

**CITY OF MURFREESBORO  
BOARD OF ZONING APPEALS**

Regular Meeting, December 18, 2025, at 1:00 p.m.  
City Hall, 111 West Vine Street, Council Chambers, 1<sup>st</sup> Floor

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**A G E N D A**

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1. Call to order
2. Determination of a quorum
3. Public Comments
4. Consideration of minutes for the regular meeting on September 24, 2025
5. New Business

*Special Use Permit*

- a. **Application Z-25-031 by Mr. Author Cole Powers**, is requesting a special use permit in order to construct and establish an accessory apartment in a Single-Family Residential (RS-15) zone on property located at 835 River Rock Boulevard. (Project Planner: Richard Donovan)
  - b. **Application Z-25-030 by Ms. Kathyne Giovannini**, is requesting a special use permit in order to construct and establish an accessory apartment in a Single-Family Residential (RS-8) zone on property located at 212 Spinelli Way. (Project Planner: Marc Shackelford-Rowell)
  - c. **Application Z-25-029 by Mr. Bruce Atkins**, is requesting a special use permit in order to construct and establish an accessory apartment in a Single-Family Residential (RS-15) zone on property located at 2618 Albany Court. (Project Planner: Stephen Anthony)
6. Staff Reports and Other Business
    - a. Training Update
  7. Adjourn

**MINUTES**  
**OF THE CITY OF MURFREESBORO**  
**BOARD OF ZONING APPEALS**  
**City Hall, 111 W. Vine Street, Council Chambers**

September 24, 2025, 1:00 PM

**Members Present:**

Davis Young, Chair  
Ken Halliburton, Vice-Chair  
Robert Batcheller  
Tim Tipps

**Staff Present:**

Matthew Blomeley, Asst. Planning Director  
Richard Donovan, Principal Planner  
Holly Smyth, Principal Planner  
John Tully, Assistant City Attorney  
Ashley Fulghum, Recording Assistant

**Members Absent:**

None

**1. Call to Order:**

Chair Young called the meeting to order.

**2. Determination of a quorum:**

Chair Young determined that a quorum was present.

**3. Public Comments:**

None

**4. Consideration of Minutes:**

With there being no objection by any of the Board members, the minutes of the July 23, 2025 BZA meeting were approved as submitted.

# **MURFREESBORO BOARD OF ZONING APPEALS MINUTES**

## **September 24, 2025**

### **5. New Business:**

**a. Application [Z-25-026] by Mr. Rob Molchan on behalf of St. Karas Coptic Orthodox Church, requesting to amend an existing special use permit for an existing institutional group assembly use (church) in a Single-Family Residential (RS-15) zone on property located at 1207 and 1227 SE Broad Street.**

Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and is incorporated into these minutes by reference.

Chair Young inquired about the green space on 1227 SE Broad Street. Ms. Smyth stated that that area will remain open at this time.

Vice-Chair Ken Halliburton asked if parking would be permitted within the 200-foot setback. Ms. Smyth responded that it would be allowed. Mr. Rob Molchan of SEC spoke about the additional parking spaces.

Mr. Tim Tipps inquired about the height of the landscape buffer. Mr. Molchan stated that it will be 6-11 feet tall when initially planted.

The Board and Staff discussed the proposed height of the building.

Mr. Robert Batcheller inquired about combining the three parcels into one. Ms. Smyth explained the reasoning behind consolidating the lots.

Mr. Tipps asked about the access points to the site. Ms. Smyth responded that the access points will be moved down further south on the lot to allow for more distance from the intersection.

Chair Young opened the public hearing.

Ms. Kaysone Phongsouvanh of 1233 SE Broad Street spoke about concerns regarding noise control, parking and lighting. She requested a privacy fence to be installed.

Ms. Andrea Stafford of 1016 Todd Court asked for more details on the parking. She also spoke about concerns over lighting, noise, parking and trash.

There being no one else to speak for or against the request, Chair Young closed the public hearing.

The Board and Staff discussed fencing and the extension of the Type C landscape buffer.

Mr. Robert Batcheller moved to approve the amendment to the special use permit with the addition of a 6-foot vinyl privacy fence without a gate along the southern and eastern property line in addition to any required buffer yard and to extend the Type C landscape buffer along the southern property line. The motion was seconded by Mr. Tim Tipps and was approved by the following vote:

Aye: Robert Batcheller

# MURFREESBORO BOARD OF ZONING APPEALS MINUTES

## September 24, 2025

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

### 6. Staff Reports and Other Business:

#### a. Board of Zoning Appeals 2026 Calendar

Mr. Richard Donovan presented the proposed 2026 Calendar.

Mr. Tim Tipps moved to approve the 2026 Calendar as presented; the motion was seconded by Mr. Robert Batcheller and carried by the following vote:

Aye: Robert Batcheller

Tim Tipps

Vice-Chair Ken Halliburton

Chair Davis Young

Nay: None

Mr. Donovan announced that Ms. Misty Lavendar resigned from the Board.

### 7. Adjourn:

There being no further business, Chair Young adjourned the meeting at 2:12pm.

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CHAIRMAN

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SECRETARY



**MURFREESBORO BOARD OF ZONING APPEALS**  
**ST**  
**AFF REPORT**  
**DECEMBER 18, 2025**  
**PROJECT PLANNER: RICHARD DONOVAN**

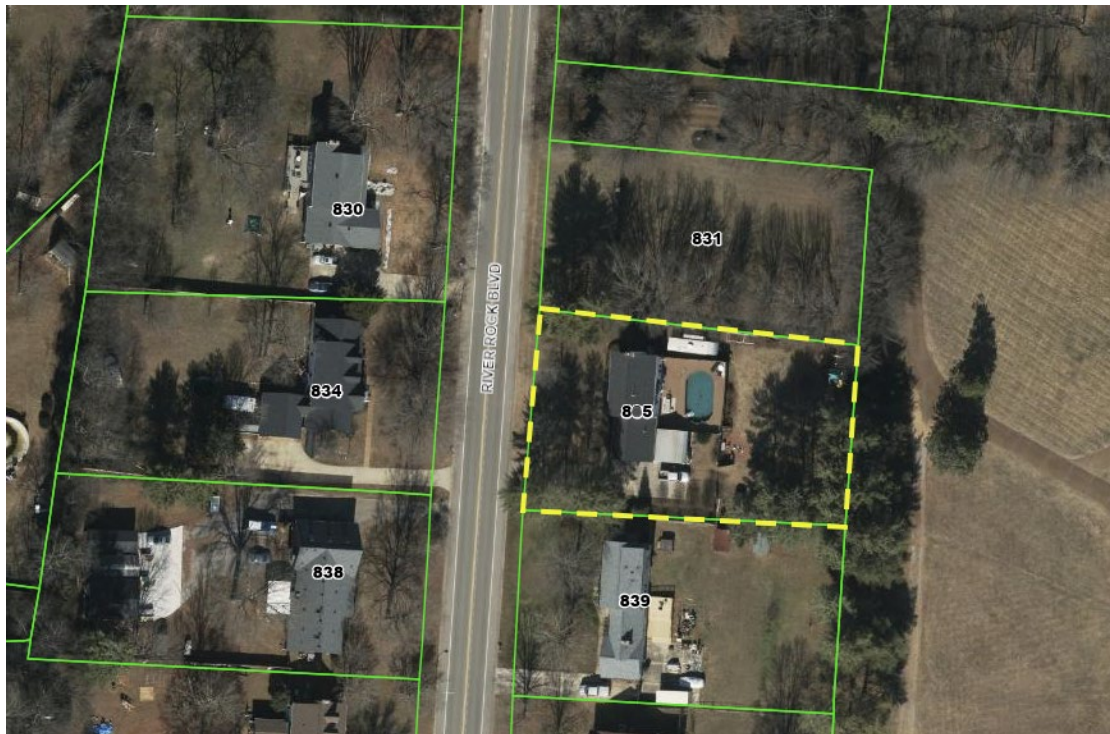
**Application:** Z-25-031

**Location:** 835 River Rock Boulevard

**Applicant:** Author Cole Powers

**Zoning:** RS-15 (Residential Single-Family – 15,000 square feet minimum lot size)

**Requests:** A special use permit to construct and establish an accessory apartment.



**Overview**

**Special Use Permit Request**

The applicant, Author Cole Powers, is requesting a Special Use Permit (SUP) to construct and establish an accessory apartment at 835 River Rock Boulevard for the applicant's mother-in-law to reside in or for use by visiting family members when they stay with the family. The accessory apartment will be included within an accessory structure that measures 1,560 square feet, with the accessory apartment comprising 390 square feet. The accessory structure will be approximately 24 feet tall, with the remaining 1,170 square feet consisting of garage space. The front of the

accessory structure will include the garage portion, with the accessory apartment located at the rear and accessed by a side entry door. The property is zoned RS-15 and is located within the Countryside Section 6 single-family residential subdivision.

As depicted on the application site plan, the structure will be located 140 feet behind the front property line, 5 feet from the rear property line, 14 feet from the southern side property line, and 72 feet from the northern side property line. The structure's garage doors will face River Rock Boulevard, with the accessory apartment having a side entry from the backyard. The proposed floor area of the accessory apartment is 390 square feet and includes a kitchen, living area, one bathroom, and one bedroom. The applicant understands that the garage space cannot be converted at any time to be part of the accessory apartment, as doing so would exceed the maximum allowed floor area of 700 square feet. The proposed structure will utilize brick as a water table to match the existing home, with white metal siding above.

As proposed, the accessory apartment complies with the applicable bulk development standards:

	<b>Zoning Ordinance</b>	<b>Proposed Accessory Apartment</b>
Maximum Floor Area for accessory apartment	700 square feet	390 square feet
Maximum Building Height	35 feet	24 feet
Minimum Building Setbacks	<ul style="list-style-type: none"> <li>- 5 feet away from house</li> <li>- 60 feet from front property line</li> <li>- 5 feet away from side and rear property line</li> </ul>	<ul style="list-style-type: none"> <li>- 40 feet away from house</li> <li>- 140 feet from front property line</li> <li>- 14 feet away from southern side property line</li> <li>- 72 feet away from southern side property line</li> <li>- 5 feet away from rear property line</li> </ul>

In addition, it is recommended that the applicant be required to complete and record the standard "Restriction on Use of Land" document prepared by the City Attorney. This document states that the accessory apartment can only be occupied by a family member or an invited guest and may not, under any circumstances, be used as a rental unit. Recording it memorializes the restriction to put future buyers or owners on notice.

### **Relevant Zoning Ordinance Section**

Chart 1 of the City of Murfreesboro Zoning Ordinance allows accessory apartments with approval of a Special Use Permit the RS-15 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(a) sets forth Standards for Accessory Apartments in addition to the Standards of General Applicability Section 9(C). The following are also the relevant sections from the Zoning Ordinance that apply to accessory apartments:

#### **Section 25, Temporary and Accessory Structures, Subsection E:**

*(1)(a): for interior lots in residential districts, detached accessory structures and uses, except fences, walls, and hedges, shall be located not less than sixty feet from the front lot line and in no event shall be closer to the front lot line than ten feet behind the front*

*of the principal structure and not less than five feet from any side and rear lot lines. Detached accessory structures on residential lots that are closer than five feet to a principal structure shall be treated as attached structures for setback purposes whether physically attached or not;*

*(4): no accessory structure shall exceed the height limitations of the district in which such structure is located*

## Section 2, Definitions:

*Accessory Apartment:* *A secondary dwelling unit either in or added to an existing single family detached dwelling, or in a separate accessory structure on the same lot of record with its own separate exterior entry door, with provisions for cooking and food preparation (including sink and electrical outlets to accommodate kitchen appliances such as refrigerator, oven, or stove), sanitation (including toilet, sink, and shower or bathtub), and sleeping. Such a dwelling shall be accessory to the main dwelling.*

The Standards of General Applicability relating to Special Use Permits and Standards for Accessory Apartments are listed below with analysis from staff on how the proposed accessory apartment meets the standards.

## Standards of General Applicability with Staff Analysis:

- (1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:**
  - As currently proposed, the plan for the accessory apartment complies with the minimum bulk development standards for accessory structure and accessory apartments. The structure will have adequate parking on site, and no changes to utility facilities are needed. The traffic conditions would remain the same and the proposed use would not affect the safety and general welfare of the neighborhood. Additionally, staff believes that the proposed accessory apartment will not have any adverse effect to the character of the neighborhood as the structure will be constructed with brick material and will mimic the existing style of homes in the neighborhood.
- (2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:**
  - Staff believes this standard has been met. As depicted on the proposed plans, the proposed garage and accessory apartment comply with minimum bulk development standards. The proposed accessory apartment is not a rental and is to be used for family members and would not interfere with adjacent properties or generate traffic.
- (3) The proposed building or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**

- Staff believes this standard has been met. The proposed accessory apartment will be served adequately by essential public facilities because they are currently existing and already serve the property.
- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**
  - Staff is not aware of any such features on-site that will be impacted by this use.
- (5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**
  - Additional standards for Accessory Apartment uses are listed below.

**Additional Standards for Accessory Apartment Uses with Staff Analysis:**

- 1.) Only one accessory apartment shall be allowed upon a lot zoned for single family purposes;**
  - The applicant has confirmed that only one accessory apartment will be on the lot at 835 River Rock Boulevard.
- 2.) Except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;**
  - The applicant has confirmed that the owners, Author Cole and Donielle Powers, will reside on the property in the principal structure and the accessory apartment unit will only be used for family. He has agreed to record a “Restriction on Use of Land”, as recommended by the Planning Department for all accessory apartments.
- 3.) The accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;**
  - As depicted on the current plans, the design is compliant with the minimum bulk development standards for an accessory structure, per Section 25 Temporary and Accessory Structure and Uses. The structure is 24 feet high and has a 140-foot front setback and 5-foot rear setback, 14 feet away southern property line, and 72 feet from the northern property line. The proposed structure will utilize brick material as a water table with metal siding above, which is consistent with the house and neighborhood. The entrance for the proposed accessory apartment will be on the side of the structure, and with the accessory apartment structure being located behind the principal structure.
- 4.) If attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;**
  - This standard is not applicable to this application, as the proposed structure is detached from the principal structure.

- 5.) **The design and size of the accessory apartment shall conform to all applicable standards in the health, building and other codes;**
- As it is currently depicted, the accessory apartment will be 390 square feet and if approved, the applicant is required to obtain all necessary building permits to construct the accessory apartment. The applicant has confirmed that the design and construction will conform to all applicable standards in the health, building, and other codes. The structure complies with the setback requirements for detached accessory structure and will not exceed 35 feet in height.
- 6.) **The accessory apartment shall not exceed seven hundred square feet of floor area;**
- The accessory apartment will be 390 square feet and will not exceed 700 square feet of floor area.
- 7.) **The BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and:**
- Staff recommends that, rather than the above, the BZA instead condition approval on the recording of a “Restriction on Use of Land”, prepared by the City Attorney, which requires that the accessory apartment only be occupied by a family member or an invited guest and cannot in any circumstances be used as rental unit.
- 8.) **The BZA may require additional standards may be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single-family zoning district;**
- The applicant understands that the BZA may require additional standards may be met in order to ensure compatibility.

**Staff Recommendation:**

Staff recommends approval of the special use permit, based on the request meeting the minimum development standards of the ordinance, to allow a 390 square foot accessory apartment structure, as presented in the application documents, and with the following conditions.

**Recommended Conditions of Approval:**

1. The owner(s) of the property for this accessory apartment unit shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members.
2. The garage portion of the proposed accessory structure shall not be converted to be or be used as part of the accessory apartment.
3. Prior to applying for building permits, the applicant shall complete and record the “Restriction on Use of Land” document prepared by the City Attorney, which shall limit the use of the accessory apartment to only what is allowed by the Zoning Ordinance.
4. Add an additional paved pathway from driveway to accessory apartment.
5. Separate utility meters or service connections, including, but not limited to, electricity, gas, water, or sewer, shall not be installed or requested for the accessory apartment

6. A separate mailbox or mail receptacle shall not be installed or designated for the accessory apartment.
7. The applicant shall obtain all necessary permits with the Building and Codes Department and shall comply with all code requirements.
8. The applicant shall obtain all necessary permits with the Building and Codes Department and shall comply with all code requirements.

**Attached Exhibits**

- A. Application
- B. Procedure form
- C. Site plan
- D. Elevations
- E. Floor plan



*City of Murfreesboro*  
**BOARD OF ZONING APPEALS**

**HEARING REQUEST  
APPLICATION**

Location/Street Address: 835 River Rock Blvd, Murfreesboro 37128

Tax Map:      Group:      Parcel:      Zoning District:

Applicant: Arthur Cole Powers

E-Mail: [REDACTED]

Address: 835 River Rock Blvd

Phone: 615-796-1067

City: Murfreesboro

State: TN

Zip: 37128

Property Owner: Arthur Cole Powers

Address: 835 River Rock Blvd

Phone: 615-796-1067

City: Murfreesboro

State: TN

Zip: 37128

Request: 1 story, detached garage with 390 sqft accessory apartment

Zoning District: RS-15

Applicant Signature: *Arthur Cole Powers*

Date: 12NOV2025

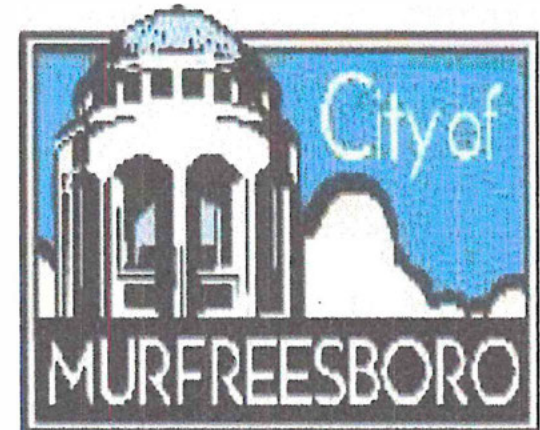
Received By: *AF*

Receipt #: 375280

Application #: 2-25-031

Date: 11/26/25

**Murfreesboro  
Board of  
Zoning Appeals**



**T E N N E S S E E**

**HEARING APPLICATION  
AND  
GENERAL INFORMATION**



## Board of Zoning Appeals Procedure Form

### Request for Accessory Apartment

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator.**

Date: 12NOV2025

Applicant name & title: Arthur Cole Powers

Planner name: Richard Donovan

Application request: Building a 1 story, 1560 sqft detached garage with 390 sqft living space inside it

Purpose of request: Allow for mother-in-law to live independantly near her primary caregiver/ daughter after receiving a heart transplant. Will be used for visiting family members when she no longer needs the apartment. Garage will store existing trailers and vehicles.

#### Section 8 – Procedure for Uses Requiring Special Use Permits

- a) Name, address, and telephone number of the *applicant*

Arthur Cole Powers

835 River Rock Blvd

Murfreesboro, TN 37128

615-796-1067

- b) Nature and extent of applicant's ownership interest in subject property

Owner

- c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals

- d) Address of the site of the proposed special use

- e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius





- f) Zoning classification the property of the proposed special use  
RS-15
- 
- g) The property of the proposed special use shall have the following characteristics:
- 1) Hours and days of operation  
Residence
  - 2) Duration of the proposed special use  
Entirety of ownership
  - 3) Number of expected patrons that will be expected to utilize the property of the proposed special use  
One individual primarily
  - 4) Projected traffic that will be expected to be generated by the proposed special use  
No increase in traffic. No added vehicles to the property.
- 
- h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them  
No harmful characteristics expected
- 
- 

## Section 9 – Standards for Special Use Permits

### Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

- 1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;  
The proposed building will not have any adverse effects upon adjacent properties. The building will match the existing home's colors and will also be used to store existing trailers and vehicles that are currently stored outside and can be seen by others. There are several existing homes in the neighborhood with similar buildings, therefore, the character would not change.



- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;  
The proposed building will be compatible with the adjacent properties. The building materials will match the home's exterior colors (white exterior, black roof, brick watertable), and the location of the building will be well within the required setbacks of 5 feet.
  
- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;  
The proposed building will tie into the home's existing utilities and will be able to be adequately served by public facilities and services by extending the concrete driveway all the way to the proposed building.
  
- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,  
The proposed building will not destroy anything of significant importance. It will require the removal of 6 deteriorating Pine trees that are already in need of removal. Attractive landscaping will be added around the proposed building to increase the aesthetics.
  
- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.  
The proposed building will comply with all standards.

#### **Standards for (a) Accessory Apartments**

Please explain how you will comply with the following standards:

- [1] only one accessory apartment shall be allowed upon a lot zoned for single family purposes;  
There are no other existing apartments or buildings on the property apart from the home.





[2] except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;

Neither of the units will be used as a rental. The owner and family member will always occupy the dwelling unit and accessory structure respectively.

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[3] the accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;

The accessory apartment will be located within and to the rear of the proposed detached garage. The entrance to the apartment will be on the North side of the building which faces to the inside yard.

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[4] if attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;

Apartment is not attached or within principle structure.

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[5] the design and size of the accessory apartment shall conform to all applicable standards in the health, building, and other codes;

The accessory apartment is well within the City's restriction of 700 sqft. It will be approximately 390 sqft in a 13'x30' footprint. Construction will abide by all applicable codes.

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[6] the accessory apartment shall not exceed seven hundred square feet of floor area;

The accessory apartment is well within the City's restriction of 700 sqft. It will be approximately 390 sqft in a 13'x30' footprint.

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[7] the BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and,  
Understood

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[8] the BZA may require additional standards be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single family zoning district.  
Understood

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Date: 12NOV2025

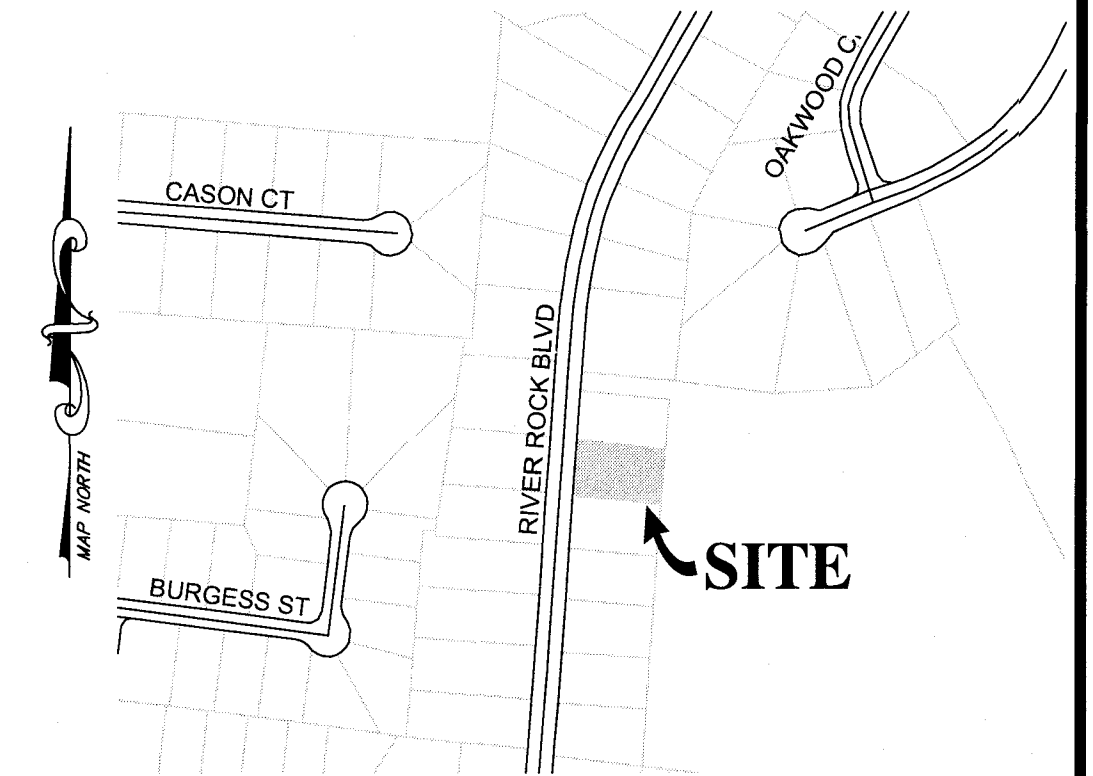
Applicant signature: *Cole P...*

# PLAN NOTES

1. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
2. Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
3. It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
4. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.

