside within the jurisdiction of the City of Murfreesboro. The subject parcel contains three existing single-family homes.

The study area is currently located outside of the Scales Elementary School zone and would become part of this schools' zoned area once annexed into the city limits.

In the property's present state, this annexation would have minimal impact on the school system. Current K-6 enrollment at Scales Elementary is 896 students and a capacity up to 960. Should there be any children in these 3 homes, they could be accommodated at the school.

### **BUILDING AND CODES**

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

### **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

### **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

### **STREETS AND ACCESS**

The annexation study area includes approximately 2,400 linear feet of Franklin Road ROW. The City currently provides routine maintenance of this State ROW within the study area under a ROW/Street Maintenance contract with TDOT. Any new connections to Franklin Road must be approved by the City Engineer and TDOT.

The annexation study area also includes approximately 975 linear feet of Almar Knot Drive. Almar Knot drive was built to City standards including curb and gutter and sidewalks. Based on a 15-year repaving cycle and routine right-of-way mowing, annualized roadway maintenance costs are estimated at \$2,600 for this roadway. Any new connections to Almar Knot Drive must be approved by the City Engineer.

The study area contains 200 linear feet of roadway striping on Almar Knot Drive, one turn arrow, and one stop bar. Based on a 5-year restriping schedule, the annualized costs are estimated at \$200 a year. The study area also contains an overhead school zone flasher, flasher control cabinet, and one (1) school zone sign. The condition of the equipment is unknown, but based on a 10-year replacement schedule, the annualized cost would be \$300. Combining the roadway striping, signage, and school zone equipment, the total annualized cost for the annexation request is \$500 a year.

The annexation study area also has access to Gresham Lane. As a substandard street, any development along this roadway will need to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards. Any new connections to Gresham Lane must be approved by the City Engineer.

Any new public roadways to serve the study area must be constructed to City Standards.

### **REGIONAL TRAFFIC & TRANSPORTION**

The study area is served by Franklin Road as the major roadway facility. The 2014 Level of Service Model in the 2040 Major Transportation Plan shows Franklin Road to

be operating at a Level of Service C in the study area using average daily traffic (ADT) counts. Without the recommended improvements in the 2040 Major Transportation Plan, the Level of Service falls to D.

### **SANITARY SEWER SERVICE**

Map 92, Parcel 47 is currently an approved outside the City sewer customer. Murfreesboro Water Resources Department (MWRD) 8-inch gravity public sanitary sewer lines run within this parcel both near its southwest corner and from Almar Knot Drive. Portions of this sewer are adjacent to Franklin Road right-of-way and portions of this sewer lie within the Almar Knot Drive right-of-way area included within the annexation area.

In their current state, all other parcels within this annexation would require installation of public sewer extensions and dedication of public sewer easements, to have MWRD sanitary sewer available to them. The two single-family home parcels (Map 92, Parcel 40 and Map 92, Parcel 55) are currently served sewer via on-site private septic systems. Should all these parcels remain unchanged, Parcels 40 and 55 could continue to utilize their existing septic systems, so long as they are functioning properly.

Should these parcels be altered in the future, MWRD may require public sewer extensions to serve them dependent on the site design and parcel re-configuration of said development. In particular, public gravity sewer may need to be extended to meet MWRD's maximum sewer service line length requirement of 150 linear feet. Either the southwest corner or Almar Knot Drive sewer lines could be used as tie-in points for these extensions.

**SANITARY SEWER SERVICE (cont.)**

All main line extensions are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department

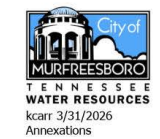
Regarding the Sewer Allocation Ordinance (SAO), the City will continue to serve the existing development as it is today with no sewer variance request. However, MWRD will need to evaluate sewer usage of future development based on the SAO. The CF zoned areas will allow a maximum wastewater generation of 650 gallons/day (gpd) per acre, or 2.5 single-family unit equivalents (SFU's). The RS-15 zoning areas would allow for 780 gpd, or 3.0 SFU's per acre. Should new development exceed the SAO thresholds, a variance to the SAO must be approved by City Council.

This property is located within the Overall Creek Sanitary Sewer Assessment District, which is an additional sewer fee over and above the standard sewer connection fee. These fees are paid at the time of connection or prior to any future building permits.



MURFREESBORO WATER RESOURCES DEPARTMENT

**Annexation Request  
3148 Franklin Road**



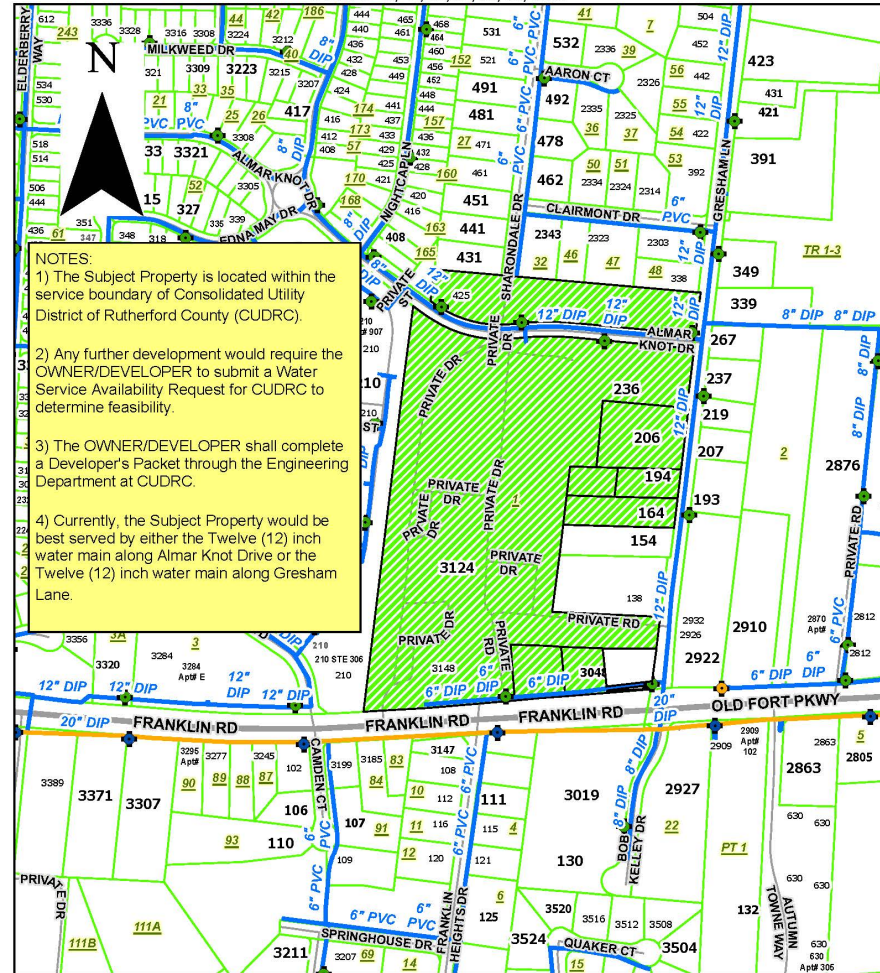
# WATER SERVICE

The study area is located within the service boundary of Consolidated Utility District of Rutherford County (CUDRC). There is existing CUDRC water service to the existing developed properties and structures.

Future development in the study area would be best served by either the twelve (12) inch water main along Almar Knot Drive or the twelve (12) inch water main along Gresham Lane, as illustrated in the exhibit on this page.

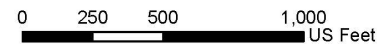
Any future development would require the owner/developer to submit a Water Service Availability Request for CUDRC to determine feasibility. The developer would be required to complete CUDRC's Developer Packet through the Engineering Department at CUDRC.

Annexation Request for 3148 Franklin Road (Franklin Road Baptist Church) Tax Map: 092  
Parcels: 40, 47, 50, 51, 55, 56, 56.01



March 19, 2026

TAX MAP: 092  
PARCELS: 40, 47, 50, 51, 55,  
56, 56.01



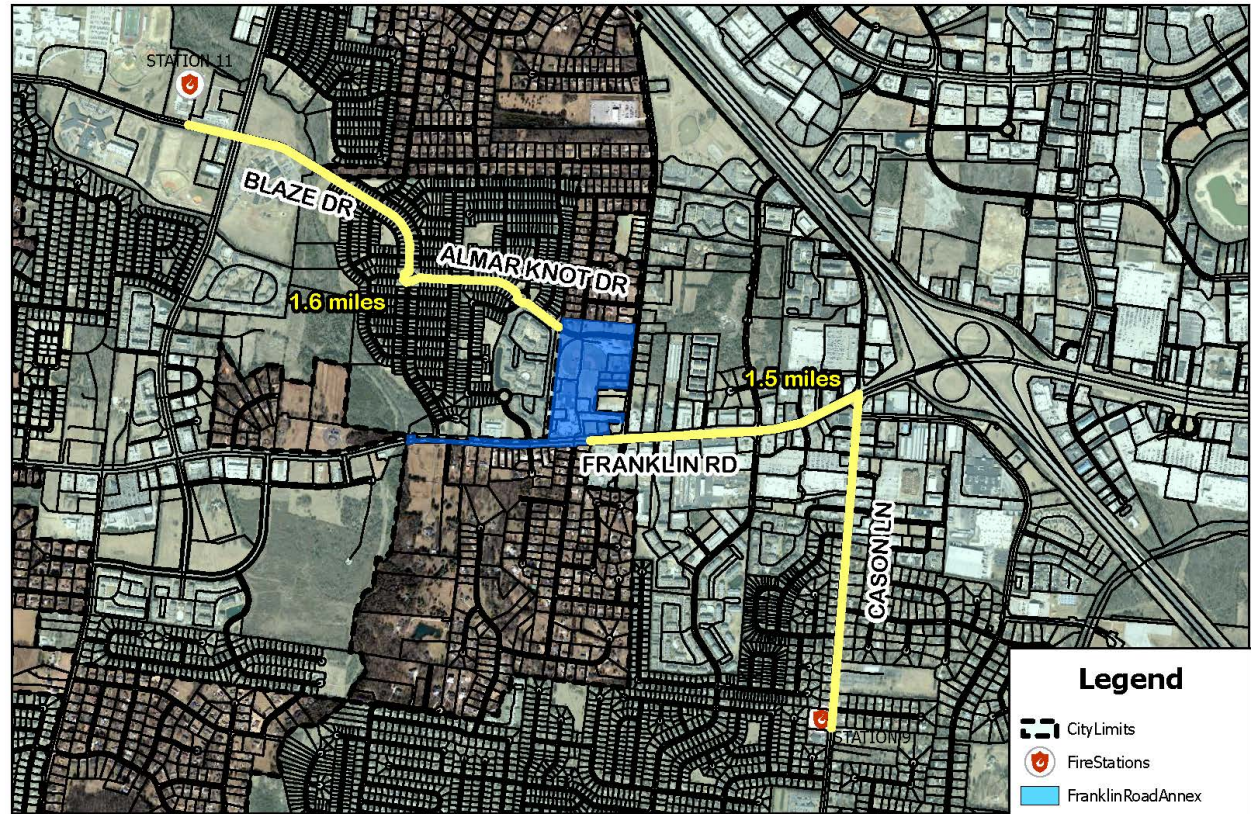
## FIRE AND EMERGENCY SERVICE

The study area contains structures of Franklin Road Baptist Church, Franklin Road Christian School at 3124 Franklin Rd, a storage barn at 236 Gresham, and residential structures on the property

The Murfreesboro Fire Rescue Department can provide fire and medical response to the requesting parcels and existing structures immediately upon the effective date of annexation.

Fire Station 9, located at 802 Cason Lane, is 1.5 miles from the study area. In addition, Fire Station 11, located at 3924 Blaze Dr, is 1.6 miles from the study area.

The yellow line on the adjacent map represents the linear driving distance from the nearest fire station.



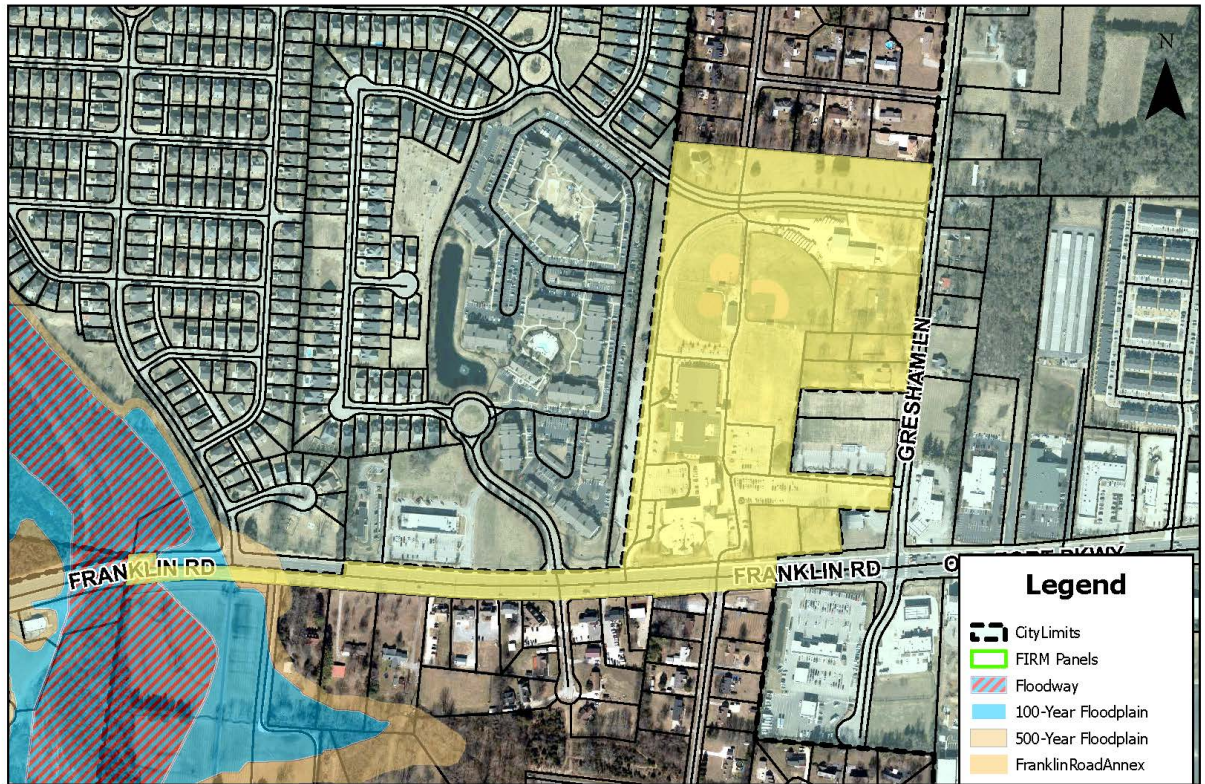
Annexation Request for property along Franklin Road

0 380 760 1,520 2,280 3,040 US Feet

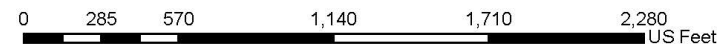
Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
www.murfreesborotn.gov

## FLOODWAY

The study area is located within Zone X on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA) per the May 23, 2023 FIRM panel 47149C0255J. It contains no floodplain or floodway, except for a portion of the Franklin Road ROW.



Annexation Request for property along Franklin Road



Planning Department  
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## **DRAINAGE**

### **Public Drainage System**

Public drainage facilities available to the study area are located within the ROW of Franklin Road. The drainage facility within Franklin Road is the responsibility of TDOT. Routine maintenance for these facilities are typically provided by TDOT with assistance from the City under the State Maintenance Contract with TDOT. Funding for maintenance is anticipated to be provided by TDOT and Stormwater Utility Fee.

Public Drainage facilities available to the study area are also located within the ROW of Almar Knot Drive and Gresham Lane. The annualized operation and maintenance cost for these systems is included in the public roadway sections above as they are internal roadway drainage systems.

Additional public drainage facilities are located on the property and recorded in plat book 23, page 258.

Any new public drainage facilities proposed to serve the study area in the future must meet City standards. New connections to the public drainage system must be approved by the City Engineer and TDOT.

### **Regional Drainage Conditions**

A review of the regional drainage patterns indicates the study area drains to primarily to the existing rights-of-way.

### **Stormwater Management and Utility Fees**

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has three single-family residences, church campus, and school campus and will generate approximately \$401 per month in revenue for the Stormwater Utility Fee.

The red lines on the following map represent ten-foot contours. The grey lines represent two-foot intervals.

## **PROPERTY AND DEVELOPMENT**

Any new connections to Franklin Road must be approved by the City Engineer and TDOT.

Any new connections to Almar Knot Drive or Gresham Lane must be approved by the City Engineer.



### Annexation Request for property along Franklin Road

Planning Department  
 City of Murfreesboro  
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### **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: HOLLY SMYTH**

**6.c. Zoning application [2026-411] for approximately 1.9 acres located along Franklin Road to be rezoned from PUD to CF and for approximately 25.1 acres to be zoned CF simultaneous with annexation, Franklin Road Baptist Church applicant.**

The subject area involves 7 parcels, all outside the City limits and zoned RM (Medium Density Residential) in the County, except for a 1.9-acre portion of Parcel 47.00 along its western boundary, which is in the City limits and zoned PUD (Planned Unit District). All properties are owned by Franklin Road Baptist Church (FRBC). The study area contains approximately 27 acres as follows:

- A portion of Tax Map 092, Parcel 47.00 containing approximately 20 acres along the south side of Almar Knot Drive developed with Franklin Road Baptist Church and School to be zoned CF (Commercial Fringe District) simultaneous with annexation
  - A portion of Tax Map 092, Parcel 47.00 containing approximately 1.9 acres along the south side of Almar Knot Drive to be rezoned from PUD (Planned Unit District) to CF
  - Tax Map 092, Parcel 40.00 with approximately 1.72 acres with a single-family home
  - Tax Map 092, Parcel 50.00 with approximately 0.82 acres that is vacant
  - Tax Map 092, Parcel 51.00 with approximately 0.58 acres that is vacant
  - Tax Map 092, Parcel 55.00 with approximately 1.0 acres with a single-family home
  - Tax Map 092, Parcel 56.00 containing approximately 0.55 acres that is vacant
  - Tax Map 092, Parcel 56.01 containing approximately 0.4 acres that is vacant
- (Parcels 40.00, 50.00, 51.00, 55.00, 56.00, & 56.01 are proposed to be zoned CF simultaneous with annexation.)

Note: The portion of Parcel 47.00 north of Almar Knot Drive will automatically come into the City with an interim RS-15 (Residential Single-Family District) zoning classification if annexed, per Section 17 of the Zoning Ordinance; therefore, it is not a part of this zoning request.

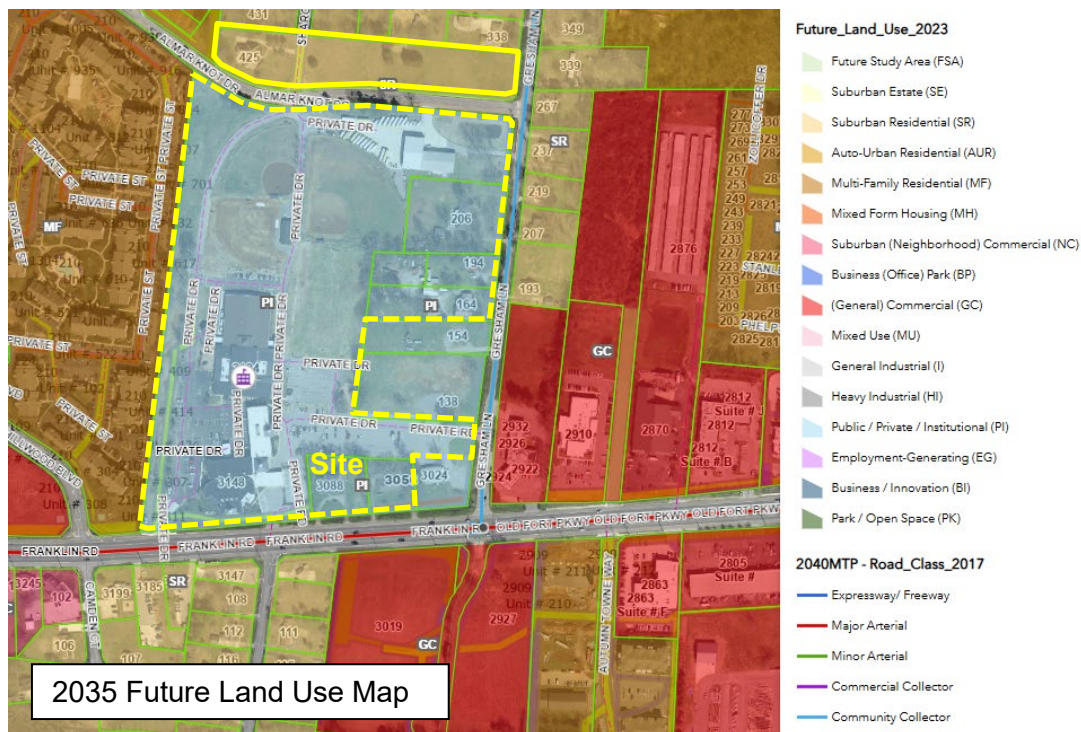
The zoning application proposes to zone all the project area south of Almar Knot Drive to CF. If the property was annexed into the City without a companion zoning request, it would be zoned RS-15 making the church facility in its current state a legal non-conforming use, as church uses in the City RS-15 zone are required to obtain a special use permit from the Board of Zoning Appeals. The church has asked for CF zoning, which allows the church and school uses by right without a special use permit; however, the two existing single-family homes at 206 & 164 Gresham Lane will be made legal non-conforming uses if annexed and zoned CF, as residential uses are not permitted in the CF zone.

