

CITY OF MURFREESBORO

PLANNING COMMISSION

AGENDA

City Hall, 111 W. Vine Street, Council Chambers

DECEMBER 3, 2025
6:00 PM

Ken Halliburton
Chair

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the November 19, 2025 Planning Commission regular meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Annexation petition and plan of services [2025-508] for approximately 6.41 acres located along Majesty Drive and Cicero Drive, Xaiyavong and Panola Saenphansiri applicants. (Project Planner: Richard Donovan)**
 - b. Zoning application [2025-421] for approximately 6.41 acres located along Majesty Drive and Cicero Drive to be zoned RS-6 simultaneous with annexation, Xaiyavong Saenphansiri applicant. (Project Planner: Richard Donovan)**
 - c. Annexation petition and plan of services [2025-507] for approximately 10.3 acres located along Elam Road, including approximately 1,200 linear feet of Elam Road right-of-way, Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc. and the City of Murfreesboro applicants. (Project Planner: Holly Smyth)**
 - d. Zoning application [2025-423] for approximately 5.3 acres located at 210 Chaffin Place to be rezoned from CH to PND (Redeemer Classical Academy PND), Redeemer Classical Academy applicant. (Project Planner: Holly Smyth)**

MURFREESBORO PLANNING COMMISSION AGENDA

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DECEMBER 3, 2025

6. Staff Reports and Other Business:

- a. Mandatory Referral [2025-717] to consider the dedication of an electric easement on City-owned property located along Wilkinson Pike, Middle Tennessee Electric applicant. (Project Planner: Stephen Anthony)**

7. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

1:00 P.M.

CITY HALL

MEMBERS PRESENT

Ken Halliburton, Chair
Jami Averwater, Vice-Chair
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Greg McKnight, Exec. Dir. Dev. Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Amelia Kerr, Planner
Stephen Anthony, Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Matt Fasig, Assistant City Engineer
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney

1. Call to order.

Chair Ken Halliburton called the meeting to order.

2. Determination of a quorum.

Chair Ken Halliburton determined that a quorum was present.

3. Public Comments.

Chair Ken Halliburton announced that no signed up to speak during the Public Comment portion of the agenda.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

4. Approve minutes of the November 5, 2025 Planning Commission meeting.

Mr. Shawn Wright made a motion to approve the minutes of the November 5, 2025 Planning Commission meeting; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

5. Consent Agenda:

AutoZone Store #10568 [2025-3083] site plan for a 7,381 ft2 retail store on 1.58 acres zoned CH located along South Rutherford Boulevard, AutoZone Development, LLC developer.

Manny's Towing [2025-3121] site plan for a 1,364 ft2 building for a wrecker service with storage yard on 1.41 acres zoned H-I located along Elam Farms Parkway, Manuel R. Cervera developer.

Southpointe Business Park, Lot 17 [2025-2085] horizontal property regime plat for 2 commercial units on a 3.24-acre lot zoned L-I located along Southpointe Way, Beacon Properties developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

The Gardens of Three Rivers, Resubdivision of Lots 49 & 52 [2025-2086] final plat for 6 lots on 0.72 acres zoned PRD located along Barringer Lane and Audubon Lane, Patterson Company, LLC developer.

James and Lisa Davis, Lots 1 & 2 [2025-2088] final plat for 2 lots on 5.61 acres zoned CL and RM-16 located along Halls Hill Pike and Flat Rock Road, James and Lisa Davis developers.

Shelton Grove, Section 1 [2025-2090] final plat for 55 lots on 15.8 acres zoned PUD located along Manson Court, Southcoast DFH Nashville, LLC developer.

Sullivan's Retreat Townhomes [2025-2092] horizontal property regime plat for 80 units on a 12.11-acre lot zoned PRD located along Carolina Court, Cornerstone Development, LLC developer.

Singer Park, Lot 3 [2025-3123] site plan for a 702 ft2 coffee shop on 0.43 acres zoned L-I located along Northwest Broad Street, Michael Hazlett developer.

Robert Luther, Resubdivision of Lot 1 [2025-2087] final plat for 3 lots on 1.13 acres zoned RS-10 located along Dill Lane and Horncastle Drive, BNA Homes developer.

Evergreen Farms, Resubdivision of Lots 1002A and 1002B [2025-2089] final plat for 1 lot on 3.57 acres zoned PUD located along Saint Andrews Drive, R&R Partnership developer.

Barfield Road Substation [2025-2083] final plat for 1 lot on 4.38 acres zoned CH located along Barfield Road, Middle Tennessee Electric developer.

Salem Glen, Lot 14 [2025-3120] site plan for two 2,560 ft2 office buildings on 0.55 acres zoned OG located along Oval Hesson Lane and Saint Andrews Drive, Wayne Belt developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

Take 5 [2025-3119] site plan for a 1,643 ft² motor vehicle service building on 0.72 acres zoned CH located along New Salem Highway, Jarman Development developer.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll

 Reggis Harris

 Bryan Prince

 Kelly G Rollins

 Ken Halliburton

Abstain: Jami Averwater

 Shawn Wright

Nay: None

6. GDO:

On Motion

LC Henley Apartments fence [2025-3115] site plan review and initial/final design review for fencing for dog park at an existing multi-family development on 20.03 acres zoned PUD and GDO-1 located along Robert Rose Drive, Master Fence developer.

Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the site plan review and initial/final design review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Redstone Federal Credit Union fence [2025-3122] site plan review and initial/final design review for fencing at an existing credit union on 2.39 acres zoned MU, CH, and GDO-1 located at 2404 Medical Center Parkway, Redstone Federal Credit Union developer. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the site plan review and initial/final design review subject to all staff comments, the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

Clari Park, Lot 16 [2025-1019] preliminary plat for 3 lots on 6.44 acres zoned CH, PUD, and GDO-1 located along Willowoak Trail, Hines Clari Park Land Holdings, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Promenade at Clari Park, Phase 2 [2025-2082] horizontal property regime plat for 88 dwelling units zoned PUD and GDO-1 located along Willowoak Trail, Ashton Nashville Residential, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the horizontal property regime plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Clari Park, Lot 18 [2025-2091] horizontal property regime plat for 80 residential units on an 8.06-acre lot zoned PUD and GDO-1 located along Roby Corlew Lane and Robert Rose Drive, Hines Clari Park Land Holdings, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the horizontal property regime plat subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

7. Plats and Plans

Manchester Farms [2025-2084] final plat for 1 lot on 34.8 acres zoned RM-16 along Manchester Pike and Elam Farms Parkway, CC Manchester Farm, LP developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the final plat subject to all staff comments; the motion was seconded by Vice-Chair Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Chick-Fil-A #5984 [2025-3104] site plan for a 5,183 ft2 restaurant on 2.45 acres zoned PCD (Marketplace at Savannah Ridge PCD) located along South Church Street and Joe B Jackson Parkway, Brent Edmiston on behalf of Chick-Fil-A developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Allan Wiley (design engineer) and Mr. Brent Edmiston (developer) were in attendance representing the application.

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The Planning Commission discussed queueing, building elevations, and building orientation.

Mr. Wiley and Mr. Edmiston answered questions about drive-thru queueing.

There being no further discussion, Vice-Chair Jami Averwater made a motion to approve the site plan and building elevations as presented subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

8. New Business

Zoning application [2025-423] for approximately 5.3 acres located at 210 Chaffin Place to be rezoned from CH to PND (Redeemer Classical Academy PND), Redeemer Classical Academy applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Brian Grover (landscape architect) of SEC, Inc. was in attendance representing the application.

The Planning Commission discussed hours of operation and traffic.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

9. Staff Reports and Other Business.

Mandatory Referral [2025-716] to consider the abandonment of a drainage and detention easement on property located along Captain Joe Fulghum Drive, Michael Hazlett applicant. Mr. Stephen Anthony presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the mandatory referral subject to all staff comments, including all recommended conditions of approval in the staff report; the motion was seconded by Vice-Chair Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION NOVEMBER 19, 2025

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Monthly update from Director of Land Management and Planning.

Mr. Ben Newman provided updates on a variety of topics, including the Design Guidelines and the Cherry Lane corridor study.

Mr. Matthew Blomeley reminded the Planning Commission of continuing education opportunities and the upcoming meeting schedule.

10. Adjourn.

There being no further business, the meeting adjourned at 1:50 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 3, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.a. Annexation petition and plan of services [2025-508] for approximately 6.41 acres located along Majesty Drive and Cicero Drive, Xaiyavong and Panola Saenphansiri applicants.

Xaiyavong and Panola Saenphansiri have submitted a petition requesting annexation of their property into the City of Murfreesboro. The annexation area consists of one vacant parcel, situated at the end of Majesty Drive and Cicero Drive. The total annexation study area is approximately 6.41 acres.

The annexation study area includes the following:

- Tax Map 078, Parcel 016.04 (6.41 acres)

The applicant has submitted a companion zoning application to rezone the subject property to an RS-6 designation simultaneous with annexation. This rezoning would permit the 6.41 acres to be subdivided further potentially into seventeen (17) lots, as shown on the provided concept plan.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its northwestern boundary. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The existing sanitary sewer pump station will need to be studied to determine whether development of more than one unit could occur on the site. If upgrades are needed, the developer would be responsible for improving the pump station and providing an easement for its future abandonment, or for participating in the extension of a gravity sewer main that would connect to the existing system in Blackman Village.

Staff Recommendation:

Staff is supportive of the annexation request for the following reasons:

1. The subject property is contiguous with the existing City Limits.

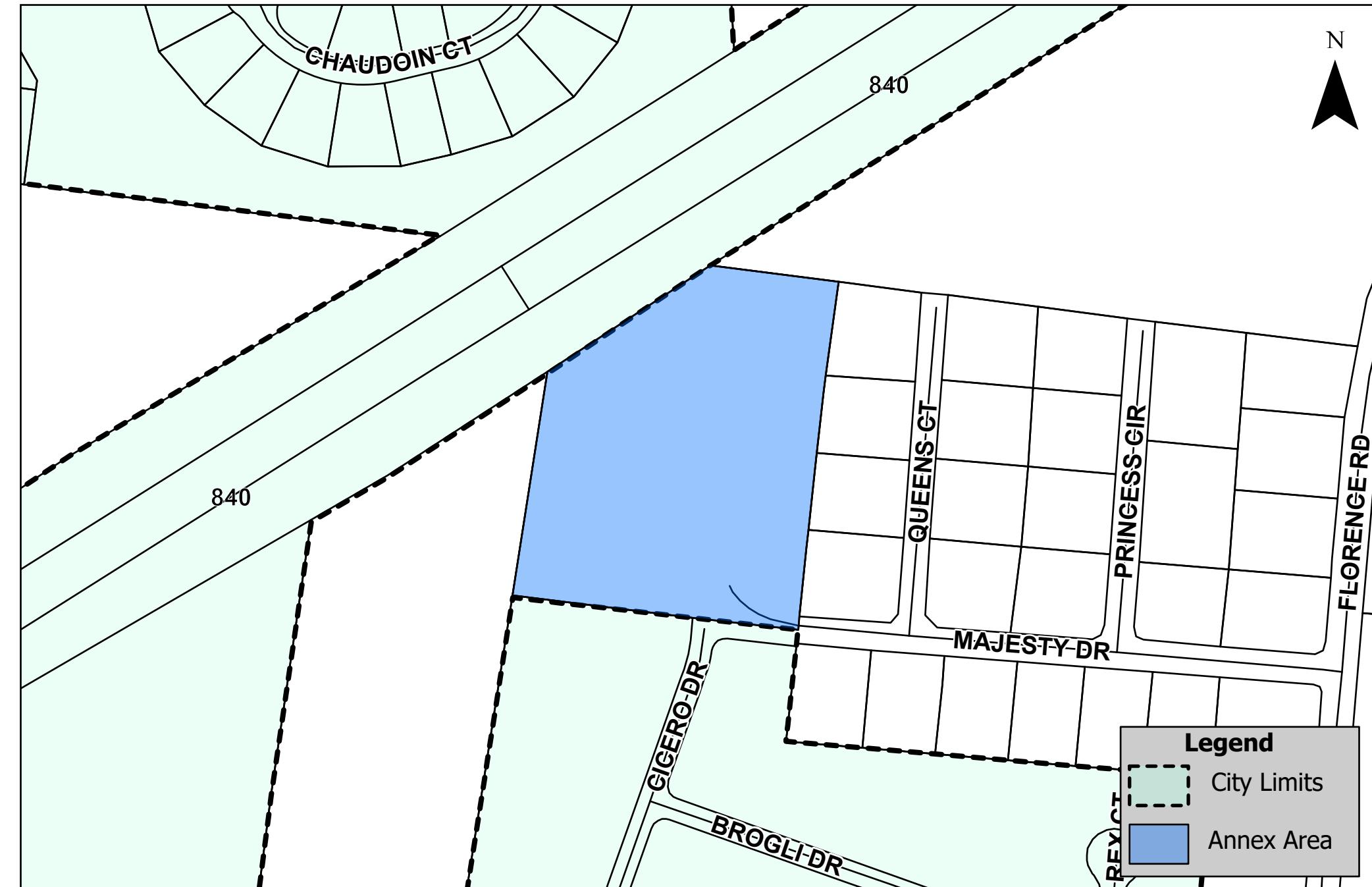
2. It is located within the Urban Growth Boundary and within the Service Infill Area.
3. Services can be extended to the subject property upon annexation.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map
Non-ortho maps
Annexation Petition
Plan of Services