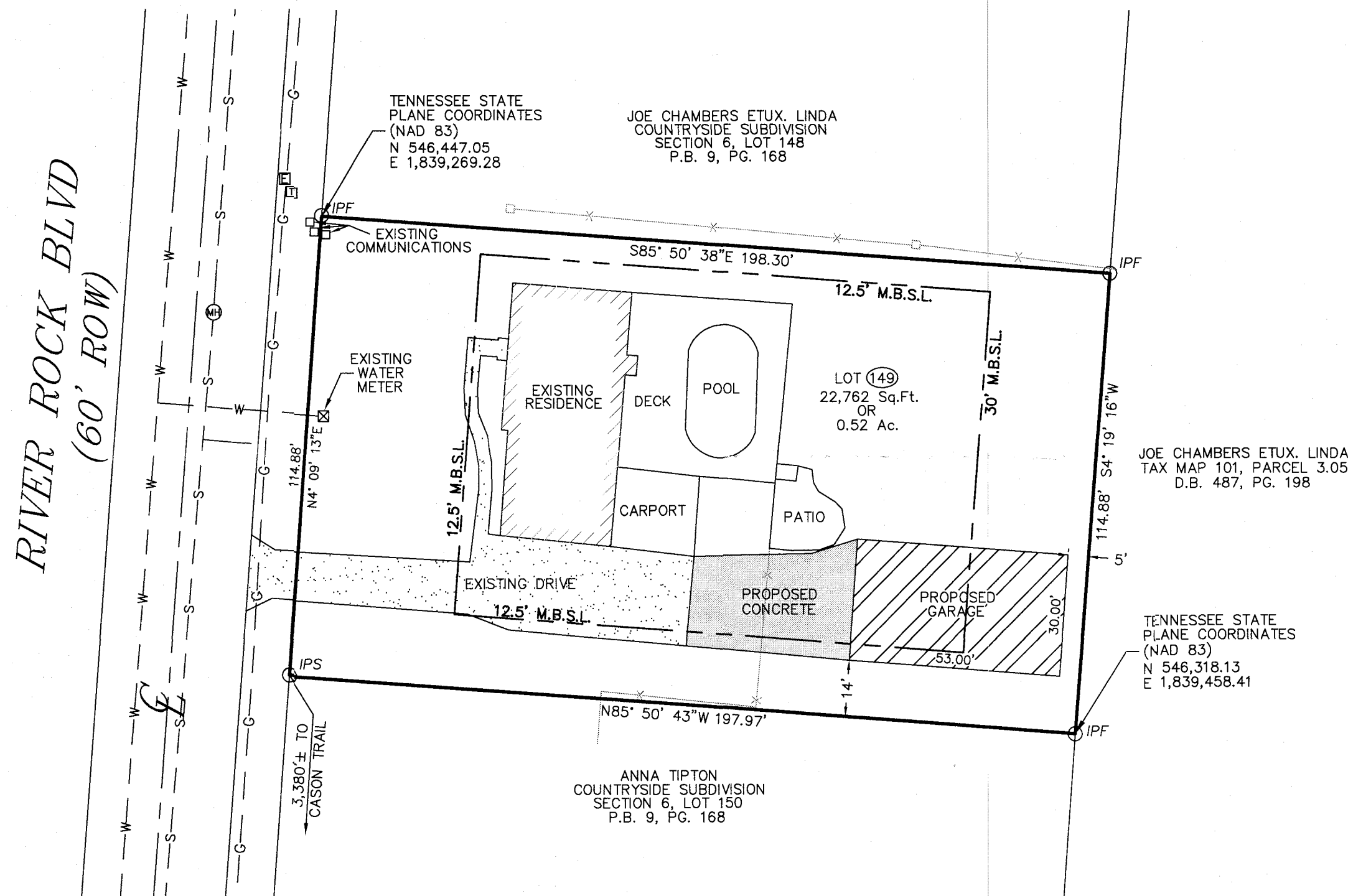
## GLOBAL POSITION SYSTEM SURVEY NOTES

1. For boundary and topographic aspects of this survey, RTK positioning system (GPS) survey equipment: TOPCON Hiper V-Model #100137-04 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. Topographic features shown were obtained by using the TDOT CORS station TN3A for horizontal and for vertical control.
2. The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
3. The dates that fieldwork was performed for this survey were: 09/19/2025.
4. The datum(s) for the TDOT CORS Network Station 3A that was used:  
HORIZ.: NAD83(2011) EPOCH 2010  
VERT.: NAVD 1988
5. Fixed Control Station designation with positional data:  
TDOT CORS STATION-TN3A  
STATE PLANE (TN 4100-US SURVEY FT.)- NORTHING: 553,312.4528  
EASTING: 1,860,677.584  
ELEVATION: 650.209 FT.
6. Geoid model used- GEOID03
7. Combined grid factors for TDOT CORS Station TN3A:  
0.999921865 (STATE PLANE-TN 4100-US SURVEY FT.)

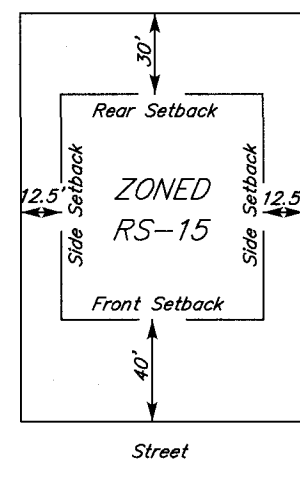


LOCATION MAP  
N.T.S.

TOTAL LOT AREA - 22,762 S.F.  
EXISTING RESIDENCE - 1,857 S.F.  
PROPOSED GARAGE - 1,590 S.F.  
TOTAL COVERAGE - 15.1%



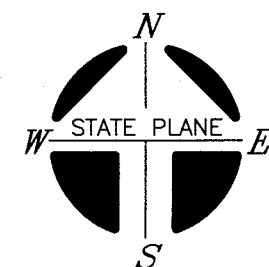
ZONED: RS-15  
FRONT SETBACK: 40'  
SIDE SETBACK: 12.5'  
REAR SETBACK: 30'



TYPICAL BUILDING SETBACK DETAIL  
N.T.S.

## LEGEND

- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED H-S ENGR)
- IPF ○ IRON PIN FND.
- ☐ TELEPHONE VAULT
- ☐ ELECTRIC VAULT
- ⊙ SEWER MANHOLE

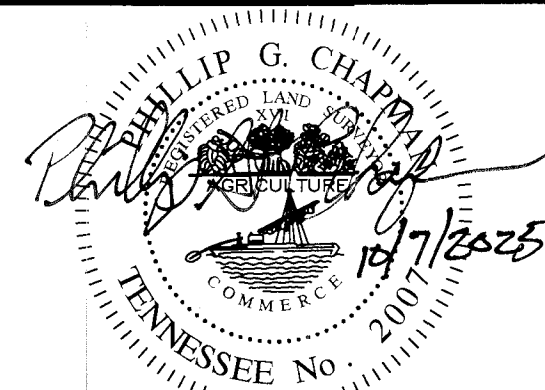


0 30 60

OWNER: AUTHUR C POWERS  
ETUX, DONIELLE L  
PROPERTY ADDRESS: 835 RIVER ROCK BLVD  
MURFREESBORO, TN 37128  
TAX MAP: 101E, GROUP "B", PARCEL 32.00  
DEED BOOK: 1568, PAGE: 1121  
PLAT BOOK: 9, PAGE: 168  
MAP NUMBER: 47149C0260J  
DATED: MAY. 9, 2023 ZONE: X

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOW AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



**HS HUDDLESTON-STEELE**  
ENGINEERING, INC.  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
SURVEYING : 893 - 4084, FAX: 893 - 0080

PLOT PLAN  
**COUNTRYSIDE SUBDIVISION**  
LOT 149  
**SECTION 6**

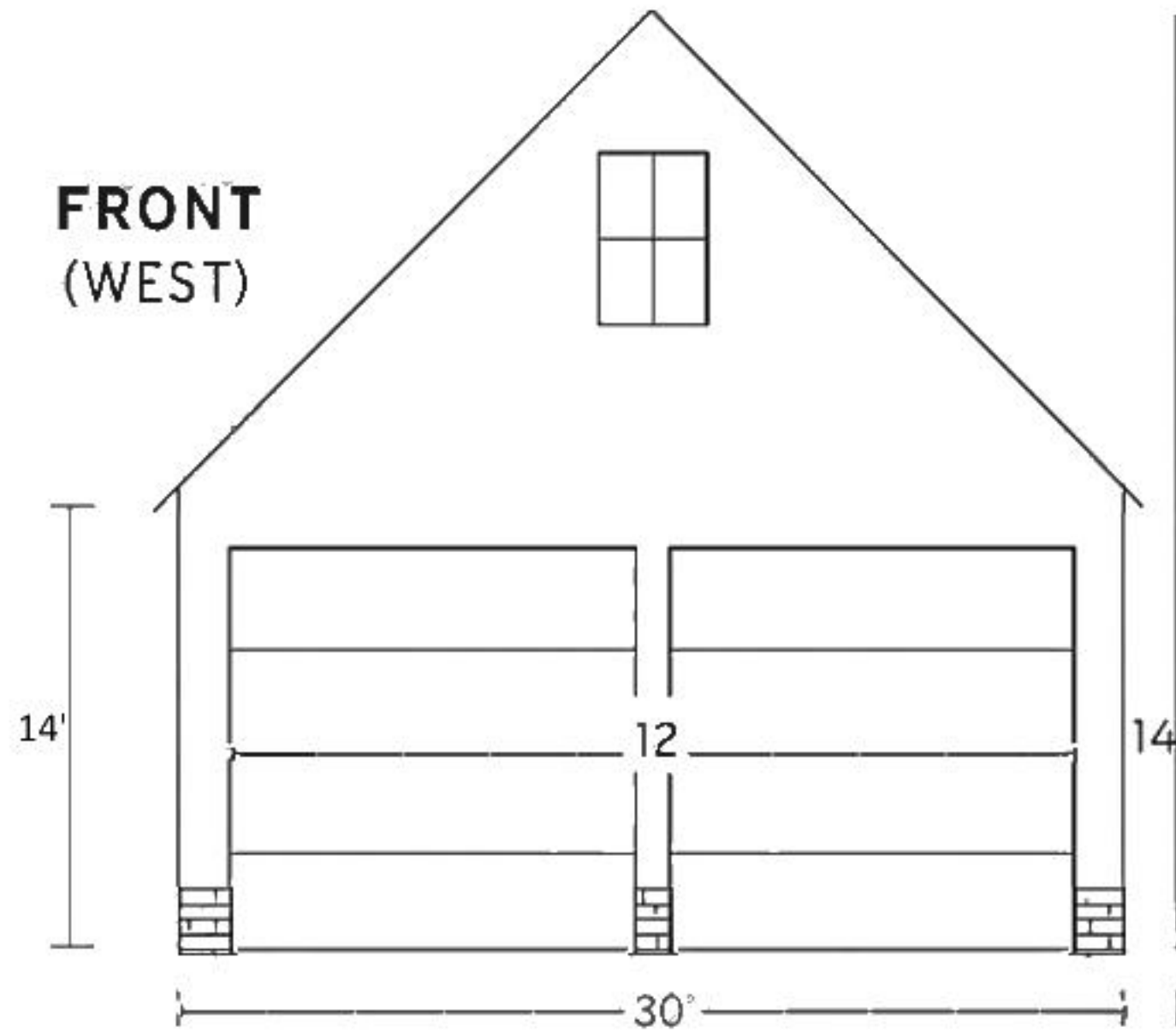
13th CIVIL DISTRICT - RUTHERFORD COUNTY - TN.

Date: October, 2025

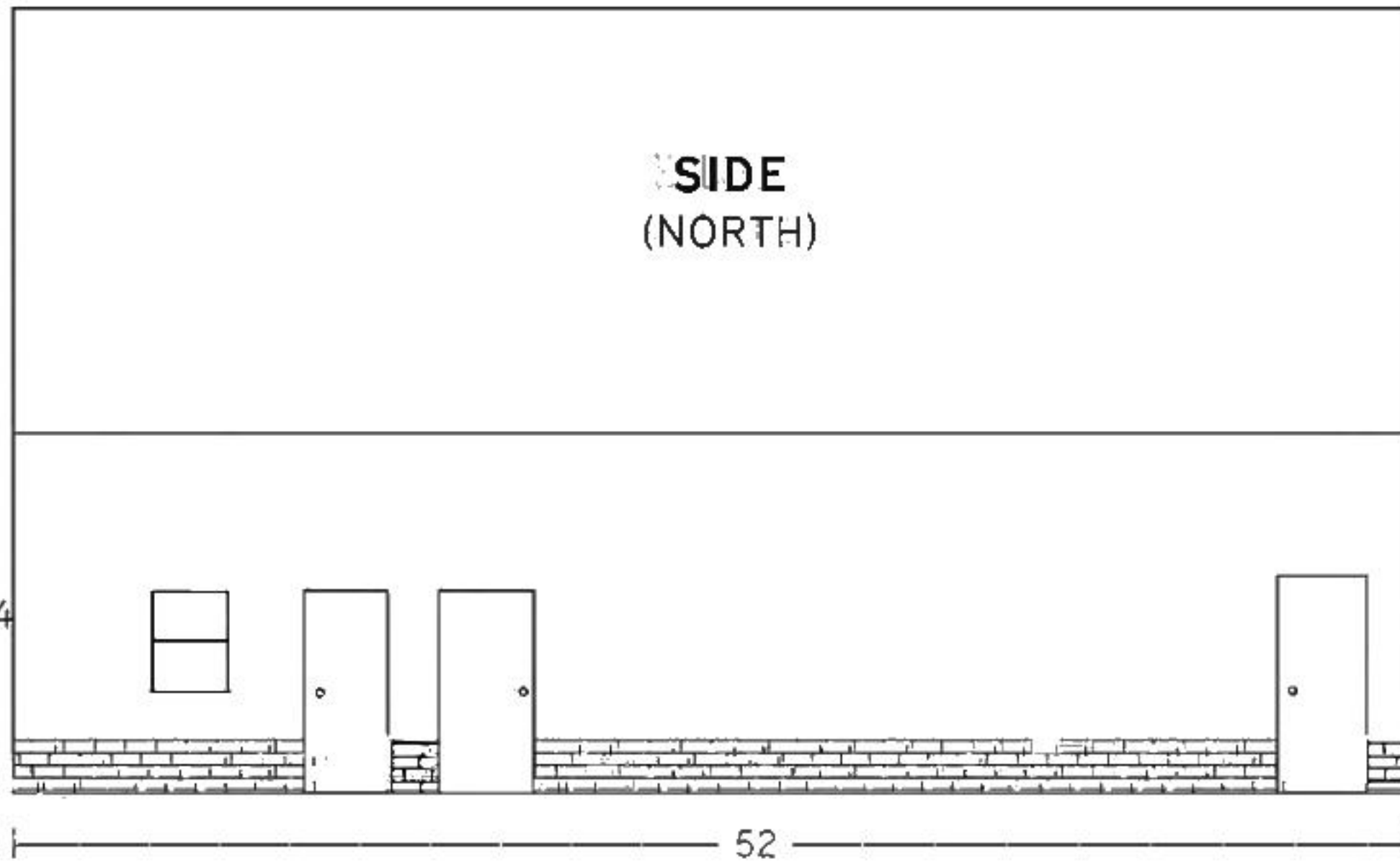
SCALE: 1"=30'

SH. 1 OF 1

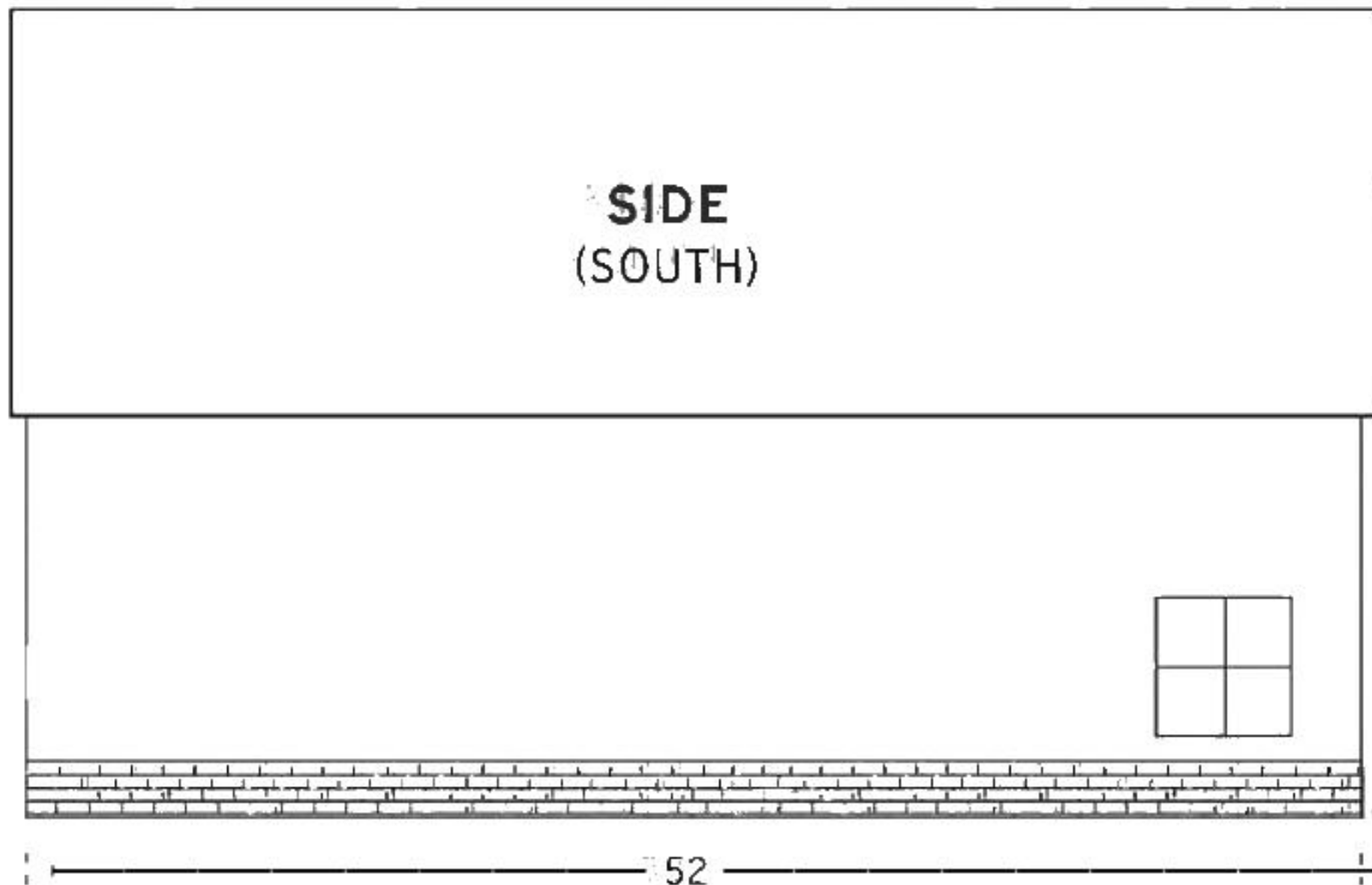
**FRONT  
(WEST)**



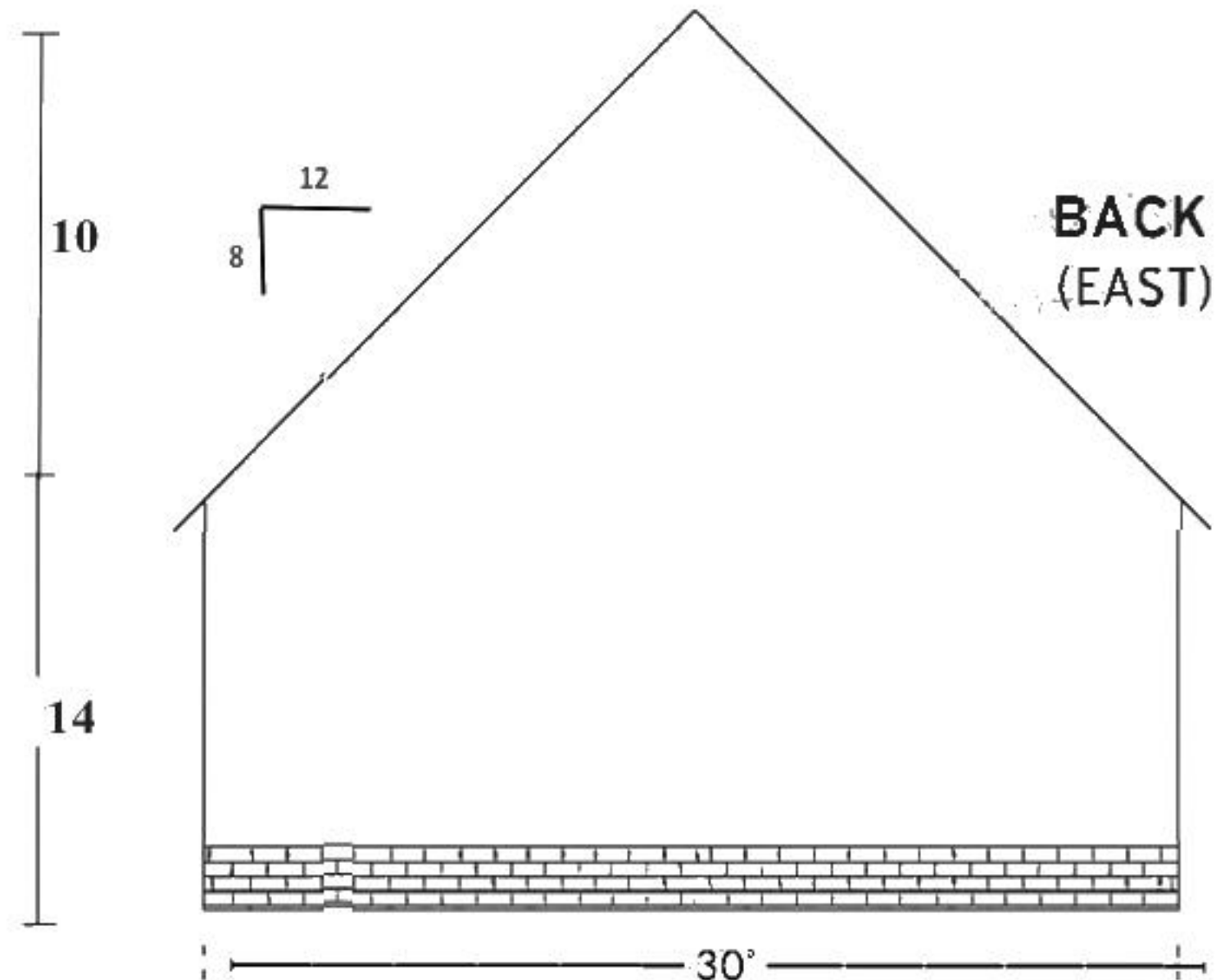
**SIDE  
(NORTH)**



**SIDE  
(SOUTH)**



**BACK  
(EAST)**



**OWNER**

Arthur Cole Powers  
835 River Rock Blvd  
Murfreesboro, TN  
37128

**NOTES**

All dimensions must  
be verified by  
builder/contractor  
prior to  
construction.

Builder/contractor  
must verify  
compliance with all  
local building codes.

**PROJECT**

Accessory Building

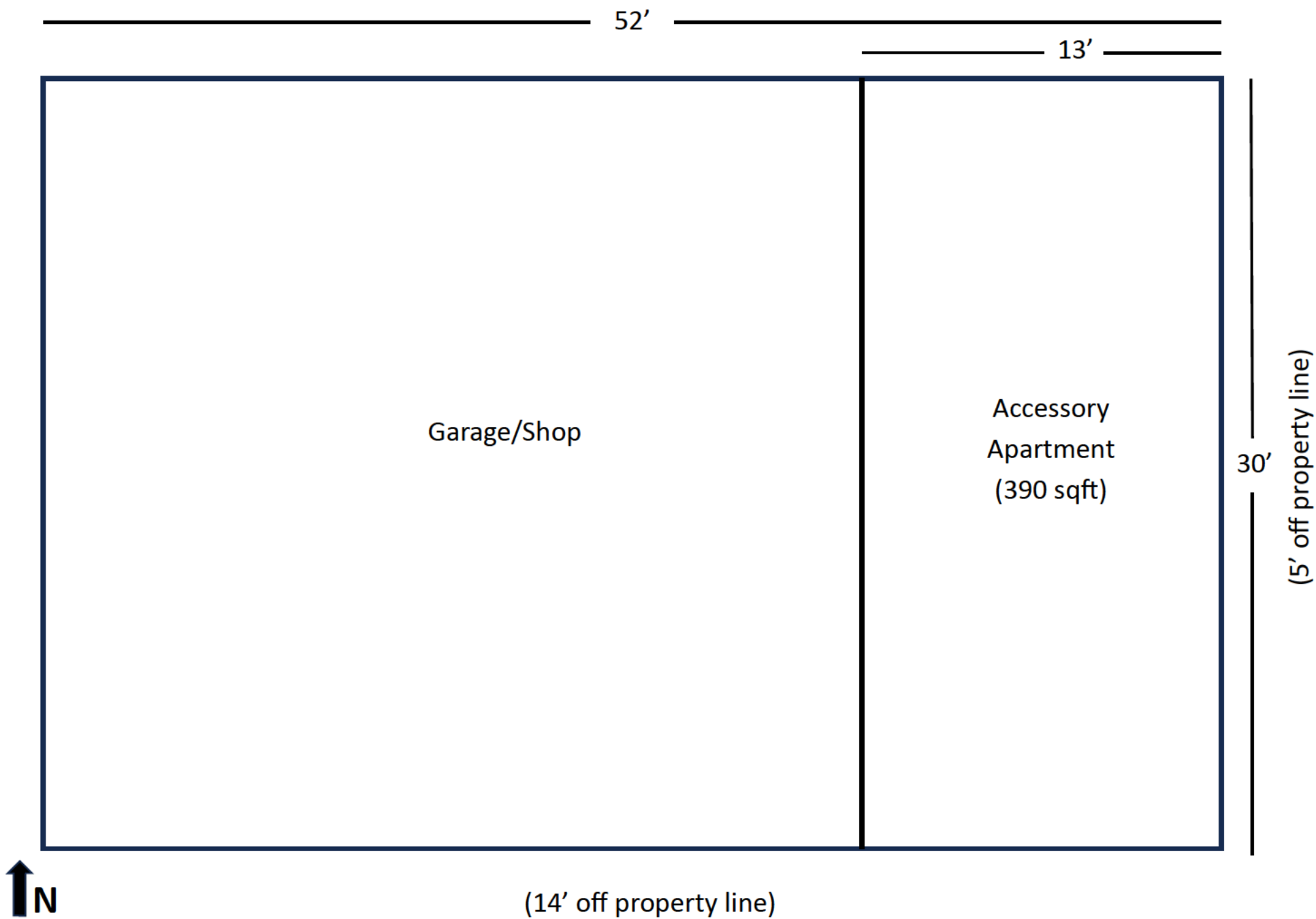
**TITLE**

Exterior Elevations

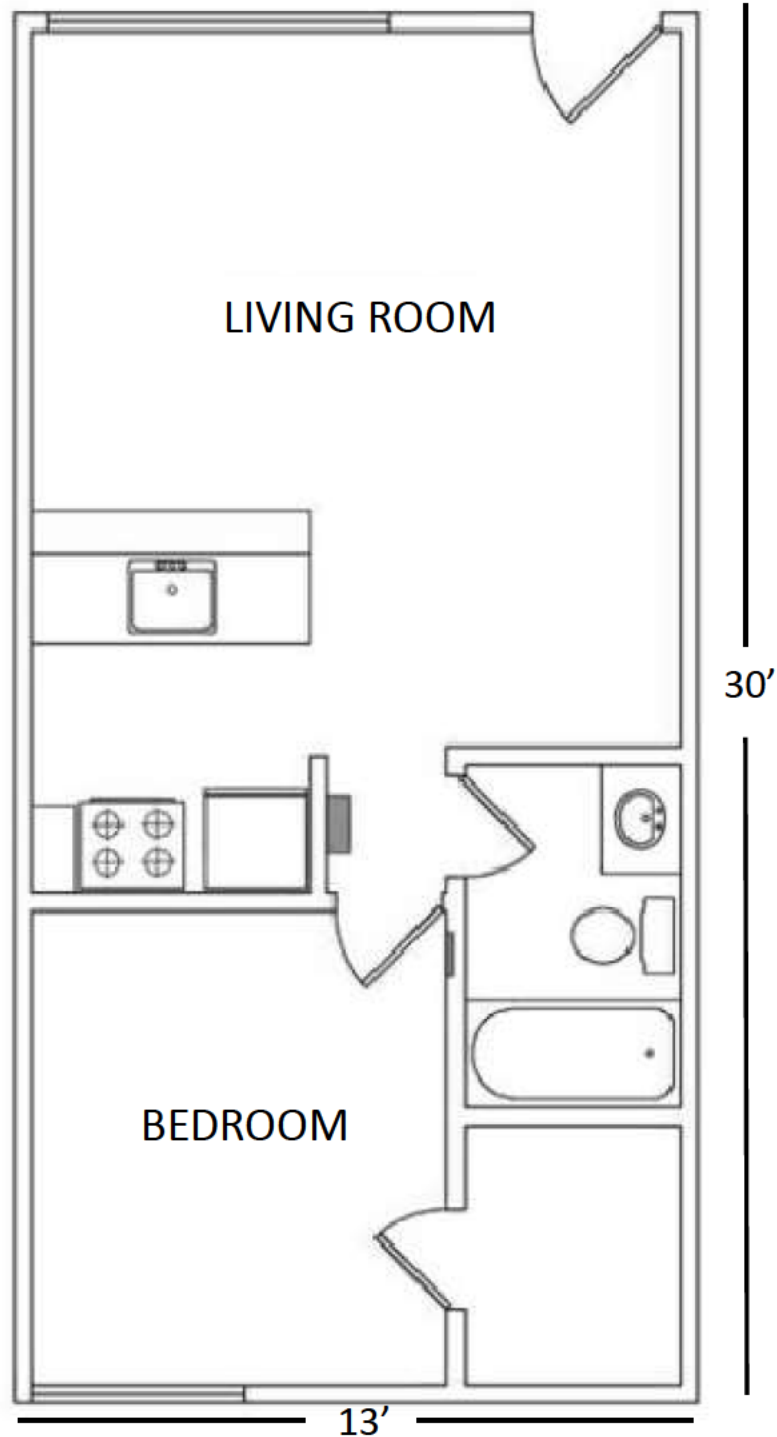
**SCALE**

1/4" = 1'0"

**A4**



## Potential Accessory Apartment Floorplan



## Description

The building will be 30'x52' (1560 sqft) and the accessory apartment inside will be 13'x30' (390 sqft). Side walls will be 14'.