The above zone change is separate from the one filed recently by FRBC, for zone change #2026-402 by the church to rezone the CL (Commercial Local District) and RS-15 parcels that contain the existing Franklin Road Christian School soccer field to PND (Planned Institutional District) in order to allow the lighting of that field. These 2 lots are already in the City limits and are not part of the current bulk zoning process to CF but are within the church's campus. The CH zoning of the FRBC-owned property at the corner of Franklin Road and Gresham Lane is not proposed to change.

The study area is bordered by RM (Medium Density Residential) zoning within the unincorporated County to the north and south of the entire project area. To the west is a large PUD (Planned Unit District) in the City limits with apartments and single-family detached homes. The portion of the FRBC property zoned PUD was acquired from the developer of that PUD. To the east is a CH-zoned gas station and RS-15-zoned single-family detached homes along Gresham Lane.

### **Future Land Use Map**

According to the *Murfreesboro 2035 Comprehensive Plan Future Land Use Map* the site is designated PI – Public/Private/Institutional. Development Types include various publicly owned facilities, schools, religious facilities, recreational facilities, hospitals, and similar uses. Characteristics usually incorporate a high degree of visitation, multiple buildings arranged in a campus-like setting, and careful consideration of transportation patterns and surrounding open space. **Suggested zoning districts are CU, PND, P, and other districts as evaluated on a case-by-case basis.**



The portion of Parcel 47.00 north of Almar Knot Drive, which is not a part of this zoning request, is recommended to develop with a “Suburban Residential - SR” land use character (see excerpt map below). Suburban Residential generally consists of “detached residential dwellings” with a “typical density ranging from 1.0 to 4.0 dwelling units per acre.” Suggested City Zoning Districts include RS-15, RS-12, RS-10, PRD, and other districts may be evaluated on a case-by-case basis.

In the 2040 Major Transportation Plan, Franklin Road is classified as a Major Arterial with a 7-lane cross-section and 100-110 feet of right-of-way (ROW) and no future widenings identified. Gresham Lane is classified as a Community Collector with a 2-lane cross-section and some 3-lane portions at intersections ranging from 50 – 60 feet of ROW. A resubdivision plat to combine all of the church parcels was approved by the City and County Planning Commissions and contained dedication of additional ROW along Gresham Lane, as determined by the Engineering Department.

Based on the above Comprehensive Plan policies, staff believes that zoning the church and school campus south of Almar Knot Drive to CF is consistent with the recommendations of the Comprehensive Plan’s PI land use character for the subject property, as the CF zone permits many public and institutional uses, including churches and schools. The residential property north of Almar Knot Drive changing to the RS-15 zone automatically upon annexation is consistent with the Comprehensive Plan SR land use character.

### **Recommendation:**

Staff supports the zoning request to CF for the following reasons:

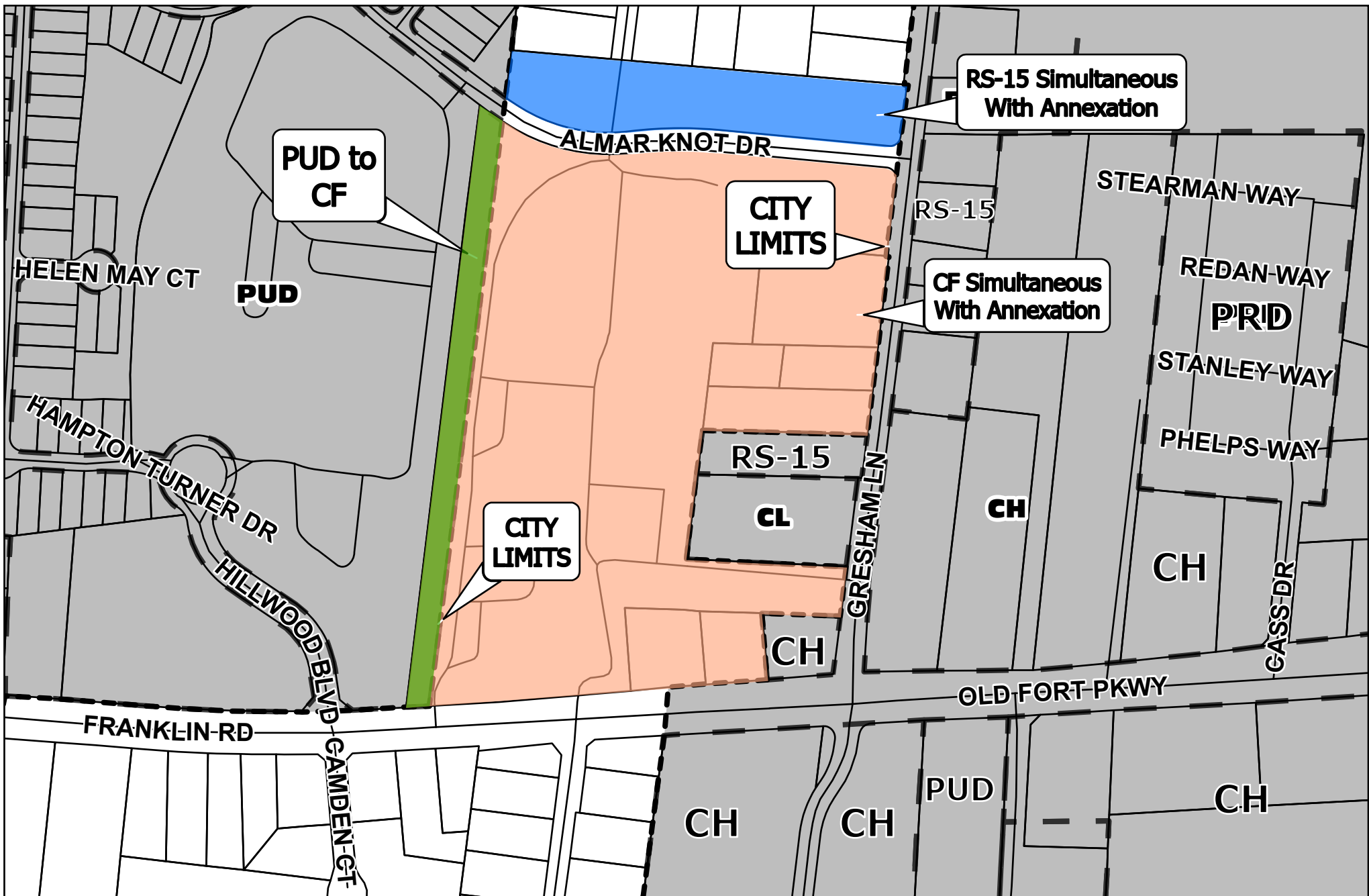
- 1) The zoning request is generally compatible with the PI Land use designation.
- 2) The CF zone district is a good transition zone between the RS-15 properties on the eastern side of Gresham Lane as well as the CH zoning at the intersection of Franklin Road and Gresham Lane.
- 3) This property being at the intersection of a major arterial roadway and a community collector roadway would seem to support a higher intensity zoning district, such as the CF zone.
- 4) The CF zone district gives the church greater flexibility in financing and development of future expansions with just a standard site plan review process by the Planning Commission; rather than submitting a special use permit application to the Board of Zoning Appeals for a church expansion or rezoning to a Planned Institutional District for certain types of school expansions, both of which would be the case in certain other lower-intensity zoning districts.

### **Action needed**

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation to City Council.

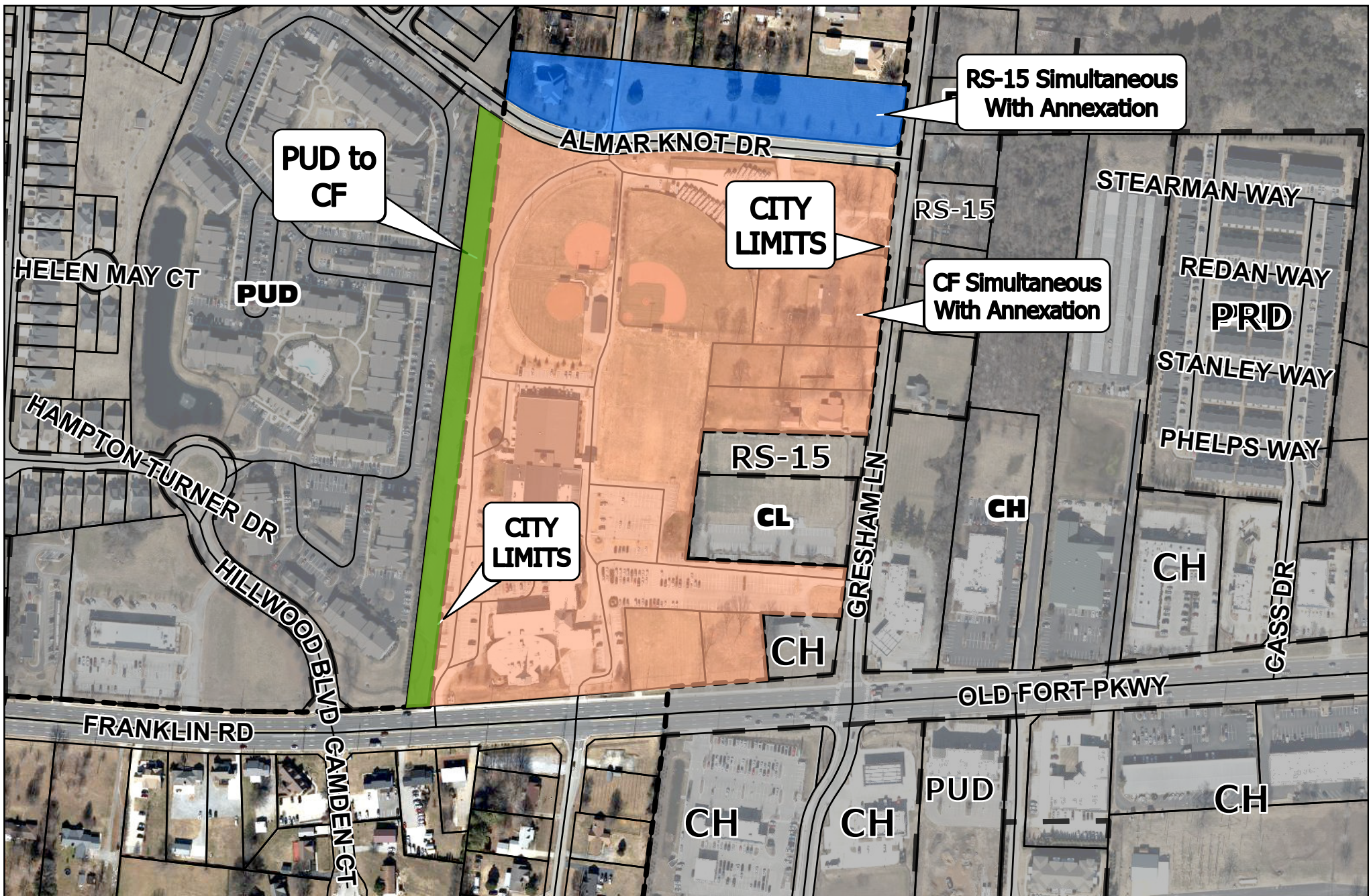
**Attachments:**

Ortho Zone Map  
No-ortho Zone Map  
Applicant's zoning map  
Draft Resubdivision plat



Zoning Request for property along Franklin Road and Gresham Lane  
 PUD to CF and CF simultaneous with annexation

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



Zoning Request for property along Franklin Road and Gresham Lane  
 PUD to CF and CF simultaneous with annexation

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Creating a better quality of life

City of Murfreesboro  
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www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

APPLICANT: Franklin Road Baptist Church

Address: 3148 Franklin Road City/State/Zip: Murfreesboro TN 37128

Phone: 615 890 0820 E-mail address: [REDACTED]

PROPERTY OWNER: Franklin Road Baptist Church

Street Address or property description: 3148 Franklin Road

and/or Tax map #: see attached Group: \_\_\_\_\_ Parcel (s): \_\_\_\_\_

Existing zoning classification: see attached

Proposed zoning classification: see attached Acreage: \_\_\_\_\_

**Contact name & phone number for publication and notifications to the public (if different from the applicant):**

Sam Huddleston 615/651-0289

E-mail: [REDACTED]

APPLICANT'S SIGNATURE (required): Sam Huddleston

DATE: March 17, 2025

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: \_\_\_\_\_

Amount paid: \_\_\_\_\_ Receipt #: \_\_\_\_\_

Franklin Road Baptist Church

Annexation – 28.38 acres

Map 92 Parcel 47.00

Map 92 Parcel 40.0

Map 92 Parcel 50.00

Map 92 Parcel 51.00

Map 92 Parcel 55.00

Map 92 Parcel 56.00

Map 92 Parcel 56.01

Rezoning

PUD to CF 1.89 ac part of Map 92 Parcel 47.00

CH keep 0.59 ac Part of Map 92 Parcel 47.00

CL to PND to 1.84 Part of Map 92 Parcel 47.00

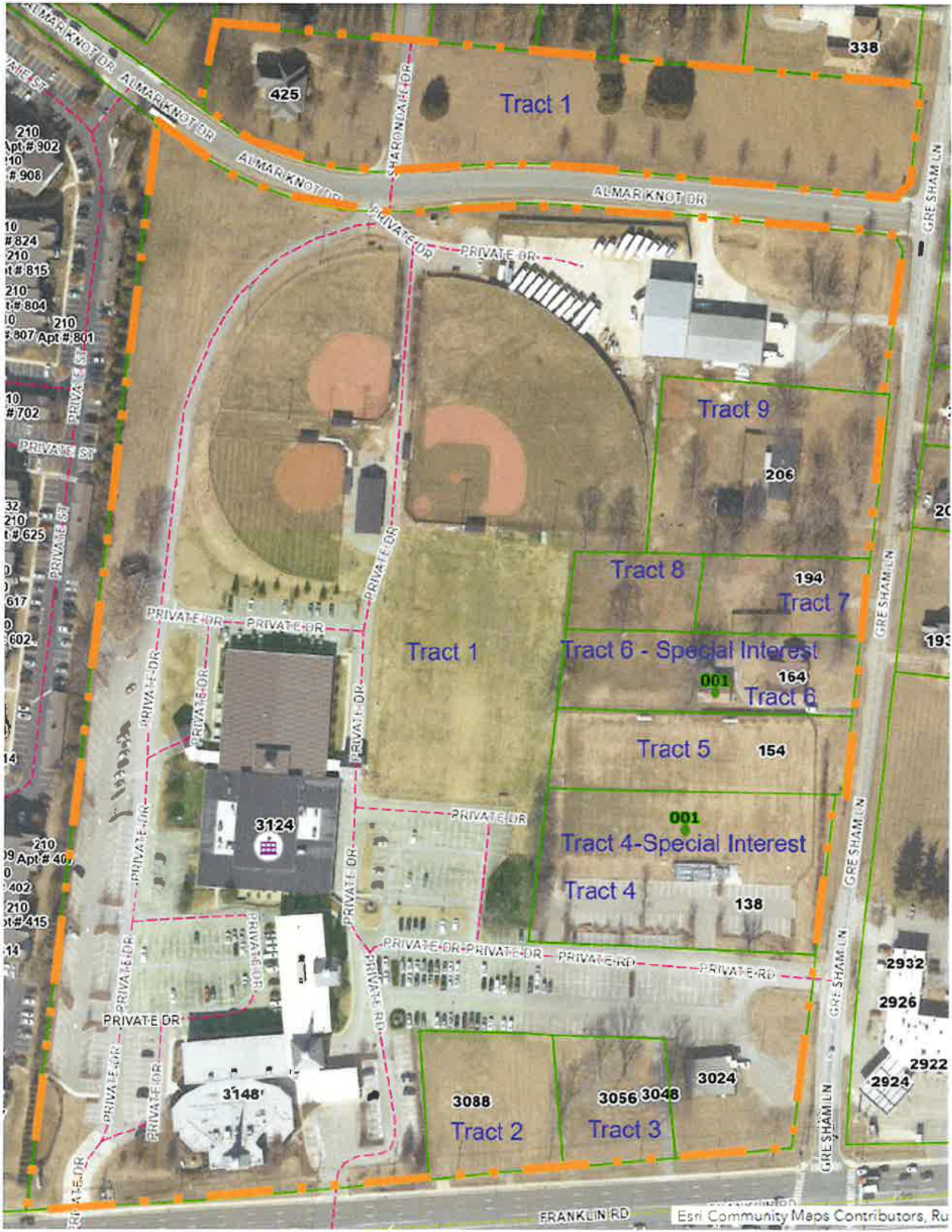
RS-15 to PND 0.95ac Map 92 Parcel 54.00

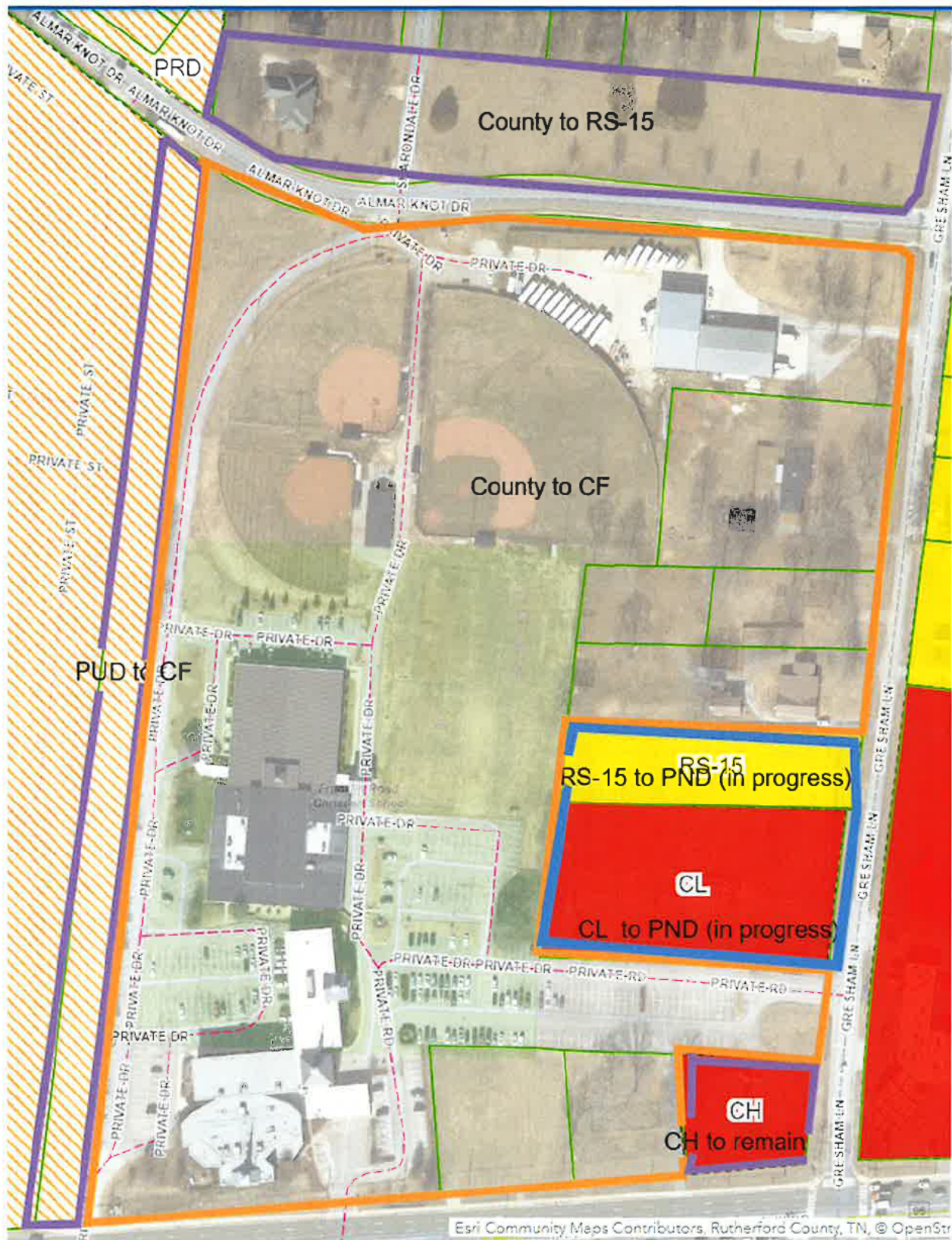
County to CF 25.03 Part of Map 92 Parcel 47.00, Map 92 Parcel 40, Map 92 Parcel 50.00  
Map 92 Parcel 51.00, Map 92 Parcel 55.00, Map 92 Parcel 56.00, Map 92 Parcel 56.01

County to RS-15 3.35 part of Map 92 Parcel 47.00

**Table 1 – Franklin Road Baptist Church Tax ParcelsAccounts**

<b>Parcel</b>	<b>FRBC Tract</b>	<b>Assessor Account Type</b>	<b>Purchase Year</b>	<b>Previous Use</b>	<b>Current Use</b>
92 47.00	1	Religious Exempt	1955-1987	Farm Residential Commercial	Church/School Campus
92 50.00	2	Residential Taxable	2021	Residential	Overflow Parking and Outdoor Event Space
92 51.00	3	Residential Taxable	2006	Residential	Site Access to Franklin Road and Overflow Parking
92 53.00	4	Religious Exempt	2004	Residential	School/Church Soccer Field and Parking
92 53.00 SI001	4	Special Interest Residential Taxable		Residential	School/Church Soccer Field and Parking
92 54.00	5	Residential Taxable	2018	Residential	School/Church Soccer Field
92 55.00	6	Residential Taxable	2023	Residential	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space
92 55.00 SI001	6	Special Interest Commercial Taxable	N/A	Commercial-Contractor's Yard	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space
92 56.00	7	Residential Taxable	2023	Residential	School/Church Recess PE Sports Practice Fields Outdoor Event Space
92 56.01	8	Residential Taxable	2023	Residential	School/Church Recess PE Sports Practice Fields Outdoor Event Space
92 40.00	9	Residential Taxable	2017	Residential	Staff Housing School/Church Storage Recess PE Sports Practice Fields Outdoor Event Space







**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: BRAD BARBEE**

**6.d. Annexation petition and plan of services [2026-502] for approximately 16.78 acres located along Shelbyville Pike, Joe Avery Curtis, Jr. applicant.**

Joe Avery Curtis, Jr., has submitted a petition requesting annexation of a portion of his property into the City of Murfreesboro. The annexation area includes a 16.78-acre portion of a parcel located on the east side of Shelbyville Pike also connecting to the southern terminus of Christie Knob Way. The study area is identified as a portion of Tax Map 136, Parcel 26.00 and is currently developed with a single-family detached house and two accessory structures.