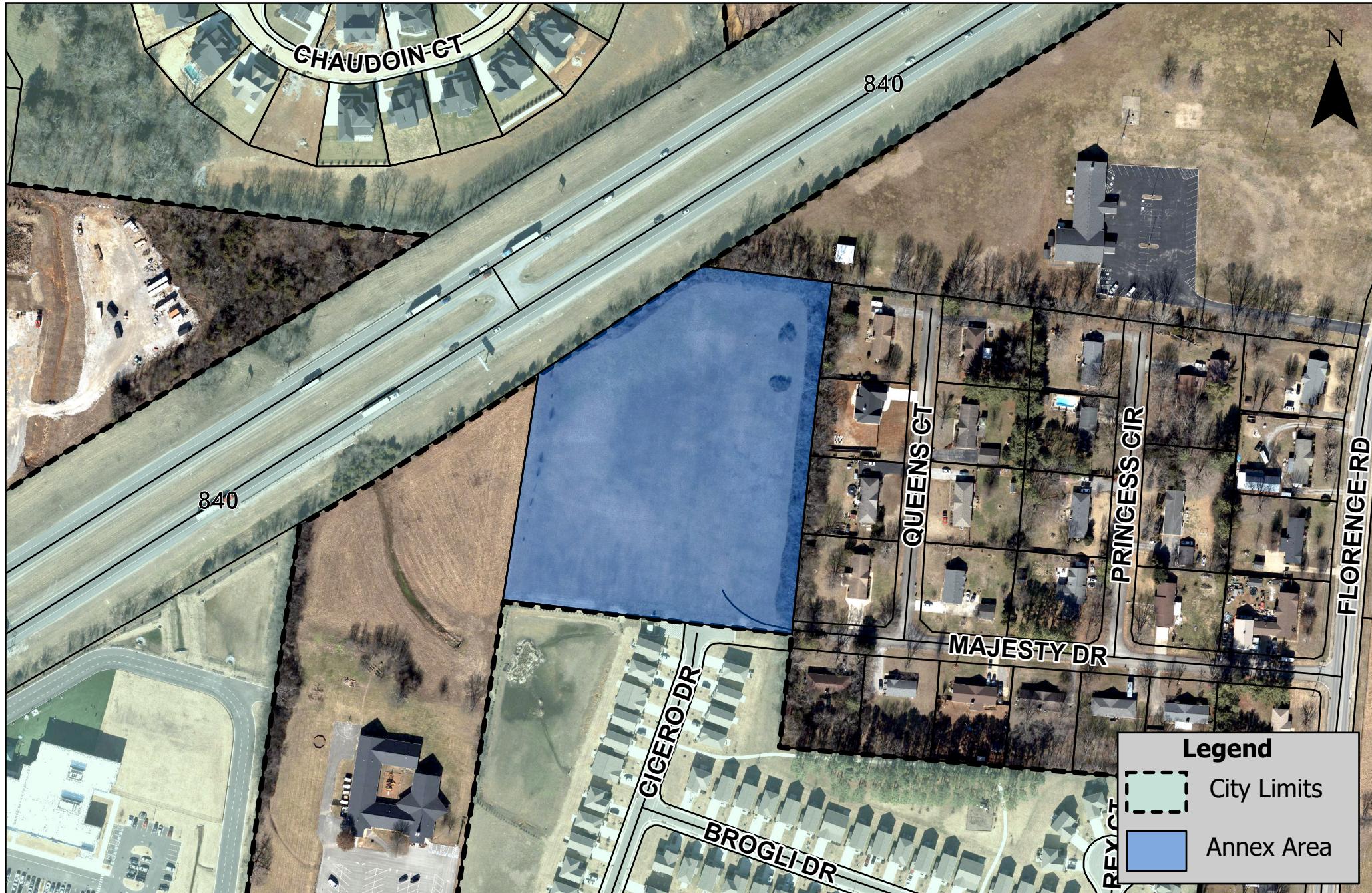


Annexation Request for property along Majesty Drive

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



0 155 310 620 930 1,240 US Feet



Annexation Request for property along Majesty Drive

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



0 155 310 620 930 1,240
 US Feet

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Xaiyavong Saenphansiri

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Xaiyavong Saenphansiri dotloop verified
09/09/2025 5:38 PM CDT
YWDI-2ABF-CBJS-2FVP Status: Owner Date: 09/09/2025

3148 Majesty Drive, Murfreesboro TN 37129

Mailing Address (if not address of property to be annexed)

2. Panola Saenphansiri

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Panola Saenphansiri dotloop verified
09/09/25 5:41 PM CDT
K8EE-OPX-2DDC-T07F Status: Owner Date: 09/09/2025

3148 Majesty Drive, Murfreesboro TN 37129

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

**ANNEXATION REPORT FOR PROPERTY LOCATED
ALONG MAJESTY DRIVE AND CICERO DRIVE
INCLUDING PLAN OF SERVICES
(FILE 2025-508)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
DECEMBER 3, 2025**



Annexation Request for property along Majesty Drive

0 155 310 620 930 1,240 US Feet

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov

INTRODUCTION

OVERVIEW

The property owners, Xaiyavong and Panola Saenphansiri, submitted a petition requesting their property be annexed into the City of Murfreesboro. The property totals approximately 6.41 acres. It is located at the terminus of Majesty Drive and Cicero Drive. The annexation study area includes the following properties:

- Tax Map 078, Parcel 016.04 (6.41 acres)

The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northwestern and southern boundaries, as depicted on the adjacent map.



SURROUNDING ZONING

The study area consists of one vacant parcel, at the terminus of Majesty Drive and Cicero Drive. The subject parcel is zoned RM (Medium Density Residential) in the unincorporated County. There is a companion zoning application to rezone the subject parcel to an RS-6 (Single-Family Residential District, 6,000 ft² minimum lot size) designation.

The surrounding properties are primarily residential in use with corresponding residential zoning districts, though some institutional uses are interspersed. To the north, across Interstate 840, is the Shelton Square PRD (Planned Residential District). Also, along the northern property line is Unity Free Will Baptist Church, located in the unincorporated County and zoned Medium Density Residential (RM). To the east is the Royal Court subdivision, a single-family residential development zoned RM in the County. To the south is Blackman Village PRD. To the west is Blackman United Methodist Church, also located in the County and zoned RM.



SURROUNDING LAND USE

The study area consists of one vacant parcel, at the terminus of Majesty Drive and Cicero Drive. The surrounding properties are primarily residential uses with some institutional uses interspersed. To the north, across Interstate 840, is the Shelton Square PRD, which includes detached single-family residences. Also, along the northern property line is Unity Free Will Baptist Church. To the east is the Royal Court subdivision, a single-family residential development in the County. To the south is Blackman Village, a detached single-family residential neighborhood in a horizontal property regime. To the west is Blackman United Methodist Church, also located in the County.



Annexation Request for property along Majesty Drive

0 155 310 620 930 1,240 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2026 will be due on December 31, 2027. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Xaiyavong Saenphansiri	078-01604	6.41	\$193,200	\$0	\$48,300	\$460.11

These figures are for the property in its current state and assessed at the residential rate of 25 percent.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 4.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical facilities and capacity along Majesty Drive and Cicero Drive to continue to serve the property upon annexation, including any future development.

STREET LIGHTING

There are no streetlights along Majesty Drive but streetlights are present along Cicero Drive. Streetlights will be installed as part of the development with the construction of any new public streets.

SOLID WASTE COLLECTION

The property will be eligible for City-provided weekly curbside solid waste collection service on Wednesdays, immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The above solid waste services will be provided upon development of the property. In its current undeveloped state, no additional equipment or manpower will be needed to serve the study area. Upon development as a residential subdivision, a solid waste cart for each dwelling (\$74.75 each) will be needed to serve the study area.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the Overall Creek Elementary School zone, and it would become part of this school's zoned area if annexed. Any elementary school-aged children residing on the property once developed will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have no impact on the school system, since it is currently undeveloped. If developed with up to seventeen (17) single-family detached residential homes MCS would anticipate adding approximately five (5) students to the school population upon full buildout. MCS and the City will continue to monitor new growth in the district, including the Overall Creekschool zone, in order to evaluate the need for a new elementary school in the future.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area does not include any existing public right-of-way (ROW) or roadways. The annexation study area has access to existing Cicero Drive. Any new connections must be approved by the City Engineer. The study area also has access to Majesty Drive. Majesty Drive is a County road that stubs to the study area but is not constructed to the property line. Any new connections or construction within County ROW must be approved by the County Engineer. Any new public roadways to serve the study area must be constructed to City Standards.

REGIONAL TRAFFIC & TRANSPORTATION

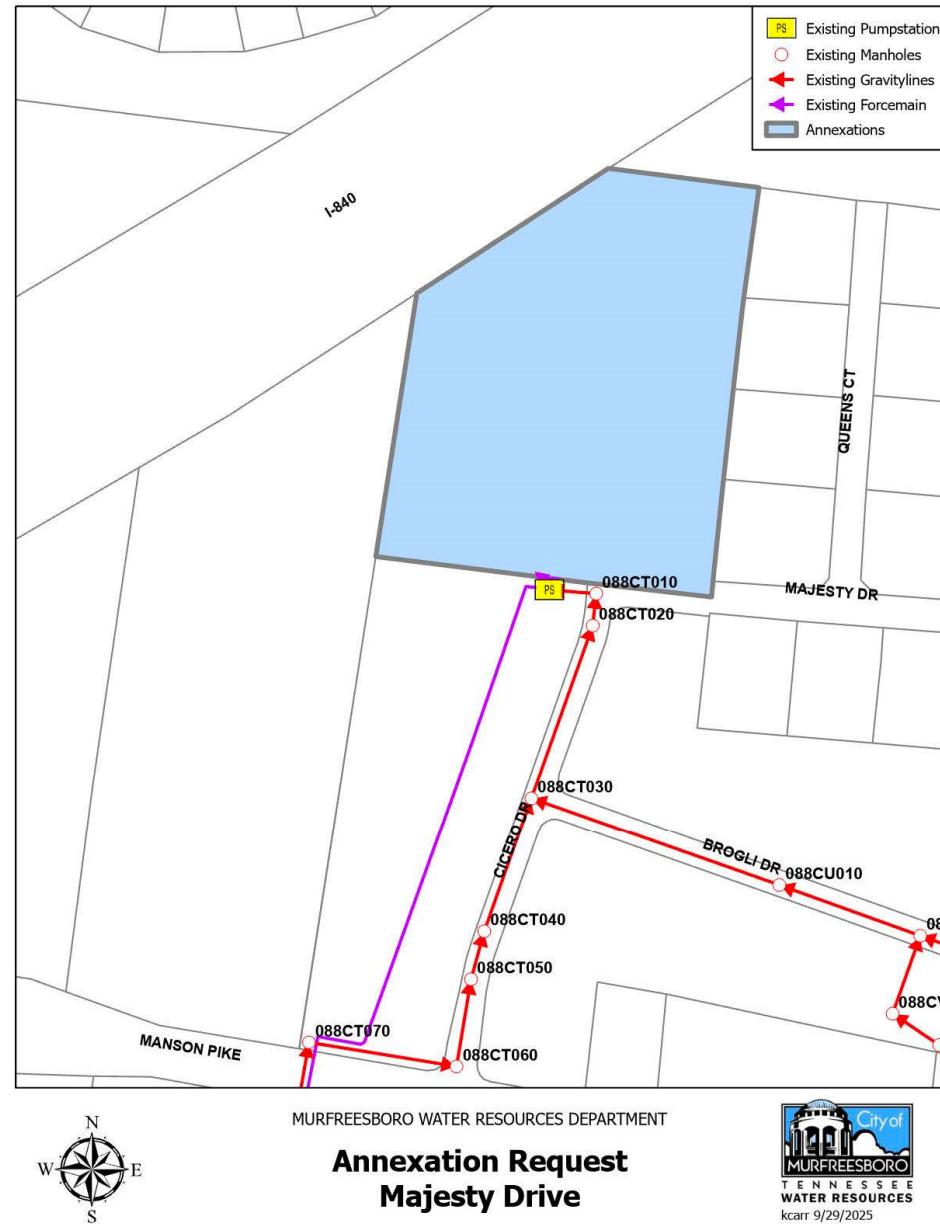
The major roadways to serve the study area are Manson Pike and Florence Road. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Florence Road to be operating at a Level of Service B and Manson Pike to be operating at a Level of Service C near the study area using average daily traffic (ADT) counts. The 2040 Level of Service Model indicates that both roadways operate at a Level of Service of D/E without the proposed improvements recommended in the 2040 Plan.