This accessory structure will be used as a garage/storage space as well as a temporary apartment for our mother who just received a heart transplant and requires living with or near their primary caregiver. Our desire is to provide her a small (360 sqft) living space where she can recover and quarantine as required. When she no longer requires a living space due to death or the need for more intensive assisted living, we would use the space for guests or for our children.



**MURFREESBORO BOARD OF ZONING APPEALS**  
**STAFF REPORT**  
**May 23, 2025**  
**PROJECT PLANNER: MARC SHACKELFORD-ROWELL**

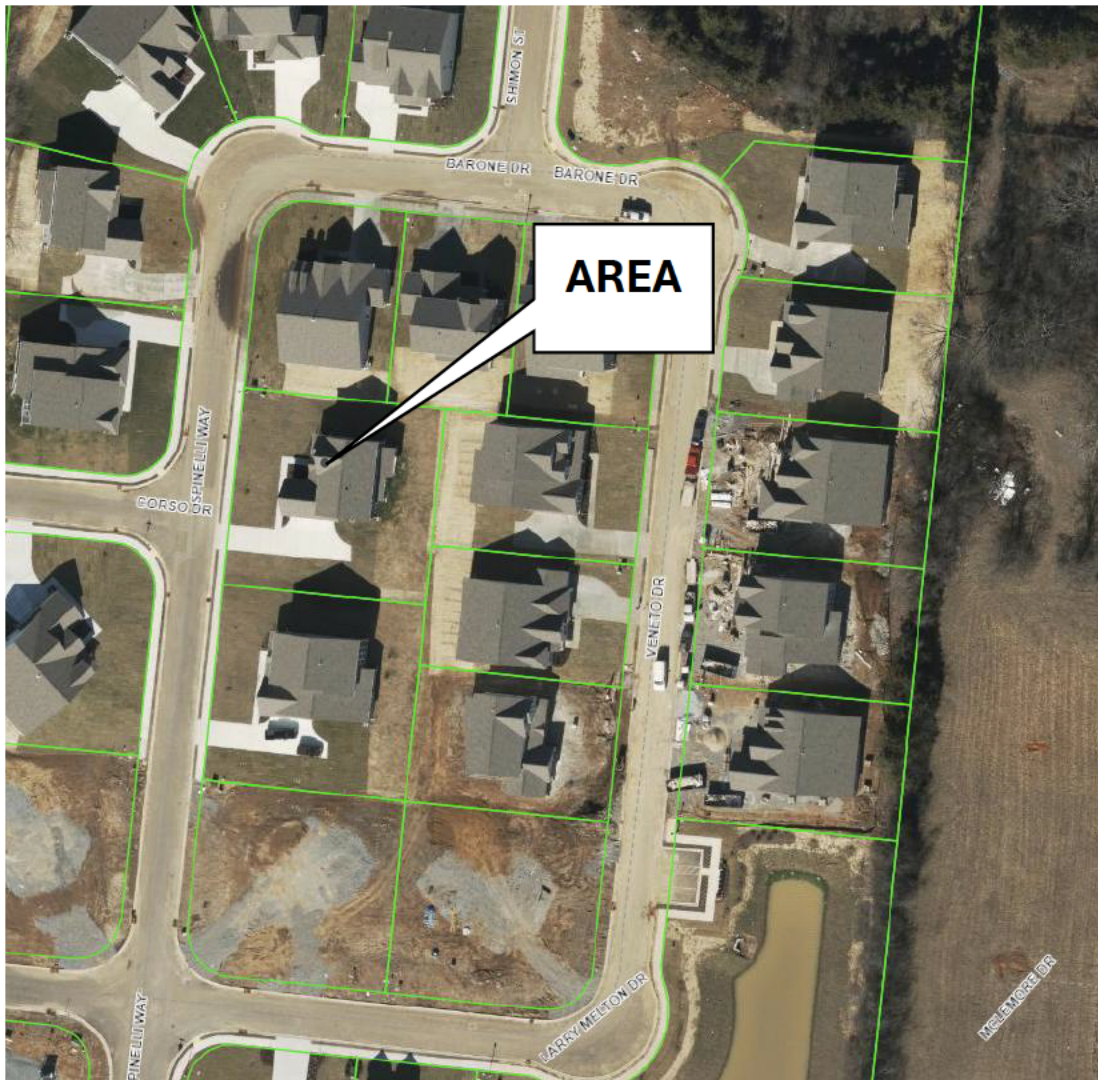
**Application:** Z-25-030

**Location:** 212 Spinelli Way

**Applicant:** Katheryne Giovannini

**Zoning:** RS-8 (Residential Single-Family – 8,000 square feet minimum lot size)

**Requests:** A special use permit to construct and establish an accessory apartment.



## **Overview**

### **Special Use Permit Request**

The applicant, Katheryne Giovannini, is requesting a special use permit (SUP) to construct and establish an accessory apartment at 212 Spinelli Way for the applicant to provide housing for her parents who require medical care. The accessory apartment is 700 square feet and located in the rear yard of the principal structure. The property is zoned RS-8 and is located within the Melton Estates single-family residential subdivision.

As depicted in the application site plan, the structure will be located in the rear yard of the principal structure, approximately 81.4 feet from the eastern (front) property line, 11 feet from the western property line (rear), and 6 feet from the southern (side) property line. The structure would face the interior of the rear yard of the primary structure. The proposed floor area of the accessory apartment is 700 square feet and includes a kitchen, living area, dining area, one bath, one bedroom with a walk-in closet, and a utility room. The proposed accessory apartment will feature a covered porch for 160 SQFT. The proposed structure will utilize Hardie plank material and a brick skirt, which is consistent with the existing single-family home and has one exterior entrance.

As proposed, the accessory apartment complies with the applicable bulk development standards:

	<b>Zoning Ordinance</b>	<b>Proposed Accessory Apartment</b>
Maximum Floor Area for accessory apartment	700 square feet	700 square feet
Maximum Building Height	35 feet	18 feet
Minimum Building Setbacks	<ul style="list-style-type: none"><li>- 40 feet from front property line</li><li>- 12.5 feet from side property lines</li><li>- 30 feet from rear property line</li></ul>	<ul style="list-style-type: none"><li>- 81.4 feet from front property line</li><li>- 6 feet from left side property line</li><li>- 102.95' feet from right side property line</li><li>- 11 feet away from rear property line</li></ul>

In addition, it is recommended that the applicant be required to complete and record the standard Restriction on Use of Land document prepared by the City Attorney. This document states that the accessory apartment can only be occupied by a family member or an invited guest and may not, under any circumstances, be used as a rental unit.. Recording it memorializes the restriction to put future buyers or owners on notice.

### **Relevant Zoning Ordinance Section**

Chart 1 of the City of Murfreesboro Zoning Ordinance allows accessory apartments with approval of a Special Use Permit the RS-8 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(a) sets forth Standards for Accessory Apartments in addition to the Standards of General

Applicability Section 9(C). The following are also the relevant sections from the Zoning Ordinance that apply to accessory apartments:

Section 25, Temporary and Accessory Structures, Subsection E:

*(1)(a): for interior lots in residential districts, detached accessory structures and uses, except fences, walls, and hedges, shall be located not less than sixty feet from the front lot line and in no event shall be closer to the front lot line than ten feet behind the front of the principal structure and not less than five feet from any side and rear lot lines. Detached accessory structures on residential lots that are closer than five feet to a principal structure shall be treated as attached structures for setback purposes whether physically attached or not; (4): no accessory structure shall exceed the height limitations of the district in which such structure is located*

Section 2, Definitions:

*Accessory Apartment: A secondary dwelling unit either in or added to an existing single family detached dwelling, or in a separate accessory structure on the same lot of record with its own separate exterior entry door, with provisions for cooking and food preparation (including sink and electrical outlets to accommodate kitchen appliances such as refrigerator, oven, or stove), sanitation (including toilet, sink, and shower or bathtub), and sleeping. Such a dwelling shall be accessory to the main dwelling.*

The Standards of General Applicability relating to Special Use Permits and Standards for Accessory Apartments are listed below with analysis from staff on how the proposed accessory apartment meets the standards.

**Standards of General Applicability with Staff Analysis:**

**(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:**

- As currently proposed, the plan for the accessory apartment complies with the minimum bulk development standards for accessory structure and accessory apartments. The structure will have adequate parking on site, and no changes to utility facilities are needed. The traffic conditions would remain the same and the proposed use would not affect the safety and general welfare of the neighborhood. Additionally, staff believes that the proposed accessory apartment will not have any adverse effect to the character of the neighborhood as the structure will be integrated in the overall design of the principal structure.

**(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:**

- Staff believes this standard has been met. As depicted on the proposed plans, the principal structure and accessory apartment comply with minimum bulk development standards. The proposed accessory apartment is not a rental and is to be used for family

members and would not interfere with adjacent properties or generate traffic. The accessory apartment will utilize Hardie plank siding for exterior materials and materials consistent with primary structure.

**(3) The proposed building or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**

- Staff believes this standard has been met. The proposed accessory apartment will be served adequately by essential public facilities because they are currently existing and already serve the property.

**(4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**

- Staff is not aware of any such features on-site that will be impacted by this use.

**(5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**

- Additional standards for Accessory Apartment uses are listed below.

**Additional Standards for Accessory Apartment Uses with Staff Analysis:**

**1.) Only one accessory apartment shall be allowed upon a lot zoned for single family purposes;**

- The applicant has confirmed that only one accessory apartment will be on the lot at 212 Spinelli Way.

**2.) Except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;**

- The applicant has confirmed that the owner, Kathrynne Giovannini, will reside on the property in the principal structure and the accessory apartment will be used by a family member, her parents. The applicant has agreed to record a “Restriction on Use of Land”, as recommended by the Planning Department for all accessory apartments.

**3.) The accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;**

- As depicted on the current plans, the design is compliant with the minimum bulk development standards for a principal structure, Minimum Yard Requirements and Land Use Intensity Ratios. The structure has a 81.4 -foot front setback and 11-foot rear setback, a 6-foot left side setback, and a 102.95-foot right side setback. The

exterior entrance to the accessory apartment is located to the interior of the rear yard of the existing house and not visible from the street.

**4.) If attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;**

- Per the attached site plan, the proposed accessory apartment is in a detached accessory structure. This standard does not apply.

**5.) The design and size of the accessory apartment shall conform to all applicable standards in the health, building and other codes;**

- As it is currently depicted, the accessory apartment will be 700 square feet and if approved, the applicant is required to obtain all necessary building permits to construct the accessory apartment. The applicant has confirmed that the design and construction will conform to all applicable standards in the health, building, and other codes. The structure complies with the setback requirements for detached accessory structure and will not exceed 35 feet in height. The maximum height of the accessory apartment will be 18 feet.

**6.) The accessory apartment shall not exceed seven hundred square feet of floor area;**

- The accessory apartment will be 700 square feet and will not exceed 700 square feet of floor area.

**7.) The BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and:**

- Staff recommends that, rather than the above, the BZA instead condition approval on the recording of a “Restriction on Use of Land”, prepared by the City Attorney, which requires that the accessory apartment only be occupied by a family member or an invited guest and cannot in any circumstances be used as rental unit.

**8.) The BZA may require additional standards may be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single-family zoning district;**

- The applicant understands that the BZA may require additional standards may be met in order to ensure compatibility.

↓

**Staff Recommendation:**

Staff recommends approval of the special use permit, based on the request meeting the minimum development standards of the ordinance, to allow a 700 square foot accessory apartment structure, as presented in the application documents, and with the following conditions.

**Recommended Conditions of Approval:**

1. The owner(s) of the property for this accessory apartment unit shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members.
2. Prior to applying for building permits, the applicant shall complete and record the "Restriction on Use of Land" document prepared by the City Attorney, which shall limit the use of the accessory apartment to only what is allowed by the Zoning Ordinance.
3. Separate utility meters or service connections, including, but not limited to, electricity, gas, water, or sewer, shall not be installed or requested for the accessory apartment
4. A separate mailbox or mail receptacle shall not be installed or designated for the accessory apartment.
5. The applicant shall obtain all necessary permits with the Building and Codes Department and shall comply with all code requirements.

**Attached Exhibits**

- A. Application
- B. Procedure form
- C. Site plan
- D. Floor plan

City of Murfreesboro  
BOARD OF ZONING APPEALS

HEARING REQUEST  
APPLICATION

Location/Street Address: 212 Spinelli Way

Tax Map: 093M Group: C Parcel: 0600 Zoning District:

Applicant: Katherine Giannini E-Mail: [REDACTED]

Address: 212 Spinelli Way

Phone: 5083406650

City: Murfreesboro

State: TN

Zip: 37128

Property Owner: Katherine Giannini

Address: 212 Spinelli Way

Phone: 5083406650

City: Murfreesboro

State: TN

Zip: 37128

Request: Detached in-law suite with 700 sq ft of living area, master bedroom, laundry room, permanent living space.

Zoning District: Permanent living space.

Applicant Signature: [Signature]

Date: 10/15/25

Received By: AF

Receipt #: 375279

Application #: 2-25-030

Date: 11/26/25

Murfreesboro  
Board of  
Zoning Appeals



T E N N E S S E E  
HEARING APPLICATION  
AND  
GENERAL INFORMATION





## Board of Zoning Appeals Procedure Form

### Request for Accessory Apartment

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator.**

Date: 10/5/2025

Applicant name & title: Katherine Giannini Planner name: Sam Adams

Application request: Adding detached in-law suite @ 700 sq ft

Purpose of request: Allow for parents to live permanently as they need to relocate from south Dakota to Tennessee due to severe weather reasons

#### Section 8 – Procedure for Uses Requiring Special Use Permits

- a) Name, address, and telephone number of the applicant

Katherine Giannini  
212 Spinnelli Way  
Murfreesboro, TN 37128  
508-340-6650 or 803-760-8126

- b) Nature and extent of applicant's ownership interest in subject property

Sole owner

- c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals

- d) Address of the site of the proposed special use

212 Spinnelli Way, Murfreesboro, TN 37128

- e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius





f) Zoning classification the property of the proposed special use

RS-8

g) The property of the proposed special use shall have the following characteristics:

1) Hours and days of operation

residence

2) Duration of the proposed special use

for duration of ownership

3) Number of expected patrons that will be expected to utilize the property of the proposed special use

The structure will be housing 2 adults, (parents)

4) Projected traffic that will be expected to be generated by the proposed special use

Driveway is a large enough space to house their (1) additional vehicle.

h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them

None presented.

## Section 9 – Standards for Special Use Permits

### Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

- 1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;

The proposed accessory structure will not have a substantial or undue adverse effect upon any adjacent properties as it will be used only by our parents, as their permanent living space. Existing electric, water and sewage services will be used. Traffic conditions will remain the same and the proposed use would not affect the safety and general welfare of the



- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;

The proposed new structure will be used in  
a manner that is compatible with the immediate  
vicinity and will not interfere with surrounding  
properties, structure will have same design as current

- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;

The proposed new structure will be served  
adequately by essential public facilities that  
are currently existing and serve the  
property now.

- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,

The proposed structure will not make any  
impact on natural, scenic, or historic features.

- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.

Additional standards are listed below.

#### Standards for (a) Accessory Apartments

Please explain how you will comply with the following standards:

[1] only one accessory apartment shall be allowed upon a lot zoned for single family purposes;

There are no other accessory apartments  
or buildings on the property.



[2] except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;

Owner intends to stay on property full time  
and use will be by owner's family (parents).

[3] the accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;

As depicted in the attached lot plan the  
new structure will be detached and is located,  
The expectations are that the new structure  
will be consistent with the neighborhood. The proposed

[4] if attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;

This standard would not apply as the  
structure is detached.

building  
will  
the use  
as  
primary  
residence

[5] the design and size of the accessory apartment shall conform to all applicable standards in the health, building, and other codes;

The detached apartment for in laws will  
be a total of 700 sq ft. This will include a  
living room, bedroom, small laundry space and  
bathroom. The design + construction will conform to all

[6] the accessory apartment shall not exceed seven hundred square feet of floor area;

correct. The total dimension of the  
home will 700 sq ft for the detached  
apartment.

applicable  
health  
building  
and  
other  
codes



[7] the BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and,

The applicant is willing to allow the  
rescinding of the special use permit  
if the property is sold to a new owner.

[8] the BZA may require additional standards be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single family zoning district.

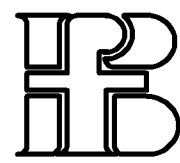
The applicant understands that the BZA  
may require additional standards to be  
met in order to ensure compatibility.

Date: 10/15/25

Applicant signature:

[Handwritten Signature]





# A HOME DESIGN BY BRELAND & FARMER DESIGNERS

EDSEL BRELAND, FAIBD

PHONE: 800-662-8262

TERMS AND CONDITIONS FOR USE OF THIS PLAN

THESE AND CONDITIONS. BRELAND & FARMER ASSUMES NO LIABILITY OR RESPONSIBILITY IN CONNECTION WITH THE BUILDING OF A HOME UTILIZING THIS PLAN EXCEPT WHEN THE DESIGNER IS EMPLOYED TO OVERSEE AND MANAGE THE ENTIRE BUILDING PROCESS TO INSURE THAT ALL ASPECTS OF THE CONSTRUCTION ARE IN ACCORDANCE WITH THE INTENTION OF THE DESIGNER. THIS SERVICE IS AVAILABLE TO ALL PURCHASERS OF THE PLAN FOR A FEE EQUIVALENT TO 12% OF THE COST OF BUILDING THE HOME. THE PURCHASER OF THE PLAN AGREES TO INDEMNIFY, DEFEND AND HOLD HARMLESS BRELAND & FARMER (INCLUDING BRELAND & FARMER'S DIRECTORS, OFFICERS, AGENTS AND REPRESENTATIVES) FROM AND AGAINST ANY AND ALL LIABILITY, LOSSES, DAMAGES, FINES, AWARDS, JUDGEMENTS AND CLAIMS (INCLUDING COUNSEL FEES AND EXPENSES) INCURRED AS A RESULT OF BUILDING A HOME USING THIS PLAN UNLESS BRELAND & FARMER IS RETAINED TO SUPERVISE THE ACTUAL CONSTRUCTION AS STATED ABOVE. USE OF THIS PLAN SHALL INDICATE THE ACCEPTANCE OF THIS LICENSE AGREEMENT.

IF YOU HAVE QUESTIONS REGARDING YOUR PLANS OR IF YOU NEED ADDITIONAL PRINTS CALL 800-662-6262.

IF YOU WISH TO UPGRADE YOUR PLAN TO PDF OR CAD - CALL 1-800-662-8262. OPTIONAL FOUNDATIONS AND A MATERIALS LIST ARE AVAILABLE FOR THIS PLAN - CALL 800-662-8262

## BEFORE SUBMITTING YOUR PLANS FOR PERMITS OR BIDS - REVIEW THE FOLLOWING:

### 1. CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED WHAT YOU ORDERED.

YOU SHOULD IMMEDIATELY CHECK YOUR PLANS TO MAKE SURE THAT YOU RECEIVED EXACTLY WHAT YOU ORDERED. ALL PLANS ARE CHECKED FOR CONTENT PRIOR TO SHIPPING, BUT MISTAKES DO HAPPEN. IF YOU FIND AN ERROR IN YOUR PLANS CALL 800-662-8262. ALL PLANS ARE DRAWN ON A PARTICULAR TYPE OF FOUNDATION AND ALL DETAILS OF THE PLAN WILL ILLUSTRATE THAT PARTICULAR FOUNDATION. IF YOU ORDERED AN ALTERNATE FOUNDATION TYPE, IT SHOULD BE INCLUDED IMMEDIATELY AFTER THE ORIGINAL FOUNDATION. TELL YOUR BUILDER WHICH FOUNDATION YOU WISH TO USE AND DISREGARD THE OTHER FOUNDATION.

### 2. CHECK TO MAKE SURE YOU HAVE PURCHASED THE PROPER PLAN LICENSE

IF YOU PURCHASED PRINTS, YOUR PLAN WILL HAVE A STAMP INDICATING THAT IT IS ILLEGAL TO COPY THE PRINTS. THIS LICENSE GRANTS THE PURCHASER THE RIGHT TO BUILD ONE PROJECT USING THESE CONSTRUCTION DRAWINGS. IT IS ILLEGAL TO MAKE COPIES. DOING SO IS ILLEGAL AND PUNISHABLE UP TO \$250,000 PER OFFENSE PLUS ATTORNEY FEES. IF YOU NEED MORE PRINTS, CALL 800-662-8262. THE HOME BUILDING INDUSTRY IS MONITORED FOR ILLEGAL PRINTS BY THE COUNCIL OF PUBLISHING HOME DESIGNERS.

IT IS ALSO ILLEGAL TO MODIFY OR REDRAW THE PLAN IF YOU PURCHASED A PRINT. IF YOU PURCHASED PRINTS AND NEED TO MODIFY THE PLAN, YOU CAN UPGRADE TO ELECTRONIC CAD FILES- CALL 800-662-8262

BRELAND AND FARMER CAN MODIFY THE PLAN FOR YOU IF YOU PREFER TO WORK WITH THE DESIGNER AND COPYRIGHT HOLDER. CALL 800-662-8262 TO SPEAK WITH A CONSULTANT.

### 3. COMPLETE THE "OWNER SELECTION" PORTION OF THE PLAN

THE WORKING DRAWINGS ARE VERY COMPLETE BUT THERE ARE ITEMS THAT YOU MUST DECIDE UPON. EXAMPLE - THE PLANS SHOW A TOILET IN THE BATH ROOM BUT THERE ARE HUNDREDS OF MODELS TO CHOOSE FROM. YOUR INDIVIDUAL SELECTION SHOULD BE MADE BASED UPON THE COLOR, STYLE AND PRICE YOU WISH TO PAY. THIS SAME THING IS TRUE FOR ALL OF THE PLUMBING FIXTURES, LIGHT FIXTURES, APPLIANCES, INTERIOR FINISHES (FOR THE FLOORS, WALLS AND CEILINGS) AND THE EXTERIOR FINISHES. WE HAVE INCLUDED SCHEDULES TO MAKE THIS PROCESS AS EASY AS POSSIBLE. IT IS VITAL THAT YOU COMPLETE THE COST ALLOWANCE SCHEDULES IN ORDER TO OBTAIN ACCURATE COMPETITIVE BIDS FOR THE CONSTRUCTION OF YOUR HOME. NOTE: THIS SECTION MAY NOT APPLY TO GARAGE OR PROJECT PLANS.

### 4. COMPLETE YOUR PERMIT PACKAGE BY ADDING OTHER DOCUMENTS THAT MAY BE REQUIRED

YOUR PERMIT DEPARTMENT, LENDER AND BUILDER WILL NEED OTHER DRAWINGS OR DOCUMENTS THAT MUST BE OBTAINED LOCALLY. THESE ITEMS ARE EXPLAINED BELOW.

### 5. OBTAIN A HEATING & COOLING CALCULATION AND LAYOUT

THE HEATING AND COOLING SYSTEM MUST BE CALCULATED AND DESIGNED FOR YOUR EXACT HOME AND YOUR LOCATION. EVEN THE ORIENTATION OF YOUR HOME CAN EFFECT THE SYSTEM SIZE. THIS SERVICE IS NORMALLY PROVIDED FREE OF CHARGE BY THE MECHANICAL COMPANY THAT IS SUPPLYING THE EQUIPMENT AND INSTALLATION. HOWEVER, TO GET A AN UNBIASED CALCULATION AND EQUIPMENT RECOMMENDATION, WE SUGGEST EMPLOYING THE SERVICES OF A MECHANICAL ENGINEER.

### 6. OBTAIN A SITE PLAN

A SITE PLAN IS A DOCUMENT THAT SHOWS THE RELATIONSHIP OF THE BUILDING TO YOUR PROPERTY. IT MAY BE AS SIMPLE AS THE DOCUMENT YOUR SURVEYOR PROVIDES OR IT CAN BE A COMPLEX COLLECTION OF DRAWINGS SUCH AS THOSE PREPARED BY A LANDSCAPE ARCHITECT. TYPICALLY, THE DOCUMENT PREPARED BY A SURVEYOR WILL ONLY SHOW THE PROPERTY BOUNDARIES AND THE FOOTPRINT OF THE HOME. LANDSCAPE ARCHITECTS CAN PROVIDE PLANNING AND DRAWINGS FOR ALL SITE AMENITIES SUCH AS DRIVEWAYS AND WALKWAYS, OUTDOOR STRUCTURES SUCH AS POOLS, PLANTING PLANS, IRRIGATION PLANS AND OUTDOOR LIGHTING.