The study area is currently zoned RM (Residential Medium Density) in the unincorporated County. A companion zoning application to rezone the subject property to Planned Commercial District (Lowes PCD) simultaneous with annexation has also been submitted. This rezoning would permit the 16.78 acres to be developed as a Lowe's Home Center.

The annexation study area is located within the City's Urban Growth Boundary. In addition, it is contiguous with the City Limits along its northern and western boundaries. The Murfreesboro 2035 Comprehensive Plan Future Land Use Map identifies the subject parcel as Future Study Area (FSA) and as being outside of the Service Infill Line. This line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. A Small Area Study is currently being conducted for this area with the expectation that the Service Infill Line will be shifted to include the subject property and that the subject property will be designated as General Commercial (GC) to match the current development pattern along South Church Street / Shelbyville Pike.

Staff has prepared a Plan of Services for the proposed annexation to study the annexation of the property in its current state. The Plan of Services is included as a part of the agenda packet. Sewer service can be extended to the property via a 800 ft gravity line extension located along Shelbyville Pike. Water service will be provided by Consolidated Utility District. Police protection, solid waste collection, and electric service, will all be available to the property immediately upon annexation.

**Staff Recommendation:**

Staff is supportive of the annexation request for the following reasons:

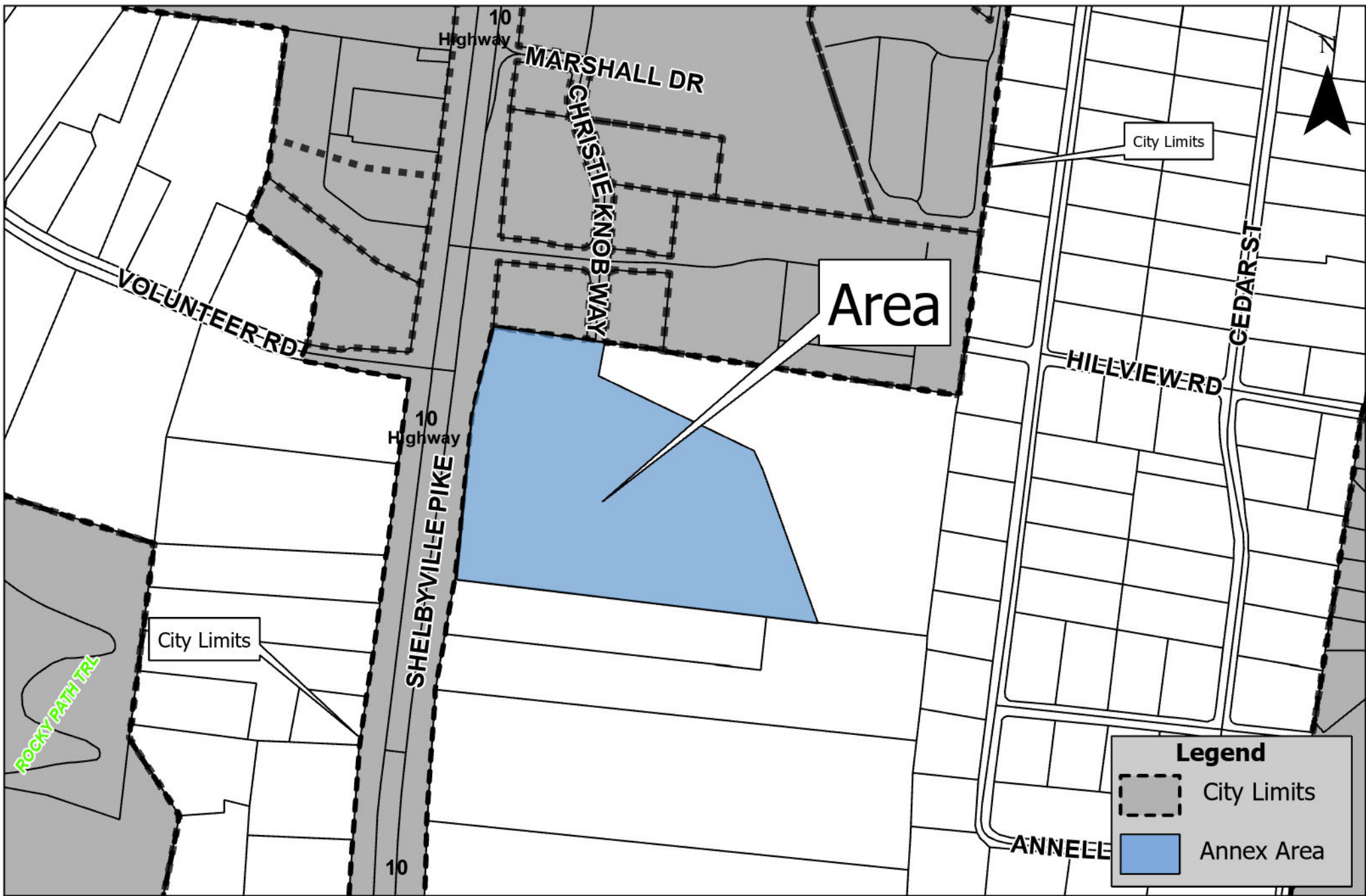
1. The subject property is contiguous with the existing City Limits.
2. It is located within the Urban Growth Boundary.
3. Services can be extended to the subject property upon annexation.
4. A Small Area Study is currently being conducted for this area with the expectation that the Service Infill Line will be shifted to include the subject property.

**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

**Attachments:**

Ortho Map  
Non-ortho Maps  
Plan of Services



## Annexation Request for property along Shelbyville Pike

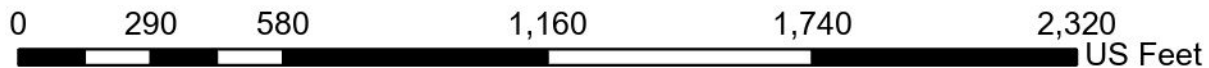
Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

0 290 580 1,160 1,740 2,320 US Feet



## Annexation Request for property along Shelbyville Pike

Planning Department  
 City of Murfreesboro  
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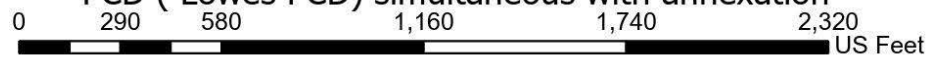
**ANNEXATION REPORT FOR PROPERTY  
LOCATED ALONG SHELBYVILLE PIKE AND  
CHRISTIE KNOB WAY  
INCLUDING PLAN OF SERVICES  
(FILE 2026-502)**



**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
JUNE 3, 2026**



Zoning Request for property along Shelbyville Pike  
PCD ( Lowes PCD) simultaneous with annexation



Planning Department  
City of Murfreesboro  
111 West Vine St  
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[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# INTRODUCTION

## OVERVIEW

The annexation study area includes a portion of one parcel located on the east side of Shelbyville Pike and at the southern terminus of Christie Knob Way. It is currently owned by Joe Avery Curtis, Jr. and developed with a single-family residence, barn, and other accessory structures. The annexation study area includes the following:

- A portion of Tax Map 136, Parcel 26.00 (approximately 16.78 acres)

The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits on its north and west sides.

A companion zoning request has also been submitted to have the property zoned PCD (Planning Commercial District) simultaneous with annexation for the development of a Lowe's Home Center.



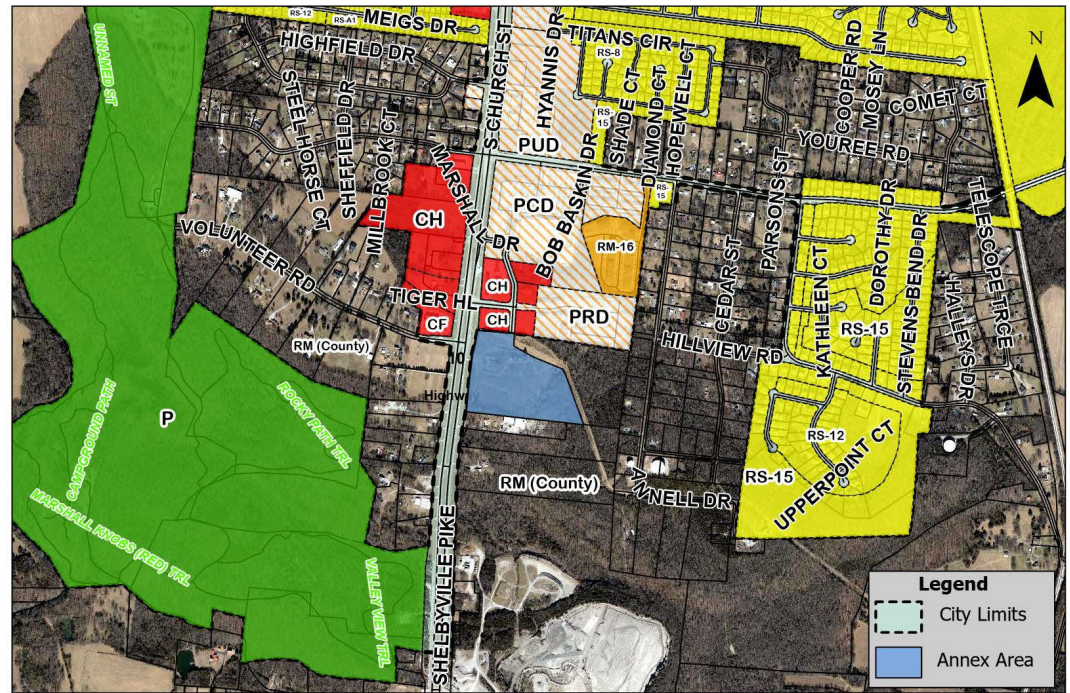
Zoning Request for property along Shelbyville Pike  
PCD ( Lowes PCD) simultaneous with annexation

0 290 580 1,160 1,740 2,320  
US Feet

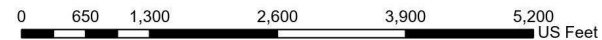
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## SURROUNDING ZONING

The surrounding area to the east and south are located in the unincorporated Rutherford County and zoned RM (Residential Medium Density). The property to the north is in the City limits and is zoned CH (Highway Commercial). Land to the west across Shelbyville Pike is located in unincorporated Rutherford County and is zoned RM (Residential Medium-Density). There is one property to the west directly across Shelbyville Pike that is located inside the City limits and is zoned CF (Commercial Fringe).



Annexation Request for property along Shelbyville Pike



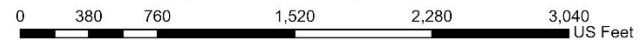
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## SURROUNDING LAND USE

The surrounding area consists of a mixture of residential and commercial uses. To the north is Pep Boys auto service facility and a vacant commercial lot and Tiger Hill Townhomes, which is zoned PRD (Planned Residential District). To the east, in addition to the vacant balance of the subject parcel, there are three vacant lots, one single-family detached dwelling, and a cellular transmission tower, all of which are located outside of the City limits. To the south is a large vacant property and a property developed as a foundation and crawl space repair business, both of which are located outside the City limits. Across Shelbyville Pike, at the northwest corner of Shelbyville Pike and Volunteer Road, is the Murfreesboro Medical Clinic medical facility and two properties developed with single-family detached homes that are located in the unincorporated area of Rutherford County.



Annexation Request for property along Shelbyville Pike



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[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2026 will be due on December 31, 2027. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.95260/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

*Table I  
Estimated Taxes from Site*

<b>Owner of Record</b>	<b>Tax Map and Parcel</b>	<b>Acres</b>	<b>Land Value*</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
Joe Avery Curtis, Jr.	A portion of 136-02600	16.78	\$187,072	\$229,200	\$104,055	\$991.22

These figures are for the property in its current state.

\*Because only a portion of the subject parcel is requested for annexation, the land value above has been estimated based on the percentage of the property included in the petition.

**PLAN OF SERVICES**

### **POLICE PROTECTION**

At present, the study area receives police services through the Rutherford County Sheriff's Department and Tennessee Highway Patrol. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 3.

### **ELECTRIC SERVICE**

The existing home is served by Middle Tennessee Electric (MTE) and Middle Tennessee Electric will provide service to any future development.

### **STREET LIGHTING**

Street lighting would not be installed by the City in conjunction with the annexation. Any new development would need to provide appropriate street lighting at the developer's expense. There is currently no street lighting along the frontage of this site.

### **SOLID WASTE COLLECTION**

In its current state, no additional equipment or manpower will be needed to serve the study area. The current day of service is Thursday. Curbside solid waste collection service and brush and debris removal will be provided for the existing house upon the effective date of annexation, and the cost of the cart will be \$74.75.

### **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro attend Murfreesboro Elementary Schools and receive free or reduced lunches also receive free or reduced recreational fees.

### **CITY SCHOOLS**

The Murfreesboro City Schools (MCS) system serves grades kindergarten through sixth and is offered to students who reside within the City of Murfreesboro. In its current state, there would be minimal impact on the school system, as there is only one house on the subject property. The property will be zoned for Black Fox Elementary upon annexation.

## **BUILDING AND CODES**

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

## **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. If new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

## **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

## **STREETS AND ACCESS**

The annexation study area does not include any existing public right-of-way (ROW) or roadways. The annexation study area has access to existing Shelbyville Pike and Christie Knob Way. Any new connections to Christie Knob Way must be approved by the City Engineer. Any new connections to Shelbyville Pike must be approved by the City Engineer and TDOT. Any new public roadways to serve the study area must be constructed to City Standards.

## **REGIONAL TRAFFIC & TRANSPORTATION**

The study area has access to Shelbyville Pike. The 2014 Level of Service Model in the adopted 2040 Major Transportation Plan shows Shelbyville Pike to be operating at a Level of Service C adjacent to the study area using average daily traffic (ADT) counts. The 2040 Level of Service Model indicates that Shelbyville Pike operates at a Level of Service of D without the proposed improvements recommended in the 2040 Plan.

## **SANITARY SEWER SERVICE**

Currently sanitary sewer is not available to the property in question. To provide public sanitary sewer service for the study area, the owner/developer would extend gravity sewer from MH070WW05C, located in the eastern ROW of the Shelbyville Pike, approximately 800-ft to the property where gravity sewer could be extended throughout a proposed development. In addition, the owner/developer, per our Policies and Procedures, will be required to extend gravity sewer to the remainder of the parcel that is not included in the annexation study area. Regarding the Sewer Allocation Ordinance (SAO), the proposed PCD zone will be under the density per acre allotted for PCD therefore will not be required to request a variance. While there is limited sewer capacity in the area, the proposed development is projected to be relatively low flow and would not pose an issue for the existing infrastructure.

This property is not located within any special sanitary sewer assessment districts. All main line extensions are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.



MURFREESBORO WATER RESOURCES DEPARTMENT

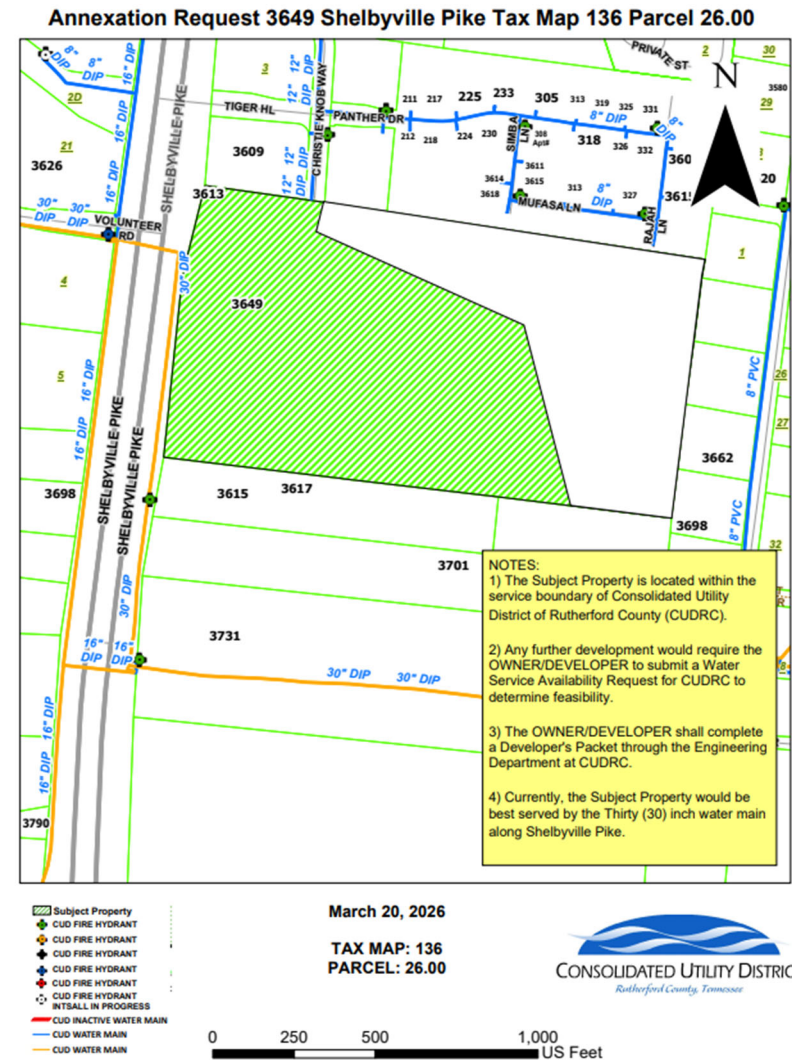
### **Annexation Request Shelbyville Pike**



## WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. CUDRC currently provides water service to the existing house on the subject property.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures. Future development in the study area would be best served by the existing 30" water main along Shelbyville Pike.

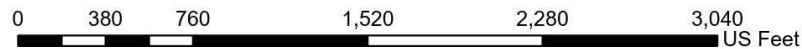


## FIRE AND EMERGENCY SERVICE

The Murfreesboro Fire Rescue Department can provide fire protection and medical response services to the study area immediately upon annexation. Fire Station 2, located at 2880 Runnymede Dr, is 1.3 miles from the area.



Annexation Request for property along Shelbyville Pike



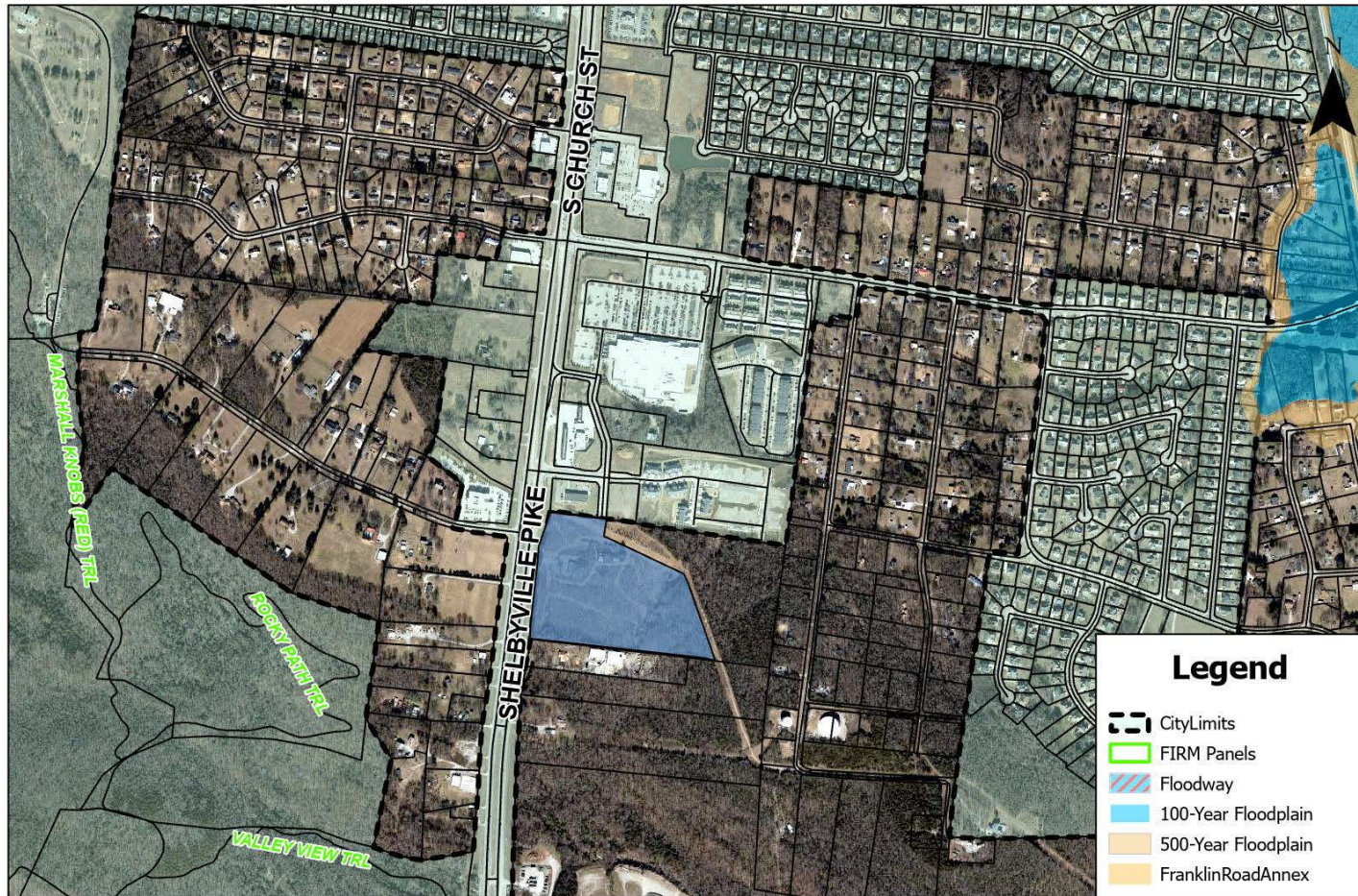
**Legend**

- CityLimits
- FireStations
- FranklinRoadAnnex

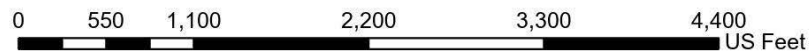
Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

## FLOODWAY

No portion of the study area is located within the 100-year floodplain or within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA). See map below.