SANITARY SEWER SERVICE

Sanitary sewer is located along the roadway in Blackman Village to the south. The sewer main is an 8" main and is served by an existing sewer pump station. This station must be studied to determine if it has capacity for any proposed redevelopment of the property and additional homes. If necessary, the developer would be required to upgrade the station at the time of development. The Department will either request sewer easement through the property for the future abandonment of the pump station or the Department may participate to extend a "dry" gravity sewer main for the abandonment. Should redevelopment not occur, one home could connect to the existing sewer main within the existing roadway of Blackman Village.

This property is within the Overall Creek Sanitary Sewer Assessment District and will be charged \$1,000 per single-family unit (sfu) in addition to the standard connection fee of \$2,550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.

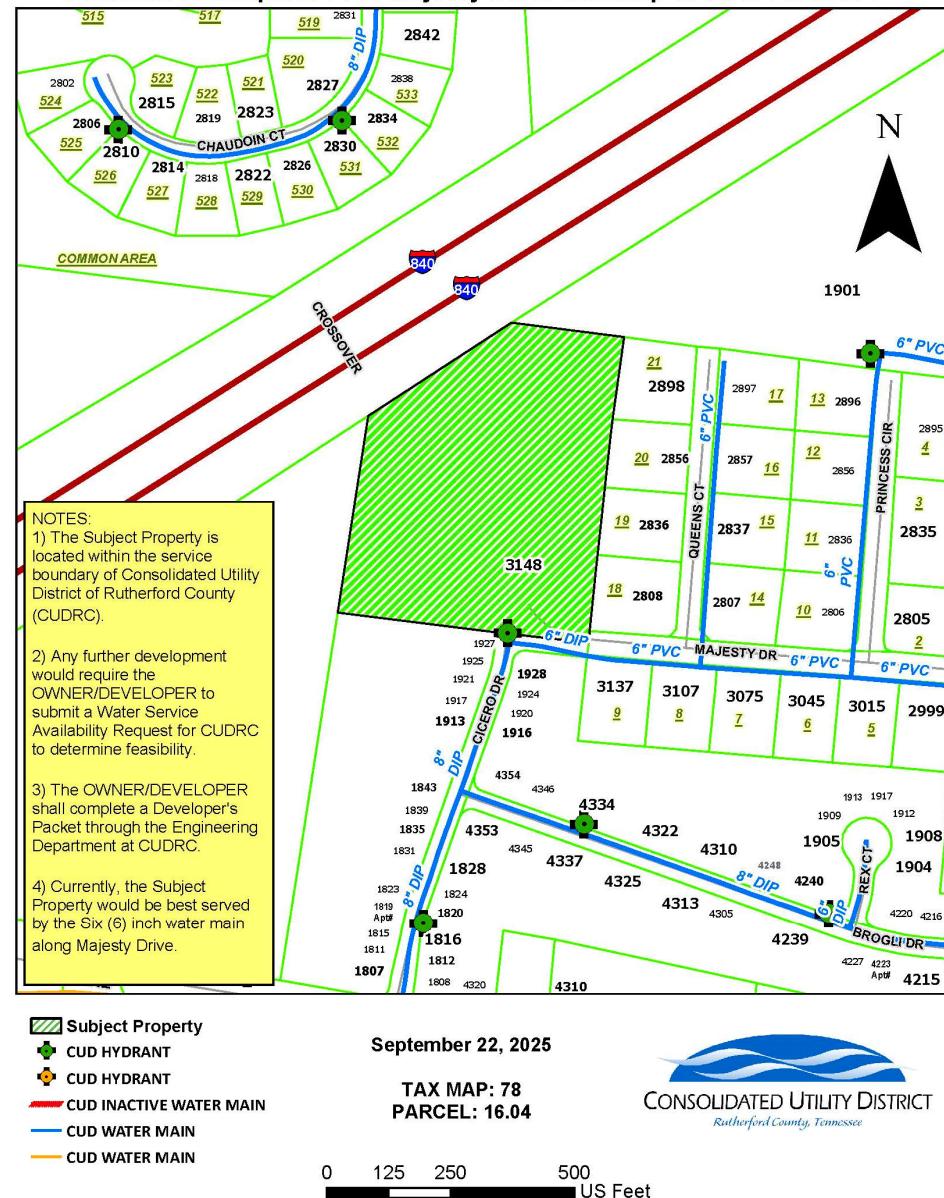


WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. The study area is served by CUD water through the six (6) inch water main along Majesty Drive and an eight (8) inch water main along Cicero Drive.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

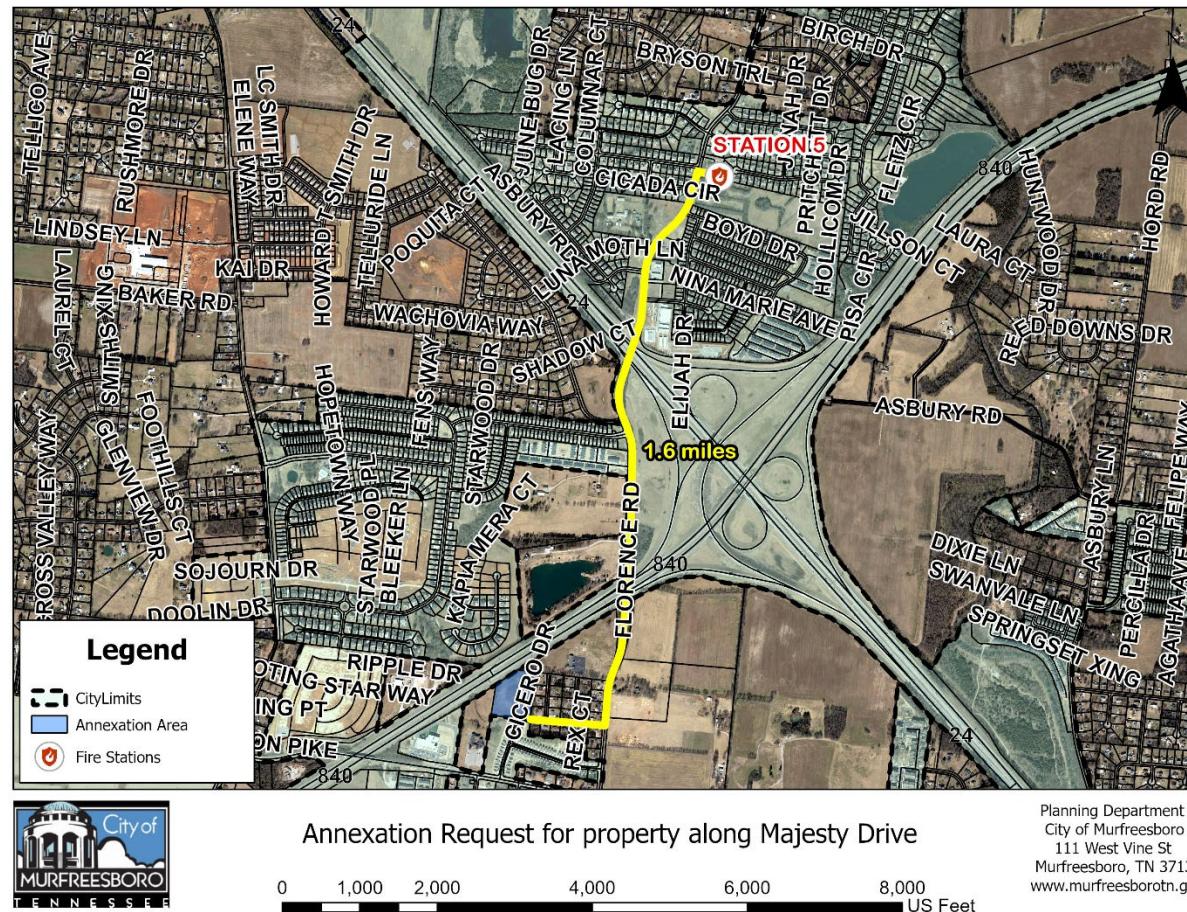
Annexation Request 3148 Majesty Drive Tax Map 078 Parcel 01604



FIRE AND EMERGENCY SERVICE

The study area contains vacant land. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

Currently the study area is located 1.6 miles from Fire Station #5 (3006 Florence Road). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



Annexation Request for property along Majesty Drive

0 155 310 620 930 1,240 US Feet

DRAINAGE

Public Drainage System

No public drainage facilities are included in the study area. If annexed, any new public drainage facilities proposed to serve the study area in the future must meet City standards.

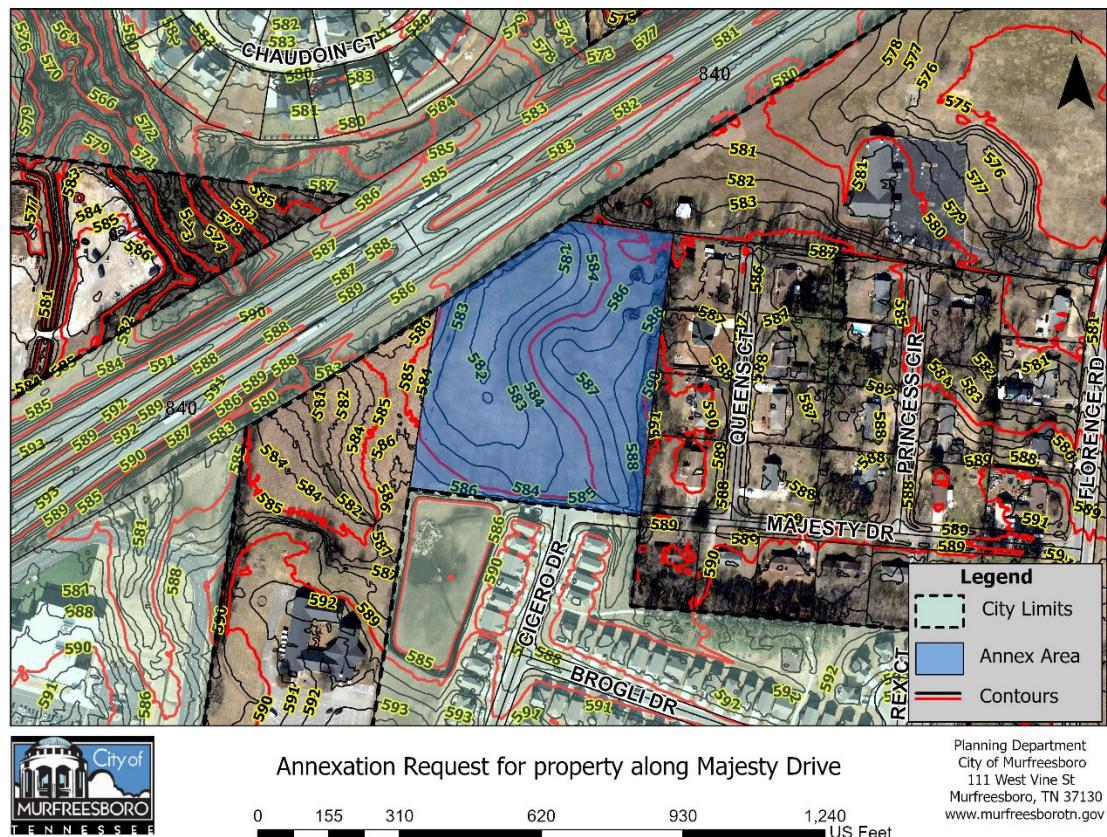
Regional Drainage Conditions

A review of the GIS contours and ortho photography indicates that most of the study area drains to a low area located on the northwest side of the property.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area is currently vacant and will not generate revenue for the Stormwater Utility Fee in its current state.

The study area has a proposed zoning of RS-6 with 17 proposed single-family detached homes. Based on this development scenario, it is anticipated that the site will generate approximately \$663 in revenue per year into the Stormwater Utility Fund upon full build-out.



PROPERTY AND DEVELOPMENT

The further development of the property may require the dedication of right-of-way and the extension of Majesty Drive. Any work conducted within County right-of-way must receive prior approval from the County Engineer. Similarly, any work within City right-of-way must be approved by the City Engineer.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.