### 7. OBTAIN EARTHQUAKE OR HURRICANE ENGINEERING IF YOU ARE PLANNING TO BUILD IN A EARTHQUAKE OR HURRICANE ZONE.

IF YOU ARE BUILDING IN A EARTHQUAKE OF HURRICANE ZONE, YOUR PERMIT DEPARTMENT WILL MOST LIKELY REQUIRE YOU TO SUBMIT CALCULATIONS AND DRAWINGS TO ILLUSTRATE THE ABILITY OF THE BUILDING TO WITHSTAND THOSE FORCES. THIS INFORMATION IS NEVER INCLUDED WITH PRE-DRAWN PLANS BECAUSE IT WOULD PENALIZE THE VAST MAJORITY OF PLAN PURCHASERS WHO DO NOT BUILD IN THOSE ZONES. THIS INFORMATION IS USUALLY PROVIDED BY A STRUCTURAL ENGINEER LICENSED BY THE STATE WHERE YOU ARE BUILDING.

### 8. REVIEW YOUR PLAN TO SEE IF MODIFICATIONS ARE NEEDED

THESE PLANS HAVE BEEN DESIGNED TO ASSUMED CONDITIONS AND DO NOT ADDRESS THE INDIVIDUAL SITE WHERE YOU ARE BUILDING. CONDITIONS CAN VARY GREATLY INCLUDING SOIL CONDITIONS, WIND & SNOW LOADS AND TEMPERATURE. ANY ONE OF THESE CONDITIONS MAY REQUIRE SOME MODIFICATION OF YOUR PLAN. EXAMPLE - IF YOU LIVE IN AN AREA THAT RECEIVES SNOW, STRUCTURAL CHANGES MAY BE NECESSARY. WE SUGGEST:

1. HAVE YOUR SOIL TESTED BY A SOIL TESTING LABORATORY SO THAT SUB-SURFACE CONDITIONS CAN BE DETERMINED AT YOUR SPECIFIC BUILDING SITE. THE FINDINGS OF THE SOIL TESTING LABORATORY SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER TO DETERMINE IF THE EXISTING PLAN FOUNDATION IS SUITABLE OF IF MODIFICATIONS ARE NEEDED.

2. HAVE YOUR ENTIRE PLAN REVIEWED BY YOUR BUILDER OR A STRUCTURAL ENGINEER TO DETERMINE IF OTHER DESIGN ELEMENTS, SUCH AS LOAD BEARING BEAMS, ARE SIZED APPROPRIATELY FOR THE CONDITIONS THAT EXIST AT YOUR SITE.

NOW THAT YOU HAVE THE COMPLETE PLAN, YOU MAY DISCOVER ITEMS THAT YOU WISH TO MODIFY TO SUIT YOUR OWN PERSONAL TASTE OR DECOR. TO CHANGE THE DRAWINGS, YOU MUST HAVE ELECTRONIC CAD FILES WHICH INCLUDES THE PROPER LICENSE THAT WILL ALLOW YOU TO MAKE THE CHANGES. IF YOU PREFER, BRELAND AND FARMER CAN MAKE THE MODIFICATIONS FOR YOU. CALL 1-800-662-8262 FOR A QUOTE.

### 9. RECORD YOUR BLUEPRINT LICENSE NUMBER

RECORD YOUR LICENSE NUMBER FOR EASY REFERENCE. REFER TO THE SEPARATE LICENSE YOU RECEIVED WITH YOUR PDF FILE. IF YOU OR YOUR BUILDER SHOULD NEED TECHNICAL SUPPORT THE LICENSE NUMBER MAY BE REQUIRED TO ACCESS YOUR FILE. NOTE: ELECTRONIC FILES WILL HAVE A SEPARATE AND UNIQUE LICENSE NUMBER WHICH WILL BE INCLUDED IN THE LICENSE.

### 10. KEEP ONE SET OF PLANS AS LONG AS YOU OWN THE HOME

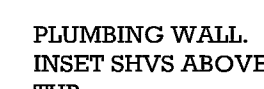
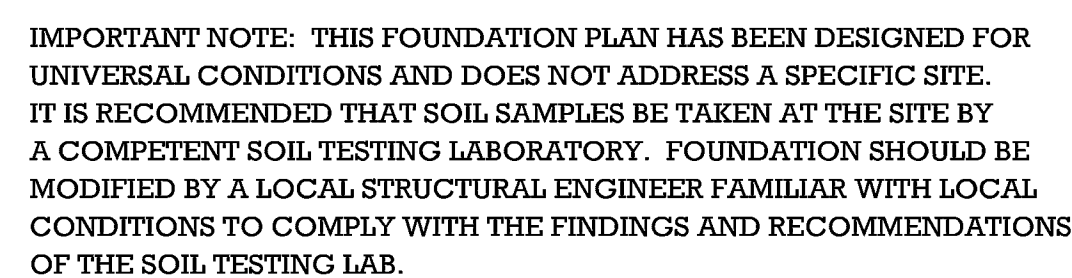
BE SURE TO FILE ONE COPY OF YOUR PLAN AWAY FOR SAFE KEEPING. YOU MAY NEED A COPY IN THE FUTURE IF YOU REMODEL OR SELL THE PROPERTY. BY FILING A COPY AWAY FOR SAFE KEEPING, YOU CAN AVOID THE COST OF HAVING TO PURCHASE PLANS LATER ON.

DO NOT ISSUE A BUILDING PERMIT UNLESS THE APPLICANT INCLUDES A LICENSE TO BUILD ISSUED AND VALIDATED BY BRELAND AND FARMER DESIGNERS, INC. WHICH INCLUDES THE APPLICANTS NAME AND THE EXACT BUILDING ADDRESS





NOTE: ALL ELEVATIONS ARE DRAWN TO 1/4" EQUAL 1' - 0" SCALE



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1. INSTALL DOUBLE JOIST UNDER ALL PARTITION WALLS PARALLEL TO FLOOR JOIST (MAY NOT BE SHOWN ON FLOOR JOIST FRAMING PLAN)
2. INSTALL 6M POLYETHYLENE ON GRADE BELOW JOIST
3. EXTERIOR DIMENSIONS ARE TO OUTER EDGE OF STUDS & CURTAIN WALL (DOES NOT INCLUDE BRICK OR STONE VENEERS)
4. SEE SPECIFICATIONS FOR STUD SPACING
5. FOUNDATIONS VENTS TO HAVE ADJUSTABLE DAMPER AND SCREEN BACK
6. CONTRACTOR TO VERIFY ALL DATA AND CONDITIONS
7. ALL PARTICLE BOARD SHALL CONTAIN NO FORMALDEHYDE TYPE GLUE

## CRAWL SPACE FOUNDATION PLAN

SCALE  $1/4" = 1'-0"$

## FLOOR PLAN

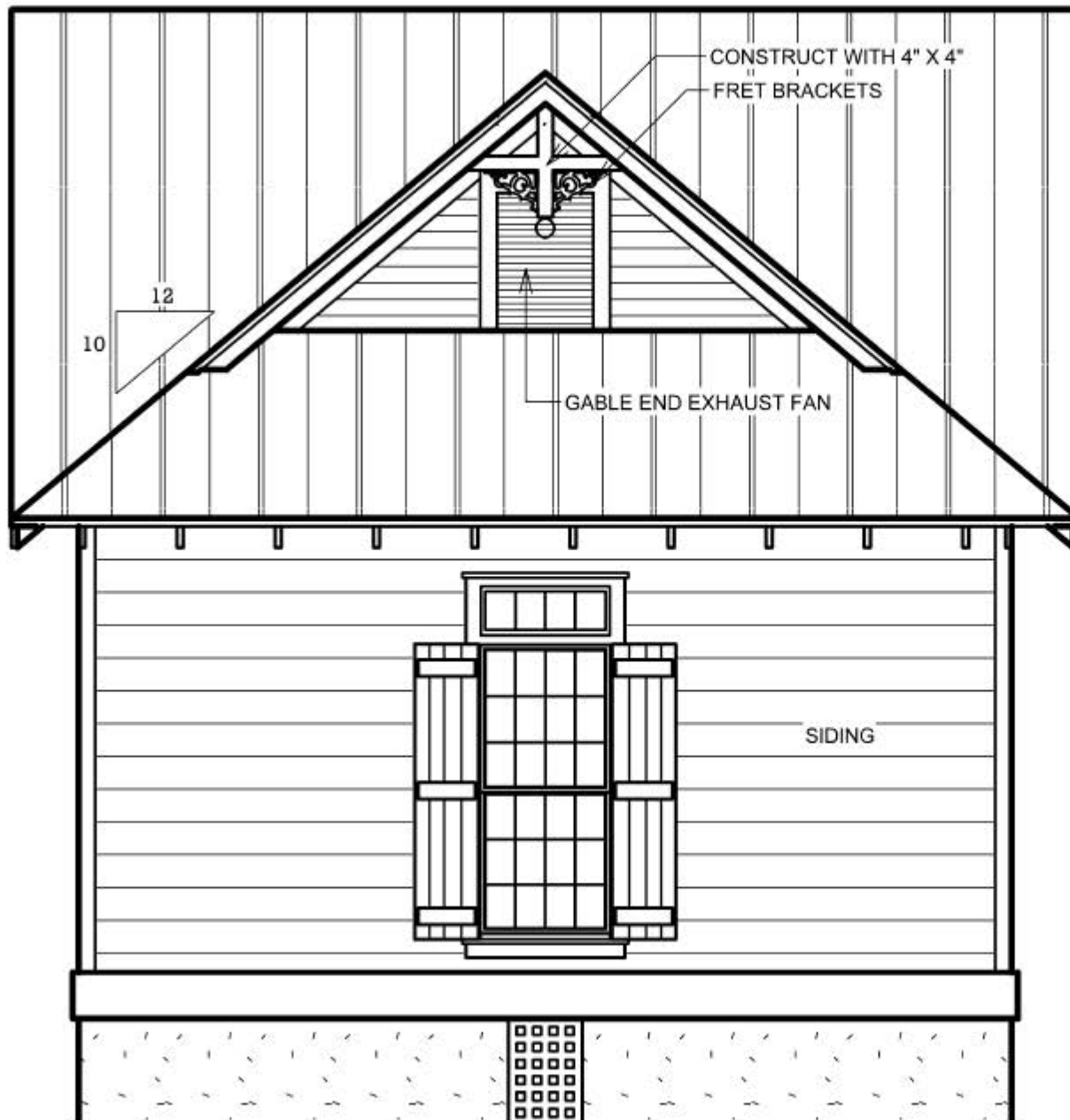
SCALE  $1/4" = 1'-0"$

WALL LEGEND

8" WIDE MASONRY WALL - SEE FOUNDATION DETAILS

2" X 4" STUDS INTERIOR WALL FINISHED  
ON EACH SIDE WITH GYPSUM BOARD

INSULATED 2" X 6" STUDS EXTERIOR WALL WITH  
PLYWOOD SHEATHING AND HORIZONTAL SIDING  
INTERIOR SIDE FINISHED WITH GYPSUM BD.



9'-0"

1'-0"

RAISED PLATE

CEILING HEIGHT

TOP OF WINDOWS & DOORS

TRANSOM NOT INCLUDED

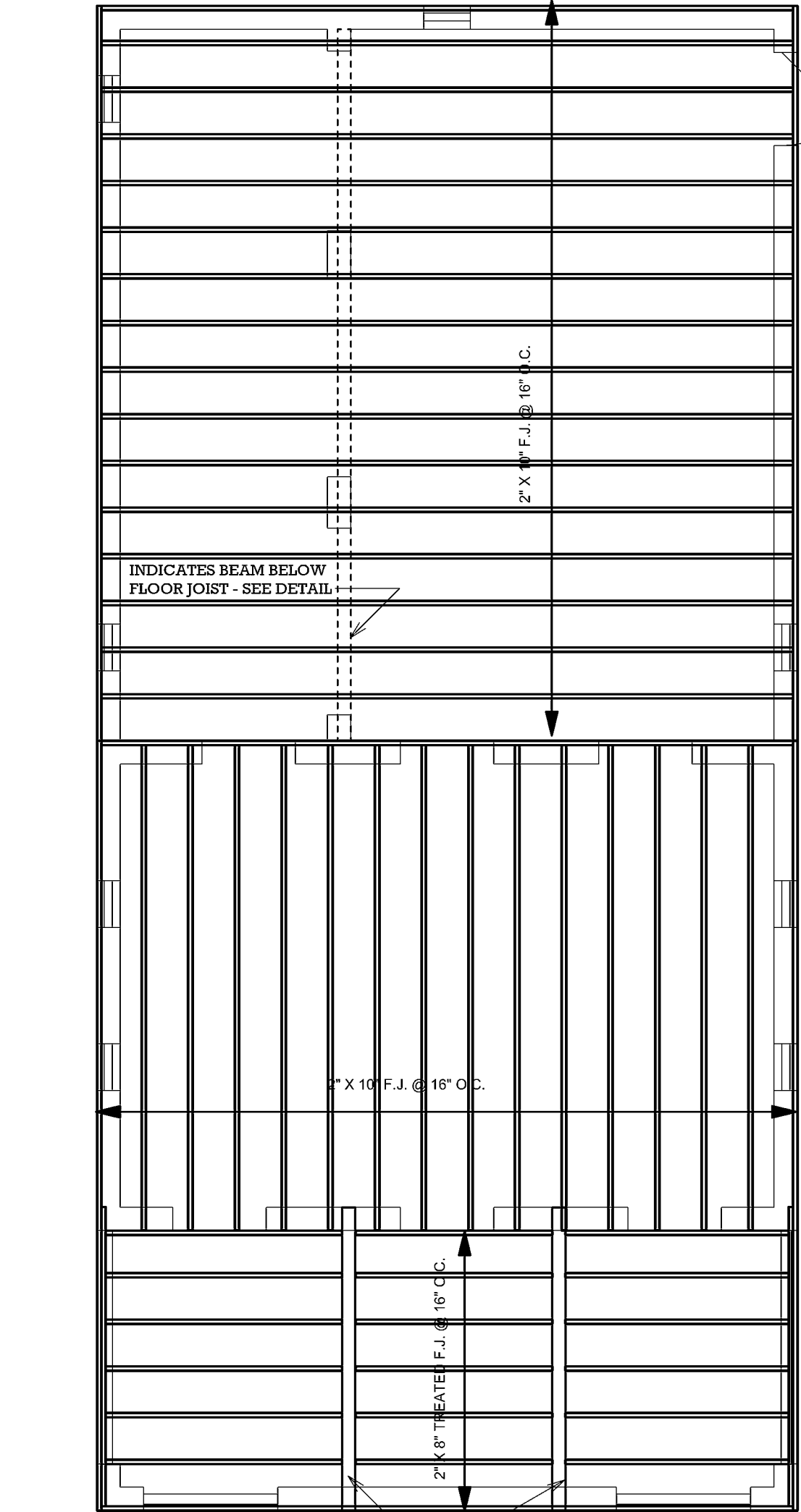
9'-0"

6'-8"

FLOOR LEVEL

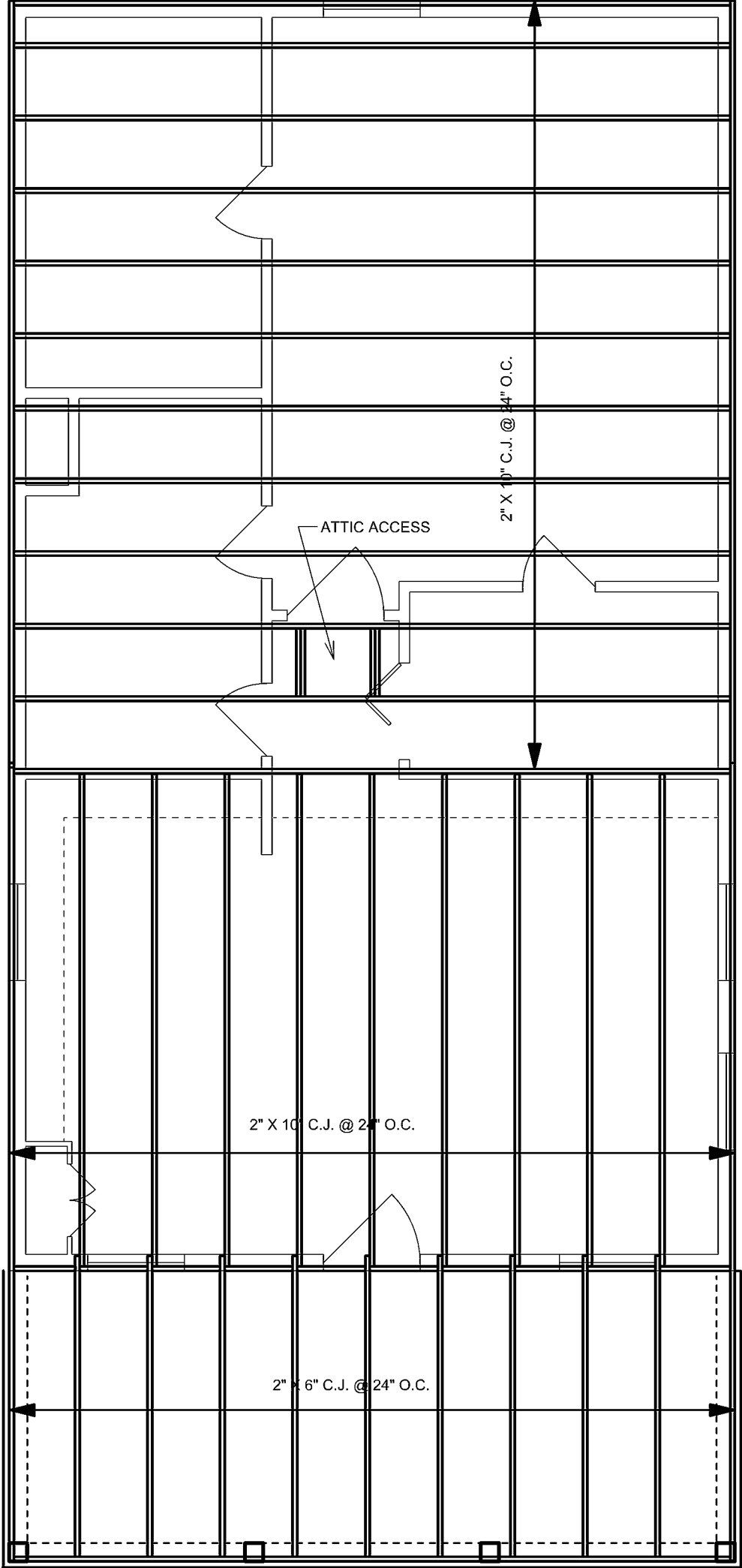
NEEDING PERMIT UNLESS  
USE TO BUILD IS  
AND FARM





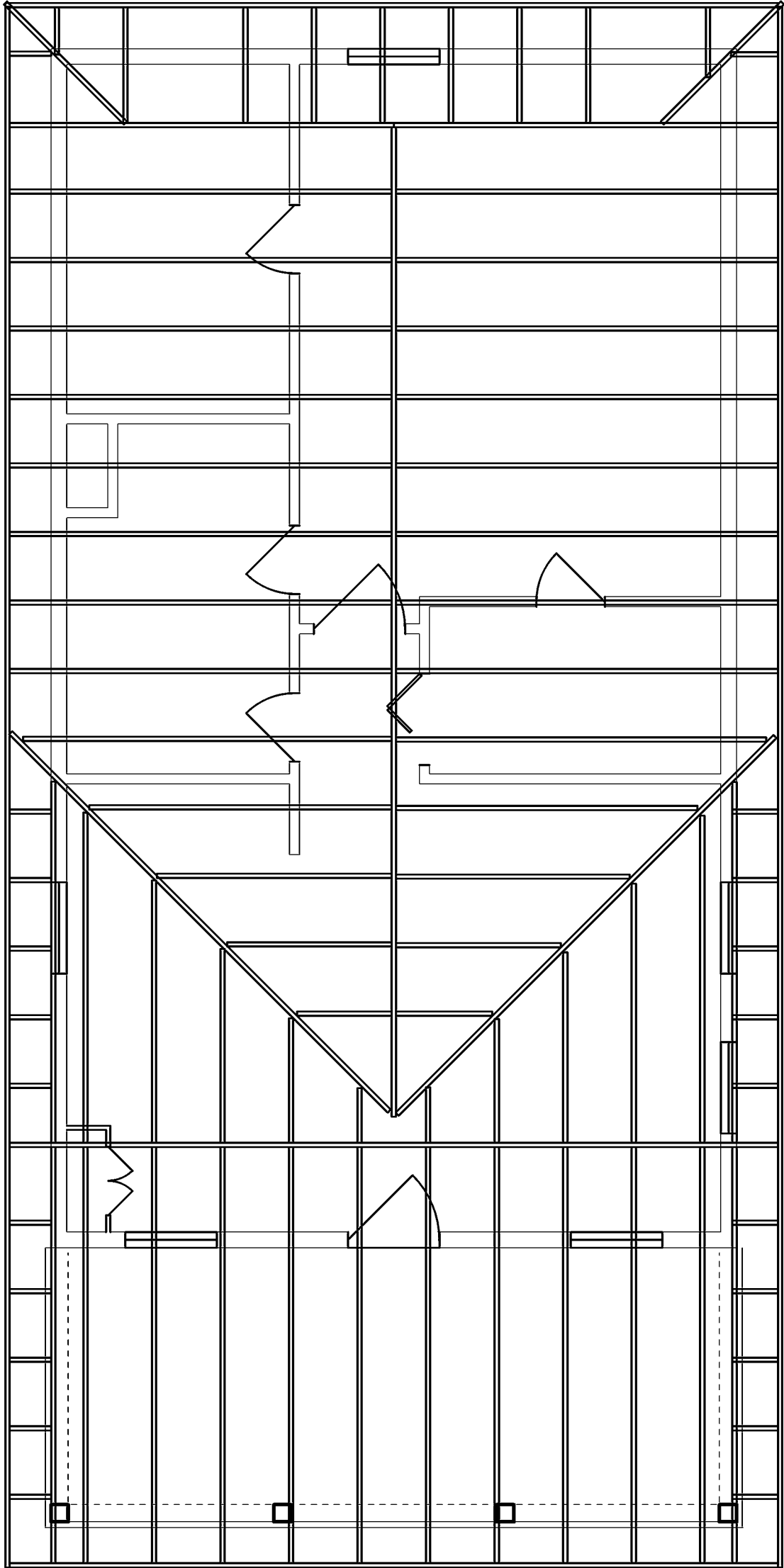
FLOOR JOIST FRAMING PLAN

SCALE 1/4" = 1'-0"



CEILING JOIST FRAMING PLAN

SCALE 1/4" = 1'-0"



ROOF FRAMING PLAN

SCALE 1/4" = 1'-0"

ALL COMMON RAFTERS ARE 2" X 8" AT 24" O. C.  
ALL VALLEY, HIP & RIDGE RAFTERS ARE 2" X 8"

WINDOW SCHEDULE				NOTE: OWNER OR BUILDER TO INSERT ROUGH OPENING SIZE AND BRAND NAME OF WINDOW TO BE USED - SEE WINDOW ALLOWANCE SCHEDULE IN SPECIFICATIONS
MARK	WINDOW SIZE	DESCRIPTION	ROUGH OPENING	BRAND
A	2'-8" x 6'-0" / 2'-8" X 1'-0"	WOOD FRAME INSULATED DOUBLE HUNG WINDOW WITH TRANSOM & OPERABLE SHUTTERS		
B	2'-8" x 3'-0" / 2'-8" X 1'-0"	WOOD FRAME INSULATED DOUBLE HUNG WINDOW WITH TRANSOM & OPERABLE SHUTTERS		
NOTE: BECAUSE OF EXTREME VARIATIONS IN PRICE, THE WINDOW SCHEDULE ABOVE LISTSIZE AND DESCRIPTION ONLY. OWNER TO SELECT BRAND OF WINDOW ACCORDING TO ALLOWANCE ( SEE SPECIFICATIONS) AND INSERT MANUFACTURERs BRAND, NUMBERND ROUGH OPENING SIZE WOOD WINDOWS TO BE METAL CLAD.				

DOOR SCHEDULE		
MARK	SIZE	DESCRIPTION
1	2'-8" X 6'-8" / 2'-8" X 1'-0"	EXTERIOR15 LITE FRENCH DOOR WITH TRANSOM ABOVE AND OPERABLE WOOD SHUTTERS
2	2'-8" X 6'-8"	INTERIOR WOOD DOOR WITH 6 RAISED PANELS
3	2'-0" X 6'-8"	INTERIOR WOOD DOOR WITH 6 RAISED PANELS
4	SIZE ON JOB SITE	INTERIOR PLYWOOD DOORS
5	2'-8" X 6'-8"	INTERIOR WOOD BI-FOLDING DOOR WITH 6 RAISED PANELS
ALL EXTERIOR DOORS TO BE METAL INSULATED UNLESS NOTED. ALL GLASS IN EXTERIOR DOORS TO BE INSULATED GLASS.		
ALL EXTERIOR DOORS ARE 1 3/4" THICK UNLESS NOTED ALL INTERIOR DOORS ARE 1 3/8" THICK UNLESS NOTED		

AREA SCHEDULE	GENERAL NOTES
LIVING AREA	700
PORCHES	160
TOTAL AREA UNDER ROOF	860
1. ALL DIMENSIONS ARE TO OUTSIDE OF STUDS OF EXTERIOR WALLS 2. CONTRACTOR TO VERIFY ALL DATA AND CONDITIONS 3. SEE FOUNDATION DETAILS FOR STUD SIZE AND SPACING 4. INSTALL ATTIC COOLING FANS AS REQUIRED ON ROOF FOR ATTIC VENTILATION 5. CAULK AROUND ALL EXTERIOR DOOR AND WINDOW FRAMES PRIOR TO INSTALLING INTERIOR FINISH 6. VERIFY ALL BEAM SIZES AND STRUCTURAL MEMBERS AND ADJUST IF NECESSARY FOR LOCAL CONDITIONS AND CODE REQUIREMENTS 7. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED 8. THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE 1996 CABO CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMIT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES. 9. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION.	