Annexation Request for property along Shelbyville Pike



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City of Murfreesboro  
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## **DRAINAGE**

### **Public Drainage System**

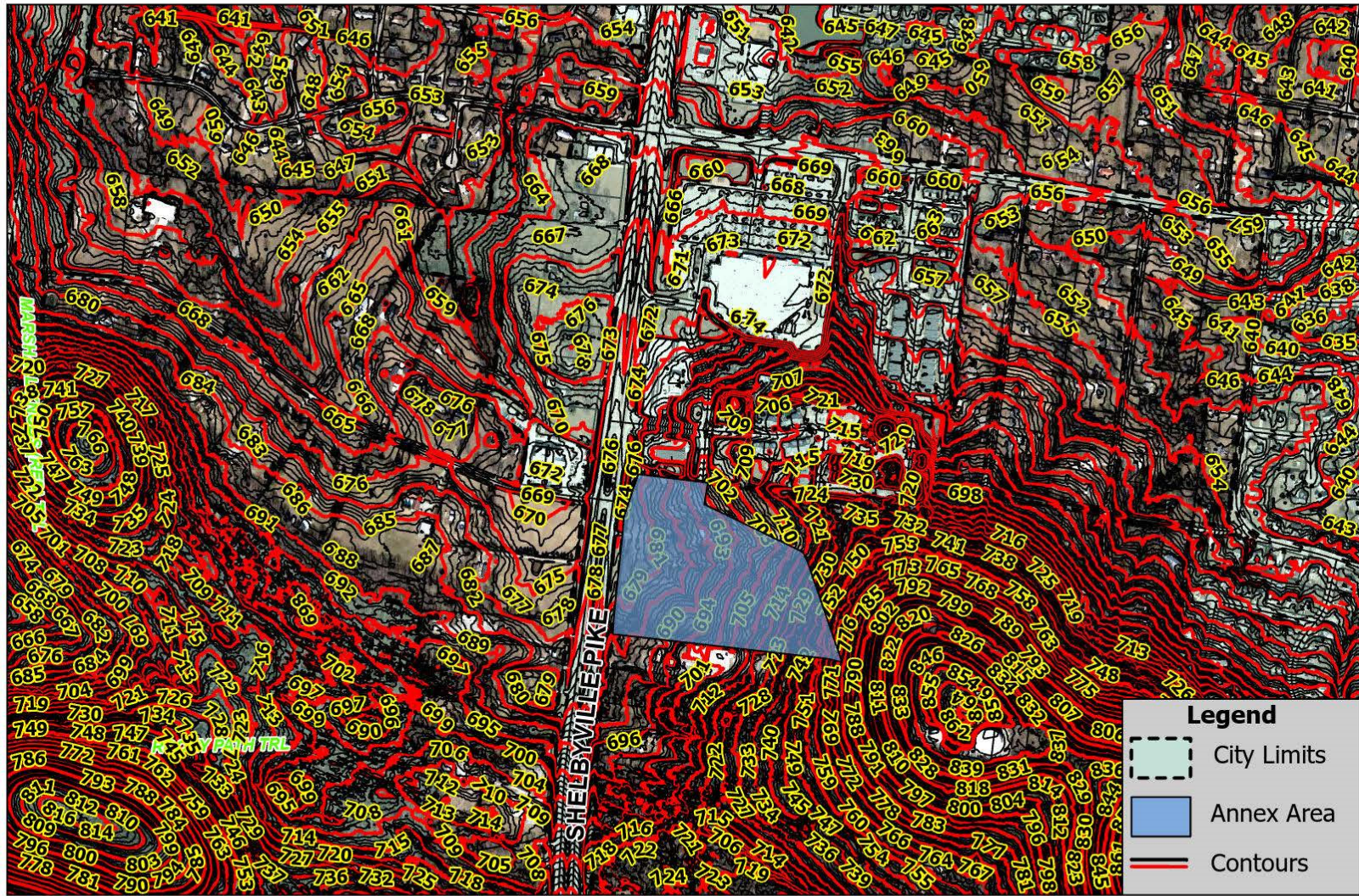
Public drainage facilities available to the study area are located within the ROW of Shelbyville Pike. No additional public drainage facilities are included in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

### **Regional Drainage Conditions**

A review of the regional drainage patterns indicates that most of the study area drains to the Shelbyville Pike right-of-way.

### **Stormwater Management and Utility Fees**

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The property currently has 1 single-family residence and will generate approximately \$39 per year in revenue for the Stormwater Utility Fee.



## Annexation Request for property along Shelbyville Pike

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
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### **PROPERTY AND DEVELOPMENT**

New developments should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

Any new connections to Shelbyville Pike will require approval by the City Engineer and TDOT.

Any new connections to Christie Knob Way will require approval from the City Engineer.

### **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: BRAD BARBEE**

- 6.e. Zoning application [2026-410] for approximately 16.78 acres located along Shelbyville Pike to be zoned PCD (Lowe's Home Center PCD) simultaneous with annexation, Lowe's Home Centers, LLC applicant.**

The subject parcel is approximately 16.78 acres in size and is located along the east side of Shelbyville Pike south of Joe B Jackson Parkway and at the southern terminus of Christie Knob Way. The subject property is identified as part of Tax Map 136, Parcel 26.00. Lowe's Home Centers, LLC, is requesting to zone the subject property to Planned Commercial District (PCD) simultaneous with annexation. The parcel is currently zoned RM (Residential Medium-Density) in the unincorporated County and is developed with a single-family dwelling and several accessory structures.

**Adjacent Land Use and Zoning**

The adjacent properties consist of a mix of vacant land, commercial, and residential uses. To the north is Pep Boys auto service facility and a vacant commercial lot, both are zoned CH (Commercial Highway District). Tiger Hill Townhomes is also located to the north and is zoned PRD (Planned Residential District). To the east there are three vacant lots, one single-family detached dwelling, and a cellular transmission tower, all of which are located in the unincorporated areas of Rutherford County. To the south is a large vacant property and a property developed as a foundation and crawl space repair business, both of which are located outside the City limits. Across Shelbyville Pike, at the northwest corner of Shelbyville Pike and Volunteer Road, is the Murfreesboro Medical Clinic medical facility, which is located in the City and zoned CF (Commercial Fringe District), as well as two properties developed with single-family detached homes that are located in the unincorporated area of Rutherford County.

**Proposed PCD**

The applicant, Lowe's Home Centers, LLC, is requesting annexation into the City of Murfreesboro and zoning to Planned Commercial District (PCD) for development of a retail home improvement store with the following specifics:

- Site area: **16.78 acres**
- Proposed building:
  - **107,136 ft2 main structure**
  - **30,360 ft2 garden center**
- Existing zoning: Rutherford County RM
- Proposed zoning: PCD (Planned Commercial District)
- Development type: Single-user retail (Lowe's) with integrated outdoor sales/display areas

The attached plan, specific to a home center, governs land use, site design, architecture, access, and operational characteristics.

## **Allowed Uses**

The PCD is specific to operations and associated retail functions of a home center.

### **Primary Uses:**

- Home improvement retail store
- Sales of lumber, building materials, paint, hardware, etc.
- Nursery/garden center

### **Accessory / Ancillary Uses:**

- Outdoor sales, storage, and display (permanent and seasonal)
- Garden center operations
- Promotional events (e.g., grand openings, seasonal sales)

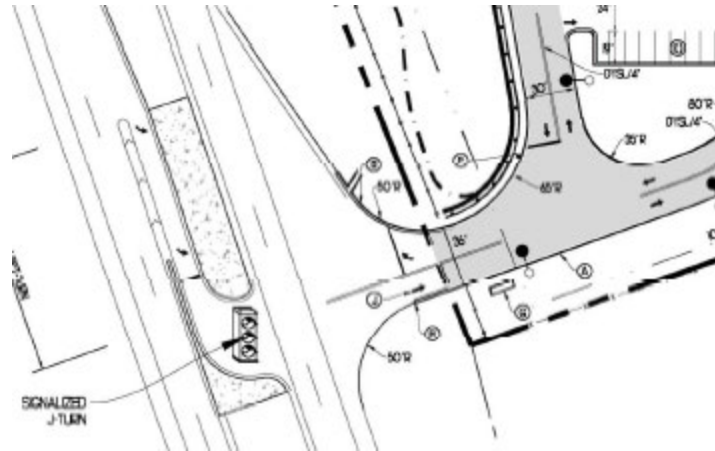
### **Key Limitation:**

- Uses are restricted to those included in this PCD.

## **Access and Circulation**

The primary access will be from Shelbyville Pike through a dedicated right-in, right-out, left in configuration. The center median will be modified to provide for the south bound left hand turn lane. The new intersection is proposed to be signalized.

- Right-in / right-out / left-in configuration
- Anticipated to be a signalized intersection (see image below)



- Secondary access to Christie Knob Way via access easement across the adjacent property to the north.
  - Provides indirect access to signalized intersection

## **Buffering and Landscaping**

### **Perimeter Buffers**

- **South Property Line**
  - Type A buffer (10' planting zone noted in detail plan)
- **North Property Line**
  - Type C buffer (12' planting zone noted in detail plan)
- **East Property Line**
  - Variable width buffer utilizing **existing vegetation**

### **Frontage Landscaping Treatment**

- 10'-wide front planting yard along Shelbyville Pike
- Includes:
  - Shade trees
  - Evergreen shrubs
  - Decorative fencing
- Designed to mimic nearby Walmart streetscape character

### **Parking Lot Landscaping**

- Interior planting areas with:
  - Shade trees
  - Shrubs
  - Landscape islands

## Foundation Landscaping

- Required but modified via exception (see Exceptions section below)

## Screening Elements

- Outdoor sales areas will be screened by utilizing a temporary, movable screen fence.
- Garden center screened with:
  - Split-face brick and integrally-colored split-face block columns
  - Steel pickets + chain link fence with screen fabric installed in addition to the pickets on the inside.
- Trash enclosure:
  - Fully enclosed integrally-colored split face block structure
- Loading dock:
  - Oriented away from ROW and screened by building/walls

## Design Standards

### Building Standards

- Maximum building height: **40 feet**
- Architectural consistency required across:
  - Building
  - Signage
  - Waste enclosures

### Materials (with modifications requested in Exceptions section below)

- Standard commercial materials with proposed additions:
  - Integrally-colored split-face block
  - Quik-Brick system

### Mechanical Equipment

- Ground and rooftop equipment:
  - Must be screened from public view

## Parking

- Total spaces provided: **305**
- Parking ratio:
  - **Hardware store 1 space for every 400 square feet of floor area**
    - $107,136 \text{ sq ft}/400=268 \text{ spaces}$

- **Greenhouse or nursery, commercial – with no mulch sales 1 for each 2 acres of land within of the premises where the greenhouse or nursery is located or 5 spaces, whichever is greater, plus 1 for each business vehicle.**
    - 30,360 sq ft – Less than 2 acres – 5 spaces required
- **Total spaces required:**
  - **273**
- Exclusions:
  - 11 spaces for utility trailer/building display not counted
  - 30 spaces for outdoor display of inventory not counted

## **Parking Design Features**

- Front parking field separated from ROW by:
  - Stormwater facility
  - Landscaping buffer
- Layout complies with:
  - City standards for dimensions and surfacing

## **Exceptions (Deviations from Ordinance)**

The applicant requests several **explicit PCD exceptions**:

### **1. Building Materials**

- Exception from Murfreesboro Design Guidelines to allow integrally colored split-faced block (east elevation) as a primary building material instead of brick or stone.

### **2. Foundation Plantings (required 3ft wide bed along the front and sides)**

- Eliminate requirement on **north side**
- Relocate base of building plantings on south side of building to adjacent areas.

### **Future Land Use Map:**

The Murfreesboro 2035 Comprehensive Plan identifies the subject property as “FUTURE STUDY AREA (FSA)”. According to the adopted plan, the Future Study Area category consists mostly of lands that are characterized as agricultural, undeveloped, or suburban or exurban areas developed with single-family residential. These areas fall outside of the current City limits but within the Urban Growth Boundary. It is important to note that development utilizing County regulations may continue in the Future Study Area without annexation. Typically, public sanitary sewer availability is limited or unavailable. Roads are typically substandard, ditch-section, no sidewalks, and no streetlights. The Future

Study Area lies outside the edge of the infill service area, which depicts the area where the City encourages most of the City growth to develop in a fashion that maximizes use of existing road and utility infrastructure. The land within the Future Study Area classification is not anticipated to be developed within the City limits within the next 14 years. These areas are not excluded from development, but they will require future study to designate an appropriate land use. Planned infrastructure improvements may open these areas to development in the future. A Small Area Plan that coordinates the physical development of these areas is recommended prior to removing these areas from the Future Study Area designation. The boundary of the Small Area Plan shall be determined by the Planning Director and public infrastructure departments.

### **Development Types:**

- Residential homesteads;
- Large lot, single-family detached;
- Agricultural uses, storage and support uses, e.g., barns and related outbuildings;
- Agriculture-focused businesses; and
- Rural hamlets or villages.

### **Characteristics:**

- Rural character resulting from wide open landscapes, with minimal sense of enclosure and open views of the surrounding landscape in most places.
- Scattered residential development on relatively large acreages, resulting in very high open space ratios and very low site coverage (sometimes with residential “estate” areas providing a transition from rural to suburban densities, with estate lots typically being one to 5+ acres);
- Typically, no centralized water or sanitary sewer service available; thus, requiring the utilization of on-site septic (STEP) systems. Also, much greater reliance on natural drainage systems, except where it has been altered significantly by agricultural operations.
- Typically ditch-section roads without dedicated pedestrian facilities or streetlights.
- Potential for conservation developments that further concentrate the overall development footprint through cluster designs, with increased open space set-aside to maintain the overall rural character and buffer adjacent properties (may

also make alternative community wastewater treatment methods feasible to eliminate the need for individual on-site septic [STEP] systems).

**Suggested City Zoning Districts:**

- Not Applicable

While this zoning application is not consistent with the aforementioned adopted Comprehensive Plan Future Land Use Map, a Small Area Study is currently being conducted for this area with the expectation that this corridor will be designated as General Commercial (GC) to match the current development pattern along South Church Street / Shelbyville Pike. The Planning Commission will need to determine whether this is an appropriate instance to deviate from the adopted future land use map in order to allow this rezoning application to move forward.

**Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**



### **Recommendation:**

Staff is supportive of this zoning request as described above for the following reasons:

1. The proposed commercial use and zoning is consistent with the commercial development pattern and zoning along South Church Street.
2. The proposed use has been designed to be compatible with adjacent uses.
3. The proposed development will provide a needed service to the south side of the City and unincorporated areas to the south eliminating vehicular travel further north into the City.
4. The property is located within the Urban Growth Boundary.

### **Action Needed**

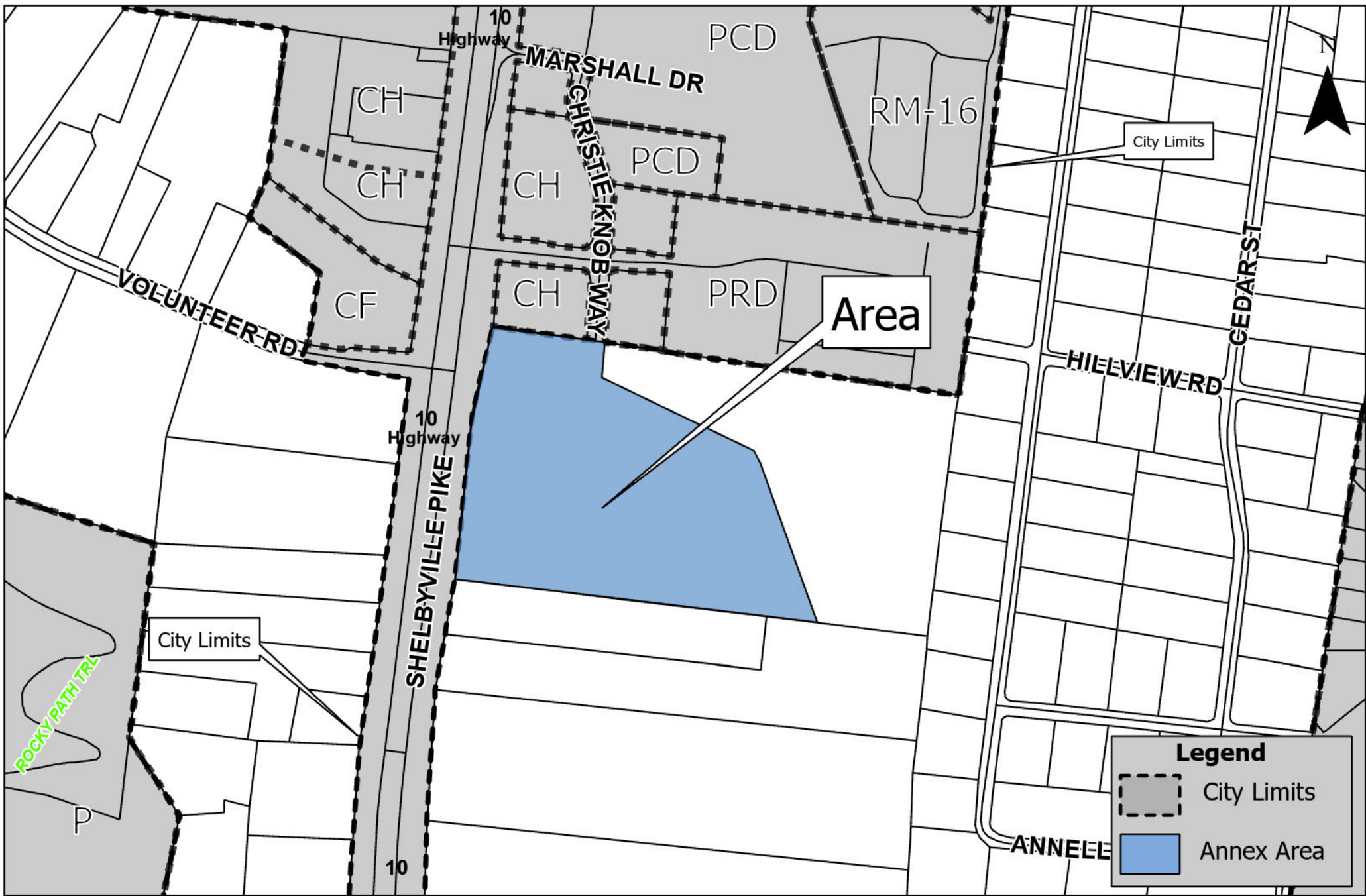
The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to the City Council.