3148 MAJESTY DRIVE PROPERTY

CONCEPTUAL SITE PLAN

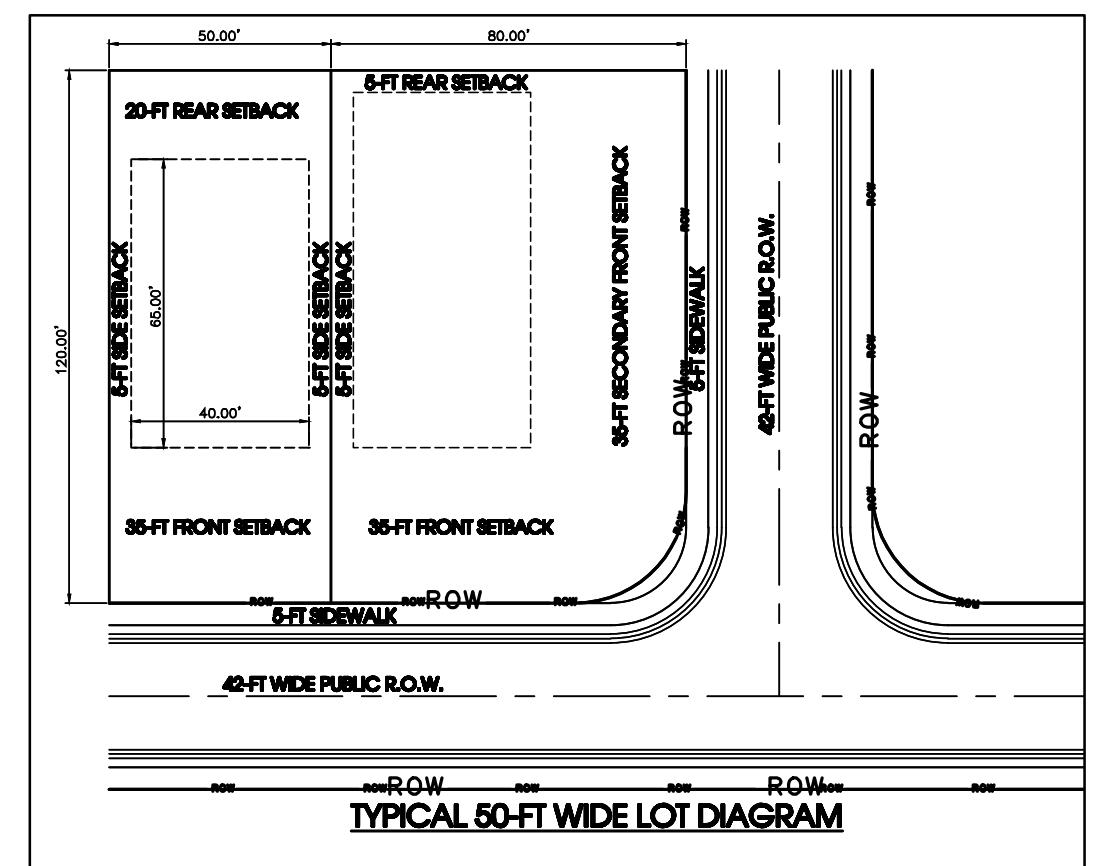
<u>LAND USE DATA:</u>	
EXISTING ZONING:	RM (RUTHERFORD COUNTY)
PROPOSED ZONING:	RS-6 (CITY OF MURFREESBORO)
TOTAL LAND AREA:	±6.41 ACRES
TOTAL NUMBER OF LOTS:	17 LOTS
YIELD: 17 LOTS/6.41 ACRES=	2.65 UNITS/ACRE

PROVIDED OPEN SPACE: **±0.95 AC (14.82%)**

STORMWATER (DETENTION): **±1.17 AC (18.25%)**

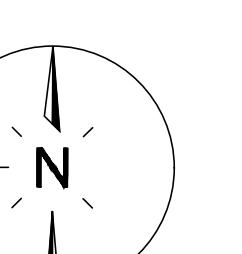
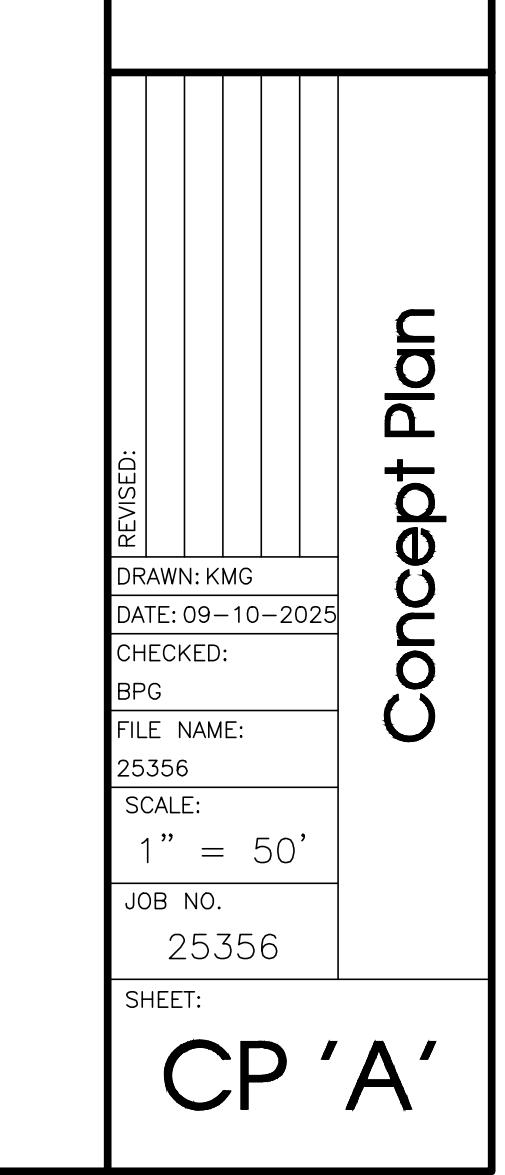
MINIMUM LOT SIZE:	6,000 SF
MINIMUM LOT WIDTH AT ROW:	50 FEET
TYPICAL LOT SIZE:	50 FEET WIDE X 120 FEET DEEP

LENGTH OF NEW ROADWAY: ±1,015 LF



3148 Majesty Drive

Rutherford County TN



A scale bar and text block. The scale bar is a horizontal line with a black and white checkered pattern, labeled '0' at the left end, '50' in the middle, and '100' at the right end. Below the scale bar, the text 'SCALE: 1" = 50\' is centered.

CP 'A'

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 3, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.b. Zoning application [2025-421] for approximately 6.41 acres located along Majesty Drive and Cicero Drive to be zoned RS-6 simultaneous with annexation, Xaiyavong Saenphansiri applicant.

Xaiyavong Saenphansiri, the applicant, is requesting zoning the subject property simultaneous with annexation to Residential Single-family with a minimum lot size of 6,000 ft² (RS-6). The approximately 6.41-acre vacant parcel is located at the end of Majesty Drive and Cicero Drive and is identified as Tax Map 078, Parcel 016.04.

The RS-6 zoning district is intended to accommodate single-family residential development on individual lots with a minimum lot size of 6,000 square feet and a minimum lot width of 50 feet. Development within the RS-6 district requires a 35-foot front setback, a 20-foot rear setback, and 5-foot side setbacks, with a maximum lot coverage of 50%. Single-family detached dwellings are required to feature façades constructed primarily of brick, stone, or cementitious siding. The proposed rezoning would allow the 6.41-acre property to be further subdivided into approximately seventeen (17) lots, as illustrated on the accompanying concept plan.



Adjacent Land Use and Zoning

The surrounding properties are primarily residential in use with corresponding residential zoning districts, though some institutional uses are interspersed. To the north, across Interstate 840, is Shelton Square PRD, which includes detached single-family residences. Also, along the northern property line is Unity Free Will Baptist Church, located in the unincorporated County and zoned Medium Density Residential (RM). To the east is the Royal Court subdivision, a single-family residential development zoned RM in the County. To the south is Blackman Village PRD, a detached single-family residential neighborhood in a horizontal property regime. To the west is Blackman United Methodist Church, also located in the County and zoned RM.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Business Park' (BP), which is considered the most appropriate land use character, as indicated on the map below. The BP development style is intended to primarily generate activity from office, medical, and technology/research uses. The BP designation intended characteristics include 20–30% required open space, extensive perimeter landscaping, and enhanced entry/street designs. Development is often governed by private covenants exceeding City standards, aiming to create an attractive investment environment. Operations occur indoors with no outdoor storage, and growth is encouraged in unified, clustered corridors rather than isolated parcels. Sites generally range from 50–250 acres, with square or rectangular shapes preferred for flexibility. Adequate acreage supports future expansion, and shovel-ready infrastructure reduces costs, risks, and time to market. The Comprehensive Plan recommends OG, OG-R, CM, PCD, and PND as compatible zoning districts.

Staff believes that the 'Business Park' designation shown on the Future Land Use Map (FLUM) is an unintentional carryover from the previous FLUM, as the Blackman Village site was also identified as 'Business Park' in that prior iteration. Chapter 4 of the Comprehensive Plan, however, provides a transition policy that allows flexibility when the existing development pattern supports the expansion of a land use boundary. The Planning Commission will need to determine whether this request represents an appropriate application of the transition policy to extend the 'Auto Urban Residential' (AUR) designation for Blackman Village to the north.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

1. The proposed RS-6 zoning is consistent with the adjacent residential uses, strengthening the established residential fabric and complementing the character of nearby homes.
2. The request thoughtfully applies the Comprehensive Plan's transition policy by logically extending the Auto Urban Residential designation from Blackman Village, reflecting the area's natural development trajectory.
3. The RS-6 district provides clear and predictable standards that will help facilitate high-quality single-family homes, promoting consistency with the City's long-term expectations for well-designed residential neighborhoods.
4. The property's location at the terminus of existing residential streets makes it an ideal candidate for residential infill, allowing for efficient service extension and strengthening connectivity within the broader community.

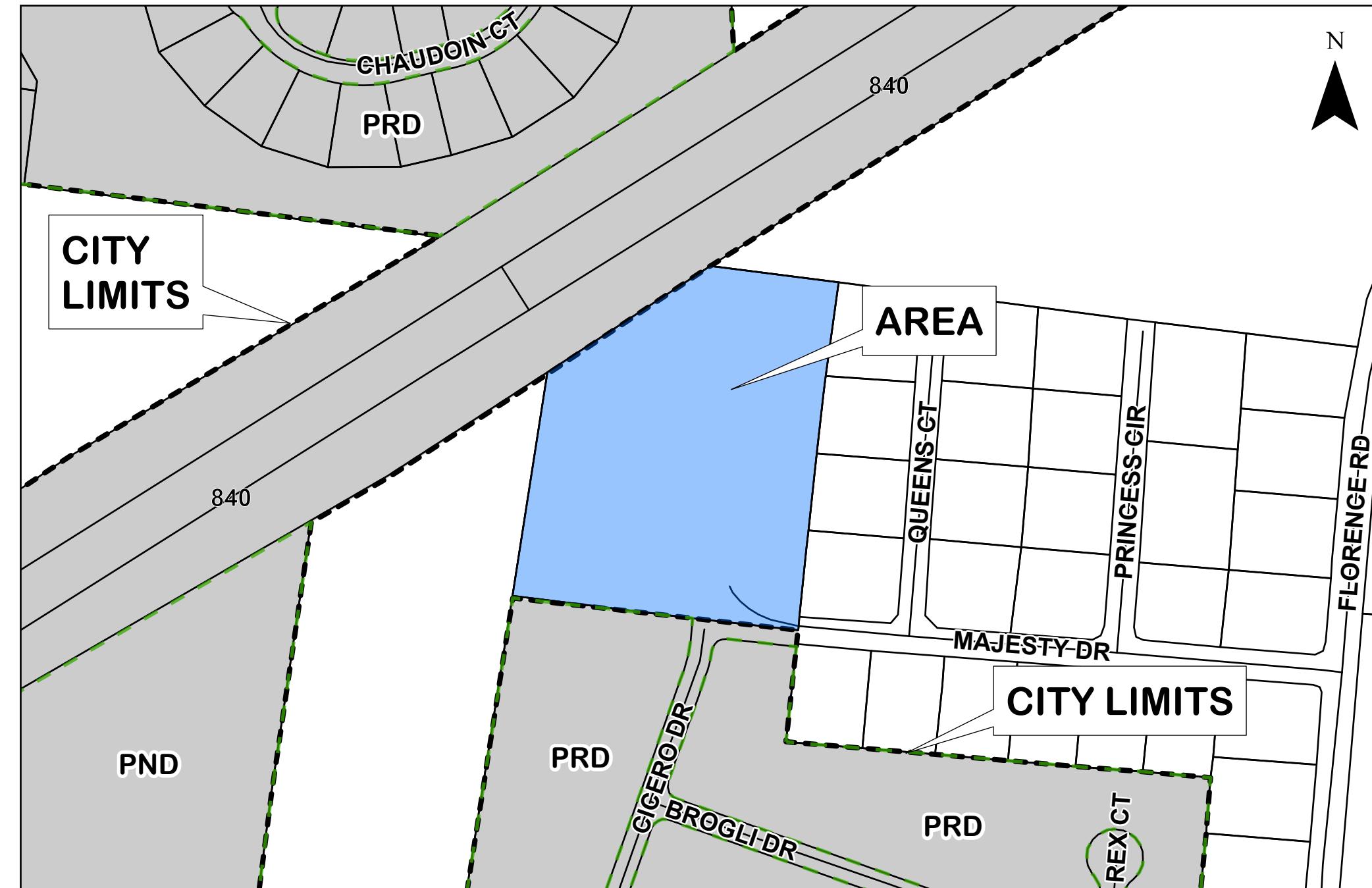
Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map