ELECTRICAL SYMBOLS	
SYMBOL	DESCRIPTION
	LED CEILING LIGHT FIXTURE
	LED RECESSED LIGHT FIXTURE
	LED RECESSED SWIVEL LIGHT FIXTURE
	LED WALL MOUNTED LIGHT FIXTURE
	DOUBLE FLOOD LIGHT
	LED TUBE FIXTURE
	RECESSED MULTI-TUBE LED FIXTURE
	SURFACE MOUNTED MULTI-TUBE LED FIXTURE
	110V OUTLET
	220V OUTLET
	DUPLEX OUTLET WITH GROUND FAULT INTERRUPT
	CABLE OR TV OUTLET. OWNER TO PLACE THIS SYMBOL WHERE OUTLETS ARE DESIRED

	CEILING FAN OR CEILING FAN WITH LIGHT DUAL SWITCHES AND WIRING INDICATES FAN WITH LIGHT FIXTURE.
	CHANDELIER
	SMOKE DETECTOR
	LED STRIP VANITY LIGHTS
	LED TRACK LIGHTS
	EXHAUST FAN
	EXHAUST FAN WITH HEATER
	SWITCH WITH DIMMER CONTROL
	SINGLE POLE SWITCH
	4 WAY SWITCH
	3 WAY SWITCH
	SINGLE POLE SWITCH
	TELEPHONE OUTLETS - OWNER TO PLACE SYMBOL WHERE OUTLETS ARE DESIRED

## ELECTRICAL PLAN

OTHER WIRING REQUIREMENTS NOT SHOWN INCLUDE ATTIC ROOF FANS, RANGE AND OVENS, VENT HOODS, HEAT & A/C BLOWER UNITS, A/C COMPRESSOR, DISHWASHER, DISPOSAL, WHIRLPOOL TUBS AND OTHER SIMILAR ITEMS.

EXTERIOR DUPLEX ELECTRICAL OUTLETS TO HAVE WEATHER PROOF COVERS.

## MECHANICAL PLAN

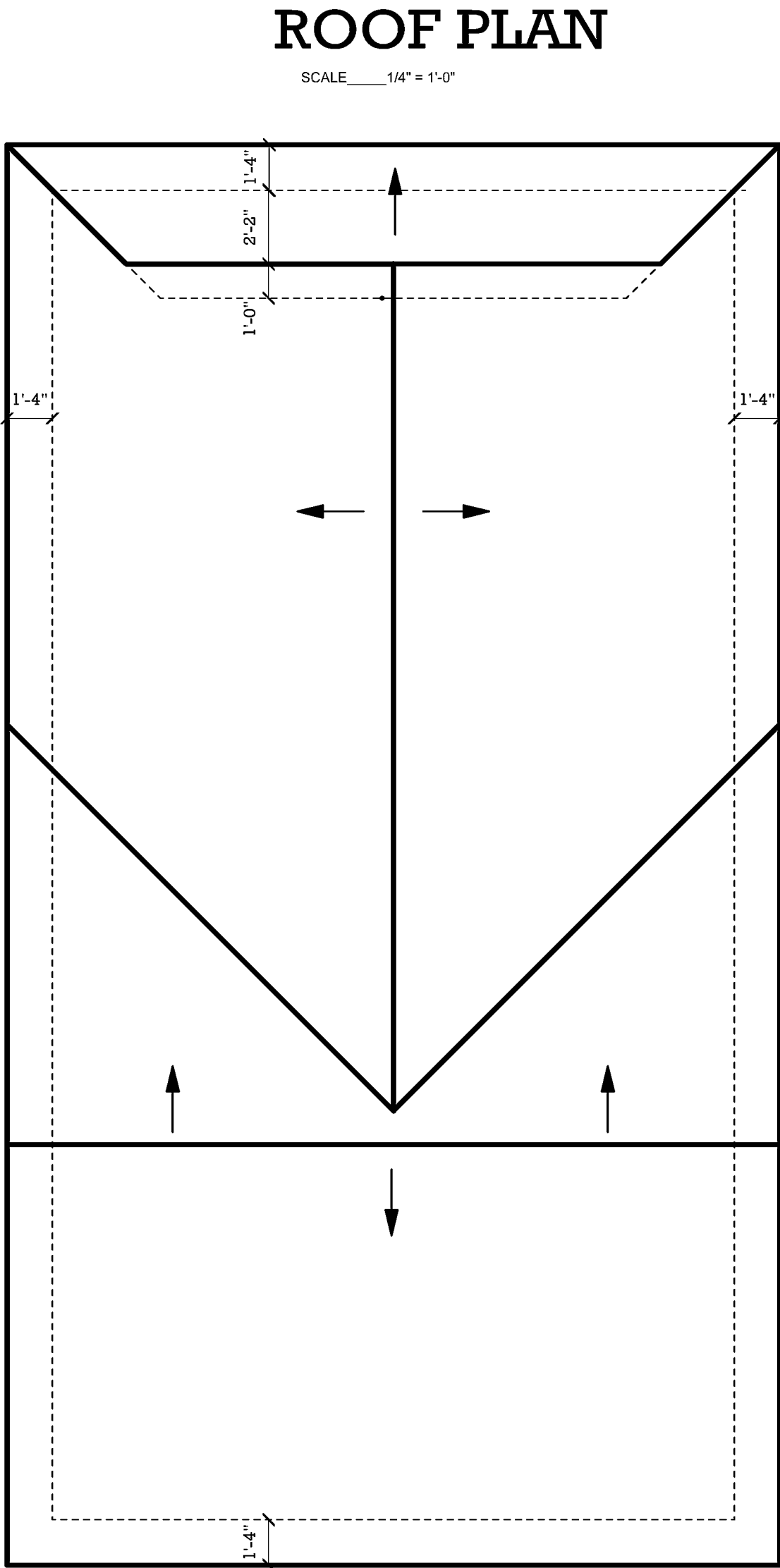
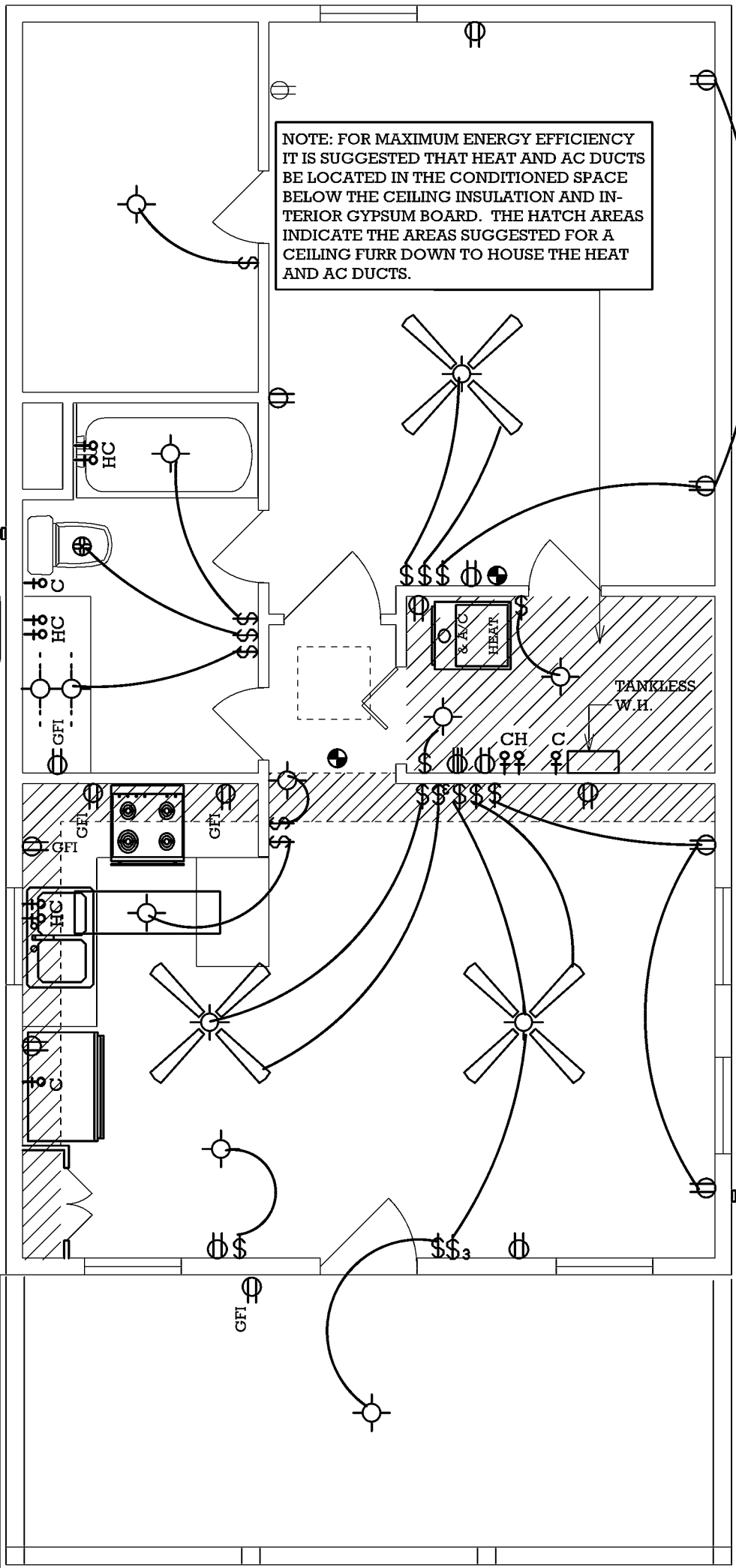
LOCATION OF FURNACE AND AC COMPRESSOR IS SHOWN ON THIS PLAN. HEAT LOSS/GAIN CALCULATIONS, DUCT LAYOUT AND EQUIPMENT SPECIFICATIONS TO BE PROVIDED BY OTHER

## PLUMBING PLAN

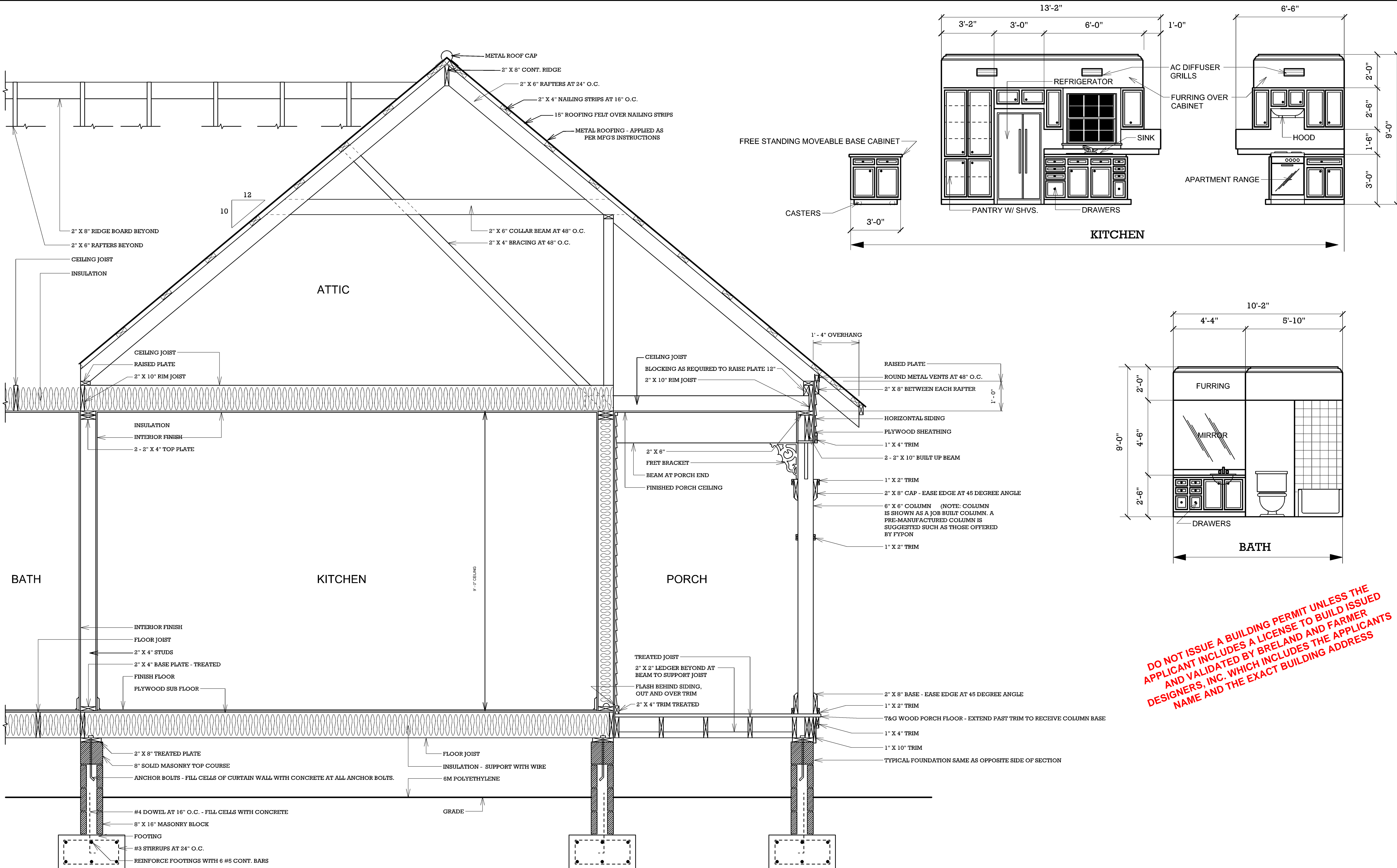
LOCATION OF WATER USING FIXTURES, HOSE BIBS AND WATER TAPS ARE SHOWN ON THIS PLAN. SEE PLANS BY OTHERS FOR WATER SUPPLY, VENTING AND DRAINAGE PIPING AND ROUTING. REFER TO SPECIFICATIONS FOR PLUMBING FIXTURE SELECTION.

HOSE BIB  
 COLD WATER OUTLET  
 HOT WATER OUTLET

## PLUMBING SYMBOLS



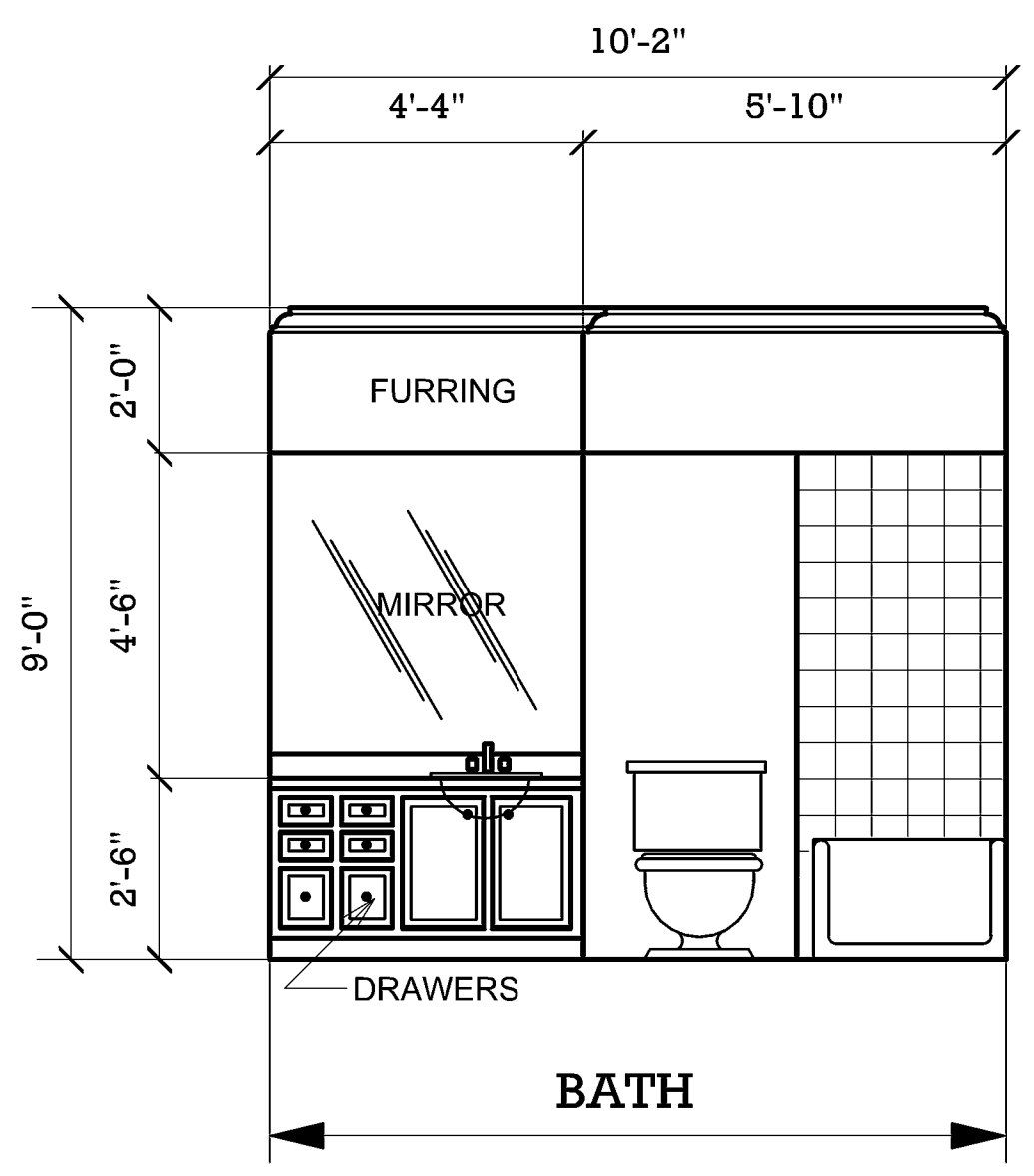
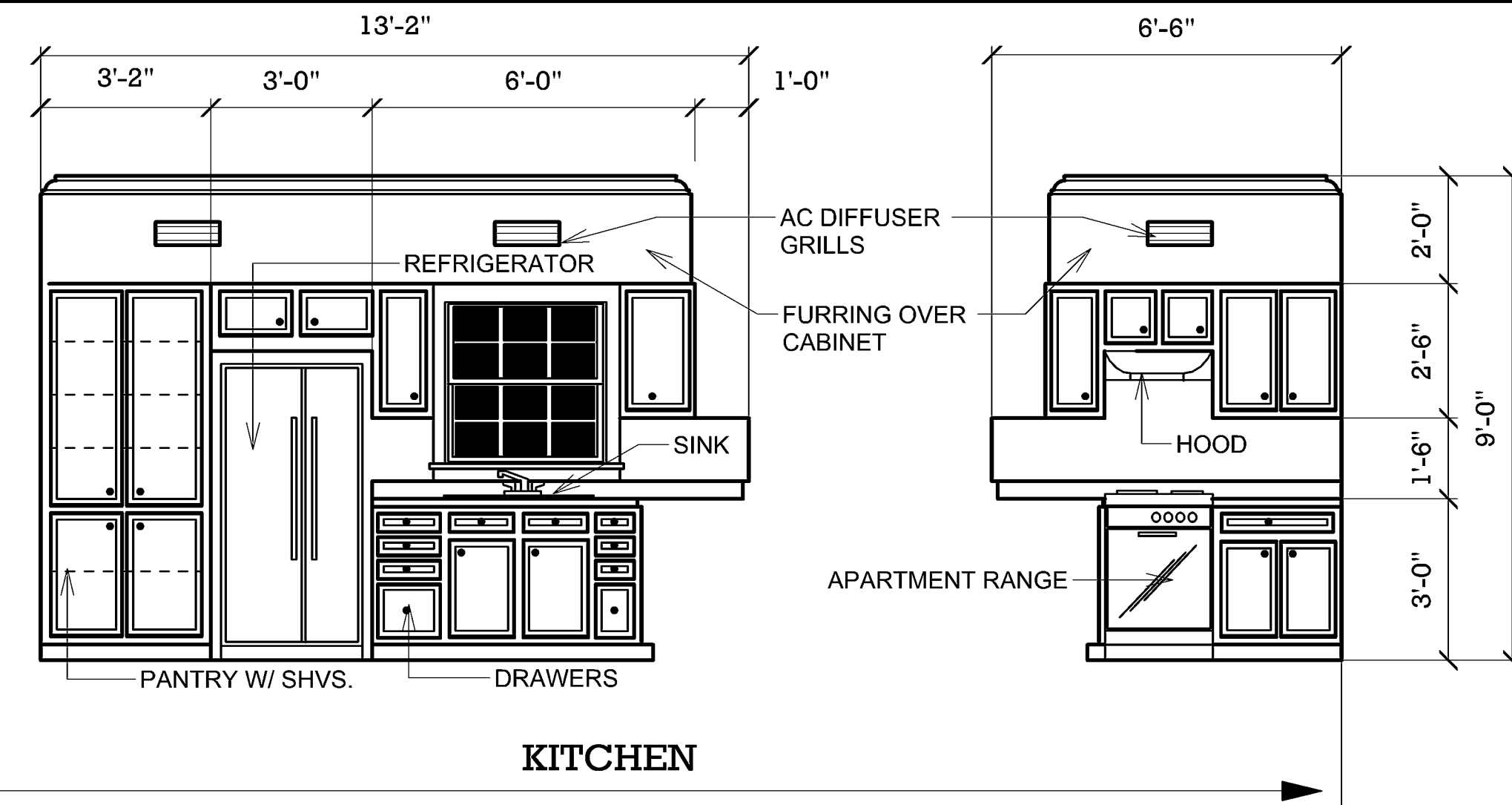
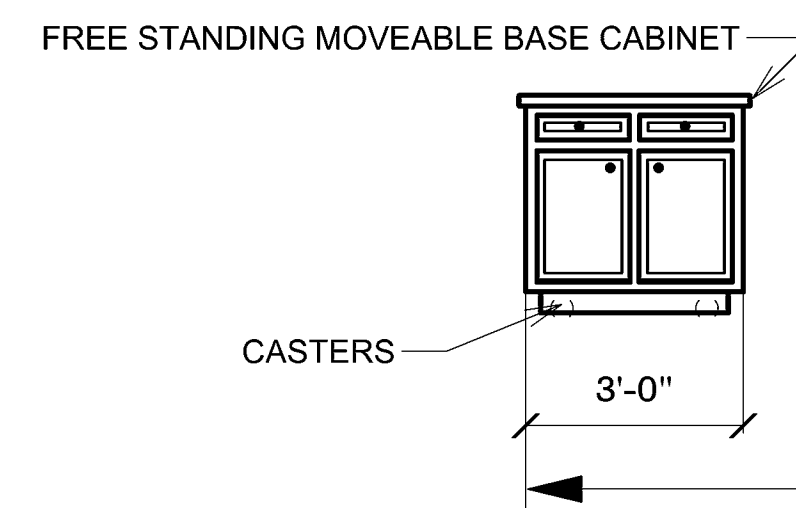




NOTE: THIS PLAN IS DESIGNED ON A CRAWL SPACE FOUNDATION AND THE FOOTING DETAILS SHOWN ON THE BUILDING SECTION REFLECT THE CRAWL SPACE FOUNDATION. AN OPTIONAL SLAB FOUNDATION IS AVAILABLE. WHEN USING THE OPTIONAL SLAB FOUNDATION, REFER TO THE FOOTING DETAILS FOR THE SLAB CONSTRUCTION

# SECTION THROUGH PORCH AND KITCHEN

SCALE 3/4" = 1'-0"



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A  
B

I  
D

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CONTRACTS OF PUBLISHED HOME DESIGNERS

## BRELAND AND FARMER DESIGNERS, INC.

DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR COPYRIGHT BY BRELAND AND FARMER DESIGNERS, INC.