### **Attachments**

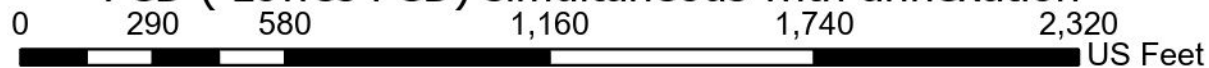
Non-Ortho Map

Ortho Map

Program Book



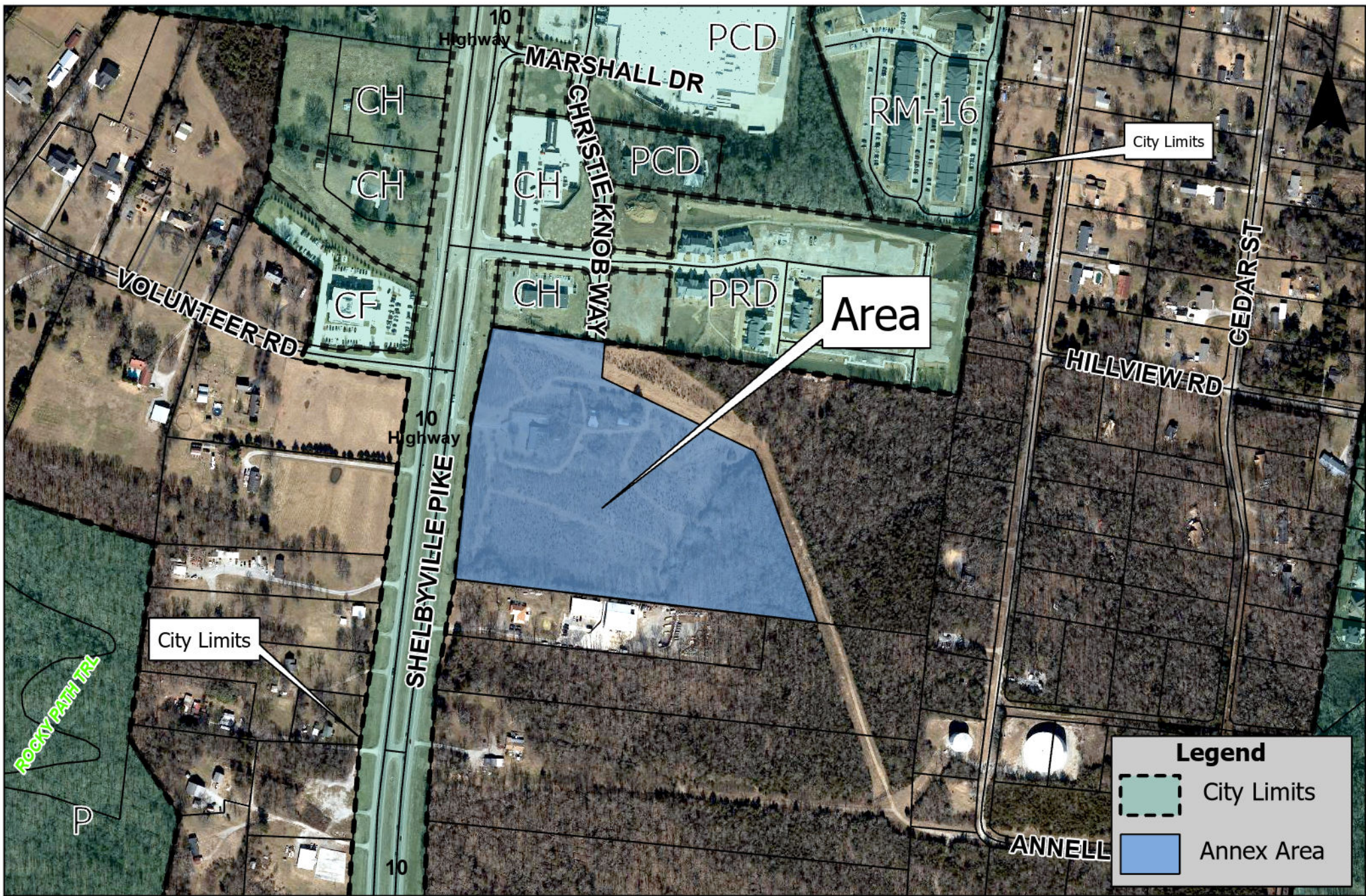
Zoning Request for property along Shelbyville Pike  
 PCD ( Lowes PCD) simultaneous with annexation



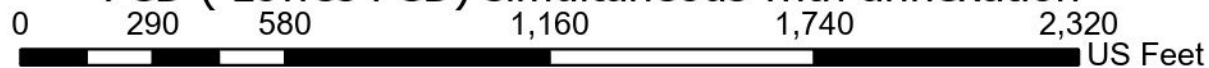
**Legend**

- City Limits
- Annex Area

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



Zoning Request for property along Shelbyville Pike  
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# PATTERN BOOK



3649 SHELBYVILLE PIKE

OWNER  
Lowe's Home Centers, LLC  
1000 Lowe's Boulevard  
 Mooresville, NC 28117  
Contact: David Deal

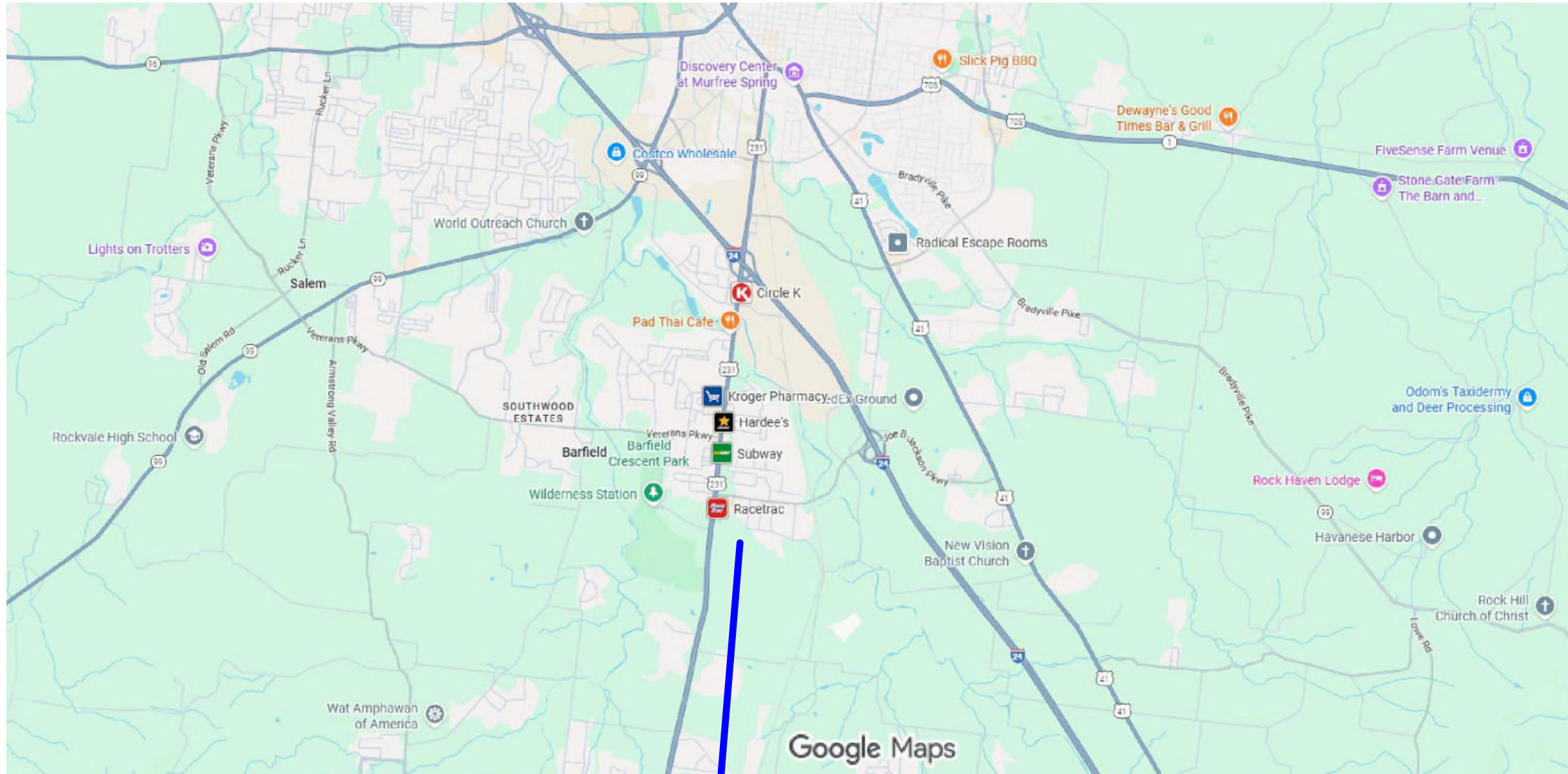
ENGINEER / LANDSCAPE ARCHITECT  
Freeland & Kauffman, Inc.  
209 West Stone Avenue  
Greenville, SC 29609  
Contact: Todd Simmons, PE

Re-Submitted May 20, 2026 for the June 3,  
2026 Planning Commission Public Hearing

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# SUMMARY



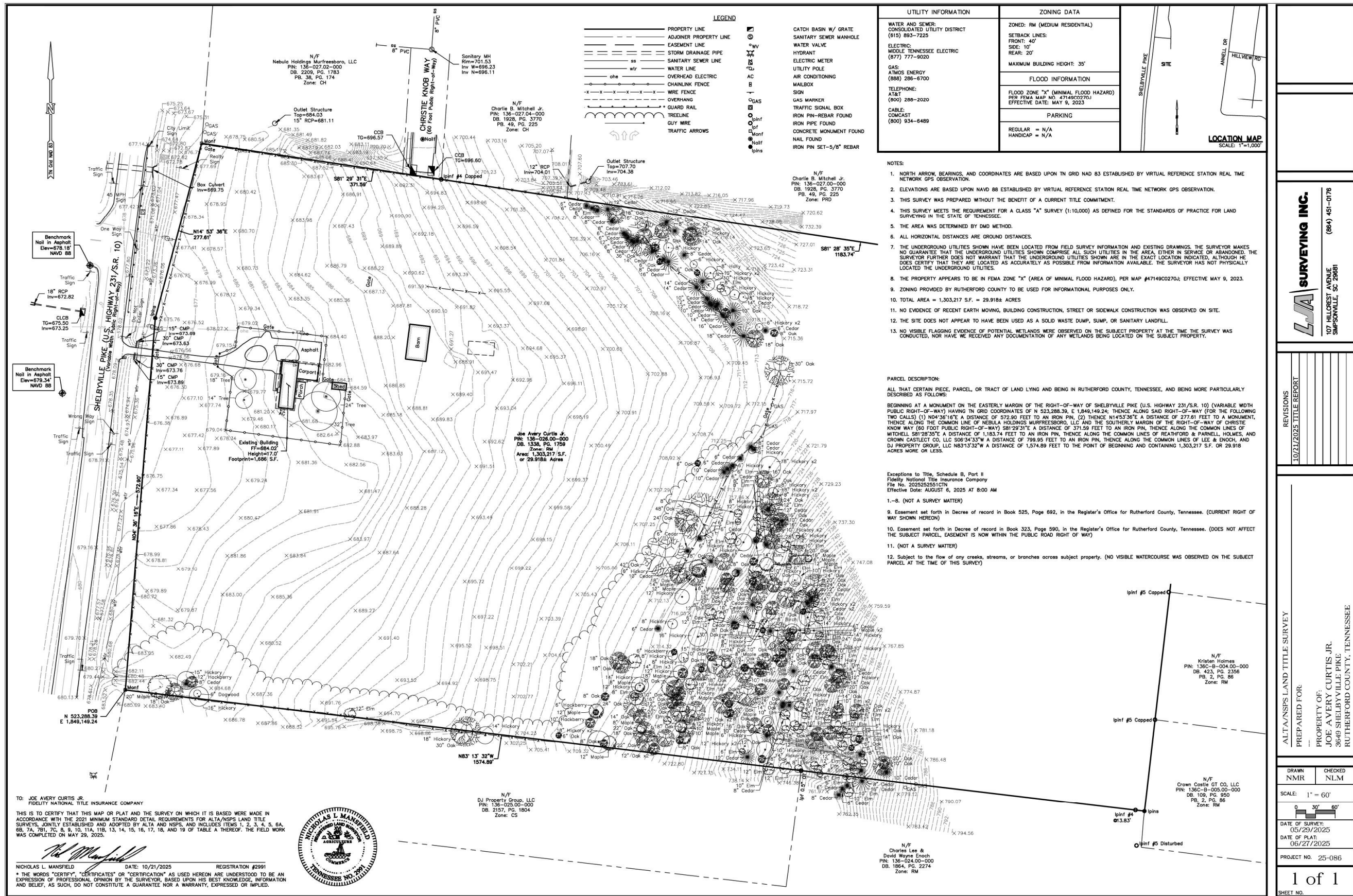
**LOWE'S**

**DESCRIPTION**  
The site is located on the east side of Shelbyville Pike, opposite of Volunteer Rd. The subject parcel is currently located in Rutherford County with a zoning designation of RM.

**ANNEXATION & ZONING**  
Joe Avery Curtis, Jr. is requesting the Murfreesboro to annex the Lowe's portion of Parcel 136-026.00-000 as shown on the Annexation Exhibit.

**ZONING**  
Lowe's is requesting the City of Murfreesboro to zone the annexed portion for the proposed Lowe's as Planned Commercial Development (PCD).

# EXISTING CONDITIONS



UTILITY INFORMATION	ZONING DATA
<b>WATER AND SEWER:</b> CONSOLIDATED UTILITY DISTRICT (615) 893-7225  <b>ELECTRIC:</b> MIDDLE TENNESSEE ELECTRIC (877) 777-9020  <b>GAS:</b> ATMOS ENERGY (888) 286-6700  <b>TELEPHONE:</b> AT&T (800) 288-2020  <b>CABLE:</b> COMCAST (800) 934-6489	ZONED: RM (MEDIUM RESIDENTIAL)  SETBACK LINES: FRONT: 40' SIDE: 10' REAR: 20'  MAXIMUM BUILDING HEIGHT: 35'  <b>FLOOD INFORMATION</b>  FLOOD ZONE "X" (MINIMAL FLOOD HAZARD) PER FEMA MAP NO. 47160C02701 EFFECTIVE DATE: MAY 9, 2023  PARKING  REGULAR = N/A HANDICAP = N/A

**NOTES:**

- NORTH ARROW, BEARINGS, AND COORDINATES ARE BASED UPON TN GRID NAD 83 ESTABLISHED BY VIRTUAL REFERENCE STATION REAL TIME NETWORK GPS OBSERVATION.
- ELEVATIONS ARE BASED UPON NAVD 88 ESTABLISHED BY VIRTUAL REFERENCE STATION REAL TIME NETWORK GPS OBSERVATION.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT.
- THIS SURVEY MEETS THE REQUIREMENT FOR A CLASS "A" SURVEY (1:10,000) AS DEFINED FOR THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF TENNESSEE.
- THE AREA WAS DETERMINED BY DMD METHOD.
- ALL HORIZONTAL DISTANCES ARE GROUND DISTANCES.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THE PROPERTY APPEARS TO BE IN FEMA ZONE "X" (AREA OF MINIMAL FLOOD HAZARD), PER MAP #47160C02701; EFFECTIVE MAY 9, 2023.
- ZONING PROVIDED BY RUTHERFORD COUNTY TO BE USED FOR INFORMATIONAL PURPOSES ONLY.
- TOTAL AREA = 1,303,217 S.F. = 29.918 ACRES
- NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, STREET OR SIDEWALK CONSTRUCTION WAS OBSERVED ON SITE.
- THE SITE DOES NOT APPEAR TO HAVE BEEN USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- NO VISIBLE FLAGGING EVIDENCE OF POTENTIAL WETLANDS WERE OBSERVED ON THE SUBJECT PROPERTY AT THE TIME THE SURVEY WAS CONDUCTED, NOR HAVE WE RECEIVED ANY DOCUMENTATION OF ANY WETLANDS BEING LOCATED ON THE SUBJECT PROPERTY.

**PARCEL DESCRIPTION:**  
 ALL THAT CERTAIN PIECE, PARCEL, OR TRACT OF LAND LYING AND BEING IN RUTHERFORD COUNTY, TENNESSEE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A MONUMENT ON THE EASTERLY MARGIN OF THE RIGHT-OF-WAY OF SHELBYVILLE PIKE (U.S. HIGHWAY 231/SR. 10) (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY) HAVING IN GRID COORDINATES OF N 523,288.39, E 1,849,149.24; THENCE ALONG SAID RIGHT-OF-WAY (FOR THE FOLLOWING TWO CALLS) (1) N04°36'16"E A DISTANCE OF 572.90 FEET TO AN IRON PIN, (2) THENCE N14°53'36"E A DISTANCE OF 277.81 FEET TO A MONUMENT, THENCE ALONG THE COMMON LINE OF NEBULA HOLDINGS MURFREESBORO, LLC AND THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF CHRISTIE KNOB WAY (60 FOOT PUBLIC RIGHT-OF-WAY) S81°29'31"E A DISTANCE OF 371.59 FEET TO AN IRON PIN, THENCE ALONG THE COMMON LINES OF MITCHELL, S81°28'35"E A DISTANCE OF 1,183.74 FEET TO AN IRON PIN, THENCE ALONG THE COMMON LINES OF RUTHERFORD & PARNELL, HOLMES, AND CROWN CASTLE CO, LLC S06°34'33"W A DISTANCE OF 799.95 FEET TO AN IRON PIN, THENCE ALONG THE COMMON LINES OF LEE & ENOCH, AND DJ PROPERTY GROUP, LLC N83°13'32"W A DISTANCE OF 1,574.89 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,303,217 S.F. OR 29.918 ACRES MORE OR LESS.

Exceptions to Title, Schedule B, Part II  
 Fidelity National Title Insurance Company  
 File No. 202525251CTN  
 Effective Date: AUGUST 6, 2025 AT 8:00 AM

- 1.-8. (NOT A SURVEY MATTER)
9. Easement set forth in Decree of record in Book 525, Page 692, in the Register's Office for Rutherford County, Tennessee. (CURRENT RIGHT OF WAY SHOWN HEREON)
10. Easement set forth in Decree of record in Book 323, Page 590, in the Register's Office for Rutherford County, Tennessee. (DOES NOT AFFECT THE SUBJECT PARCEL, EASEMENT IS NOW WITHIN THE PUBLIC ROAD RIGHT OF WAY)
11. (NOT A SURVEY MATTER)
12. Subject to the flow of any creeks, streams, or branches across subject property. (NO VISIBLE WATERCOURSE WAS OBSERVED ON THE SUBJECT PARCEL AT THE TIME OF THIS SURVEY)

TO: JOE AVERY CURTIS JR.  
 FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8A, 8B, 7A, 7B, 7C, 8, 9, 10, 11A, 11B, 13, 14, 15, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 29, 2025.

NICHOLAS L. MANSFIELD DATE: 10/21/2025 REGISTRATION #2991  
 \* THE WORDS "CERTIFY", "CERTIFICATE" OR "CERTIFICATION" AS USED HEREON ARE UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, DO NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.



**LMA SURVEYING INC.**  
 (864) 451-0176  
 107 HILLCREST AVENUE  
 SIMPSONVILLE, SC 29681

REVISIONS

NO.	DATE	DESCRIPTION
1	10/21/2025	TITLE REPORT

ALTA/NSPS LAND TITLE SURVEY  
 PREPARED FOR:  
 PROPERTY OF:  
 JOE AVERY CURTIS JR.  
 3649 SHELBYVILLE PIKE  
 RUTHERFORD COUNTY, TENNESSEE

DRAWN	CHECKED
NMR	NLM

SCALE: 1" = 60'  
  
 DATE OF SURVEY: 05/29/2025  
 DATE OF PLAT: 06/27/2025  
 PROJECT NO. 25-086

1 of 1

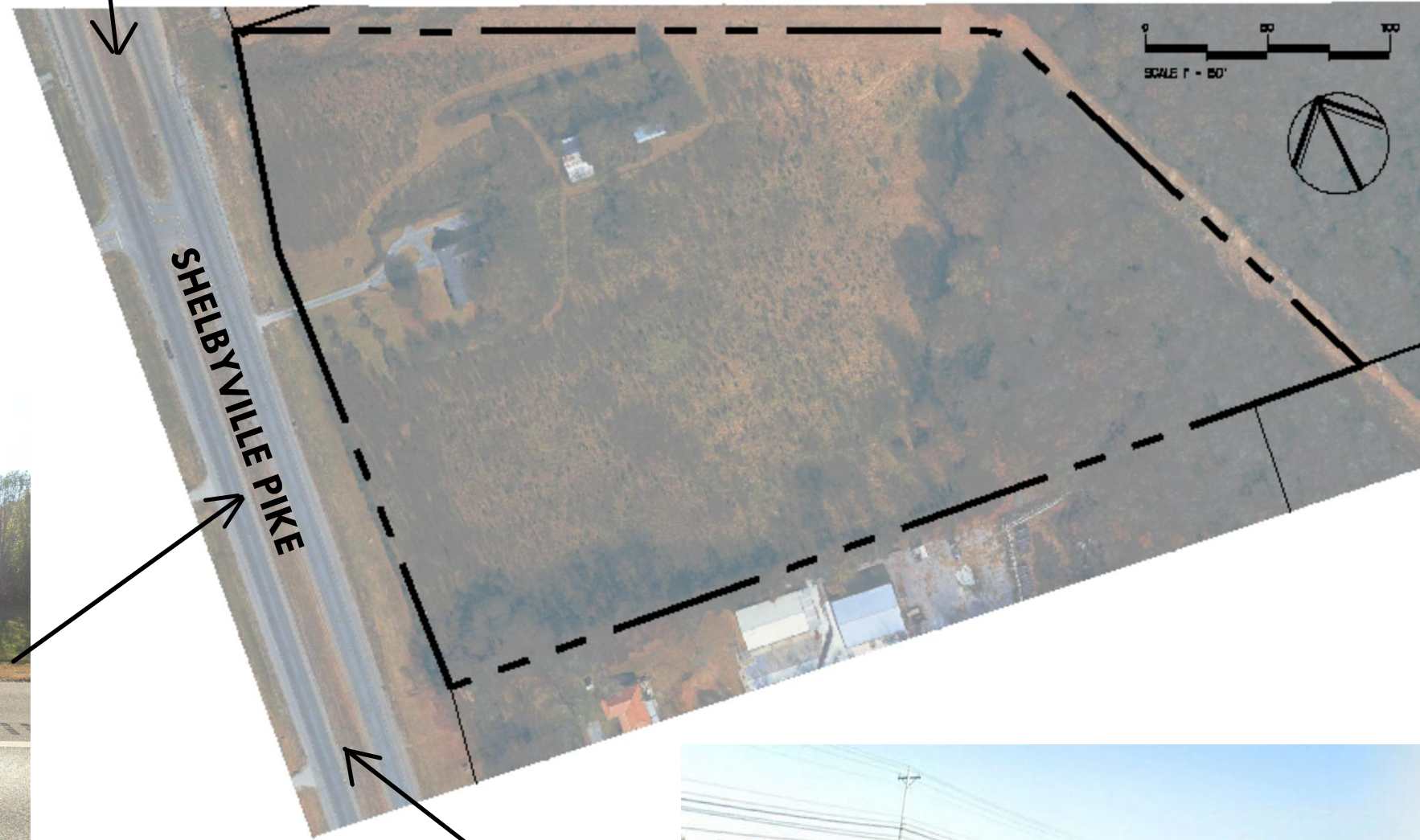
SHEET NO.