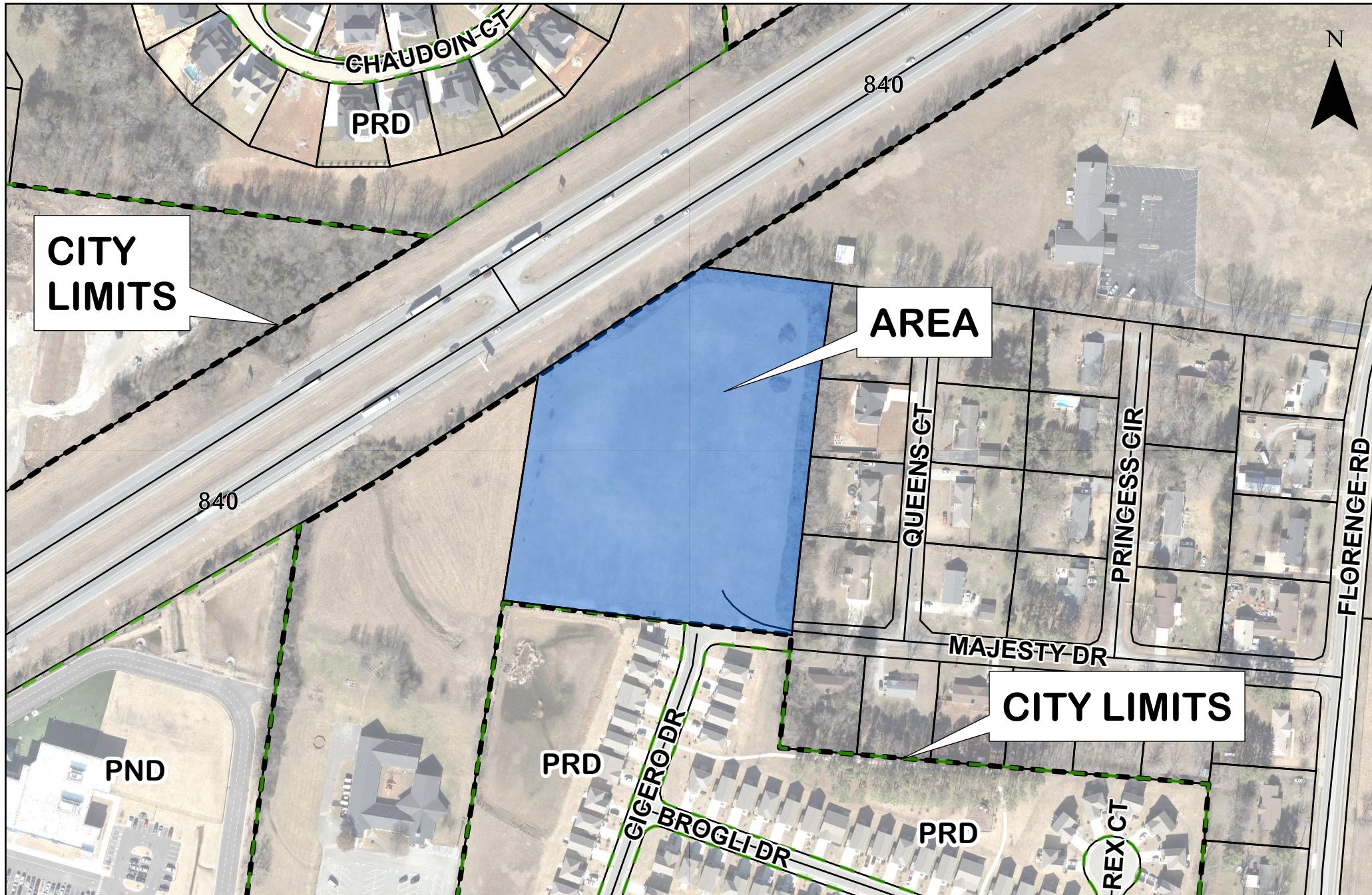
Non-ortho maps



Zoning Request for property along Majesty Drive and Cicero Drive
RS-6 simultaneous with annexation



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Zoning Request for property along Majesty Drive and Cicero Drive
RS-6 simultaneous with annexation

0 155 310 620 930 1,240
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov





Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Xaiyavong Saenphansiri

Address: 4743 Hammock Drive City/State/Zip: Murfreesboro, TN 37128

Phone: 615-848-4443

E-mail address: [REDACTED]

PROPERTY OWNER: Xaiyavong Saenphansiri

Street Address or property description: 3148 Majesty Drive Murfreesboro, TN 37129

and/or Tax map #: 78 Group: _____ Parcel (s): 16.04

Existing zoning classification: RM- Rutherford County

Proposed zoning classification: RS-6 - Murfreesboro Acreage: 6.41

Contact name & phone number for publication and notifications to the public (if different from the applicant): SEC Inc. - ATTN: Matt Taylor

E-mail: [REDACTED]

APPLICANT'S SIGNATURE (required): 

DATE: 9/10/2025

*****For Office Use Only*****

Date received:

MPC YR.:

MPC #:

Amount paid:

Receipt #:



3148 MAJESTY DRIVE PROPERTY

CONCEPTUAL SITE PLAN

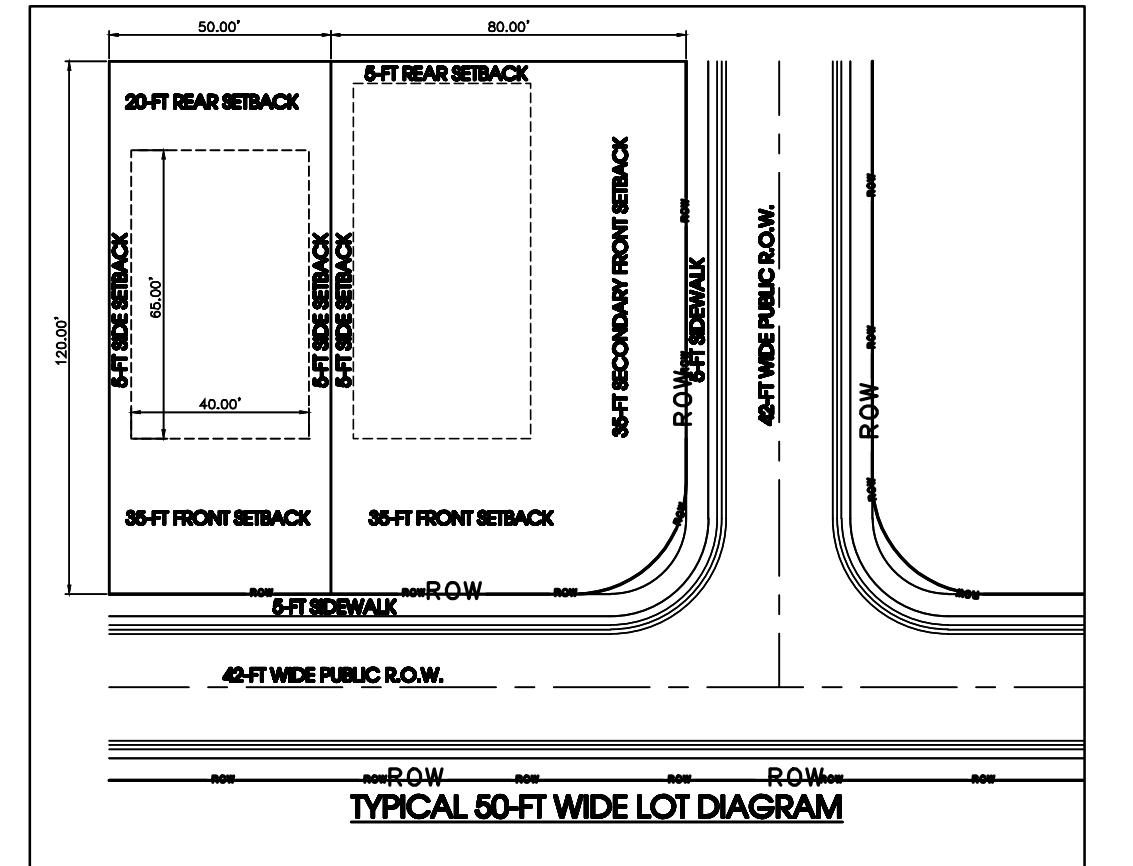
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STORMWATER (DETENTION): **±1.17 AC (18.25%)**

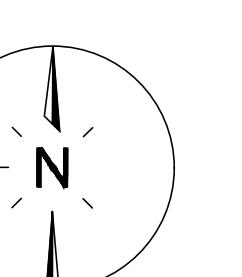
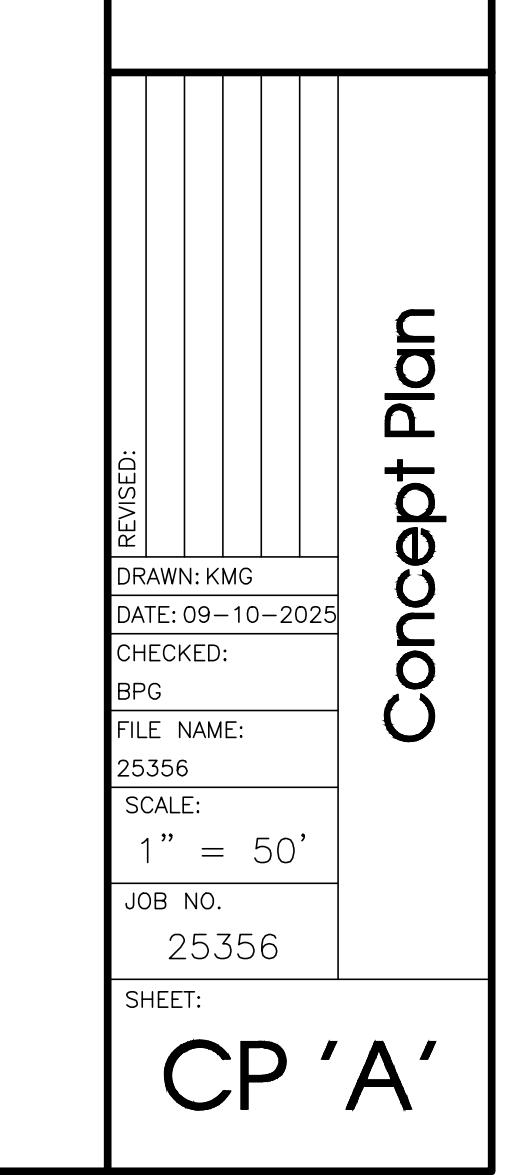
MINIMUM LOT SIZE: 6,000 SF
MINIMUM LOT WIDTH AT ROW: 50 FEET
TYPICAL LOT SIZE: 50 FEET WIDE X 120 FEET DEEP

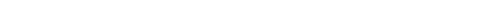
LENGTH OF NEW ROADWAY: **±1,015 LF**



3148 Majesty Drive

Blount County TN





A scale bar with markings at 0', 50', and 100'. Below the bar, the text 'SCALE: 1"= 50'' is centered.

CP 'A'

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 3, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.c. Annexation petition and plan of services [2025-507] for approximately 10.3 acres located along Elam Road, including approximately 1,200 linear feet of Elam Road right-of-way, Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc. and the City of Murfreesboro applicants.

Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc., represented by Arnold Consulting Engineering Services, Inc., has submitted a petition requesting annexation for its two parcels into the City of Murfreesboro. In addition, the City of Murfreesboro has submitted a petition for its adjacent parcel located to the south. The subject area includes three (3) parcels along the east side of Elam Road near the proposed Distribution Drive extension. The two church parcels, generally referred to as 2815 Elam Road, contain the sanctuary, school buildings, parking, and ancillary greenhouse and maintenance buildings. The City property is vacant.

The annexation study area also includes approximately 1,200 linear feet of Elam Road right-of-way (ROW), as shown on the attached maps. The Rutherford County Highway Commission reviewed and consented to the annexation of the right-of-way of Elam Road at its October 2, 2025 meeting.

The total annexation study area contains approximately 10.3 acres and includes the following:

- Tax Map 126, Parcel 32.01 (approximately 3.4 acres)
- Tax Map 126, Parcel 32.03 (approximately 3.5 acres)
- Tax Map 126, Parce 50.50 (approximately 1.13 acres)
- Approx. 1,200 linear feet of Elam Road ROW (approx. 2.3 acres)

The annexation study area is located within the Urban Growth Boundary as well as within the Infill Service Area. In addition, it is contiguous to the existing City limits on its north, east, and south sides.