DATE \_\_\_\_\_

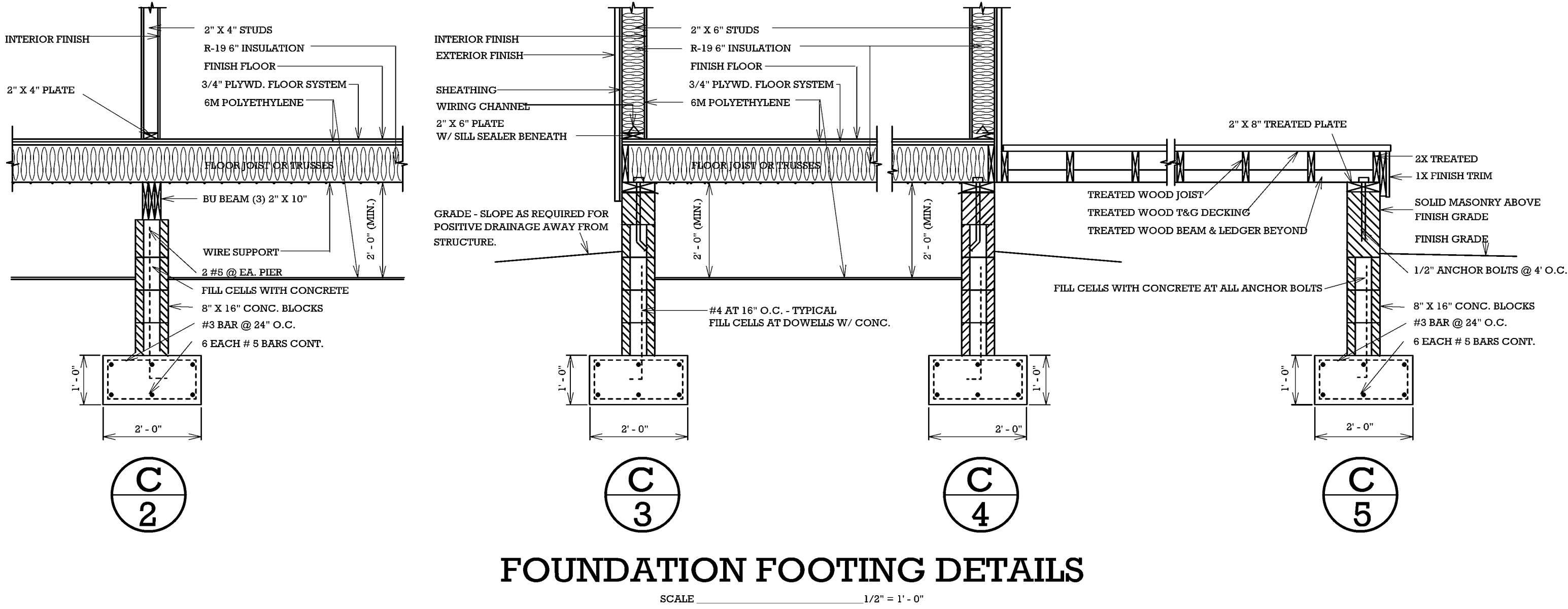
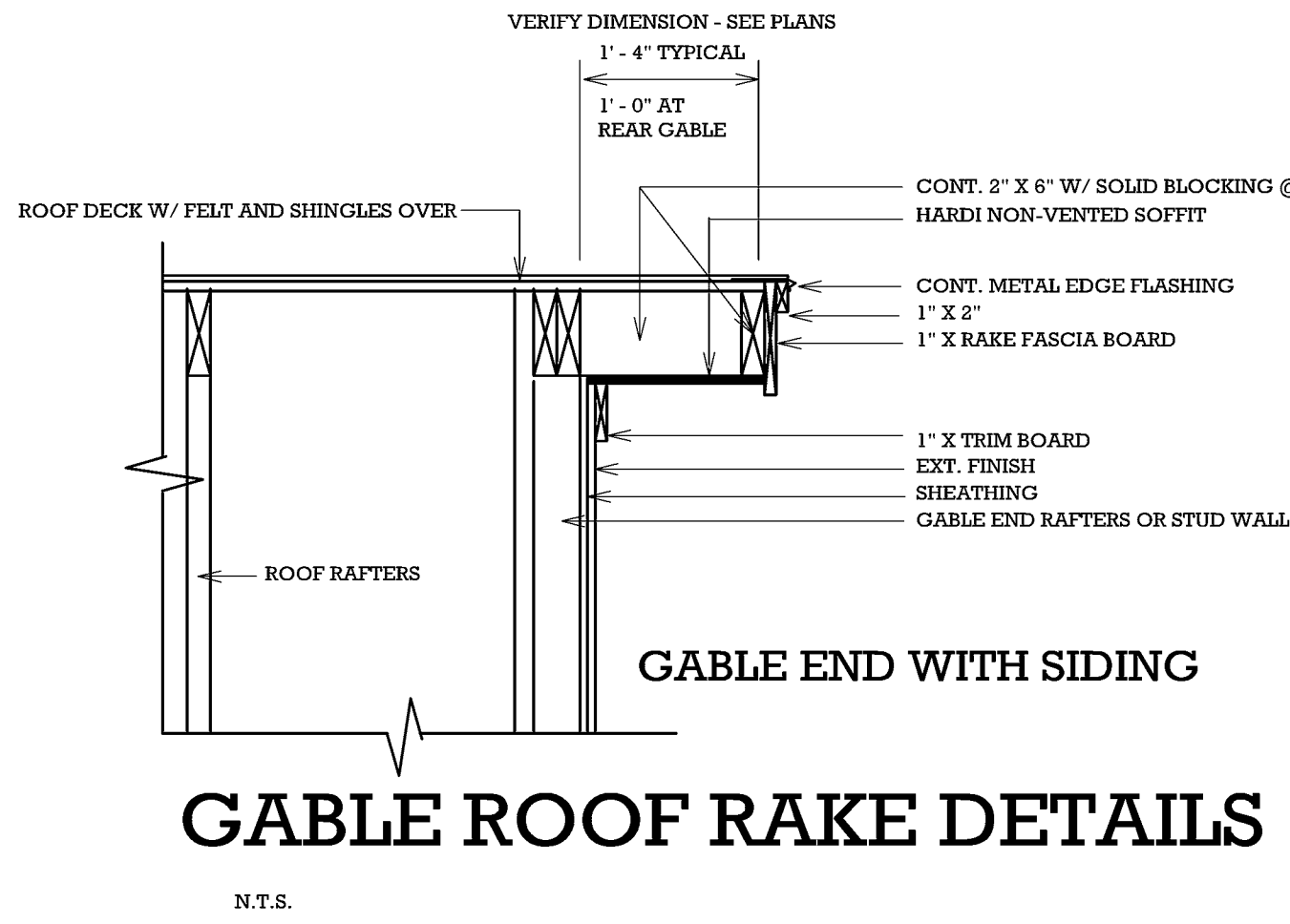
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REVISIONS \_\_\_\_\_

4	SHEET OF 6
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PLAN NUMBER 700





MAXIMUM SPAN FOR HEADERS OVER WALL OPENINGS				
SIZE OF HEADER	SUPPORTING ROOF ONLY	1 STORY ABOVE	STORIES	ONE
2 - 2" X 6"	6'	4'	-	-
2 - 2" X 8"	8'	6'	-	10'
2 - 2" X 10"	10'	8'	6'	12'
2 - 2" X 12"	12'	10'	8'	16'

SPANS ARE TAKEN FROM THE 1995 EDITION OF THE CABO BUILDING CODES AND ARE BASED ON NUMBER 2 GRADE LUMBER WITH 10' TRIBUTARY FLOOR AND ROOF LOADS.

MAXIMUM SPAN FOR CEILING JOIST				
	10/5 NO ATTIC STORAGE	20/10 LIMITED ATTIC STORAGE		
SIZE	12" O.C.	16" O.C.	24" O.C.	12" O.C.
2" X 6"	19' - 6"	17' - 8"	15' - 6"	15' - 6"
2" X 8"	25' - 8"	23' - 4"	20' - 1"	17' - 5"
2" X 10"	26' - 0"	25' - 0"	24' - 0"	20' - 9"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

MAXIMUM SPAN FOR FLOOR JOIST				
	30/10 SLEEPING ROOMS	40/10 ALL OTHER ROOMS		
SIZE	12" O.C.	16" O.C.	24" O.C.	12" O.C.
2" X 6"	11' - 10"	10' - 9"	9' - 4"	10' - 9"
2" X 8"	15' - 7"	14' - 2"	12' - 4"	12' - 10"
2" X 10"	19' - 10"	18' - 0"	14' - 8"	16' - 1"
2" X 12"	24' - 2"	21' - 1"	17' - 2"	18' - 10"

SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

MAXIMUM SPAN FOR RAFTERS			
	20 PSF LIVE LOAD / 10 PSF DEAD LOAD		
SIZE	12" O.C.	16" O.C.	24" O.C.
2" X 6"	15' - 9"	14' - 4"	12' - 6"
2" X 8"	20' - 10"	18' - 11"	16' - 5"
2" X 10"	26' - 0"	23' - 10"	19' - 5"
2" X 12"	26' - 0"	26' - 0"	23' - 1"

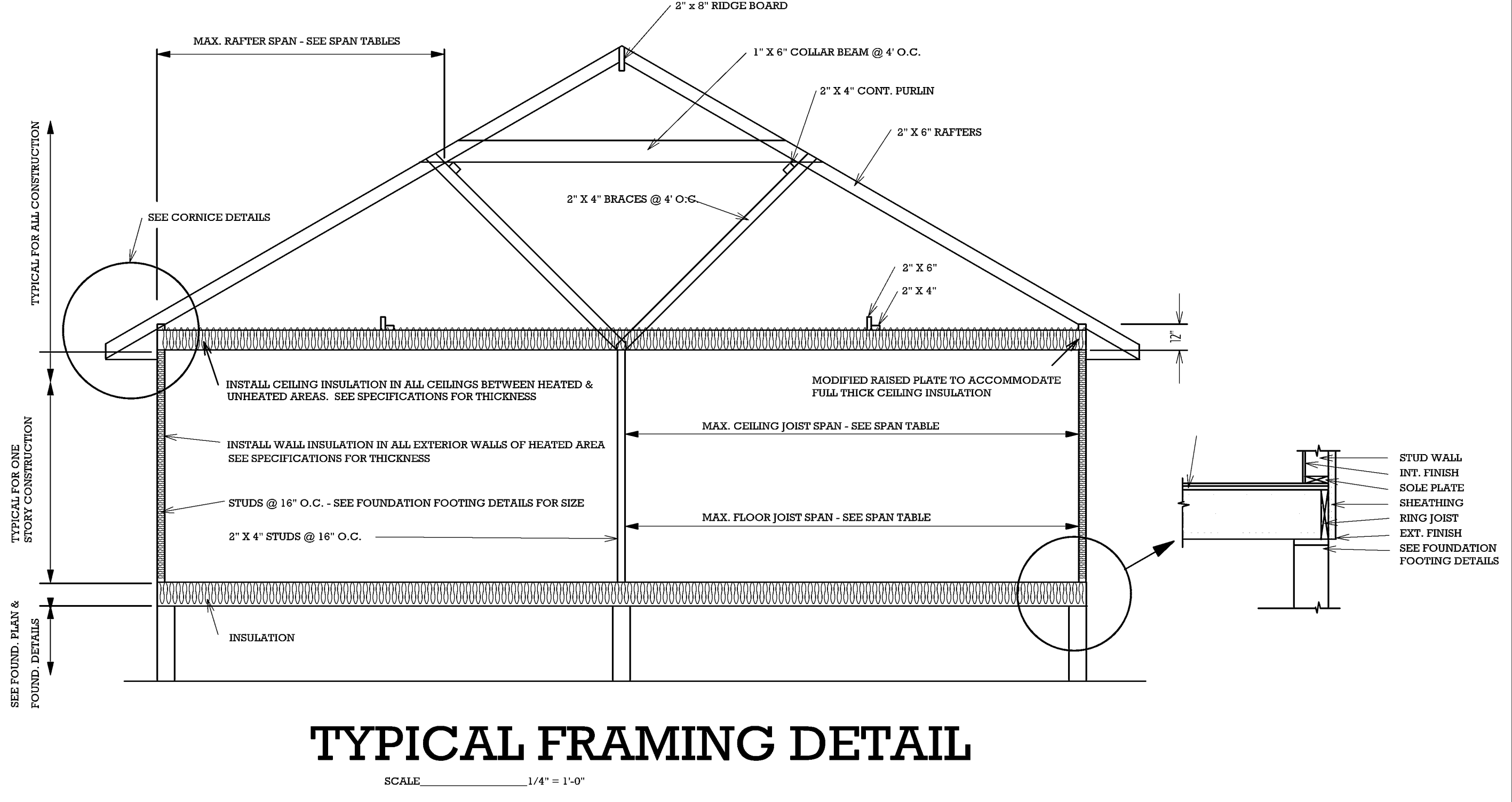
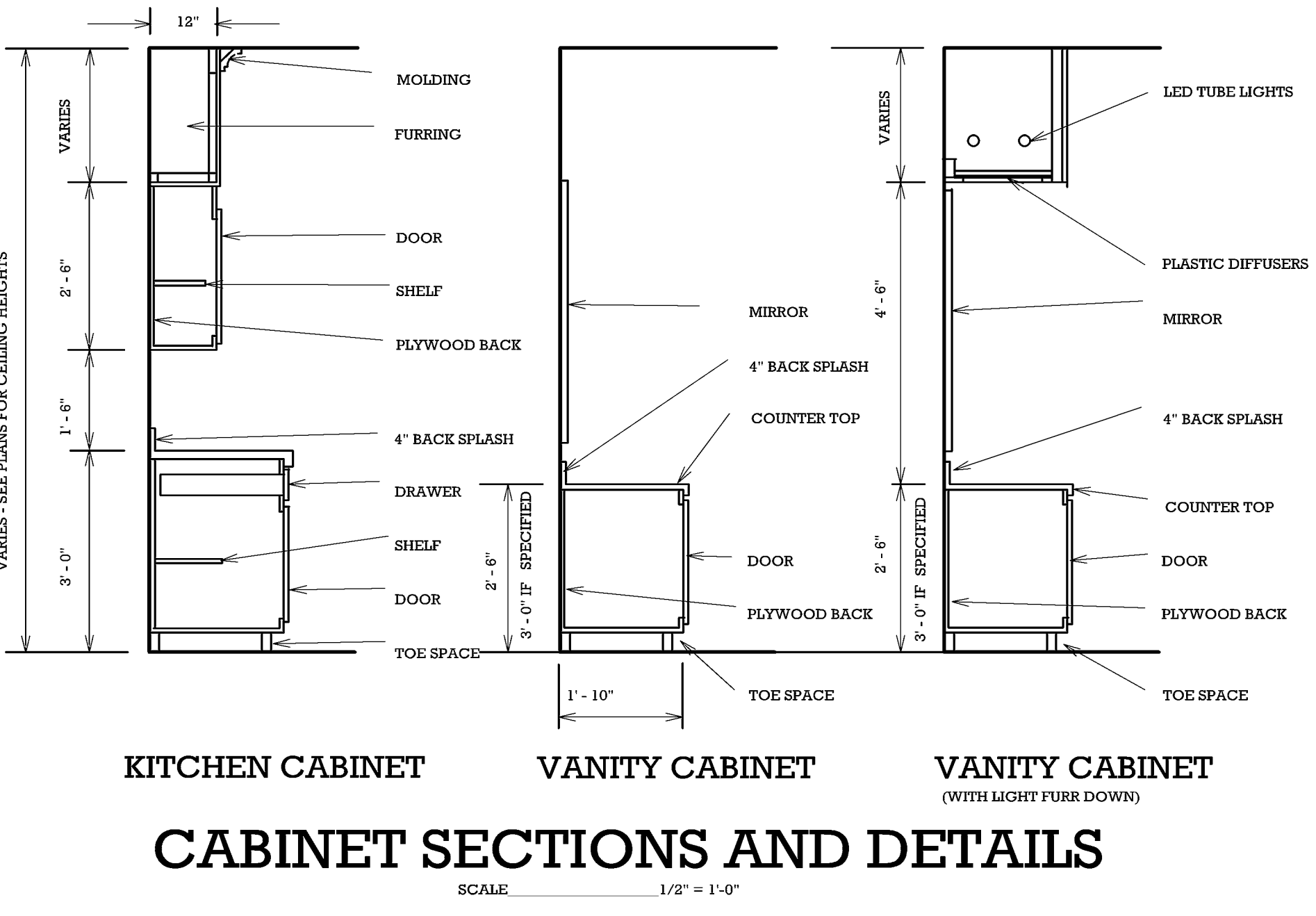
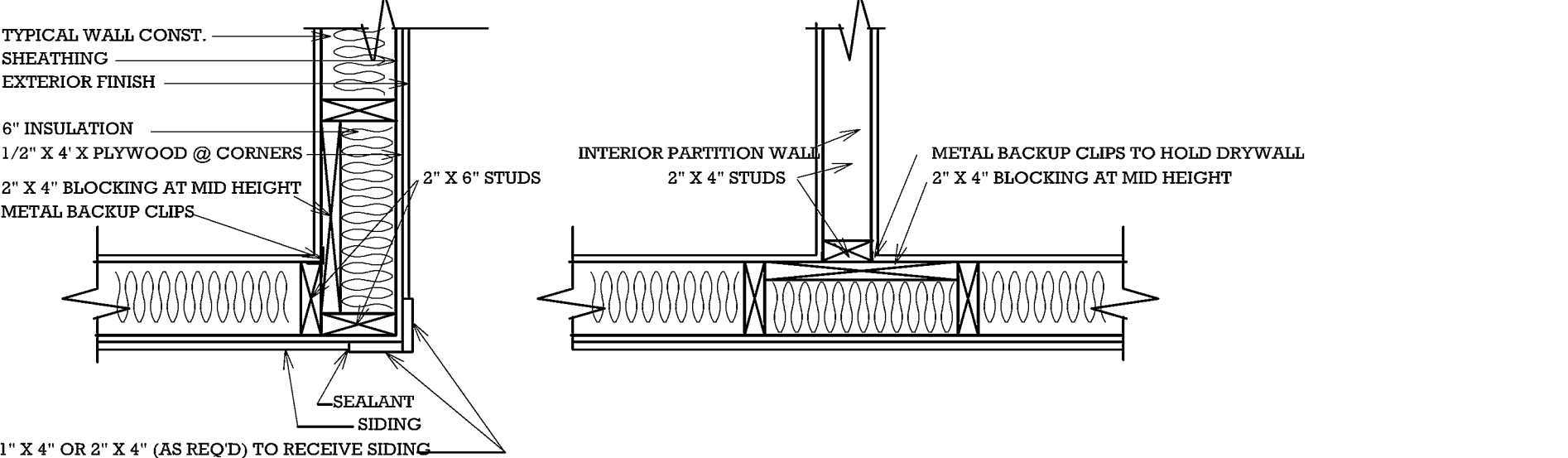
SPANS ARE TAKEN FROM THE SOUTHERN PINE MARKETING COUNCIL BASED ON NUMBER 2 GRADE SOUTHERN PINE

**GENERAL NOTES:**

- ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF EXTERIOR STUDS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- THESE PLANS WERE DESIGNED IN ACCORDANCE WITH GENERAL CONSTRUCTION PRACTICES OF THE AREA IN WHICH THEY WERE DESIGNED AND TO THE CURRENT CODES. DUE TO VARYING CONDITIONS AND TRADE PRACTICE, IT MAY BE NECESSARY TO MODIFY OR ADJUST THE PLAN TO MEET LOCAL CONDITIONS. CONSULT YOUR LOCAL PERMIT DEPARTMENT. IT IS THE RESPONSIBILITY OF THE PLAN PURCHASER OR CONTRACTOR TO VERIFY ALL DATA OF THE PLANS AND TO ADJUST PLAN AS NECESSARY TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION.
- DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:
 

LOCATION	LIVE	DEAD
FLOOR (SLEEPING ROOMS)	30	10
FLOOR (OTHER ROOMS)	40	10
ATTIC W/ NO STORAGE	10	10
ATTIC W/ STORAGE	30	10
ROOF (NO CEILING)	20	10
ROOF WITH CEILING	20	15

 SNOW LOADS 5PSF. RAFTER SIZES MAY NEED TO BE INCREASED FOR HIGHER SNOW LOADS.





## SPECIFICATIONS

1. DETAILED DRAWINGS AND SPECIFICATIONS CONFLICT: Should a conflict occur in or between drawings and specifications, the order of precedence shall be as follows:
  - (a) The detailed specifications.
  - (b) Large scale dwg's.
  - (c) small scale dwg's
2. MANUFACTURERS DIRECTIONS: All manufactured articles, material and equipment shall be applied, installed, connected, erected, cleaned, used and conditioned as directed by the manufacturer, unless herein specified to the contrary. **WORKMANSHIP:** Compliance with the drawings and specifications with regard to materials and methods of assembly will, not in itself, assure acceptance of construction. Of equal importance is good workmanship.
3. **WORK AND MATERIALS NOT COVERED IN SPECIFICATIONS:** Any item of work necessary to the proper completion of construction which is not specifically covered in the drawings and specifications shall be performed in a manner deemed good practice of the trade involved.
4. **USE ONLY APPLICABLE ITEMS:** Some items in these specifications may not apply to the working drawings. Use only those items that apply. Specifications address slab, crawl space and basement construction because plans may be available with more than one foundation type.

### DIVISION 1: GENERAL REQUIREMENTS

1. **MEASUREMENTS & DIMENSIONS:** Any discrepancies between drawings and/or specifications shall be referred to the designer for correction or adjustment. Builder or contractor shall check and verify all conditions and dimensions prior to construction and notify designer accordingly.
2. **SPECIFICATIONS DIVISION:** The separation of specifications into divisions is for the purpose of uniform coordination the work of the different trades. Some mortgage lending institutions, such as FHA & VA, may require that specifications be submitted on a form unique to them. In such cases, the owner or contractor may be required to transfer the required information to the lender form.

### DIVISION 2: SITEWORK

1. **GENERAL:** These construction documents are designed for universal conditions and do not address a specific site. We recommend that these drawings and specifications be supplemented with appropriate site plans and specifications.

### DIVISION 3: CONCRETE

1. **GENERAL:** This division is intended to cover all concrete work and related items necessary to complete work shown on drawings and herein specified. However, these construction documents are designed for universal use and do not address specific site conditions. The foundation plans and specifications have been designed to meet typical soil conditions. We highly recommend that sub-surface conditions be explored by an appropriate testing laboratory and if necessary, foundation design be adjusted by a structural engineer familiar with local conditions.
2. **MATERIALS:** materials shall comply with the following requirements:
  - A. Cement: Domestic Portland Cement, Type 1, conforming to ASTM C-150
  - B. Concrete: 3000f Ready mix, 5" slump range, 1:2:4 mix, #57 aggregate.
  - C. Reinforcing Steel: intermediate grade conforming to ASTM A15
  - D. Expansion Joint Material: Asphalt mastic strips, install where slabs about masonry
  - E. Vapor Barrier: Install where shown on plans, 6m polyethylene.
  - F. Gravel Fill: clean washed gravel, 3/4" - 1 1/2".
  - G. Anchor Bolts: Set in ext walls, see plans for size & spacing.
3. **PLACING VAPOR BARRIERS:** Subgrade to be rolled and free of protrusions and treated for termites. Lap vapor barrier 6" min., use under all slabs.
7. **CONCRETE FINISH**
  - A. Basement Slab: smooth metal trowel finish
  - B. House, Garage & Carport: smooth finish
  - C. Porches & areas with exposed concrete: See finish schedule
8. **TERMITE TREATMENT:** 0.5% Dieldrin in oil solution or water emulsion, apply as per mfg's directions for new home construction.

8. **DRYWALL:** Drywall to be 1/2" Gypsum Board. Float, Tape and sand smooth as per mfg's specifications. Install metal corner bead on all exterior corners of gypsum board.
9. **CLOSEST RODS:** 1" Diameter iron pipe w/ supports at 4' oc min.
10. **WOOD FLOORING:** See finish schedule for location - see cost allowance schedule for cost. Install as per mfg's specifications.
11. **INSULATION:**
  - A. Materials:
    1. Walls: 2" x 6" ext. walls - 6" Fiberglass batts (R-19) w/o vapor barrier. 2" x 4" walls - 4" Fiberglass batts (R-11) w/o vapor barrier
    - A/C closet walls - 4" Fiberglass batts (R-11) w/o vapor barrier
  2. Ceilings: 12" Fiberglass batts (R-38) w/o vapor barrier
  3. Floors: (wood floor framing) 6" fiberglass batts (R-19)
  4. Sole Plate & Penetration: Seal under sole plate and all penetration with liquid expandable urethane.
- B. Vapor Barrier: Install a 6m polyethylene vapor barrier on inside of all exterior walls and ceilings
- C. Installation: Install all insulation as per mfg's specifications.

### DIVISION 7: MOISTURE PROTECTION

1. Asphalt Shingle Roof: Fiberglass, Class "A", #210 min. weight - see allowance schedule.
2. Sheet Metal:
  - A. Flashing: 24 gauge, best commercial grade
  - B. Where dissimilar metals come in contact: apply a heavy coat of asphaltic paint to both surfaces
3. Basement Walls Below Grade: parge with 1/2" thick layer of Portland Cement grout. After drying, mop 3 coats of hot asphaltic pitch over entire area.
4. Skylights: See plans for size - install as per mfg's specifications.

### DIVISION 8: WINDOWS & DOORS

1. Windows: See plans for size and type - see cost allowance schedule
2. Doors: See door schedule for size and type
3. Bath room mirrors: shall be 1/4" silvered plate glass with copper backing

### DIVISION 9: FINISHES

1. Resilient Flooring: See finish & cost allowance schedules - install as per mfg's specifications.
2. Carpet: See cost allowance and finish schedules - install as per mfg's specifications.
3. Ceramic, Quarry & Marble Tile: See cost allowance & finish schedules. Install as per mfg's specifications.
4. Painting: All surfaces to be prepared and all paint to be applied as per mfg's specifications as follows:
  - A. Interior
    1. interior gypsum board - 1 coat primer and sealer, 2 coats flat latex.
    2. Interior walls at bath & kitchen - 1 coat enamel undercoat, 2 coats enamel.
    3. Cabinets & woodwork. Stained - 1 coat oil base stain, 1 coat sealer, 1 coat of satin varnish
    - Painted - 1 coat enamel undercoat, 2 semi-gloss enamel.
  - B. Exterior: Painted - 1 coat oil base undercoat, 2 coats oil base paint
  - Stained - 1 coat oil base stain
5. Cultured Marble: unless noted otherwise, install cultured marble surrounds at bath tubs 6" high above tub. Install cultured marble vanity tops with integral bowls at all vanity tops. owner to select color and lavatory bowl style.

### DIVISION 10: SPECIALTIES

1. Kitchen Appliances: Install as per mfg's specifications - see cost allowance schedule.
2. Finish Hardware: See allowance schedule - allowance covers door handles, locks, drawer pulls, cabinet handles and hinges, drawer and door hardware, door tracks, and shower enclosures.
3. Metal Fireplaces: See plans for size. Unit shall be equal to "Temco" and shall have a zero-clearance rating. Firebox to be lined with approved refractory panel.

### DIVISION 15: MECHANICAL

1. Plumbing:
  - A. Drain, Waste and Vent Material: Pipe to be cast iron or schedule 40 pvc. Fittings to be cast iron or PVC /DWV .