# EXISTING CONDITIONS (Cont.)

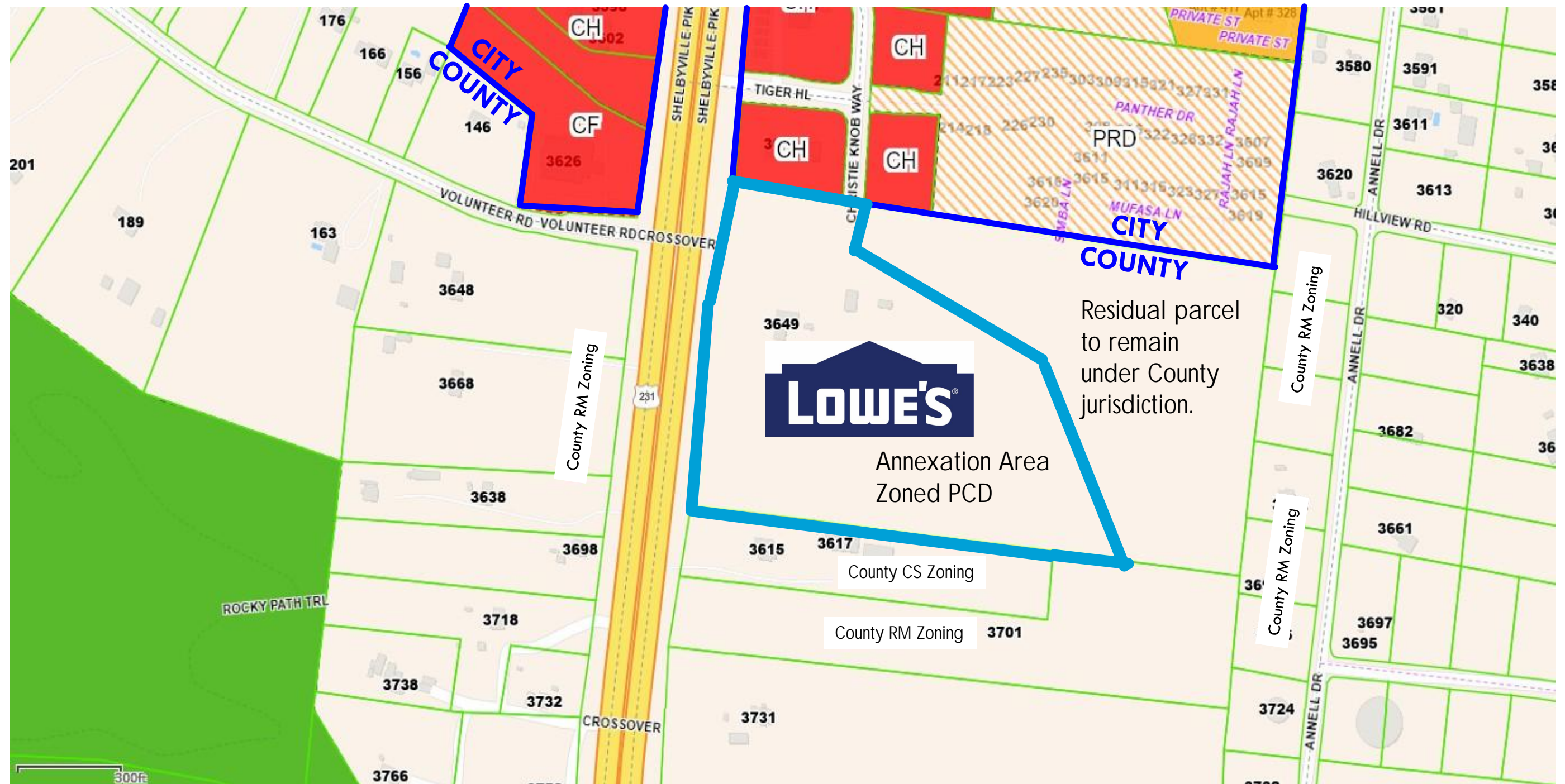


Water:  
Sewer:  
Electric:  
Telephone:  
Gas:

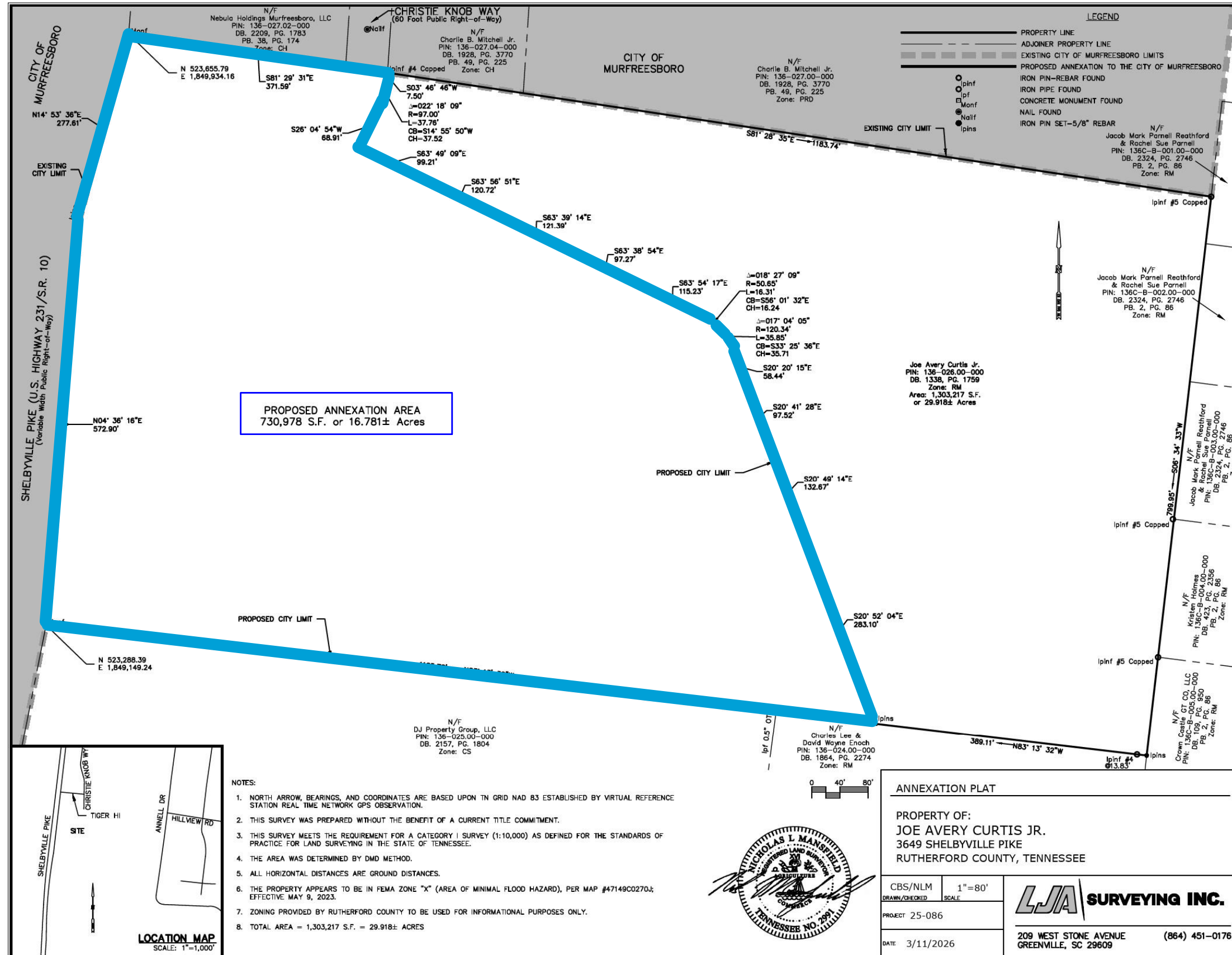
UTILITY PROVIDERS  
Consolidated Utility District  
Murfreesboro Water Resources Dept.  
Middle Tennessee Electric  
AT&T  
Atmos Energy



# EXISTING CONDITIONS (Cont.)



# ANNEXATION EXHIBIT





# DEVELOPMENT STANDARDS & ALLOWABLE USES

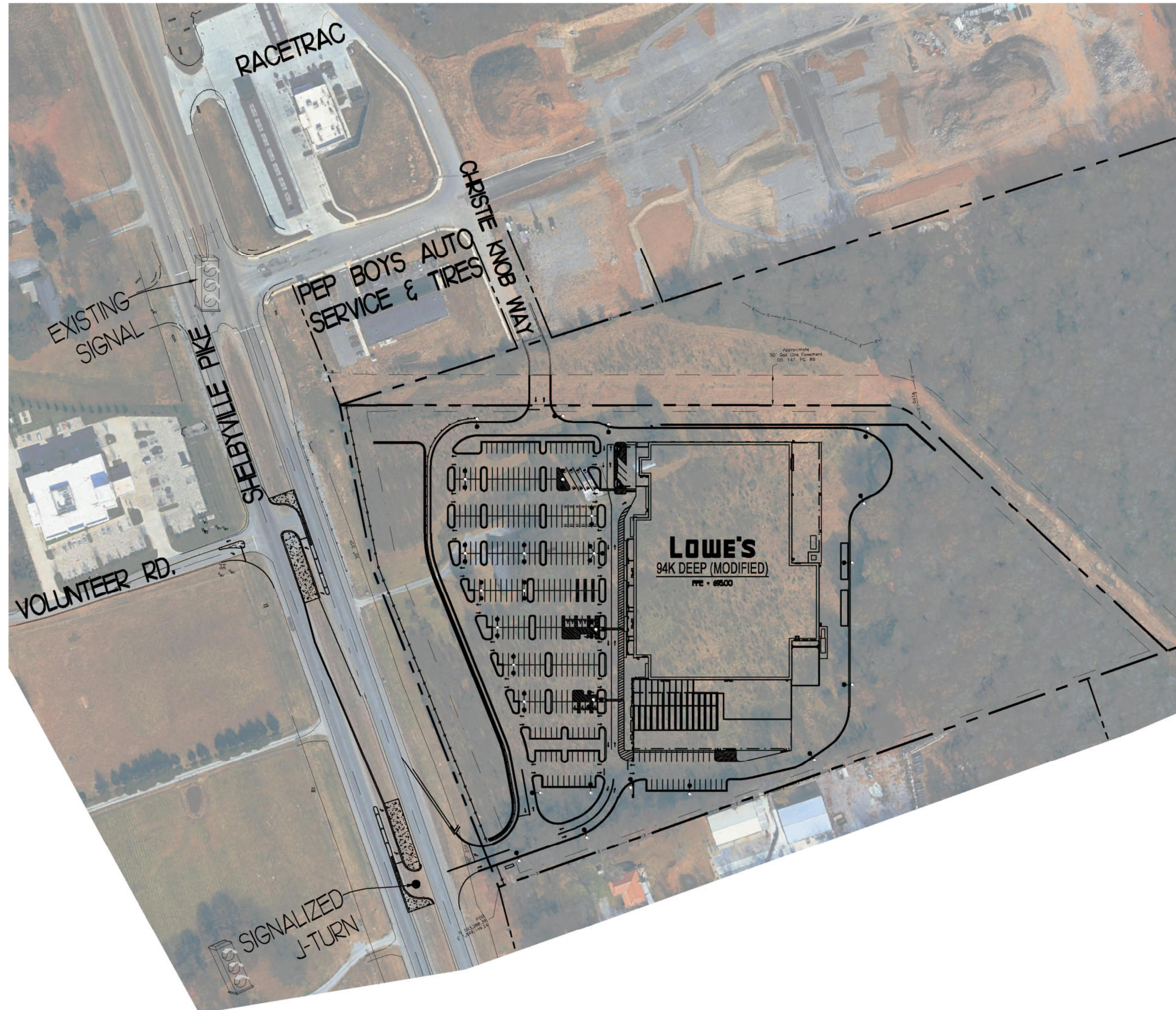
## Development Standards

- The development will consist of 16.781 acres for the anticipated use of Lowe's home improvement store.
- Lowe's building shall have a maximum of 107,136 sf of floor area and 30,360 sf of garden center area.
- Building height shall not exceed 40 feet in height.
- All signage shall have materials consistent with the building architecture and be accented with landscaping.
- Banners and promotional banners are proposed for the following events: Opening, Grand Opening, Spring Sales events
- Any solid waste enclosures shall be constructed of materials consistent with building architecture and in line with city standards.
- All mechanical equipment located on the ground (i.e. hvac and transformers) or on the roof of building and shall be screened from public right-of-way.
- All on-site utilities will be underground.
- On site lighting will comply with Murfreesboro Zoning Ordinance performance standards to reduce light pollution while providing safety for customers and employees.
- Parking for patrons will comply with the Murfreesboro Zoning Ordinance in surface material and size of spaces. The proposal provides 294 regular spaces + 11 accessible spaces for a total of 305 available customer spaces.
- Outdoor sales / storage / display will be limited to the areas shown on the attached plan.

## Proposed Allowable Uses

This PCD request is to allow all uses associated Lowe's Home Improvement Retail Facility (retail, lumber, paint, nursery, etc.). Additionally, both permanent and seasonal outdoor sales / storage / display will be allowed as noted on the attached site plan. No temporary or permanent vendors (ie mobile food service vehicles & etc.) are proposed to be permitted.

# OVERALL SITE PLAN



# INGRESS/EGRESS



## PROPOSED ACCESS

The development team has had multiple discussions with both TDOT & City regarding proposed vehicular access. The access noted below and depicted on the site plan is a result of those discussions.

- Direct access to Shelbyville Pike will be on the southern side of the site via a right-in/right-out/left-in only drive. It is anticipated that this movement will be signalized.
- The existing intersection of Volunteer Drive @ Shelbyville Pike is proposed to be modified to be a left-in/right-in/right-out only intersection where left turns from Volunteer Drive to Shelbyville Pike are restricted.
- Internal connectivity is proposed with the existing development to the north via a connection to Christie Knob Way. This will provide access to the signal and the Wal-Mart development without accessing Shelbyville Pike.

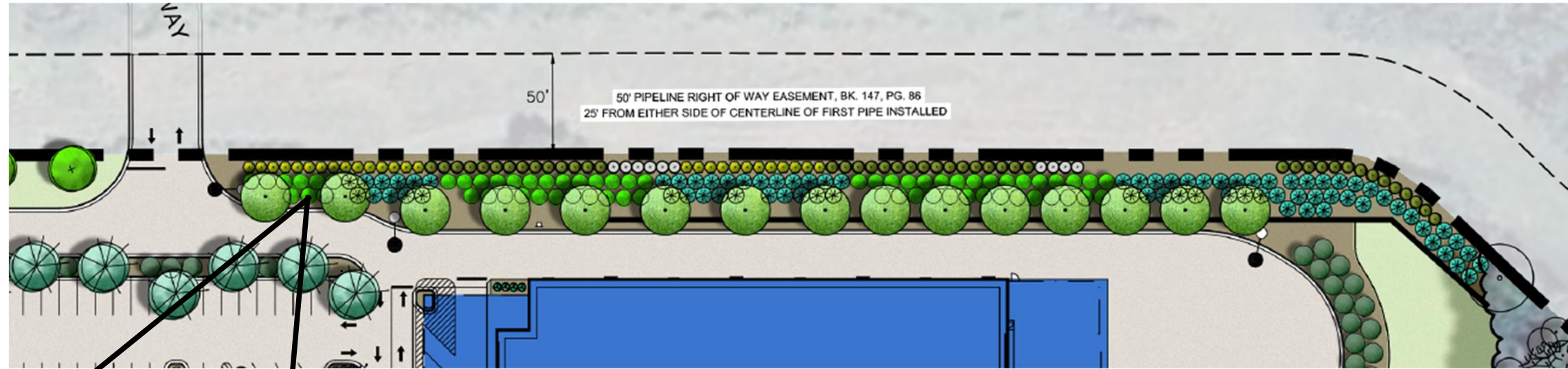
# CONCEPTUAL LANDSCAPE PLAN



## REQUIREMENTS:

- Planting Yards
  - Proposed Shade trees
  - Existing trees
  - Shrubs & trees along front
- Parking Lot
  - Interior Green Space
  - Trees
  - Shrubs
- Foundation Plantings
  - Trees
  - Shrubs
- Buffers (Re: pages 12 & 13)
  - Existing Trees
  - Shade trees
  - Ornamental trees
  - Evergreen trees
  - Shrubs

# LANDSCAPE PLAN (Cont.)



## NORTH BUFFER (12' WIDE TYPE C)

- 121 Evergreen (Broad) Trees
- 63 Medium Evergreen Shrubs



### Evergreen Trees

- Green Giant Arborvitae
- Eastern Redcedar
- Fortune's Tea Olive



### Ornamental Trees

- 'Forest Pansy' Redbud
- Autumn Brilliance Serviceberry

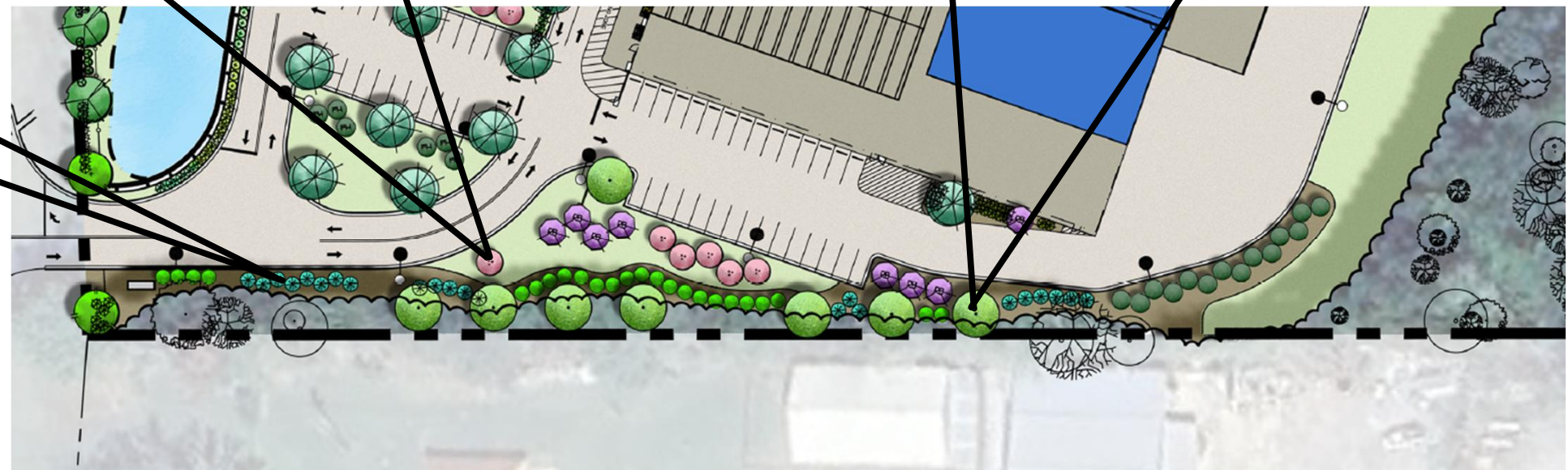


### Shade Trees

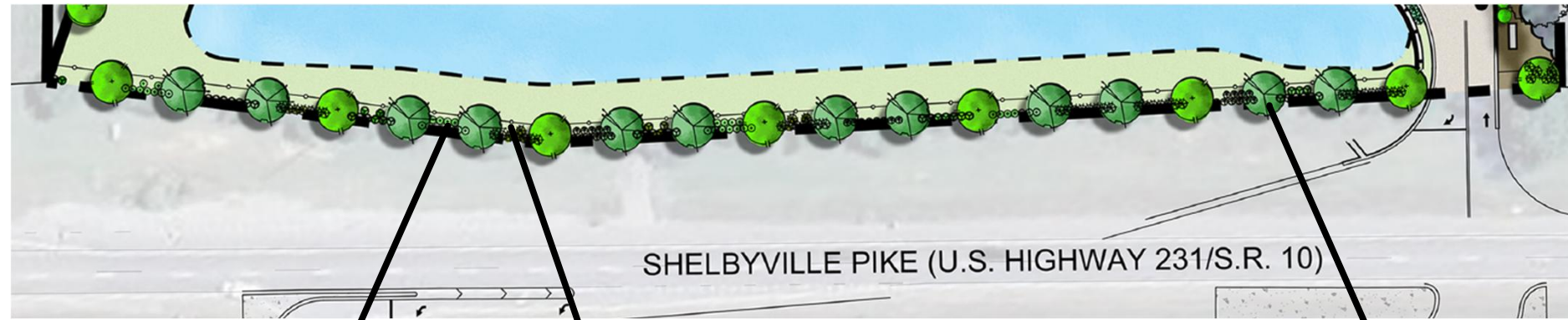
- Autumn Blaze Red Maple
- Upright European Hornbeam
- White Oak
- Shumard Oak
- Drake (Chinese) Elm
- Katsura Tree

## SOUTH BUFFER (10' WIDE TYPE A, OPTION 1)

- 46 Evergreen (Broad) Trees
- 13 Shade Trees
- 13 Ornamental Trees



# LANDSCAPE PLAN (Cont.)



Split Rail Fence, see Enlarged Elevations, Sheet 16 For Detail

## Shrubs

- Dwarf Fothergilla
- Frost Proof Gardenia
- Compact Cranberry Bush
- Dense Yew

## Shade Trees

- Upright European Hornbeam
- White Oak

## FRONT PLANTING YARD

- 10' Wide
- 20 Shade Trees
- 162 Evergreen Shrubs

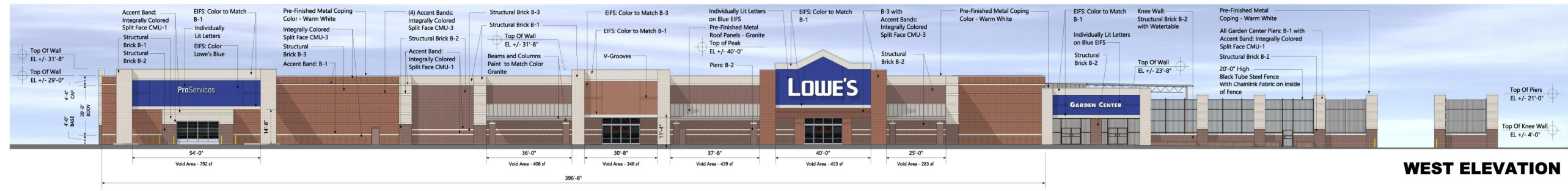


Lowe's street yard to "mimic" nearby Wal-Mart street yard with use of shade trees, shrubs, and split rail fencing.