The church/school parcels are designated as "Public / Private/ Institutional (PI)" on the adopted Murfreesboro 2035 Comprehensive Plan Future Land Use Map, while the City-owned parcel lacks a future land use classification. An excerpt from the future land use map can be found below. All three parcels are currently zoned RM (Medium-Density Residential) in the unincorporated County. No simultaneous request to zone the property has been made with the annexation petition and, therefore, an interim zoning classification of RS-15 (Single-Family Residential District) would be automatically assigned upon annexation over all 3 properties. All existing uses on the property would be allowed to continue under the RS-15 zoning. However, all future uses or expansions to existing uses would be required to comply with the City's zoning regulations.

2035 LAND USE MAP



The development of the City-owned parcel in the study area and the vacant parcel to the south at 2917 Elam Road will allow for the future extension of Distribution Drive. This roadway connection will allow motorists on Elam Road to traverse over to Elam Farms Parkway and to a signalized intersection at Joe B Jackson Parkway. Additionally, staff is currently reviewing another potential annexation and zoning that would extend Elam Farms Parkway, upon development, from its existing northern terminus close to Distribution Drive and connect back to Manchester Pike. This extension of Elam Farms Parkway is on the City's 2040 Major Transportation Plan (MTP). A portion of the Elam Farms Parkway roadway is being constructed with the Manchester Farms apartment project currently under construction at 3150 Manchester Pike.

Staff has prepared a Plan of Services for the proposed annexation, which has been provided to the Planning Commission in the agenda packet. It demonstrates how services can be provided to the subject property upon annexation. No significant difficulties in providing services to the property as it exists today are identified in the plan of services. However, sanitary sewer service, at the expense of the property owner or developer, would need to be extended into the church site when new development occurs with proper abandonment of the existing septic system.

Staff Recommendation:

Staff supports the subject annexation for the following reasons:

- 1) Annexation of these properties in the City, as well as their future development, may help create potential opportunities for the extension of Distribution Drive that would tie back to Elam Farms Parkway and signalized intersections at Joe B Jackson Parkway or in the future at Manchester Pike consistent with the 2040 Major Transportation Plan.
- 2) The area is within the adopted Service Infill Line as well as the City's Urban Growth Boundary. It is also contiguous with the existing City limits.
- 3) Annexation of the subject parcels in their current state will not pose any issues for delivery of services, especially given existing City services are already being provided directly to the north of the site as well as a short distance to the south along Elam Road.

Action Needed:

The applicant will be available at the Planning Commission meeting to discuss this proposed annexation petition and plan of services. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation to City Council.

Attachments:

- Ortho Map
- No Ortho Map
- Owner Annexation petition, survey map & deeds
- City of Murfreesboro Annexation petition & exhibits
- Consent for annexation of public ROW
- Plan of Service



Annexation request for property along Elam Road



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation request for property along Elam Road



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Arnold Consulting Engineering Services, Inc.

P.O. Box 1338
Bowling Green, KY 42102

1136 South Park Drive, Suite 201
Bowling Green, KY 42103

Phone (270)780-9445
Fax (270)780-9873

Holly Smyth
Principal Planner
City of Murfreesboro
Planning Department
111 W. Vine Street
Murfreesboro, TN 37133

RE: Kentucky-TN Conf. Association Seventh Day Adventist Annexation

Mrs. Smyth

As the applicant's representative we are formally requesting annexation for the following unincorporated parcels into the City of Murfreesboro TN:

Parcel - 126-032.01-000 – 2815 Elam Road Murfreesboro, TN 37127 – Approximately 3.4 Acres

Parcel - 126-032.03-000 – Elam Road Murfreesboro, TN 37127 – Approximately 3.5 Acres

Our proposal for annexation is for the purpose of building a school expansion of their existing facilities. A Detailed boundary survey will be provided depicting the parcels above. Should you have any questions related to the above request you can reach me at 270-780-9445.

Sincerely,

A handwritten signature in blue ink that reads 'Daniel Whitley'.

Daniel Whitley
Project Manager
Arnold Consulting
Engineering Services Inc.

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Kentucky-Tennessee Conference Association of Seventh-day Adventists, Inc
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Silke Hubbard, Secretary Status: _____ Date: July 28, 2025
Silke Hubbard, Secretary
Po Box 1088, Goodlettsville, TN 37070-1088

Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

CORPORATE RESOLUTION

We hereby certify that at a meeting of the Board of Trustees of the Kentucky-Tennessee Conference Association of Seventh-day Adventists, Inc. a corporation organized and existing under and by virtue of the laws of the State of Tennessee, held on June 17, 2025 at which said meeting a quorum was present and acting throughout, the following resolution was adopted and ever since has been and now is in full force and effect:

"Resolved, that the President, or the General Vice-President or the Vice-President for Finance, or the Secretary, or the Associate Treasurer of this Corporation be; and they hereby are fully authorized and empowered to buy and sell certificates of deposits and other similar investment instruments within the guidelines of the North American Division of Seventh-day Adventists, to open checking, savings and brokerage accounts, to transfer, endorse, sell, assign and deliver any and all shares of stocks, bond debentures, notes, evidences of indebtedness or other securities now or hereafter standing in the name of or owned by this corporation, to buy or sell real estate, to sign all deeds, conveyances, mortgages, deeds of trust, powers of attorney, annuity agreements, trust instruments of all types, and other instruments of similar character and import and to make, execute, and deliver any and all written instruments necessary or proper to effectuate the authority hereby conferred."

We further certify that the authority hereby conferred is not inconsistent with the Charter or By-Laws of this Corporation and that the following is a true and correct list of the officers of this corporation as of the present date.

President:	Steve Haley
General Vice-President:	Mike Hewitt
Vice-President for Finance:	Brian Hamilton
Secretary:	Silke Hubbard
Associate Treasurer:	Marco Jimenez

Witness our hands on this the 17th day of June, 2025.

Steve Haley
Steve Haley, President

Attest: Mike Hewitt
Mike Hewitt, General Vice President

Attest: Brian Hamilton
Brian Hamilton, Vice President of Finance

Attest: Silke Hubbard
Silke Hubbard, Secretary

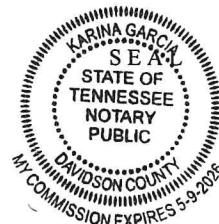
Attest: Marco Jimenez
Marco Jimenez, Associate Treasurer

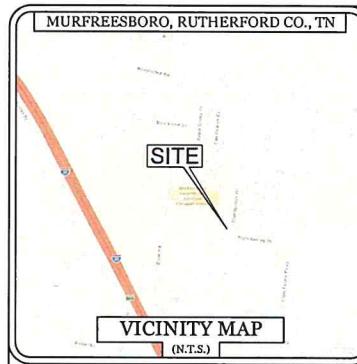
STATE OF TENNESSEE
DAVIDSON COUNTY

Before me, Karina Garcia, a Notary Public within and for the State and County aforesaid, personally appeared Steve Haley, Mike Hewitt, Brian Hamilton, Silke Hubbard, Marco Jimenez, with whom I am personally acquainted, and who upon their several oaths acknowledged themselves to be the President, General Vice-President, Vice President for Finance, Secretary and Associate Treasurer respectively, of the Kentucky-Tennessee Conference Association of Seventh-day Adventists, Inc. the within named bargainer, a corporation, and that they as such President, General Vice-President, Vice President for Finance, Secretary, and Associate Treasurer, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by the said Steve Haley as such President, and attesting the same by the said Mike Hewitt, as such General Vice President, and the said Brian Hamilton, as such Vice President of Finance, and the said Silke Hubbard, as such Secretary, the said Marco Jimenez, as such Associate Treasurer.

Witness my hand and official seal at office at 850 Conference Drive, Goodlettsville, Tennessee on this 17th day of June, 2025.

Karina Garcia
Notary Public
My commission expires: 5/9/2026



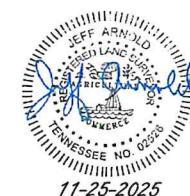
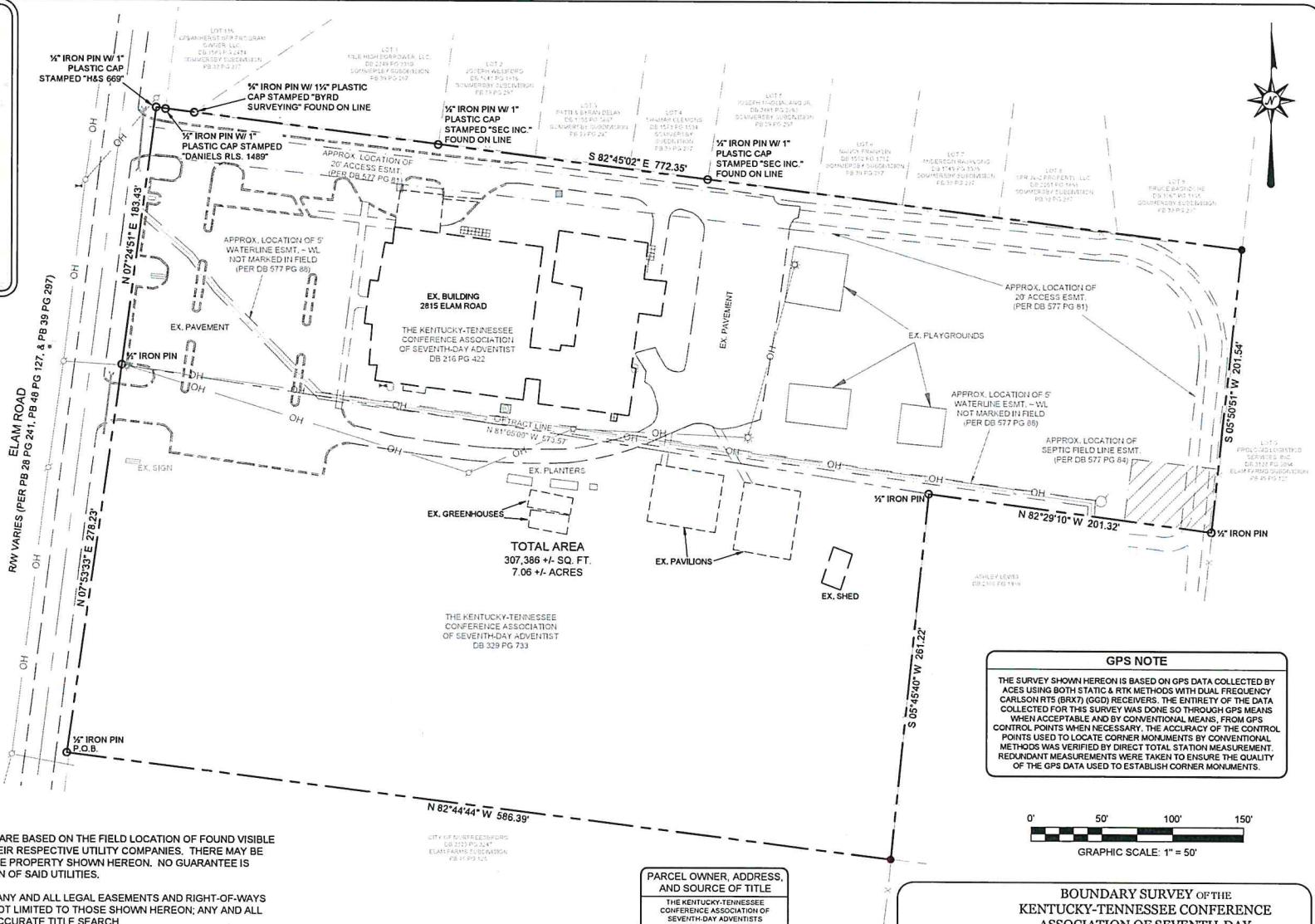


LEGEND

- IRON PIN FOUND
- IRON PIN SET
- ▲ ANCHOR
- UTILITY POLE
- SIGNAL POLE
- ELECTRIC BOX
- ELECTRIC METER
- GAS VALVE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- LAMP POLE
- BSBL BUILDING SET BACK LINE
- ESOL EACH SIDE OF LINE
- PUE PUBLIC UTILITY EASEMENT
- FFE FINISHED FLOOR ELEVATION
- PROPERTY LINE
- SETBACK LINE
- EASEMENTS
- LOT LINE ABANDONED
- CENTERLINE
- OH OVERHEAD UTILITIES
- X FENCE LINE
- DRAINAGE ESMT.