## COST ALLOWANCE SCHEDULE

INSERT PRICES AS DESIRED - ALL ALLOWANCES ARE CONTRACTOR PRICES

BRICK - ALLOWANCE PER THOUSAND TO PURCHASE	\$
ROOFING - ALLOWANCE PER SQUARE TO PURCHASE	\$
FLOORING	
CERAMIC TILE - ALLOWANCE FR SQ. FT. TO PURCHASE & INSTALL	\$
VINYL COMPOSITION TILE - ALLOWANCE PER SQ. YD. TO PURCHASE AND INSTALL	\$
SHEET VINYL - ALLOWANCE PER SQ. YD. TO PURCHASE & INSTALL	\$
CARPET - ALLOWANCE TO PURCHASE & INSTALL CARPET & PAD PER SQ. YD.	\$
KITCHEN APPLIANCES - ALLOWANCE TO PURCHASE, LUMP SUM	\$
HARDWARE - ALLOWANCE TO PURCHASE, LUMP SUM	\$
WINDOWS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
LIGHTING FIXTURES - ALLOWANCE TO PURCHASE, LUMP SUM	\$
CEILING FANS - ALLOWANCE TO PURCHASE EACH ONE	\$
KITCHEN CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
ALL OTHER CABINETS - ALLOWANCE TO PURCHASE, LUMP SUM	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$
OTHER ITEMS (LIST ITEM AND MEASUREMENT)	\$

## INTERIOR FINISH LEGEND

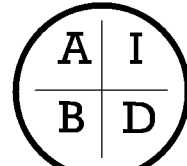
FLOORS	
1. CARPET & PAD	6. QUARRY TILE
2. CERAMIC TILE	7. BRICK PAVERS
3. VINYL COMPOSITION TILE	8. CONCRETE - SMOOTH FINISH
4. SHEET VINYL	9. CONCRETE - EXPOSED AGGREGATE FINISH
5. HARDWOOD FLOORING	10. 2/4" TREATED WOOD DECKING
WALLS	
1. GYPSUM BOARD - PAINTED	4. RAISED WOOD PANELS
2. GYPSUM BOARD - WALL COVERING APPLIED	5. CERAMIC TILE
3. PREFINISHED PANELING	6. WOOD WAINSCOT W/ PAINTED GYPSUM BOARD ABOVE
CEILINGS	REMARKS
1. GYPSUM BOARD WITH MEDIUM STIPPLE FINISH AND PAINTED	
2. GYPSUM BOARD WITH SMOOTH FINISH AND PAINTED	
3. 1" X 4" RANDOM LENGTH BOARDS IN BEADED PATTERN	
4. 3/8" EXTERIOR PLYWOOD - STAINED	
5. 1" X 6" T & G, V-JOINT - PAINTED	
6. 1" X 6" T & G, V-JOINT - STAINED	
7. 1" 54S BOARDS - SEE PLANS FOR WIDTH	
BASE TRIM	REMARKS
1. ROUND EDGE - WM-433 8/16" X 3 1/4"	
2. COLONIAL - WM-444 11/16" X 3 1/2"	
3. COLONIAL - LWM-444 11/16" X 4 1/4"	
DOOR AND WINDOW TRIM	REMARKS
1. TEARDROP - WM-384 11/16" X2 1/4"	
2. TEARDROP - WM-713 9/16" X 3 1/4"	
3. COLONIAL - WM-381 11/16" X 2 1/2"	
4. COLONIAL - WM-444 11/16" X 3 1/2"	
5. 3-STEP 11/16" X 3 1/4"	
6. 3-STEP 11/16" X 4 1/4"	
7. ROUND EDGE - WM-433 9/16" X 3 1/4"	
8. OTHER (GIVE DESCRIPTION)	
CEILING MOLDING	REMARKS
1. CROWN - WM-59 9/16" X 2 1/4"	
2. CROWN - WM-49 9/16" X 3 5/8"	
3. 2 PIECE - CROWN (WM-59) OVER 1" X 4"	
4. 3 PIECE - CROWN (WM-49) OVER 1" X 6" OVER SCOTIA (WM-100 - 11/16" X 11/16	
5. OTHER (GIVE DESCRIPTION)	

## PLUMBING FIXTURE SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE PLUMBING SCHEDULE BY INSERTING MANUFACTURES NUMBER IN APPLICABLE LOCATION OF SCHEDULE

ITEM	DESCRIPTION	BATH 1	BATH 2	BATH 3	BATH 4	DRESS RM. 1	DRESS. RM. 2	DRESS. RM. 3
LAVATORY	MANUFACTURER #							
	COLOR							
	STYLE							
LAVATORY TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
BATH TUB	MANUFACTURER #							
	COLOR							
	STYLE							
BATH TUB OR SHOWER TRIM (FAUCETS)	MANUFACTURER #							
	COLOR							
WATER CLOSET (TOILET)	MANUFACTURER #							
	COLOR							
	STYLE							
BIDET	MANUFACTURER #							
	COLOR							
	STYLE							
SHOWER	MANUFACTURER #							

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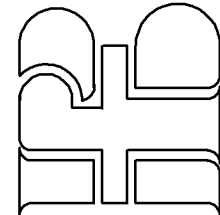


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DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR



DATE

DRAWN BY

CHECKED BY

REVISIONS

SPECIFICATIONS  
PAGE

### DIVISION 4: MASONRY

1. **GENERAL:** This section includes concrete block and brick walls as shown on drawings and specified herein.
  - A. Work Related to other trades: Consult with other trades to insure the proper installation of all materials.
  - B. Dur-O-Wall or equal masonry reinforcement shall be placed in block or brick work as specified.
2. **MATERIALS:**
  - A. Concrete Block: Lightweight, manufactured from expanded shale aggregate by the rotary kiln method meeting requirements of ASTM C-900, Grade A
  - B. Brick: By recognised manufacturer - see allowance schedule
  - C. Mortar Mix: For laying brick & concrete block - 1 part cement, 1 part lime putty, and 5 parts sand.
  - D. Stucco: Use 3 coat stucco application, 3/8" base coat, 3/8" scratch coat, 1/8" finish coat. **DO NOT USE ANY FORM OF SYNTHETIC STUCCO.**
3. **WATERPROOFING CONCRETE BLOCK:** See article 3, Division 7.

### DIVISION 5: METALS

1. Structural Metal: provide size as indicated on drawing. All structural metal to be shop primed with red lead primer
- A. Anchor Bolts: Comply with ASTM A-307 non leaded with hex nuts unless other wise indicated.
- B. Steel Basement Column: 4" diameter with 3/8" x 4" x 6" welded cap & base
- C. Galvanized Basement Airway: "Bilco" or equal - install as per manufacturers specifications.
- D. Aluminum Thresholds: Exterior weather seal type, install in all exterior entrances, anchor securely in bed of caulk.
- E. Termite Shields: shall be 24 gauge galv. sheet metal in 8' lengths. break metal to form a 2" flange at 45 degree angle. Solder all joints and apply mastic under holes for anchor bolts to form a tight barrier between masonry and wood.

### DIVISION 6: CARPENTRY & MILLWORK

1. **LUMBER GRADING REQUIREMENTS:**
  - A. Moisture Content: Framing lumber not to exceed 18% - finish lumber not to exceed 12%.
  - B. Grade & Trade Mark: To be graded in accordance with latest grading rules of manufacturers association under which rules lumber is produced and bear the grade and trade mark of the association.
  - C. Quality: Must be sound, free of warp that cannot be corrected.
2. **GRADE & SPECIES**
  - A. All Rough Framing Lumber except Studs & wall plates: #2 SYP - all wood in contact with concrete to be pressure treated.
  - B. Studs, Soleplate and Double wall plate: #2 Spruce
  - C. Bridging, Blocking, Furring, etc.: #2 SYP
  - D. Sub-Flooring: APA rated Sued-Floor tongue & groove sized for spacing o.c. distance as recommended by APA. Use "Exposure 1" in areas exposed to moisture such as bathrooms. Use "Exterior" where exposed to severe moisture. Install an additional layer of underlayment in areas to be finished with thin floor ) coverings such as vinyl tile. Fasteners to be 8d common at 9" oc at edges and 10" oc in field.
  - E. Roof Decking: 1/2" x 4" x 8" APA Plywood, CD, Exterior. Install w/ surface grain at right angle to rafters, support all end joints on bearings and staggered with all course in line. Fasten with 8d nails 9" oc at edge and 12" at intermediate supports.
  - F. Wall sheathing: 1/2" exterior CD grade plywood. Cover with house wrap material acceptable by prevailing code. Where stucco or cultured stone products occur, use sheathing with integral wire mesh.
  - G. Siding: See finish schedule
  1. Exterior Trim: synthetic products as manufactured by "James Hardi"
  - J. Interior wood work, Painted: "B" or better, machine sanded at mill and hand sanded on job.
  - K. Shelving: 3/4" fir AB interior.
  - L. Laminated Plastic Cabinet type: 1/16" high pressure plastic. Install as per manufactures directions and specifications.
3. **JOISTS:** All joist shall be doubled under partitions and around stairwell.
4. **CROSS BRIDGING:** Joist over 8' spans shall be bridged with one row of 1" x 3 bridging cut on bevel and nailed tight after sub-floor has been installed.
5. **WALL & PARTITION FRAMING:** #2 Spruce
6. **CEILING JOIST & RAFTERS:** #2 SYP - see plans for size and spacing
7. **BEAMS:** see plans

- B. Water Piping: Underground supply to be type "K" copper. Above ground can be type "M" copper. Sleeve all pipe below concrete slab with plastic pipe liner.
- C. Compliance with Codes: All plumbing to comply with local building codes.
- D. Hangers & Supports:
  1. Cast iron soil, waste and vent piping shall be supported near or at each hub, not including the fittings at intervals not to exceed 5 feet.
  2. All copper tube lines shall be supported by means of copper tube hangers of size and type adequate support the lines, properly supported from the building construction. pipe 3/4" and smaller shall have hangers placed at intervals not to exceed 7'. Hangers supporting tubing 1" & larger shall be placed at interval not exceeding 9'. It is important that no galv. hangers be permitted with copper tubing lines.
  3. Pipe Insulation: All hot water piping and all water supply lines exposed located in unconditioned areas shall be insulated with a min. of 1" pipe insulation.
- E. Domestic Water Heater: 40 gallon min., glass lined, electric, placed in a metal pan w/ 12" sides and drain to outside. Water heater to be wrapped with a insulation blanket as per mfg's specifications.
2. Heating & Air Conditioning System: These plans and specifications are designed for universal use and do not address a specific climate condition. Heat loss/gain calculations should be made by a mechanical engineer familiar with local climate conditions. Drawings should be prepared, based on the calculations, for the duct size and layout and equipment size and layout. Drawings should be used to supplement these working drawings.
3. Ventilation:
  - A. Bath: Install a "Nutone" model 8812 exhaust fan in each bath.
  - B. Attics: Install a "Nutone" RF-68 attic cooling fan on roof as recommended by mfg.
3. Plumbing vents - use air admittance valves where allowed by code.

### DIVISION 18: ELECTRICAL

1. All wiring to be done in strict accordance with the National Electric Code and all applicable state and local codes. All equipment to bear U.L. label of approval.
2. Service: The service supplied to the structure shall be 3 wire, 115/230 volt 60 cycle, single phase. Contractor to install meter, power company to bring service to meter.
3. Service Panel: The main service panel shall be required amp capacity with automatic circuit breakers. Panel shall include main circuit breaker having a grounded neutral and arranged for service specified.
4. Wiring: to be approved copper cable. Service entrance & feeder to panel shall be thick wall galv. conduit. Romex cable shall have grounding conductor.
5. Special Outlets: Special outlets may be required for range, dw, water heater, whirlpool etc. These outlets may not necessarily be shown on plans.
6. Boxes: To be galvanized steel or approved plastic installed as per electrical codes.
7. Receptacle and Switches: Receptacles and switches shall be installed as shown on drawings and wired to provide switch control as indicated. Receptacles shall be duplex type of heavy Baseline. Wall receptacles shall be placed 18" above floor, cabinet receptacles 42" above floor and above cabinets.
8. Telephone Wiring: Install telephone wiring and outlets as per electrical plan.
9. Signal Chimes: Install in central location a set of chimes with a circuit connected to approved transformer and light circuit. Provide outside push button at each exterior door as per owners choice.
10. Lighting Fixtures: See allowance schedule

## INTERIOR FINISH SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM EXTERIOR FINISH LEGEND

ROOM	FLOOR	BASE	DOOR/WIN. TRIM	CEILING MOLDING	WALLS	CEILINGS	REMARKS
GARAGE							
STORAGE							
SUNROOM							
KITCHEN							
UTILITY							
EATING							
DINING							
LIVING							
FOYER							
STUDY							
DEN							
STAIRS							
MASTER SUITE							
BED ROOM 2							
BED ROOM 3							
BED ROOM 4							
BATH 1							
BATH 2							
BATH 3							
BATH 4							
DRESS ROOM 1							
DRESS ROOM 2							
DRESS ROOM 3							
DRESS ROOM 4							
HALL 1							
HALL 2							
HALL 3							
HALL 4							
GAME ROOM							
BONUS ROOM							
OFFICE							
MEDIA ROOM							
OTHER							
OTHER							
OTHER							

## EXTERIOR FINISH SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE FINISH SCHEDULE BY INSERTING DESIRED FINISH FROM EXTERIOR FINISH LEGEND

AREA	WALLS	CEILING	REMARKS
FRONT ELEVATION			
REAR ELEVATION			
RIGHT SIDE ELEVATION			
LEFT SIDE ELEVATION			
CARPORT			
GARAGE			
PORCH 1			
PORCH 2			
PORCH 3			

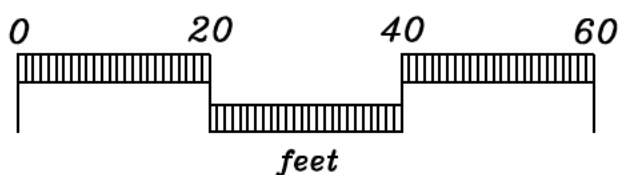
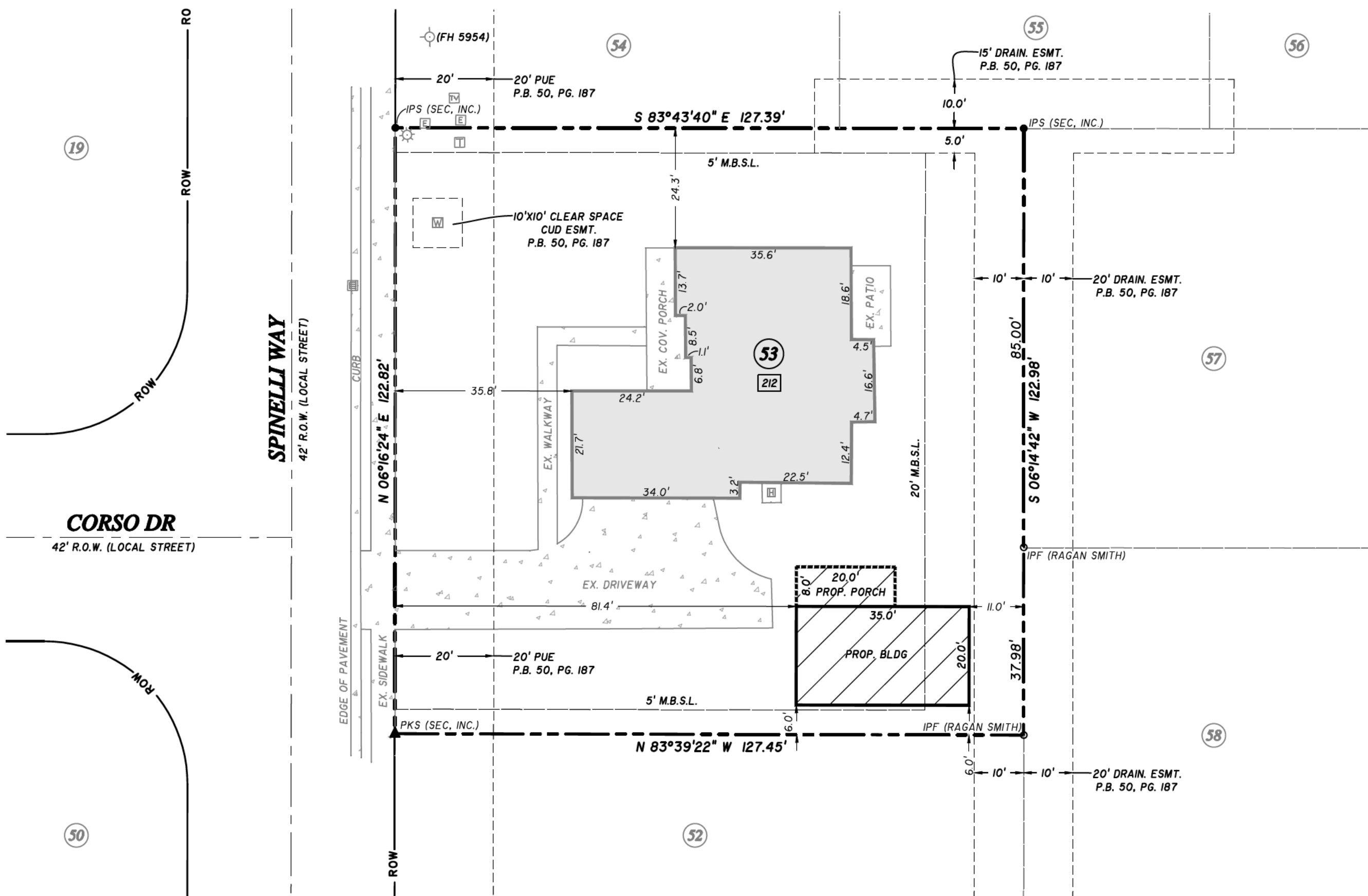
## EXTERIOR FINISH LEGEND

WALLS
1. STUCCO
2. BRICK
3. 1" X 12" CEDAR BOARDS VERTICAL WITH 1" X 2" BATTS
4. MASONITE "X-90"
5. HORIZONTAL VINYL SIDING
6. REDWOOD HORIZONTAL BEVELED LAP SIDING
7. REDWOOD VERTICAL T & G, V-JOINT 1" X 8"
8. REDWOOD DIAGONAL T & G, V-JOINT 1" X 8"
10. CEDAR HORIZONTAL BEVEL LAP SIDING 1" X 8"
11. FANCY CUT SHINGLES
12. OTHER- DESCRIBE
CEILINGS
1. 3/8" EXTERIOR PLYWOOD - PAINTED
2. 3/8" EXTERIOR PLYWOOD - STAINED
3. 1" X 6" T & G, V-JOINT - PAINTED
4. 1" X 6" T & G, V-JOINT - STAINED
5. 1" 54S BOARDS - SEE PLANS FOR WIDTH
6. VINYL SLATS
7. OTHER - DESCRIBE
7. OTHER - DESCRIBE
7. OTHER - DESCRIBE

## LIGHTING FIXTURE SCHEDULE

NOTE: OWNER / CONTRACTOR TO COMPLETE LIGHTING SCHEDULE BY INSERTING MANUFACTURES NUMBER IN APPLICABLE LOCATION OF SCHEDULE

ROOM NAME	MANUFACTURER	LIGHT FIXTURE #	REMARKS
GARAGE			
STORAGE			
SUNROOM			
KITCHEN			
UTILITY			
EATING			
DINING			
LIVING			
FOYER			
STUDY			
DEN			
STAIRS			
MASTER SUITE			
BED ROOM 2			
BED ROOM 3			
BED ROOM 4			
BATH 1			
BATH 2			
BATH 3			
BATH 4			
DRESS ROOM 1			
DRESS ROOM 2			
DRESS ROOM 3			
DRESS ROOM 4			
HALL 1			
HALL 2			
HALL 3			
HALL 4			
GAME ROOM			
BONUS ROOM			
OFFICE			
MEDIA ROOM			
OTHER			
OTHER			
OTHER			



### LEGEND

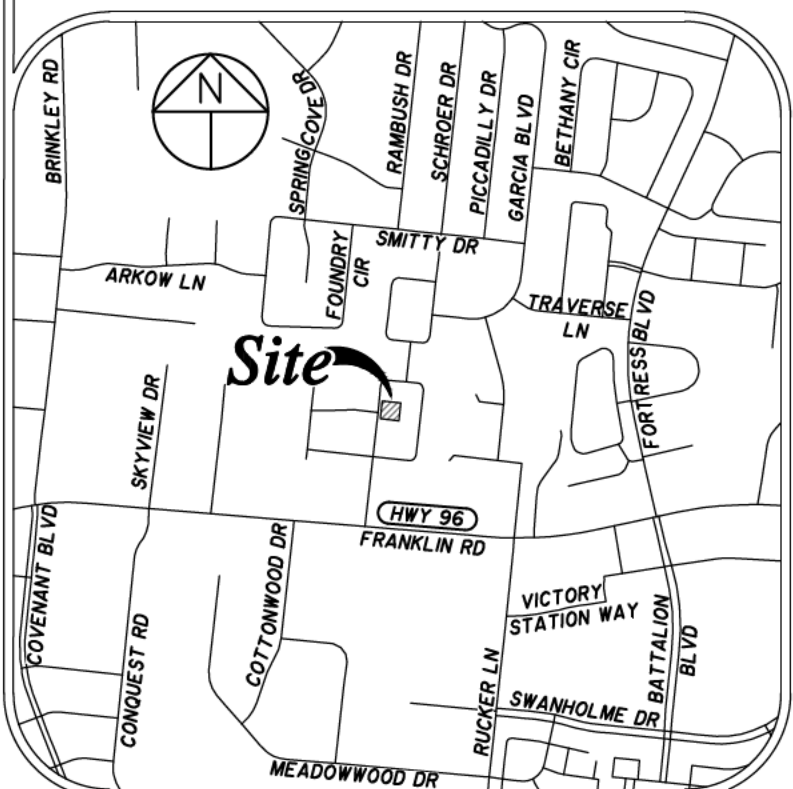
- |     |                   |   |                     |
|-----|-------------------|---|---------------------|
| ○   | IRON PIN (FOUND)  | ⊞ | WATER METER         |
| ●   | IRON PIN SET      | ⊞ | T-BOX RISER/VAULT   |
| ▲   | PK. NAIL SET      |   | BUILDING/UNIT HATCH |
| ⊞   | CABLE TV BOX      |   | CONCRETE HATCH      |
| ⊞   | ELECTRIC BOX      |   | PAVEMENT HATCH      |
| ⊞   | FIRE HYDRANT      |   | PROP. HATCH         |
| ⊞   | HVAC              |   |                     |
| XXX | STREET ADDRESSES  |   |                     |
| ⊞   | SINGLE CURB INLET |   |                     |

### GENERAL NOTES:

- THIS MAP IS NOT INTENDED TO SHOW ALL MATTERS RELATED TO THE PROPERTY, INCLUDING, BUT NOT LIMITED TO EASEMENTS.
- SUBJECT PROPERTY IS IDENTIFIED AS PARCEL 60.00 ON RUTHERFORD COUNTY PROPERTY MAP 93M, GROUP C, AND ZONED RS-8.  
2.1. MINIMUM SETBACKS FOR THIS PARCEL ARE AS SHOWN PER RS-8 ZONING:  
FRONT = 25 FT., SIDE = 5 FT., REAR = 20 FT.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS, AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- THIS PARCEL IS DESIGNATED ZONE X, WHICH IS NOT INCLUDED IN AREAS DESIGNATED AS A "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY PANEL NO. 4714C0255J DATED MAY 9th, 2023.
- BASIS OF BEARING WAS DERIVED FROM TN STATE PLANE COORDINATE SYSTEM (TN-83F)
- IN TENNESSEE, IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVEGROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NONEXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.
- FIELD WORK WAS COMPLETED ON NOVEMBER 11th, 2025.

### LOCATION MAP

N.T.S.



## LOT 53 EXHIBIT MELTON ESTATES

MAP 93M, GROUP C, PARCEL 60.00  
212 SPINELLI WAY, MURFREESBORO, TN 37128  
13th CIVIL DISTRICT OF RUTHERFORD COUNTY  
P.B. 50, PG. 187, R.B. 2514, PG. 3797 (R.O.R.C., TN)

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PROJ.#  
25762.91

DATE: 11/25/25  
REV: 12/10/25

FILE:  
ME-SPINELLIWAY  
(212).DWG

DRAWN BY:  
MFM

SCALE:  
1"=20'

SHEET 1  
OF 1



**MURFREESBORO BOARD OF ZONING APPEALS**  
**STAFF REPORT**  
**December 18, 2025**  
**PROJECT PLANNER: STEPHEN ANTHONY**

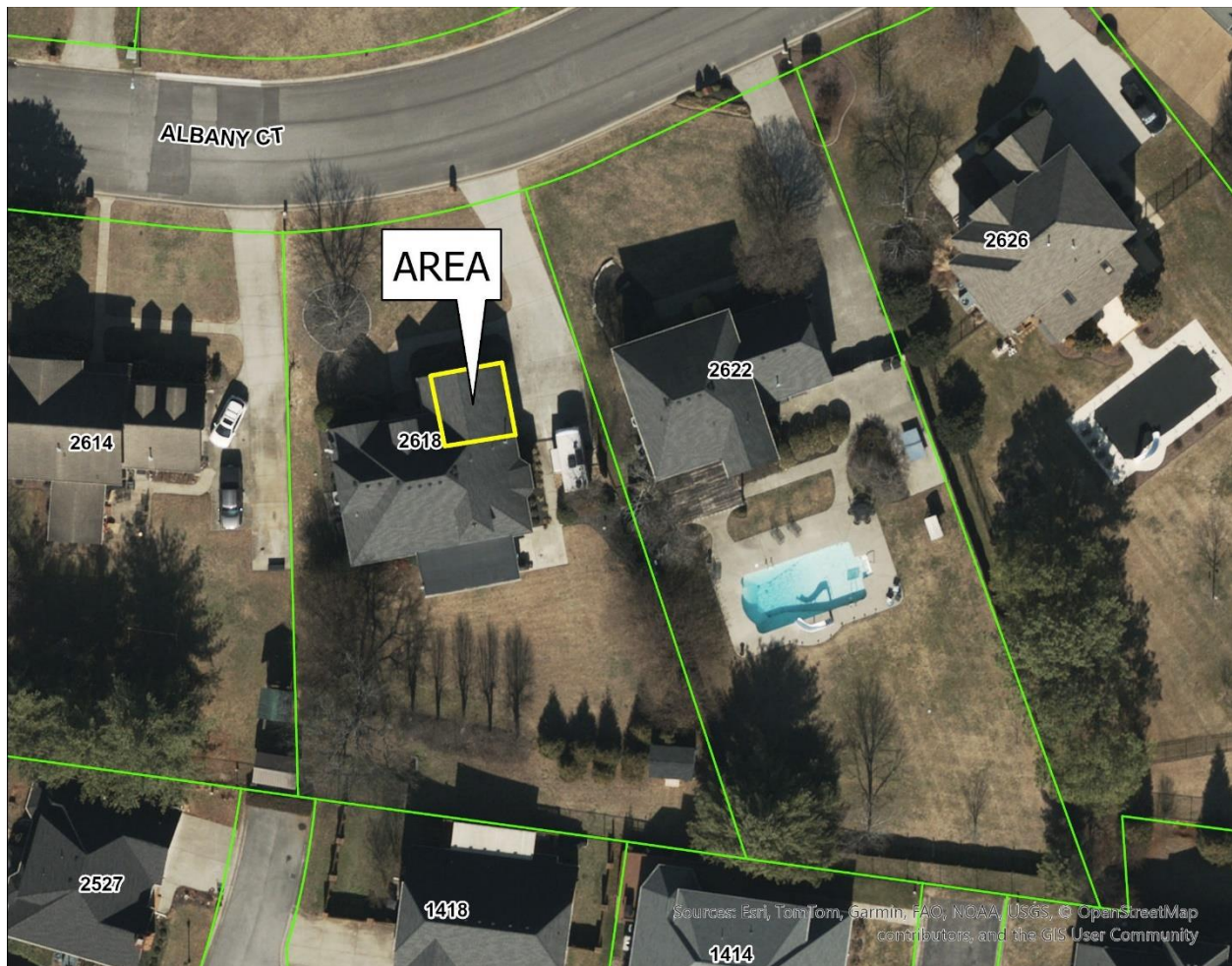
**Application:** Z-25-029

**Location:** 2618 Albany Court

**Applicant:** Bruce Atkins

**Zoning:** RS-15 (Residential Single-Family – 15,000 square feet minimum lot size)

**Requests:** A special use permit to construct and establish an accessory apartment.



## **Overview**

### **Special Use Permit Request**

The applicant, Bruce Atkins, is requesting a special use permit (SUP) to construct and establish an accessory apartment at 2618 Albany Court for the applicant to convert his garage into an accessory apartment. The accessory apartment will be occupied by the applicant's handicapped son. The accessory apartment is 482.08 square feet and is located where the garage currently is within the principal structure. The property is zoned RS-15 and is in the Albany Court single-family residential subdivision.