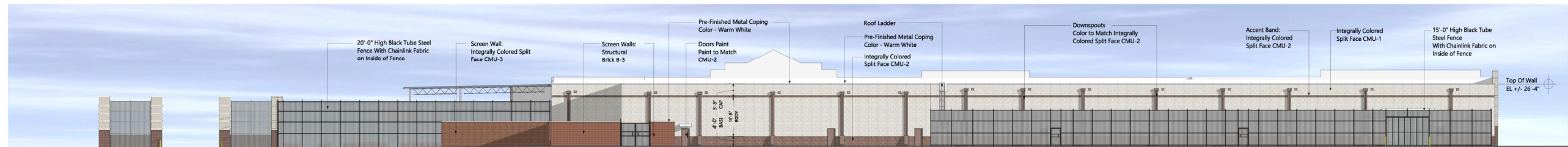
# COLOR ELEVATIONS



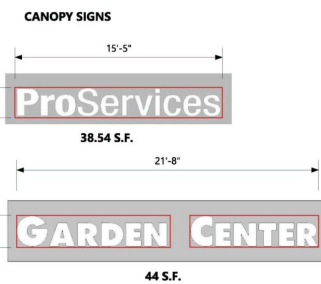
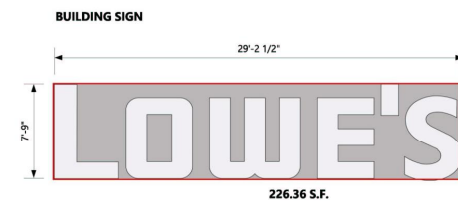
**LOWE'S OF MURFREESBORO, TN**



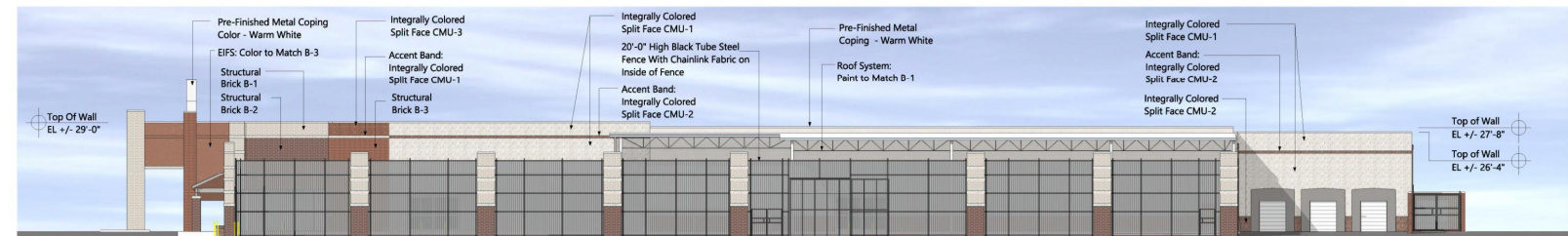
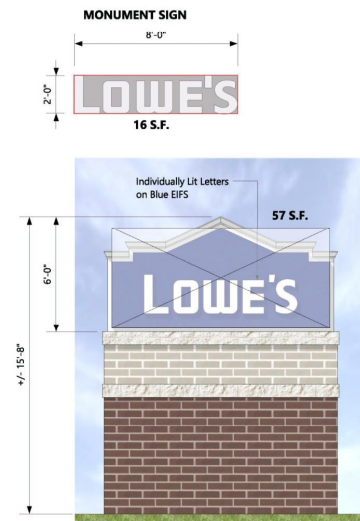
**WEST ELEVATION**



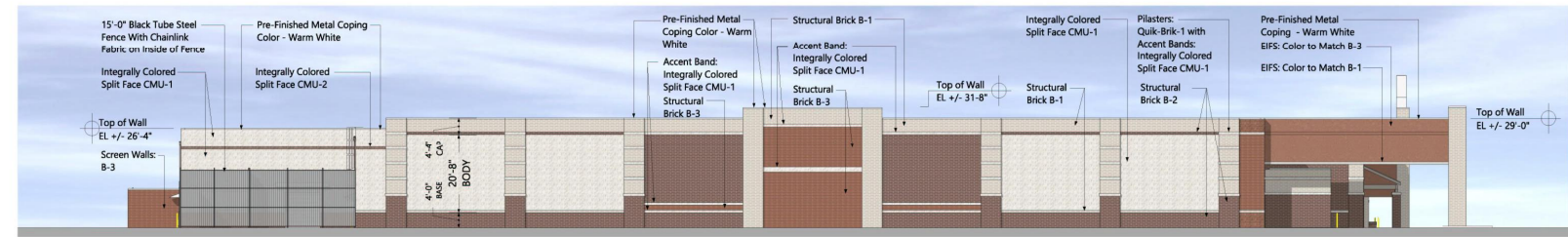
**EAST ELEVATION**



Note: Red Outline Denote Sign Square Footage Boundaries



**SOUTH ELEVATION**



**NORTH ELEVATION**

**BLUE RIDGE ARCHITECTURE**

**REPRESENTATION ONLY NOT FOR CONSTRUCTION**



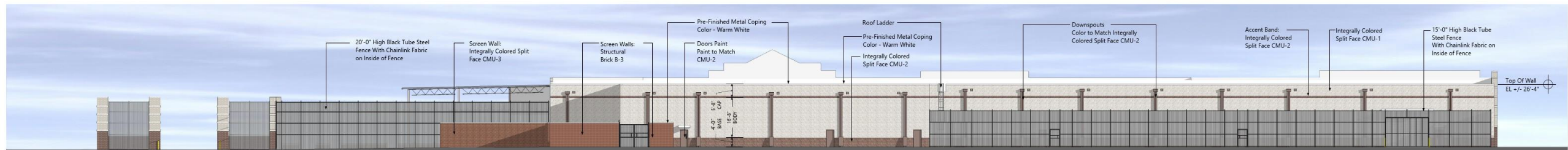
BUILDING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.

**MURFREESBORO, TN**  
RH 94 DEEP 03-10-26

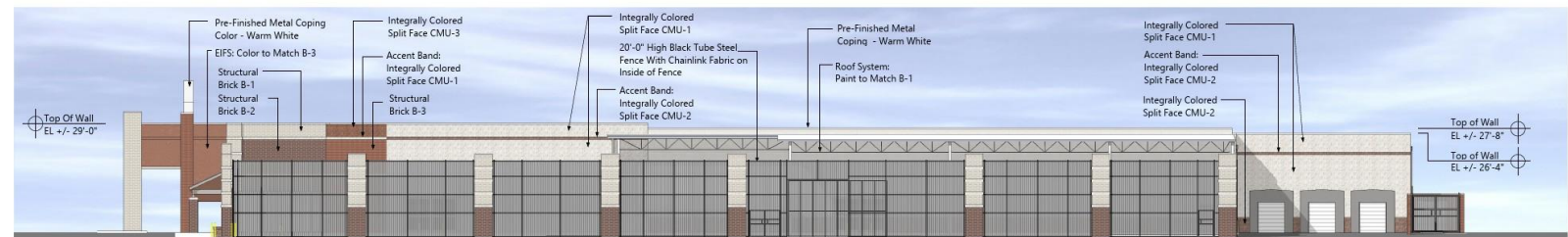
# COLOR ELEVATIONS WITHOUT SIGNAGE



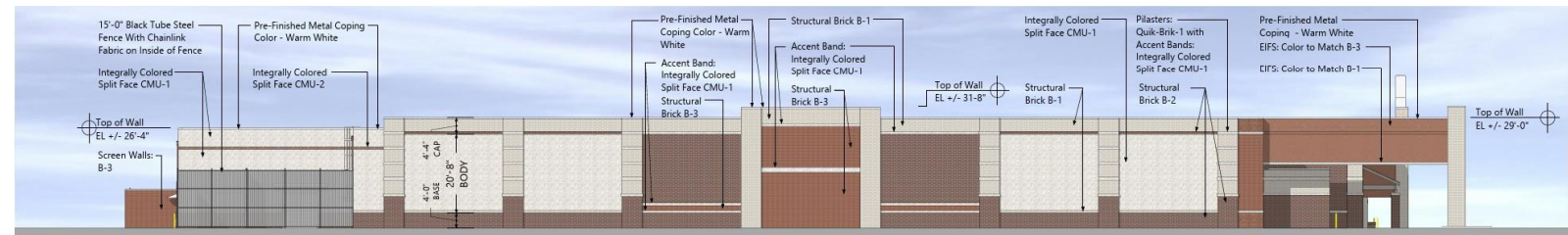
**WEST ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**NORTH ELEVATION**

**BLUE RIDGE  
ARCHITECTURE**

**REPRESENTATION ONLY  
NOT FOR CONSTRUCTION**



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**MURFREESBORO, TN**  
RH 94 DEEP 04-07-26

# ENLARGED COLOR ELEVATIONS



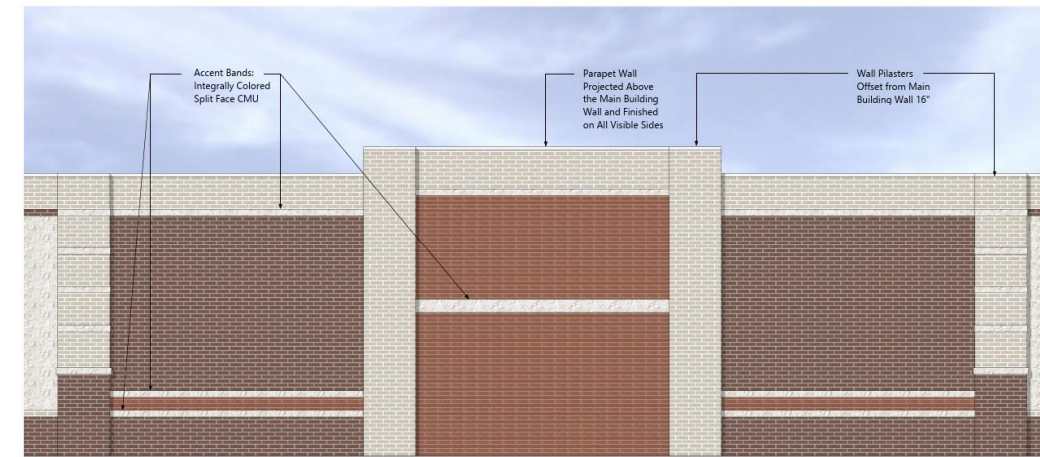
**WEST ELEVATION - PROSERVICES ENTRANCE**



**WEST ELEVATION - MAIN ENTRANCE**



**WEST ELEVATION - GARDEN CENTER ENTRANCE**



**NORTH ELEVATION - CENTRAL FEATURE**



**FENCE ELEVATION**

**BLUE RIDGE  
ARCHITECTURE**

**REPRESENTATION ONLY  
NOT FOR CONSTRUCTION**



BUILDING IMAGES SHOWN ARE A REPRESENTATION OF THE DESIGN INTENT AND MAY NOT REFLECT ANY SUBTLE VARIATIONS IN COLOR, MATERIAL OR CONSTRUCTION THAT MAY OCCUR DUE TO LOCAL MATERIAL DIFFERENCES AND FINAL DESIGN DETAILING.

**ENLARGED  
ELEVATIONS**

# ENLARGED COLOR ELEVATIONS WITHOUT SIGNAGE



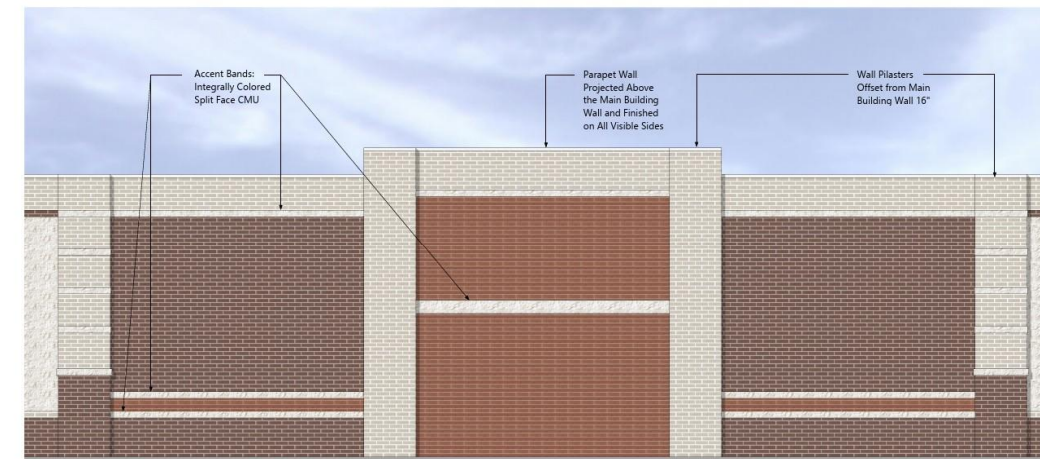
**WEST ELEVATION - PROSERVICES ENTRANCE**



**WEST ELEVATION - MAIN ENTRANCE**



**WEST ELEVATION - GARDEN CENTER ENTRANCE**



**NORTH ELEVATION - CENTRAL FEATURE**



**FENCE ELEVATION**

**BLUE RIDGE  
ARCHITECTURE**

**REPRESENTATION ONLY  
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**ENLARGED  
ELEVATIONS**

# ARCHITECTURAL DESIGN CRITERIA



## ARCHITECTURAL CHARACTERISTICS:

### General Character

- The building's architectural style, color palette, and materials are in relationship with the buildings close by along Shelbyville Pike.

### Heights and Setbacks

- The proposed store is a 1-story building with more than 20' setbacks along the front and rear walls, variations in heights on all sides, offset entrances, and a decorated Garden Center enclosure.

### Building Mass and Proportion

- The building has varying heights to emphasize the Main Entrance, Main Exit, ProServices, and Garden Center entrances.
- Each Façade is divided into sections no more than 40 feet in width.
- Use of building pilasters and piers to reinforce the verticality and rhythm.
- The front façade colonnade is covered by canopies of different heights and related to the human scale.

### Building Composition and Rhythm

- Pilasters and horizontal accent bands are visible on three sides of the building to the public.
- All entrances are offset from the building's main wall, well defined with covered porticos, and oriented toward the main street.
- The front façade incorporated a colonnade with canopies and wall pilasters to establish a rhythmic pattern.

### Transparency, Articulation, and Expression

- The ground level of the front façade/west elevation has about 56% of void area of the total façade length or about 24% of the total façade area:  
Void Length: 54'0" + 36'0" + 30'8" + 37'8" + 40'0" + 25'0" = 223'4"; Total Length: 396'8"; Percentage: 223'4"/396'8" = 0.56x100% = 56%  
Void Area: 792+408+348+439+453+283=2,723 sf; Total Area: 11,503 sf  
Percentage: 2,723/11,503 = 0.24x100% = 24%
- Base, body, and cap: All four sides of the store have a 4-foot-high base (change of color, texture, or defined by an accent band). The body of the building is integrally colored split-face CMU or structural brick with structural brick pilasters or piers, accounting for more than 50% of the building. The cap is established by using different materials and colors along three sides of the building.

## Materials

### West Elevation - Front Elevation (direct public visibility)

- Primary materials - structural brick
- Secondary materials - integrally colored split-face CMU, EIFS, pre-finished architectural metal panels, and black tube steel fence with black mesh
- Tertiary materials - prefinished metal coping

### East Elevation - Rear Elevation

- Primary materials - integrally colored split-face CMU and structural brick
- Secondary materials - a black tube steel fence with black mesh on the interior side
- Tertiary materials - prefinished metal coping and metal downspouts

### South Elevation - Garden Center Fenced Area

- Primary materials - structural brick (piers) with black tube steel fence with black mesh on the interior side (open fenced area)
- Secondary materials - integrally colored split-face CMU
- Tertiary materials - prefinished metal coping

### North Elevation - Left Elevation (direct public visibility)

- Primary materials - structural brick
- Secondary materials - integrally colored split-face CMU, EIFS, and a black tube steel fence with black mesh on the interior side
- Tertiary materials - prefinished metal coping

## Color

- Primary building materials pallet - three colors: off-whites, medium brown, and brick-red
- Secondary building materials pallet - two colors: "Granite" and "Lowe's Blue"
- Tertiary building materials pallet - black

## Roof Design

- All roof-mounted equipment is screened by parapet walls on all sides of the building.
- All primary customer entrances of the building are extended vertically above the main building wall and emphasized by a contrasting cap.
- The west elevation has a variation in canopy height and pitch.

PROJECT MATERIAL LEGEND					
NOTE: REFER TO ARCHITECTURAL CHARACTERISTICS FOR USE OF THE MATERIALS ON THE BUILDING ELEVATIONS					
STRUCTURAL BRICK	HARVARD-BRICK B-1 "WHITE"	INTEGRALLY COLORED SPLIT FACE CMU	CMU-1 "SNOW WHITE"	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	COLOR TO MATCH B-3
	HARVARD-BRICK B-2 "MESABA"		CMU-2 "COUCH HOUSE COFFEE"		COLOR LOWE'S BLUE
	QUIK-BRICK B-3 "SANDALWOOD"		CMU-3 "RICHFIELD"		COLOR TO MATCH B-1
				ARCHITECTURAL METAL PANELS	PREFINISHED STANDING SEAM AT 16" O.C. COLOR "GRANITE"
				ORNAMENTAL FENCE	BLACK TUBE STEEL FENCE
					PREFINISHED METAL COPING AND TRIM COLOR "WARM WHITE"
					METAL DOWNSPOUTS AND METAL DOORS PAINT TO MATCH CMU-2

PROJECT COLOR PALLET LEGEND		
PRIMARY COLORS	SECONDARY COLORS	TERTIARY COLORS
OFF-WHITES	"GRANITE"	BLACK
MEDIUM BROWN	LOWE'S BLUE	
BRICK-RED		

**LOWE'S OF MURFREESBORO, TN**  
**ARCHITECTURAL DESIGN**

# ARCHITECTURAL DESIGN CRITERIA WITHOUT SIGNAGE



## ARCHITECTURAL CHARACTERISTICS:

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### Transparency, Articulation, and Expression

- The ground level of the front façade/west elevation has about 56% of void area of the total façade length or about 24% of the total façade area:  
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Void Area: 792+408+348+439+453+283=2,723 sf; Total Area: 11,503 sf  
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## Materials

### West Elevation - Front Elevation (direct public visibility)

- Primary materials - structural brick
- Secondary materials - integrally colored split-face CMU, EIFS, pre-finished architectural metal panels, and black tube steel fence with black mesh
- Tertiary materials - prefinished metal coping

### East Elevation - Rear Elevation

- Primary materials - integrally colored split-face CMU and structural brick
- Secondary materials - a black tube steel fence with black mesh on the interior side
- Tertiary materials - prefinished metal coping and metal downspouts

### South Elevation - Garden Center Fenced Area

- Primary materials - structural brick (piers) with black tube steel fence with black mesh on the interior side (open fenced area)
- Secondary materials - integrally colored split-face CMU
- Tertiary materials - prefinished metal coping

### North Elevation - Left Elevation (direct public visibility)

- Primary materials - structural brick
- Secondary materials - integrally colored split-face CMU, EIFS, and a black tube steel fence with black mesh on the interior side
- Tertiary materials - prefinished metal coping

## Color

- Primary building materials pallet - three colors: off-whites, medium brown, and brick-red
- Secondary building materials pallet - two colors: "Granite" and "Lowe's Blue"
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## Roof Design

- All roof-mounted equipment is screened by parapet walls on all sides of the building.
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PROJECT MATERIAL LEGEND					
NOTE: REFER TO ARCHITECTURAL CHARACTERISTICS FOR USE OF THE MATERIALS ON THE BUILDING ELEVATIONS					
STRUCTURAL BRICK	HARVARD-BRICK B-1 "WHITE"	INTEGRALLY COLORED SPLIT FACE CMU	CMU-1 "SNOW WHITE"	EXTERIOR INSULATION FINISH SYSTEM (EIFS)	COLOR TO MATCH B-3
	HARVARD-BRICK B-2 "MESABA"		CMU-2 "COUCH HOUSE COFFEE"		COLOR LOWE'S BLUE
	QUIK-BRICK B-3 "SANDALWOOD"		CMU-3 "RICHFIELD"		COLOR TO MATCH B-1
				ARCHITECTURAL METAL PANELS	PREFINISHED STANDING SEAM AT 16" O.C. COLOR "GRANITE"
				ORNAMENTAL FENCE	BLACK TUBE STEEL FENCE
					PREFINISHED METAL COPING AND TRIM COLOR "WARM WHITE"
					METAL DOWNSPOUTS AND METAL DOORS PAINT TO MATCH CMU-2