GENERAL NOTES

- THE LOCATION OF ALL UTILITIES SHOWN HEREON ARE BASED ON THE FIELD LOCATION OF FOUND VISIBLE STRUCTURES OR AS FLAGGED OR MARKED BY THEIR RESPECTIVE UTILITY COMPANIES. THERE MAY BE OTHER UNDERGROUND UTILITIES LOCATED ON THE PROPERTY SHOWN HEREON. NO GUARANTEE IS EXPRESSED OR IMPLIED TO THE ACTUAL LOCATION OF SAID UTILITIES.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO: ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON; ANY AND ALL FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- A BOUNDARY SURVEY DOES NOT DETERMINE LAND OWNERSHIP. A PROFESSIONAL LAND SURVEYOR ONLY PROVIDES AN OPINION OF PREVIOUSLY DESCRIBED BOUNDARY LINES WHICH MAY OR MAY NOT BE UPHELD BY A COURT OF LAW. UNWRITTEN RIGHTS MAY OR MAY NOT EXIST ON SUBJECT PROPERTY.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS RECORDED AND UNRECORDED, INCLUDING BUT NOT LIMITED TO THOSE SHOWN HEREON.
- ALL IRON PINS SET ARE 1/2" X 18" PINS SET WITH 1" YELLOW PLASTIC CAP STAMPED "J. ARNOLD RLS 2526" UNLESS OTHERWISE NOTED
- AT THE TIME OF THE RECORD RESEARCH CONDUCTED FOR THIS SURVEY, THE SUBJECT PROPERTY'S PHYSICAL ADDRESS WAS 2815 ELAM ROAD.
- THE DATUM FOR THIS SURVEY IS GRID NORTH AS ESTABLISHED BY TENNESSEE STATE PLANE COORDINATES, ZONE 4100. THE VERTICAL DATUM FOR THIS SURVEY IS NAVD 88 AS OBTAINED FROM STATIC OPUS OBSERVATION.



11-25-2025

SURVEYOR'S CERTIFICATE

I DO HEREBY CERTIFY THAT THE URBAN (CATEGORY II) SURVEY SHOWN HEREON WAS CONDUCTED IN ACCORDANCE WITH THE TENNESSEE STATE PLANE COORDINATES SYSTEM, USING APPROPRIATE GPS METHODS FOR MEASURING RECOVERED MONUMENTS AND ESTABLISHING SURVEY CONTROL, AND/OR BY THE METHOD OF RANDOM TRAVERSE, THE SURVEY IS IN ACCORDANCE WITH THE TENNESSEE STATE PLANE SYSTEM. THE THEORETICAL UNCERTAINTY OF THE CORNERS ESTABLISHED MEET OR EXCEED THE SPECIFIED TOLERANCES SET FORTH BY THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS, CHAPTER 020-00, STANDARD PRACTICE. THE BOUNDARY LINES SHOWN HEREON HAVE BEEN ADJUSTED FOR CLOSURE, CLOSURE (ZONE 4100, GEOD 18), TAKEN FROM STATIC GPS OBSERVATION COORDINATES (ZONE 4100, GEOD 18), DRAWN BY: L. CONWAY

Jeff Arnold
JEFF ARNOLD
LAND SURVEYOR
TENNESSEE NO. 02358

11-25-2025
DATE
JEFF ARNOLD, RLS # 2526

BOUNDARY SURVEY OF THE KENTUCKY-TENNESSEE CONFERENCE ASSOCIATION OF SEVENTH-DAY ADVENTISTS, INC. PROPERTY

KENTUCKY-TENNESSEE CONFERENCE
ASSOCIATION OF SEVENTH-DAY ADVENTISTS, INC.
P.O. BOX 459
MADISON, TN 37115

DRAWN BY: L. CONWAY DATE: 11-06-2025 SCALE: 1" = 50'
CHECKED BY: J. ARNOLD PROJECT NUMBER: 25-1208-L

PREPARED BY:



ARNOLD CONSULTING ENGINEERING
SERVICES, INC.
P.O. BOX 1338 BOWLING GREEN, KY 42101
PHONE (270) 780-9445

**WRITTEN CONSENT
TO ANNEXATION BY THE CITY OF MURFREESBORO**

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby consent(s) to the annexation of such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. City of Murfreesboro (Darren Gore)

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Darren W. Gore Status: City Manager Date: 9/8/25

111 W. Vine St. ; Murfreesboro, TN 3730

Mailing Address (if not address of property to be annexed)

2.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes
Power of Attorney applies and is attached: _____ Yes _____ No

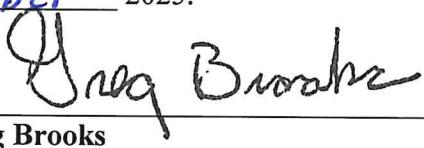
*GIS Exhibit attached for
Tax Map 126, Parcel 50.50



Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Elam Road from the northern boundary of 2815 Elam Road (Tax Map 126, Parcel 032.01) to the northern boundary of 2945 Elam Road (Tax Map 126, Parcel 032.04), totaling approximately 1,200 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Elam Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on October 2, 2025 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 2 day of October 2025.



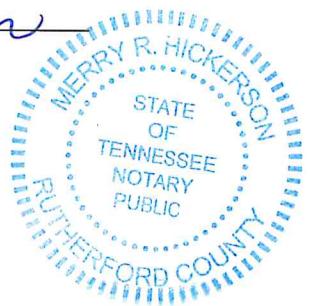
Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 2 day of October, 2025

My Commission Expires: 4-15-2028



NOTARY PUBLIC



**ANNEXATION REPORT FOR PROPERTY LOCATED ALONG
ELAM ROAD NORTH OF JOE B JACKSON PARKWAY
INCLUDING PLAN OF SERVICES
(FILE 2025-507)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
DECEMBER 3, 2025**



Annexation request for property along Elam Road

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

INTRODUCTION

OVERVIEW

The property owners, Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc. and the City of Murfreesboro have submitted petitions requesting their subject properties be annexed into the City of Murfreesboro. In addition, the Rutherford County Road Board voted to grant its consent on October 2, 2025 to annex an approximately 1,200 linear-foot segment of Elam Road right-of-way (ROW). The study area is located along the east side of Elam Road north of Joe B Jackson Parkway and east of I-24. The total study area is 10.3 acres and includes the following:

- Tax Map 126 Parcel 32.01 (approx. 3.4 acres)
- Tax Map 126, Parcel 32.03 (approx. 3.5 acres)
- Tax Map 126, Parce 50.50 (approx. 1.1 acres)
- Approx. 1,200 linear feet of Elam Road ROW (approx. 2.3 acres)

The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous to the city limits along its north, south, and east boundaries.

The study area is currently zoned Single Family Residential – Medium Density (RM) in the unincorporated County. There is no zoning application with this annexation request; as such, if annexed into the City of

Murfreesboro the zoning would be designated as Single-Family Residential (RS-15). The reason for the annexation request is to allow the provision of sewer to serve the church/school parcels in order to expand the existing school use.

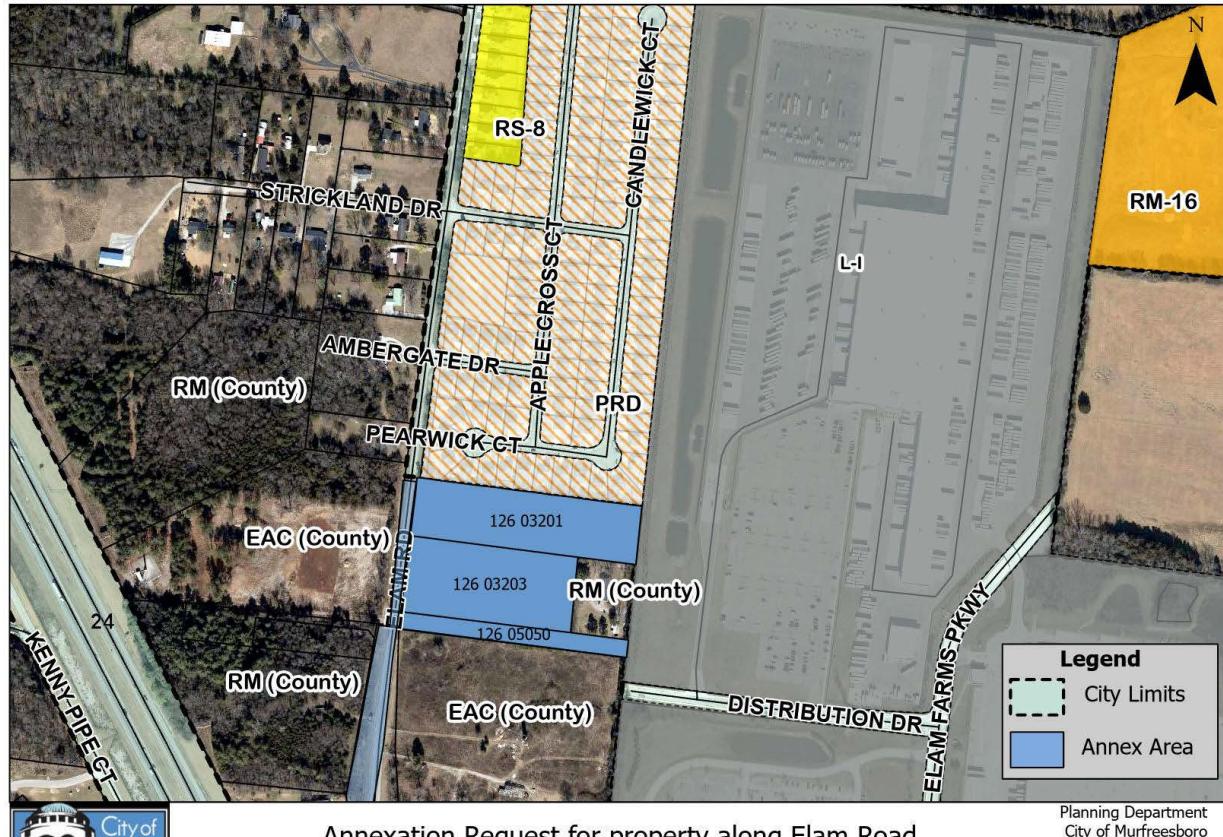


Annexation request for property
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www.murfreesboron.gov

SURROUNDING ZONING

The subject property is currently zoned RM (Residential Medium Density) in unincorporated Rutherford County. The surrounding properties to the south and west are within unincorporated Rutherford County and zoned Employment Activity Center (EAC). A land locked parcel behind the church is zoned Medium Density Residential (RM) in the County as is property southwest of the site. The property to the north is zoned Planned Residential District (PRD) and to the east is zoned Light Industrial (L-I) within the City limits.



Annexation Request for property along Elam Road

0 270 540 1,080 1,620 2,160 US Feet

PRESENT AND SURROUNDING LAND USE

The study area contains a church and school and some vacant areas. A mixture of uses is developed on the properties in the surrounding area. Single-family detached homes are existing in the Sommersby PRD subdivision to the north, intermittent rural homes to the west, and 1 home to the rear of the study area with an access easement to the street. To the south and west is vacant property in the County zoned EAC. To the east is the Prologis Industrial development occupied by the Federal Express hub.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2026 will be due on December 31, 2027. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100 assessed value. Residential property is assessed at a rate of 25% of its appraised value and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected, if the property were to be annexed in its present state. Because the subject properties are owned by tax-exempt entities, no taxes are collected for them.

Table I
Estimated Taxes from Site

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc.	3.4	\$93,000	\$1,513,700	\$0	\$0
Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc.	3.5	\$92,000	\$15,550	\$0	\$0
City of Murfreesboro	1.1	\$48,900	\$0	\$0	\$0

These figures are for the property in its current state.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 7. If it is determined in the future that a school zone is needed for the existing school located within the study area, MPD indicates that it will require MPD to determine how best to allocate resources for it.

ELECTRIC SERVICE

The study area, including the existing church and school facilities, is served by Middle Tennessee Electric (MTE). MTE has capacity to accommodate any future development in the study area. All new electrical infrastructure installed to serve the future development will be required to adhere to MTE standards.

STREET LIGHTING

There are no streetlights along this segment of Elam Road. No new street lighting is anticipated with this annexation. However, if the City determines that streetlights are necessary along the subject ROW, MTE has the ability to install streetlights upon request by the City of Murfreesboro.

SOLID WASTE COLLECTION

The study area currently contains a church and school. The church currently uses a private solid waste management service to collect solid waste for their facilities. Any future development will be collected by a private solid waste management service. Murfreesboro Solid Waste Department will not service existing and future non-residential development in the study area.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. Considering both the existing and proposed use of the study area, it would have minimal impact to the Recreation Department.

CITY SCHOOLS

The Murfreesboro City School (MCS) system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. Two of the subject parcels are developed with an existing church & school while the City's piece is vacant.

These parcels of land currently resides outside of the Black Fox Elementary School zone, and it would become part of this school's zoned area once annexed into the city limits

In the present state with a church and a private school, this annexation would have no impact on the school system.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of

annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 1,200 linear feet of Elam Road right-of-way (ROW). Upon annexation, this roadway segment will become the responsibility of the City of Murfreesboro, including all routine maintenance. Based on an estimated 15-year re-pavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$1,900 for this roadway.

As a substandard street, any development along Elam Road will need to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards. Elam Road within the study area is identified on the City's Major Transportation Plan to be upgraded to a 3-lane cross-section. Any new connections must be approved by the City Engineer.