As shown on the east side of the EagleView aerial, the accessory apartment will be located in the existing garage of the principal structure. The proposed floor area of the accessory apartment is 482.08 square feet and includes a kitchen, living area, one bath, one bedroom, and a closet. The accessory apartment has one exterior entrance on the side of the house. The proposed accessory apartment is integrated into the principal structure and will not be noticeable from the outside.

As proposed, the accessory apartment complies with the applicable bulk development standards:

	<b>Zoning Ordinance</b>	<b>Proposed Accessory Apartment</b>
Maximum Floor Area for accessory apartment	700 square feet	482.08 square feet
Maximum Building Height	35 feet	Within home that meets the 35'
Minimum Building Setbacks	<ul style="list-style-type: none"><li>- 40 feet from front property line</li><li>- 12.5 feet from side property lines</li><li>- 30 feet from rear property line</li></ul>	<ul style="list-style-type: none"><li>- 47 feet from front property line</li><li>- 25 feet from left side (east) property line</li><li>- 12.5 feet from right side (west) property line</li><li>- 63 feet away from rear property line</li></ul>

In addition, it is recommended that the applicant be required to complete and record the standard "Restriction on Use of Land" document prepared by the City Attorney. This document states that the accessory apartment can only be occupied by a family member or an invited guest and may not, under any circumstances, be used as a rental unit. Recording it memorializes the restriction to put future buyers or owners on notice.

### **Relevant Zoning Ordinance Section**

Chart 1 of the City of Murfreesboro Zoning Ordinance allows accessory apartments with approval of a Special Use Permit the RS-15 district. City of Murfreesboro Zoning Ordinance Section 9(D)(2)(a) sets forth Standards for Accessory Apartments in addition to the Standards of General Applicability Section 9(C). The following are also the relevant sections from the Zoning Ordinance that apply to accessory apartments:

Section 25, Temporary and Accessory Structures, Subsection E:

*(2): in all residential districts, attached accessory structures and uses shall maintain the same setbacks as required for the principal structures*

*(4): no accessory structure shall exceed the height limitations of the district in which such structure is located*

Section 2, Definitions:

*Accessory Apartment: A secondary dwelling unit either in or added to an existing single family detached dwelling, or in a separate accessory structure on the same lot of record with its own separate exterior entry door, with provisions for cooking and food preparation (including sink and electrical outlets to accommodate kitchen appliances such as refrigerator, oven, or stove), sanitation (including toilet, sink, and shower or bathtub), and sleeping. Such a dwelling shall be accessory to the main dwelling.*

The Standards of General Applicability relating to Special Use Permits and Standards for Accessory Apartments are listed below with analysis from staff on how the proposed accessory apartment meets the standards.

**Standards of General Applicability with Staff Analysis:**

**(1) The proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare:**

- As currently proposed, the plan for the accessory apartment complies with the minimum bulk development standards for accessory structures and accessory apartments. The structure will have adequate parking on site, and no changes to utility facilities are needed. The traffic conditions would remain the same and the proposed use would not affect the safety and general welfare of the neighborhood. Additionally, staff believes that the proposed accessory apartment will not have any adverse effect on the character of the neighborhood as the structure will be integrated into the overall design of the principal structure.

**(2) The proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations:**

- Staff believes this standard has been met. As depicted on the proposed plans, the principal structure and accessory apartment comply with the minimum bulk development standards. The proposed accessory apartment is not proposed as a rental and is to be used for a family member and would not interfere with adjacent properties or generate traffic.



- (3) The proposed building or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services:**
- Staff believes this standard has been met. The proposed accessory apartment will be served adequately by essential public facilities because they currently exist and already serve the property.
- (4) The proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be significant natural, scenic, or historic importance:**
- Staff is not aware of any such features on-site that will be impacted by this use.
- (5) The proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use:**
- Additional standards for Accessory Apartment uses are listed below.

**Additional Standards for Accessory Apartment Uses with Staff Analysis:**

- 1.) Only one accessory apartment shall be allowed upon a lot zoned for single family purposes;**
- The applicant has confirmed that only one accessory apartment will be on the lot at 2618 Albany Court.
- 2.) Except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;**
- The applicant has confirmed that the owners, Bruce and Donna Atkins, will reside on the property in the principal structure and their son will reside in the accessory apartment also located within the principal structure. The applicants has agreed to record a “Restriction on Use of Land”, as recommended by the Planning Department for all accessory apartments.
- 3.) The accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;**
- As depicted on the current plans, the design is compliant with the minimum bulk development standards for a principal structure, Minimum Yard Requirements and Land Use Intensity Ratios. The structure has a 47.0-foot front setback and 63.0-foot rear setback, a 25.0-foot left side (east) setback, and a 12.5-foot right side (west) setback. The exterior entrance to the accessory apartment will be located along the side of the house.

**4.) If attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;**

- The proposed accessory apartment is located within the principal structure. If the accessory apartment use was discontinued or the special use permit lapses the accessory apartment could be reincorporated as part of the principal structure.

**5.) The design and size of the accessory apartment shall conform to all applicable standards in the health, building and other codes;**

- As it is currently depicted, the accessory apartment will be 482.08 square feet. If approved, the applicant is required to obtain all necessary building permits to construct the accessory apartment. The applicant has confirmed that the design and construction will conform to all applicable standards in the health, building, and other codes. The structure complies with the setback requirements for the principal structure and will not exceed 35 feet in height.

**6.) The accessory apartment shall not exceed seven hundred square feet of floor area;**

- The accessory apartment will be 482.08 square feet and will not exceed 700 square feet of floor area.

**7.) The BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and:**

- Staff recommends that, rather than the above, the BZA instead condition approval on the recording of a “Restriction on Use of Land”, prepared by the City Attorney, which requires that the accessory apartment only be occupied by a family member or an invited guest and cannot in any circumstances be used as rental unit.

**8.) The BZA may require additional standards may be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single-family zoning district;**

- The applicant understands that the BZA may require additional standards may be met in order to ensure compatibility.

**Staff Recommendation:**

Staff recommends approval of the special use permit, based on the request meeting the minimum development standards of the ordinance, to allow a 482.08 square foot accessory apartment structure, as presented in the application documents, and with the following conditions.

**Recommended Conditions of Approval:**

1. The owner(s) of the property for this accessory apartment unit shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members.

2. Prior to applying for building permits, the applicant shall complete and record the “Restriction on Use of Land” document prepared by the City Attorney, which shall limit the use of the accessory apartment to only what is allowed by the Zoning Ordinance.
3. Separate utility meters or service connections, including, but not limited to, electricity, gas, water, or sewer, shall not be installed or requested for the accessory apartment.
4. A separate mailbox or mail receptacle shall not be installed or designated for the accessory apartment.
5. The applicant shall obtain all necessary permits with the Building and Codes Department and shall comply with all code requirements.

**Attached Exhibits**

- A. Application
- B. Procedure form
- C. Floor plan

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copy

**Murfreesboro  
Board of  
Zoning Appeals**



T E N N E S S E E

**HEARING APPLICATION  
AND  
GENERAL INFORMATION**

City of Murfreesboro <b>BOARD OF ZONING APPEALS</b>		<b>HEARING REQUEST APPLICATION</b>	
Location/Street Address: 2618 Albany Ct. M'boro 37129			
Tax Map:	Group:	Parcel: 069	Zoning District: R5-15
Applicant: BRUCE ATKINS		E-Mail: [REDACTED]	
Address: 2618 Albany Ct.		Phone: 615-631-6424	
City: MURFREESBORO		State: TN	Zip: 37129
Property Owner: BRUCE ATKINS			
Address: 2618 Albany Ct.		Phone: 615-631-6424	
City: MURFREESBORO		State: TN	Zip: 37129
Request: CONVERT EXISTING GARAGE (APP. 44DSF) into Apartment for HANDICAPED SON.			
Zoning District:			
Applicant Signature: Bruce Atkins By [Signature]		Date: 11-6-25	
Received By:		Receipt #:	
Application #:		Date:	

## INTRODUCTION:

The **Board of Zoning Appeals** hears appeals of the requirements of the Zoning and Sign Ordinances, appeals from administrative decisions, and requests for Special Exception uses listed on Chart 1 of the Zoning Ordinance.

## VARIANCES:

Required yard and height variances may be granted in accordance with Section 10 of the Zoning Ordinance in cases where the strict application of the ordinance imposes hardship or practical difficulty on the property owner due to the unusual character of the property, which makes compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

Variances of the Sign Ordinance may be granted in cases where the strict application of the ordinance imposes hardship or practical difficulties as a result of unusual characteristics of the applicant's property, which make compliance extraordinarily difficult or impossible. *Financial hardships will not be considered.*

## SPECIAL USE PERMITS:

Special use permits may be granted in accordance with Sections 8 and 9 of the Zoning Ordinance for uses specified in Chart 1 of the Zoning Ordinance.

## APPEALS FROM ADMINISTRATIVE DECISIONS:

The Board of Zoning Appeals has authority to hear appeals from any order, requirement, decision, or determination by any department, office, or bureau responsible for the administration of the Zoning or Sign Ordinances.

## APPLICATION PROCESS:

The owner or other party having contractual interest in the affected property must file an application with the Board's secretary no later than 3:00 PM on the submittal deadline date on the official BZA Calendar.

The applicant must submit the following:

1. A completed application (included on this brochure).
2. A \$350 application fee; a \$250 application fee for a Special Use Permit renewal for temporary sales event; or in the case of a special meeting, a \$450 application fee (checks to be made payable to the City of Murfreesboro).
3. Supporting materials which should include:

-- For special use permits, a site plan indicating the location of all existing and proposed structures, parking spaces, access points, fences, driveways, and property lines, and building elevations. Home occupation requests should include a statement of the proposed hours of operation, the volume of traffic anticipated, and the nature of the

business. Day-care centers should include a statement from the Department of Human Services that such center can be licensed by the State.

-- For yard variance requests, a site plan showing all existing and proposed structures, property lines, and the distance between structures and the property lines.

-- For appeals from administrative decisions, a statement indicating the order, requirement, decision, or determination being appealed and a statement setting forth the applicant's argument.

-- Additional information may be required at the discretion of the Board's Secretary.

## MEETING TIME AND PLACE:

The **Board of Zoning Appeals** meets once a month at 1:00 PM in the Council Chambers located in the City Hall Building at 111 West Vine Street. See BZA Calendar for meeting dates.

## MEMBERSHIP

Davis Young, Chairman	Julie R.P. King
Ken Halliburton, Vice-Chair	Tim Tipples
Frances Mosby	

## STAFF

Marina Rush, Principal Planner  
Teresa Stevens, Sign Inspector  
Roman Hankins, Asst. City Attorney  
Serena Harris, Recording Assistant





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copy

## Board of Zoning Appeals Procedure Form

### Request for Accessory Apartment

This form only pertains to *special use permit requests for the Board of Zoning Appeals*. The information contained in this document shall not be considered exhaustive and shall only serve to summarize the details of the special use permit request for the Board of Zoning Appeals and Planning Department staff. **Additional information may be requested during the review process as determined by the zoning administrator.**

Date: 11-6-25

Applicant name & title: BRUCE ATKINS - OWNER Planner name: RANDY CHAMBLESS

Application request: CONVERTING GARAGE INTO LIVING AREA APPX. 440 SQ FT

Purpose of request: ALLOW HANDICAP SON LIVING QUARTERS.

#### Section 8 – Procedure for Uses Requiring Special Use Permits

- a) Name, address, and telephone number of the applicant

BRUCE ATKINS  
2618 ALBANY CT  
MURFREESBORO, TN 37129  
615-631-6424

- b) Nature and extent of applicant's ownership interest in subject property

SOLE OWNER

- c) Site plan to be submitted for review by City Staff and Board of Zoning Appeals

- d) Address of the site of the proposed special use

2618 ALBANY CT., MURFREESBORO, TN 37129

- e) Vicinity map showing the property of the proposed special use and all parcels within a five-hundred-foot radius



f) Zoning classification the property of the proposed special use

g) The property of the proposed special use shall have the following characteristics:

1) Hours and days of operation

Residence

2) Duration of the proposed special use

Duration of ownership

3) Number of expected patrons that will be expected to utilize the property of the proposed special use

THE CONVERSION IS INTENDED FOR HANDICAP SON.

4) Projected traffic that will be expected to be generated by the proposed special use

1 ADDITIONAL VEHICLE FOR SON. THERE IS PLENTY OF PARKING SPACE AVAILABLE IN DRIVEWAY.

h) Potentially harmful characteristics of the proposed special use for the zoning district in which it is proposed and the manner in which the applicant proposes to eliminate or minimize them

NONE

## Section 9 – Standards for Special Use Permits

### Standards for General Applicability.

An applicant for a special use permit shall present evidence at the public hearing on such special permit. Please explain how you will comply with the following standards:

1) that the proposed building or use will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety, and general welfare;

CONVERT EXISTING GARAGE INTO LIVING QUARTERS FOR HANDICAP SON. ALL EXISTING UTILITIES WILL BE USED. TRAFFIC CONDITIONS WILL NOT CHANGE. THIS WILL NOT AFFECT THE SAFETY OR WELFARE OF THE NEIGHBORS.





- 2) that the proposed building or use will be constructed, arranged, and operated so as to be compatible with the immediate vicinity and not to interfere with the development and use of adjacent property in accordance with the applicable district regulations;  
The conversion will be used in a manner that is compatible with the immediate area and will not interfere with surrounding properties.
- 3) that the proposed buildings or use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, drainage structures, refuse disposal, fire protection, water and sewers; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services;  
The proposed conversion will be served adequately by public facilities that are currently existing and serve the property now.
- 4) that the proposed building or use will not result in the destruction, loss, or damage of any feature determined by the BZA to be of significant natural, scenic, or historic importance; and,  
The conversion will not have any impact on natural, scenic or historic features.
- 5) that the proposed building or use complies with all additional standards imposed on it by the particular provision of this section authorizing such use.  
Additional information below

#### Standards for (a) Accessory Apartments

Please explain how you will comply with the following standards:

[1] only one accessory apartment shall be allowed upon a lot zoned for single family purposes;

This conversion is within the foot print of the existing home.



[2] except for bona fide temporary absences, the owner(s) of the residence or lot upon or in which the accessory unit is created shall occupy at least one of the dwelling units on the premises and members of the family or their invited guests shall occupy the other dwelling unit. In no event shall either of the units be used as a rental unit to non-family members;

OWNER LIVES in Home with wife and son  
will occupy the conversion.

[3] the accessory apartment shall be designed so that to the degree reasonably feasible, the appearance of the building remains that of a one-family residence. In general, any new entrances in an existing structure shall be located on the side or in the rear of the building;

All VENER will be matching to existing Home.

[4] if attached to or located within the principal structure, the accessory apartment shall be designed and constructed to allow it to be part of the principal structure at such time as the use of the accessory apartment discontinues or approval of the special permit lapses;

This standard would not apply.

[5] the design and size of the accessory apartment shall conform to all applicable standards in the health, building, and other codes;

All necessary building permits will be applied for. The design and construction will conform to all applicable health, building and other codes.

[6] the accessory apartment shall not exceed seven hundred square feet of floor area;

Per Attach Drawing the apartment is approx 440 SF Total Area



[7] the BZA may condition approval upon the special use permit lapsing at such time as the ownership of the property is transferred; and,

The applicant is willing to allow the re-surrender of the special use permit if the property is sold to a new owner.

[8] the BZA may require additional standards be met in order to assure compatibility of the proposed use with adjoining properties and to maintain the integrity of the single family zoning district.

The applicant understands that the BZA may require additional standards be met in order to ensure compatibility.

Date: 11-6-25

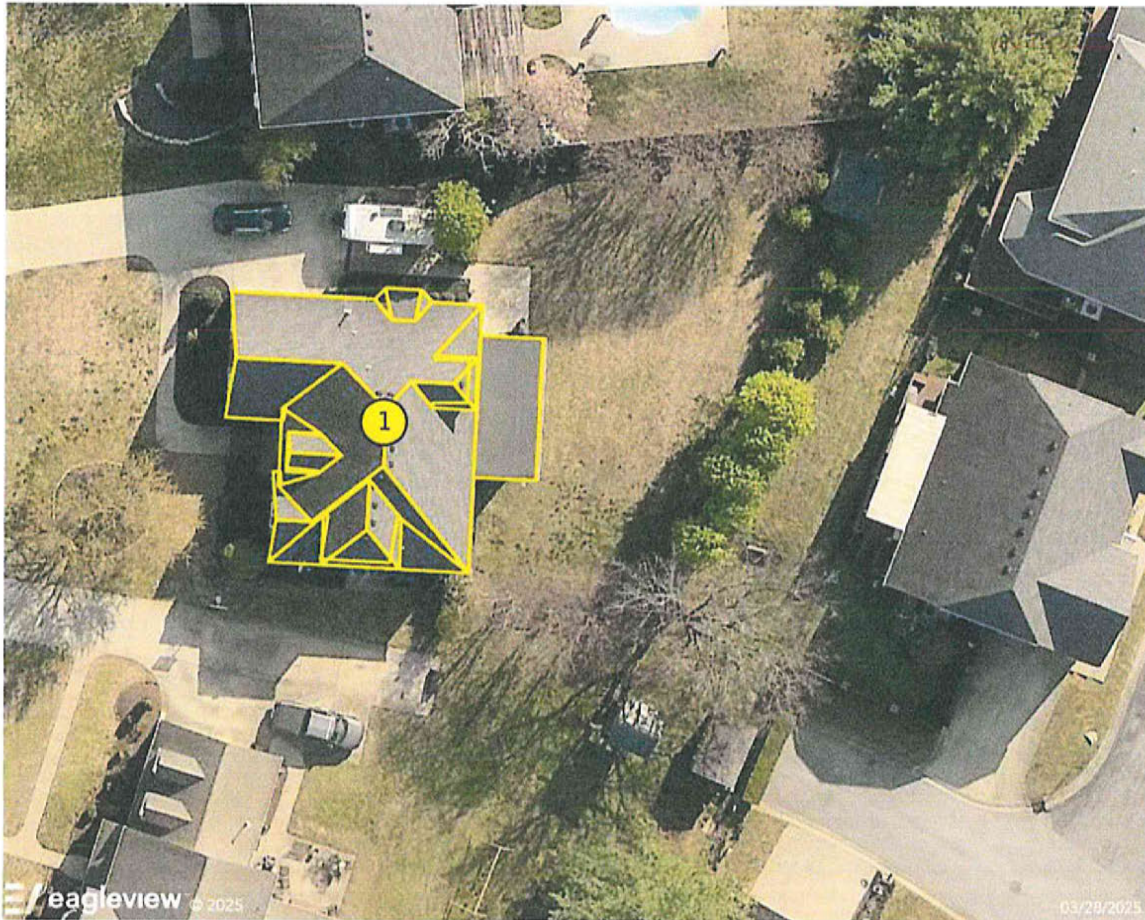
Applicant signature: Bruce Atkins By  
Brendy Chambers  
629-247-6400



2618 Albany Ct, Murfreesboro, TN 37129

Report: 68161361

## REPORT DETAILS



Roof	Total Area*	Pitch				# Facets	Suggested Waste Factor
		10/12	1/12	6/12	8/12		
#1	35 squares	88%	10%	1%	<1%	19	19%

\*Does NOT include waste

Measurements provided by [www.eagleview.com](http://www.eagleview.com)

Note: Suggested waste factor should only be applied to asphalt shingled roof areas that are above a 3/12 pitch. To learn more, please visit this [knowledge base article](#).  
If there are more than four pitches, see table in appendix.



Learn more at [www.eagleview.com/Guarantee.aspx](http://www.eagleview.com/Guarantee.aspx)

## Upgrade your report!

Ready to order materials? Simply upgrade to our best selling report, **Premium Roof**. The price of your Bid Perfect report will be deducted from your upgrade.

- 3D Roof Diagrams
- Waste Calculation Table
- Square Footage Pitch Table
- Length Diagram
- Notes Diagram
- Report Summary
- Area Diagram
- Pitch Diagram

**Upgrade Now**

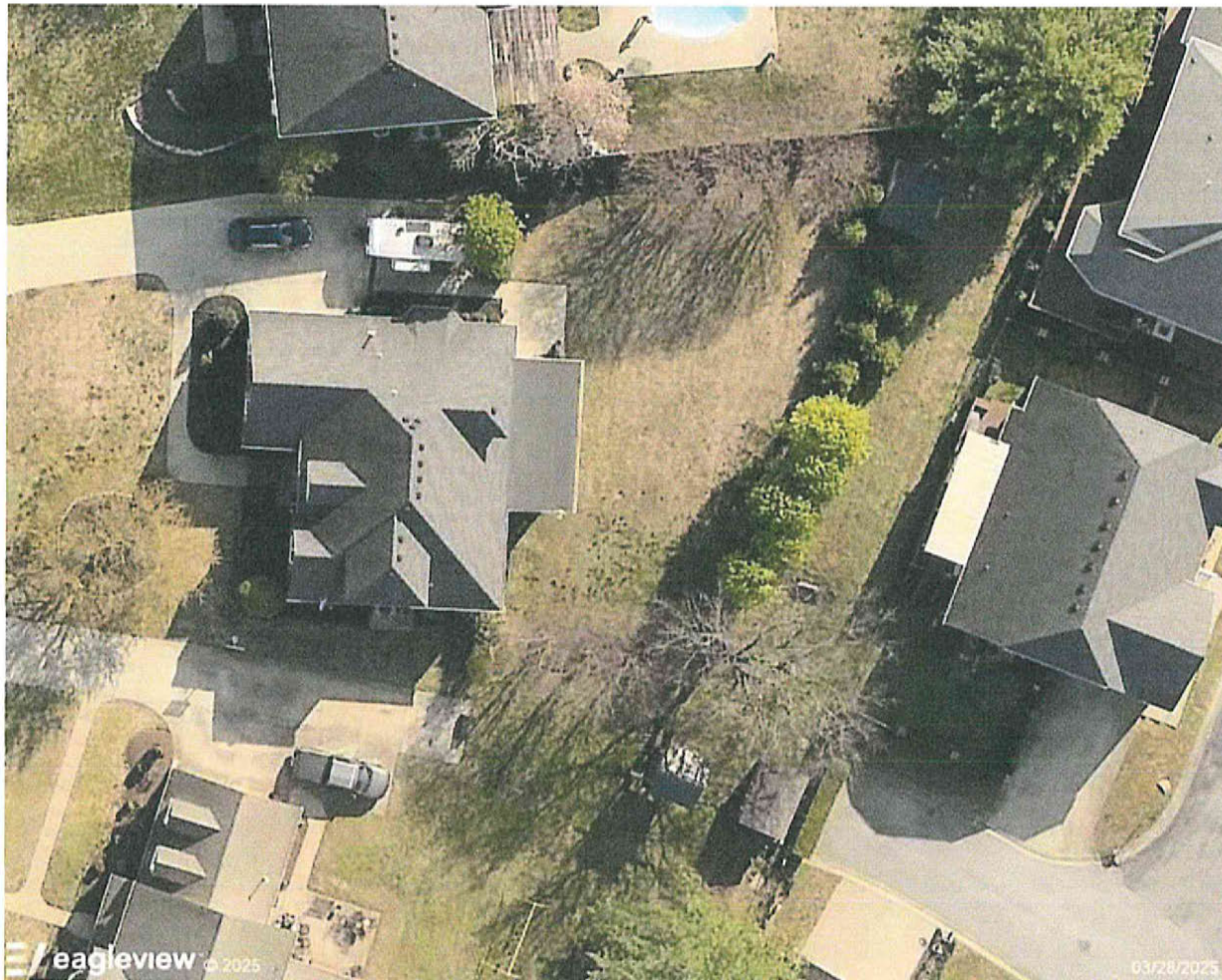


2618 Albany Ct, Murfreesboro, TN 37129

Report: 68161361

**IMAGES**

The following aerial images show different angles of this structure for your reference.





2618 Albany Ct, Murfreesboro, TN 37129

Report: 68161361

**IMAGES**

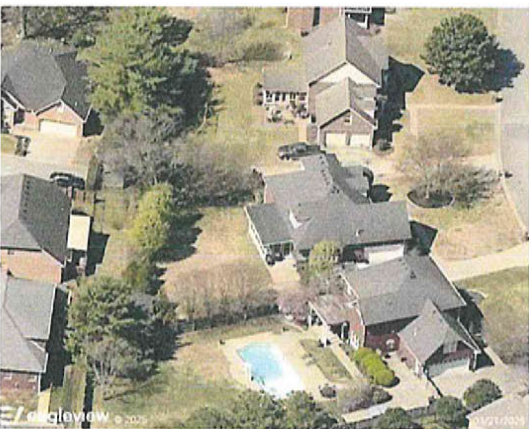
The following aerial images show different angles of this structure for your reference.



North View



South View



East View



West View





2618 Albany Ct, Murfreesboro, TN 37129

Report: 68161361

## APPENDIX

Roof	Total Area*	Pitch				# Facets
#1	35 squares	10/12	1/12	6/12	8/12	19
		88%	10%	1%	<1%	
		30.9 SQ	3.5 SQ	0.4 SQ	0.2 SQ	

Measurements provided by [www.eagleview.com](http://www.eagleview.com)

\*Does NOT include waste

☒ Low Slope

☐ Steep Slope