PROJECT COLOR PALLET LEGEND		
PRIMARY COLORS	SECONDARY COLORS	TERTIARY COLORS
OFF-WHITES	"GRANITE"	BLACK
MEDIUM BROWN	LOWE'S BLUE	
BRICK-RED		

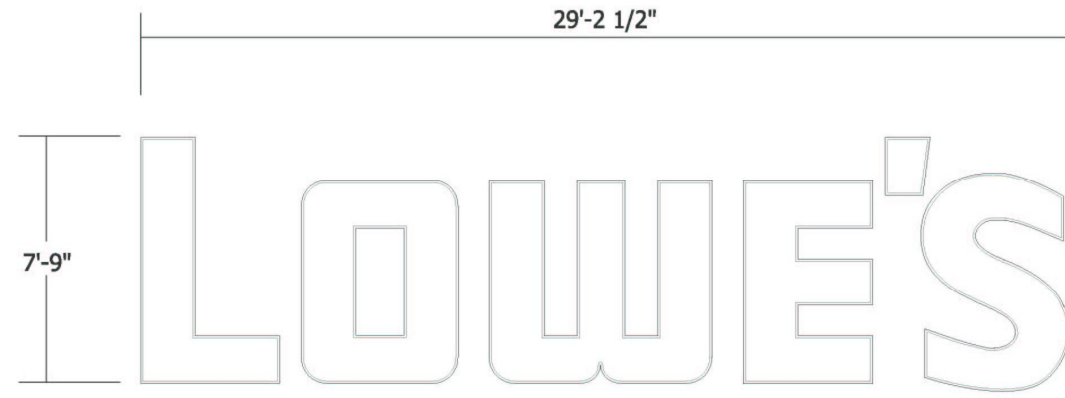
**LOWE'S OF MURFREESBORO, TN**  
**ARCHITECTURAL DESIGN**

# MISC. DETAILS

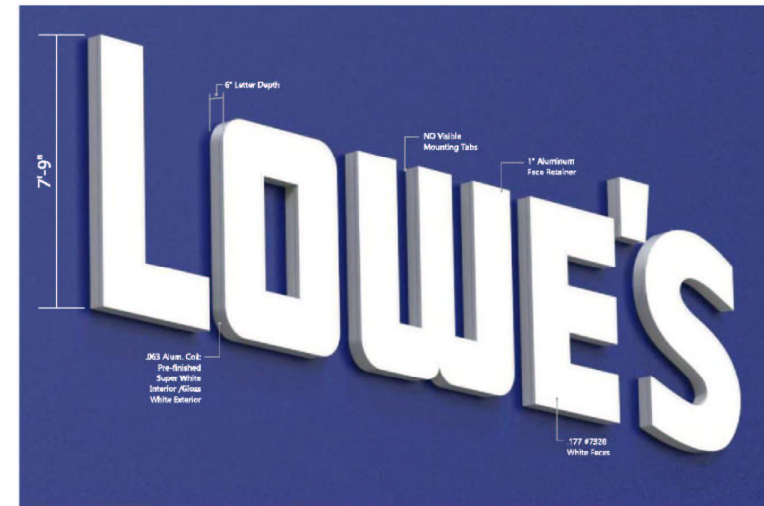


87" wide x 72" high RF 10005 black perimeter  
fence panel by Jewett-Cameron Company

# SIGNAGE



1 Scale: 3/16" = 1'-0"



ELECTRICAL NOTES	
1.	All materials and fasteners meet 3004.4
2.	All electrical components are UL listed, labeled and approved.
3.	Sign grounded according to NEC 6007.7
4.	Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5.	All branch circuits per NEC 600.5(B).1 or (B).2.
6.	All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7.	One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

## SCOPE OF WORK

Manufacture and install set of internally illuminated Channel Letters.

## COLOR SCHEDULE

- FACES: 7328 White
- METAL RETAINERS: Gloss White Enamel
- METAL RETURNS: Gloss White

## SPECIFICATION

- All letters constructed of aluminum: .080 backs, .063 pre-finished (Super White interior / Gloss White exterior).
- Letters internally re-inforced by break-formed .063 aluminum Gussets.
- All letter faces of .177 SG 05, 7328 White.
- Faces held in place with .125 x 1" (face) x 2" aluminum retainers.
- Internal illumination by white 24V SloanLED Prism or GE modules (7100K). All wiring UL approved.
- Letters installed flush to exterior fascia via 3/8" Riv-Nuts and 3/8" thru-bolt: thru 2" x 10" wood blocking (by GC) behind fascia.

## SQUARE FOOTAGE

Allowed: 1 sf per lf of building frontage  
Proposed Square Footage = 226.36 Sq Ft

Portico with Lowe's Sign  
Offsets from the Main  
Building Wall about 14'



**WEST ELEVATION**  
Scale: 3/32" = 1'-0"



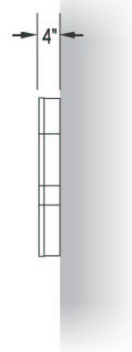
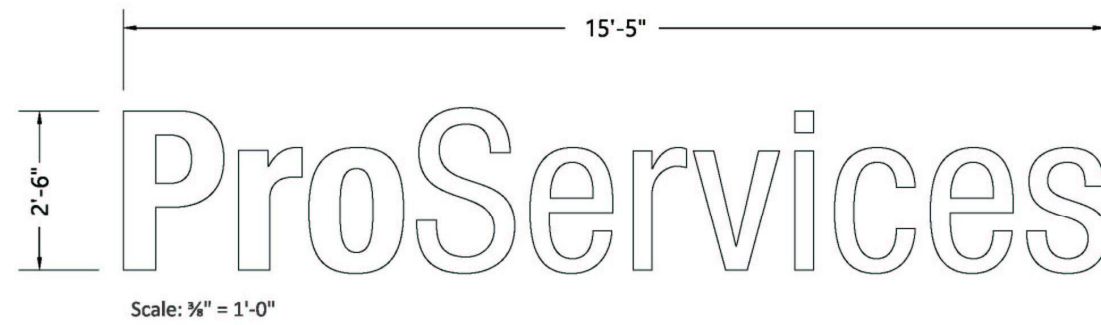
National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:	
3.12.2026	revised with new elevations, revised S04 to monument
4.8.2026	revised as noted
...	...
...	...
...	...
...	...

S01

PM: Angelique S.	Address: 3649 Shelbyville Pike
Drawn By: TD	City State: Murfreesboro, TN
Date: 1/28/2026	Drawing Number: 246297-S01

# SIGNAGE



## COLOR SCHEDULE

- FACES: .177 #7328 White Acrylic
- RETURNS: Pre-finished white aluminum (gloss)
- TRIMCAPS: Standard 1" White

## SQUARE FOOTAGE

Allowed: 1 sf per lf of building frontage  
Proposed: 38.54 sq ft

ELECTRICAL NOTES
1. All materials and fasteners meet 3004.4
2. All electrical components are UL listed, labeled and approved.
3. Sign grounded according to NEC 6007.7
4. Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5. All branch circuits per NEC 600 .5(B).1 or (B).2.
6. All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7. One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

## SCOPE OF WORK

Manufacture and install set of internally illuminated Channel Letters.

## SPECIFICATION

- Illuminated letters/graphics constructed of aluminum: .063 backs, .040. coil stock returns (pre-finished white), 4" depth.
- All faces of White (#7328) Acrylic white.
- Faces held in place with 1" White Jewelite Trim
- Internal illumination by white LED modules (by one of the three following manufacturers: 24V SloanLED Prism, Principal LED or GE). Power supplies located remotely.
- All letters installed flush to exterior fascia with non-corrosive fasteners.



## WEST ELEVATION

Scale: 3/32" = 1'-0"



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:		
3.12.2026	revised with new elevations, revised S04 to monument	...
4.8.2026	revised as noted	...
...		...
...		...
...		...

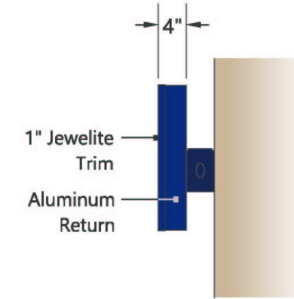
S02

PM: Angelique S.	Address: 3649 Shelbyville Pike
Drawn By: TD	City State: Murfreesboro, TN
Date: 1/28/2026	Drawing Number: 246297-S02

# SIGNAGE



3 Scale: 3/8" = 1'-0"



ELECTRICAL NOTES	
1.	All materials and fasteners meet 3004.4
2.	All electrical components are UL listed, labeled and approved.
3.	Sign grounded according to NEC 6007.7
4.	Signs manufactured and listed NEC 600.3 and marked per NEC 600.4.
5.	All branch circuits per NEC 600 .5(B).1 or (B).2.
6.	All Signs controlled by photocell or time clock per FBC 13-415. (ABC).1.4.
7.	One visible 20 amp disconnect per sign per circuit per NEC 600.6(A).1

## SPECIFICATION

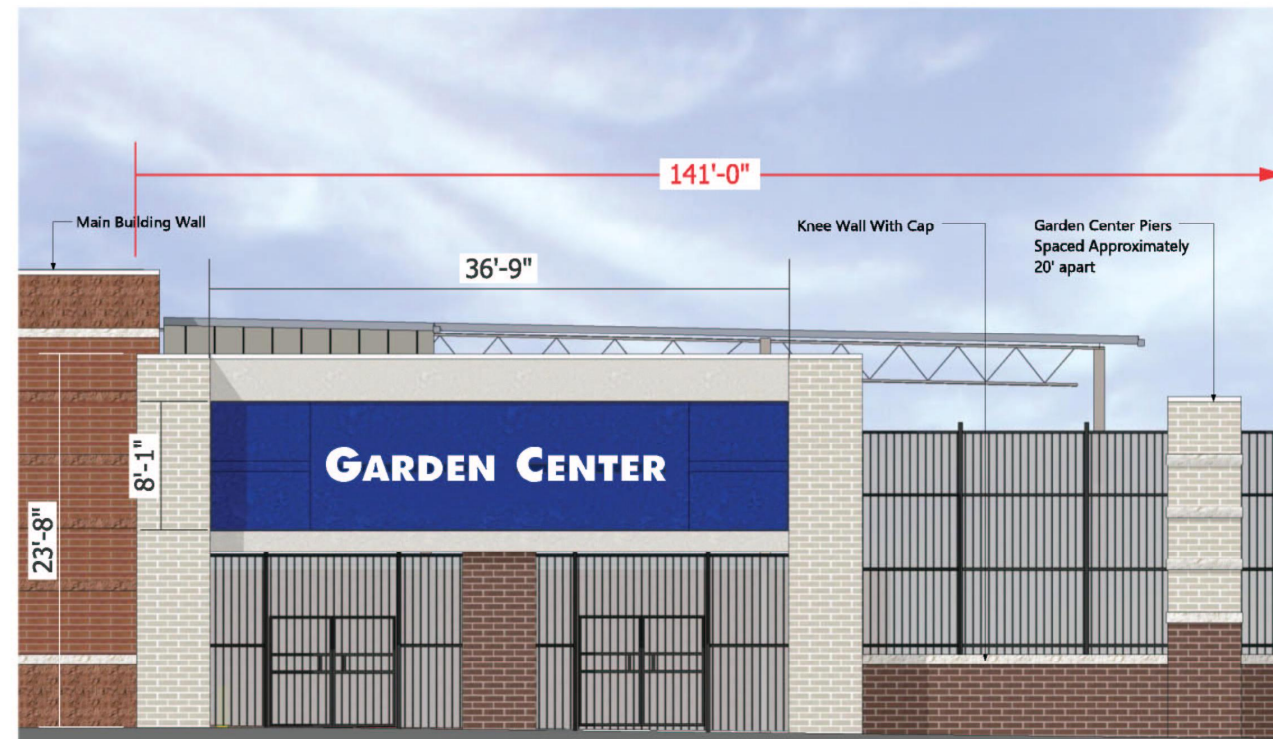
- Illuminated letters/graphics constructed of aluminum: .063 backs, .040. coil stock returns (pre-finished white), 4" depth.
- All faces of White (#7328) Acrylic white.
- Faces held in place with 1" Jewelite Trim
- Internal illumination by white LED modules (by one of the three following manufacturers: 24V SloanLED Prism, Principal LED or GE). Power supplies located inside raceway.
- Letters are mounted on a raceway.

## COLOR SCHEDULE

- FACES: .177 #7328 White Acrylic
- RETURNS: To match Akzo Nobel 172 E-3 (gloss)
- TRIMCAPS: To match Akzo Nobel 172 E-3 (gloss)
- RACEWAY: To match Akzo Nobel 172 E-3 (gloss)

## SQUARE FOOTAGE

Allowed: 1 sf per lf of building frontage  
Proposed Square Footage = 44.0 Sq Ft



**WEST ELEVATION**  
Scale: 3/32" = 1'-0"



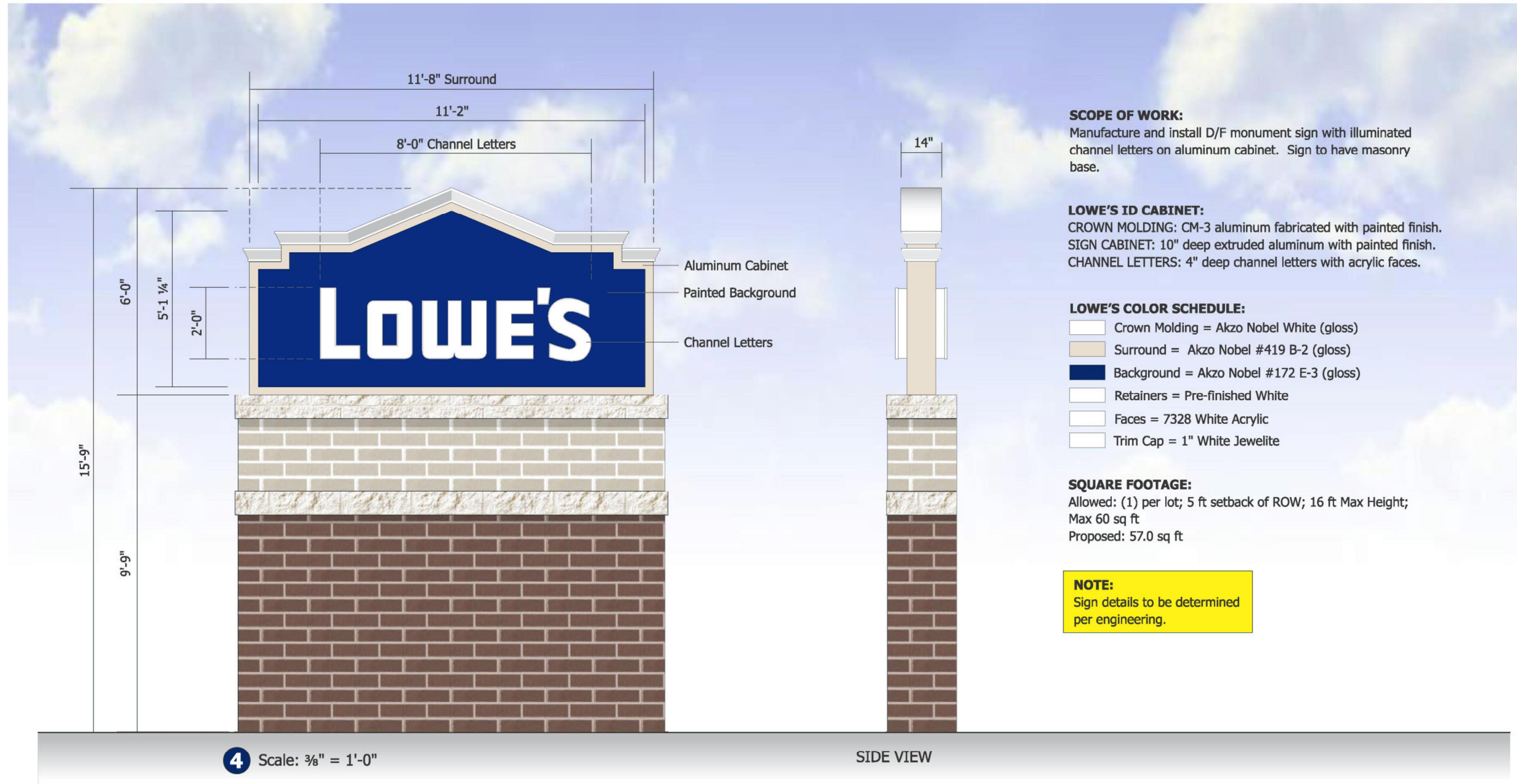
National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:	
3.12.2026	revised with new elevations, revised S04 to monument
4.8.2026	revised as noted
...	...
...	...
...	...
...	...

S03

PM: Angelique S.	Address: 3649 Shelbyville Pike
Drawn By: TD	City State: Murfreesboro, TN
Date: 1/28/2026	Drawing Number: 246297-S03

# SIGNAGE



National Headquarters: 1077 West Blue Heron Blvd.  
 West Palm Beach, Florida 33404  
 800.772.7932  
 www.atlasbtw.com

Revisions:	
3.12.2026 revised with new elevations, revised S04 to monument	...
4.8.2026 revised as noted	...
...	...
...	...
...	...

S04

PM: Angelique S.	Address: 3649 Shelbyville Pike
Drawn By: TD	City State: Murfreesboro, TN
Date: 1/28/2026	Drawing Number: 246297-S04

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
JUNE 3, 2026  
PROJECT PLANNER: MATTHEW BLOMELEY**

**6.f. Proposed amendment to the Zoning Ordinance [2026-804] related to Automotive/Motor Vehicle Repair and Service uses and pertaining to Chart 1: Uses Permitted (including Chart 1 Endnotes), City of Murfreesboro Planning Department applicant.**

In a 2024 Zoning Ordinance amendment, the uses “Automotive/Motor Vehicle Repair” and “Automotive/Motor Vehicle Service” were defined as follows:

**Automotive/ Motor Vehicle Repair:** *The repair of automobiles, motorcycles, light duty trucks (not exceeding eighty-five hundred (8,500) pounds), including but not limited to engine, transmission, upholstery work, tire service/sales/rotations, and the like. This excludes body work and automobile dismantling and recycling; outdoor storage of inoperable, wrecked, or dismantled vehicles is only allowed if screened according to the requirements of this article.*

**Automotive/ Motor Vehicle Service:** *Routine maintenance of automobiles, motorcycles, light duty non-commercial trucks, or similar vehicles, including but not limited to, muffler replacement, oil change and lubrication, tire sales/service/rotations, alignments, brakes. Excludes body work, automobile dismantling and recycling, and the outdoor storage of inoperable, wrecked, or dismantled vehicles.*

In addition, during the same 2024 amendment, zoning districts where each of these two uses are permitted were specified in Chart 1.

In this amendment, Staff proposes to build off of the previous amendment by including two additional standards to assist in mitigating the potential negative impacts of these uses, including the sometimes unsightly condition of these sites due in large part to the nature of the use. Because any potential negative impacts are magnified when these uses are clustered together, Staff proposes a 300’ separation between such uses. In addition, there have been several instances where automotive repair and service uses have occupied or sought to occupy buildings that weren’t originally designed with these types of uses in mind, which sometimes leads to the actual service and repair work being conducted outdoors. Staff proposes to include a standard limiting such service and repair work to the inside of a building.

**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation to City Council.

**ORDINANCE 26-O-26** amending Murfreesboro City Code Appendix A, Zoning, Chart 1 and Chart 1 Endnotes, dealing with automotive/ motor vehicle repair and automotive/ motor vehicle service uses, Murfreesboro Planning Staff, applicant [2026-804].

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MURFREESBORO, TENNESSEE, AS FOLLOWS:**

SECTION 1. Murfreesboro City Code, Appendix A, Chart 1, Uses Permitted, is hereby amended by adding superscript “4” in rows containing the uses “Automotive/Motor Vehicle Repair” and “Automotive/Motor Vehicle Service.”

SECTION 2. Murfreesboro City Code, Appendix A, Chart 1 Endnotes, Uses Permitted, is hereby amended by adding the following language as # 4 that is currently “Reserved”:

“4. Automotive/Motor Vehicle Repair uses and Automotive/Motor Vehicle Service uses, where permitted by right, shall comply with the following standards:

- (a) No Automotive/Motor Vehicle Repair use or Automotive/Motor Vehicle Service use, where such use is the principal use of a property, shall be located less than 300 feet from any other Automotive/Motor Vehicle Repair use or Automotive/Motor Vehicle Service use. Such distance shall be measured from property line to property line.
- (b) All repair work or service work associated with an Automotive/Motor Vehicle Repair use or Automotive/Motor Vehicle Service use shall occur inside of a building. No such work shall occur outside of a building.”

SECTION 3. That this Ordinance shall take effect fifteen (15) days after its passage upon second and final reading, the public welfare and the welfare of the City requiring it.

Passed:

\_\_\_\_\_  
Shane McFarland, Mayor

1<sup>st</sup> reading \_\_\_\_\_

2<sup>nd</sup> reading \_\_\_\_\_

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Erin E. Tucker  
City Recorder

\_\_\_\_\_  
Jeffrey L. Peach  
City Attorney

SEAL