In addition, the City has a long-term interest in extending Distribution Drive to connect with Elam Road. While the alignment of this future connection has not yet been designed, the study area could be impacted by this future roadway extension. Coordination with the City Engineer will be required to ensure compatibility with future transportation infrastructure.

Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTION

The study area is served by Elam Road. The 2014 Level of Service (LOS) Model in the 2040 Major Transportation Plan shows Elam Road operating at a Level of Service C within the study area. The 2040 LOS Model indicates that, without the proposed improvements identified in the plan, Elam

Road is projected to operate at a Level of Service E/F.

Elam Road connects to two major regional corridors: Manchester Pike (US 41) to the north and Joe B. Jackson Parkway to the south. The intersections of Elam Road with both of these streets currently operate at a Level of Service F, indicating significant congestion and delay during peak travel periods. Over the past three years, its intersection with Manchester Pike has experienced 40 reported crashes, including 25 angle collisions, while its intersection with Joe B Jackson Parkway has seen 22 reported crashes, with 11 angle collisions. These figures highlight ongoing safety concerns and reinforce the need for coordinated transportation planning in the area.

The study area contains three (3) traffic control signs. These include a post mounted speed limit sign, and two post mounted warning signs. The annexation study area contains approximately 1,200 linear feet of roadway with 1,200 feet of Double Solid Yellow Line (DSYL) striping and 2,400 feet of Single White Solid Line (SSWL) striping.

Based on a replacement cycle of 5 years for pavement markings and 10 years for traffic signs, the annualized traffic infrastructure maintenance costs are estimated at \$1,497 for this roadway.

PROPERTY AND DEVELOPMENT

Elam Road is identified on the City's Major Transportation Plan. Right-of-way dedication and participation in roadway improvements will be required with any development along this corridor. Any new connections to Elam Road must be approved by the City Engineer.

SANITARY SEWER SERVICE

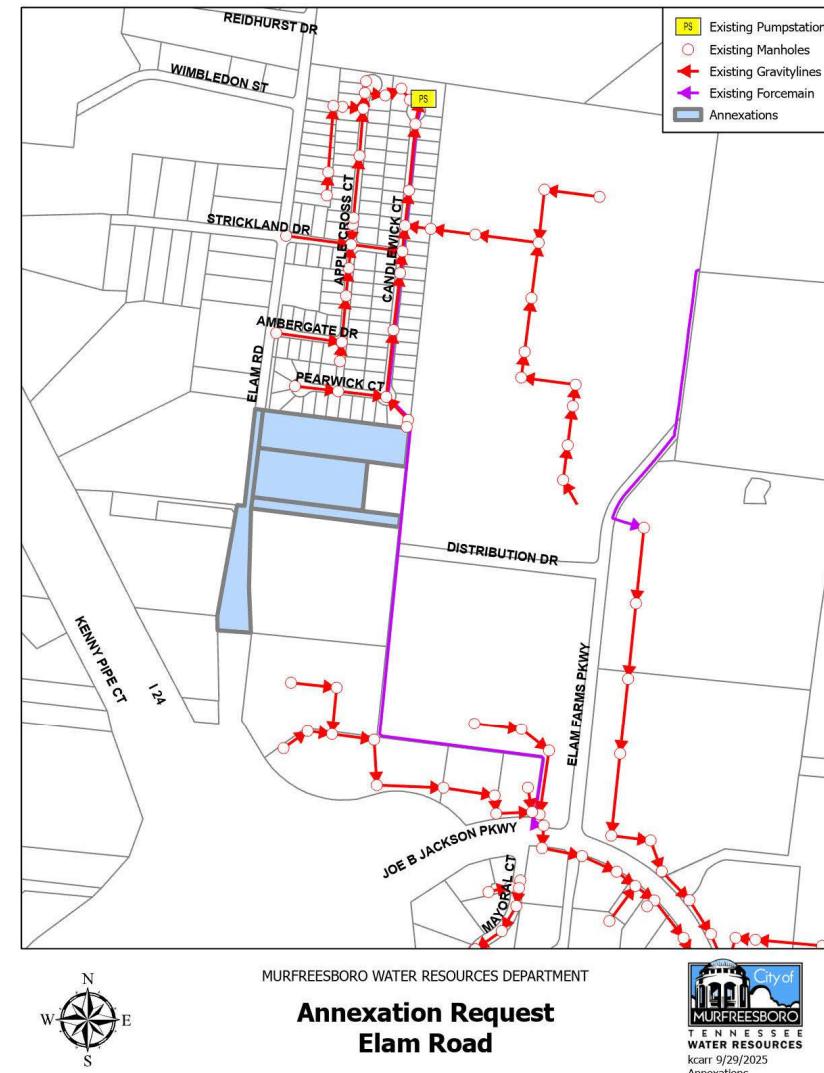
Currently sanitary sewer is available to serve the study area. Should the property remain in its current state, the church could choose to continue utilizing the existing septic system.

With regard to the extension of public sanitary sewer service to the study area, the owner/developer would connect to the existing sewer manhole just north of the property boundary and extend gravity sewer to the subject property. The sewer to the north drains to a pump station which has been determined to have sufficient capacity for the subject property, including a proposed 15,185 ft² of additional classroom space and 7,525 ft² of additional gym space.

In addition, the owner/developer, per Murfreesboro Water Resources Department's (MWRD) Policies and Procedures, may be required to extend gravity sewer to the limits of construction and to one or more neighboring properties to allow for future connections.

This property is within the Buchanan / Elam Road Sanitary Sewer Assessment Districts and will be charged \$1,000 per single-family unit (sfu), respectively, in addition to the standard connection fee of \$2,550 per sfu.

All main line extensions and off-site sewer easements are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of MWRD.



kcarr 9/29/2025

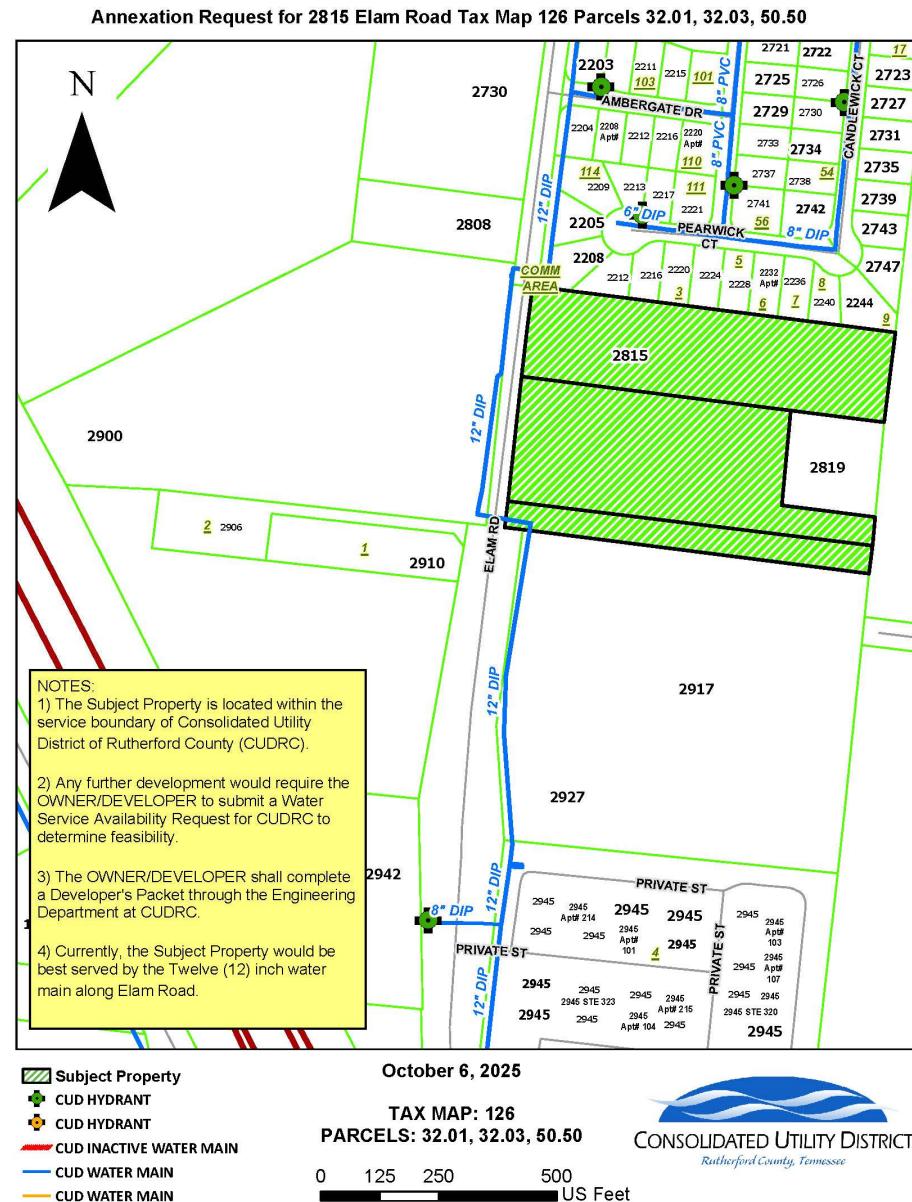
Annexations

WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUD) service area.

A 12-inch water main is located along Elam Road. This water line currently serves the existing church/school and the residential home behind the church. CUD can serve the annexation study area and the future expansion of the church and school facilities, as illustrated in the exhibit on this page.

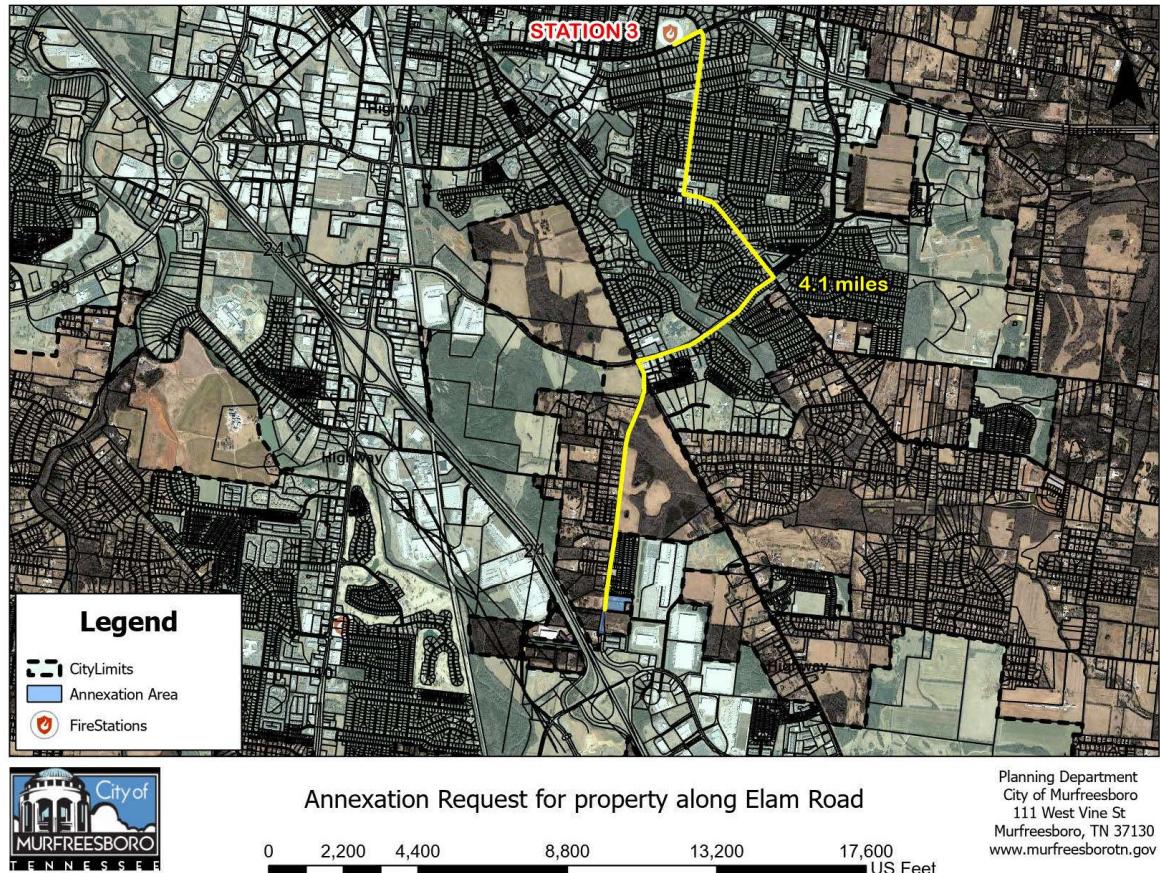
Any further development, would require the owner/developer to submit a Water Service Availability request for CUD to determine feasibility and complete CUD's Developer Packet through CUD's Engineering Department.



FIRE AND EMERGENCY SERVICE

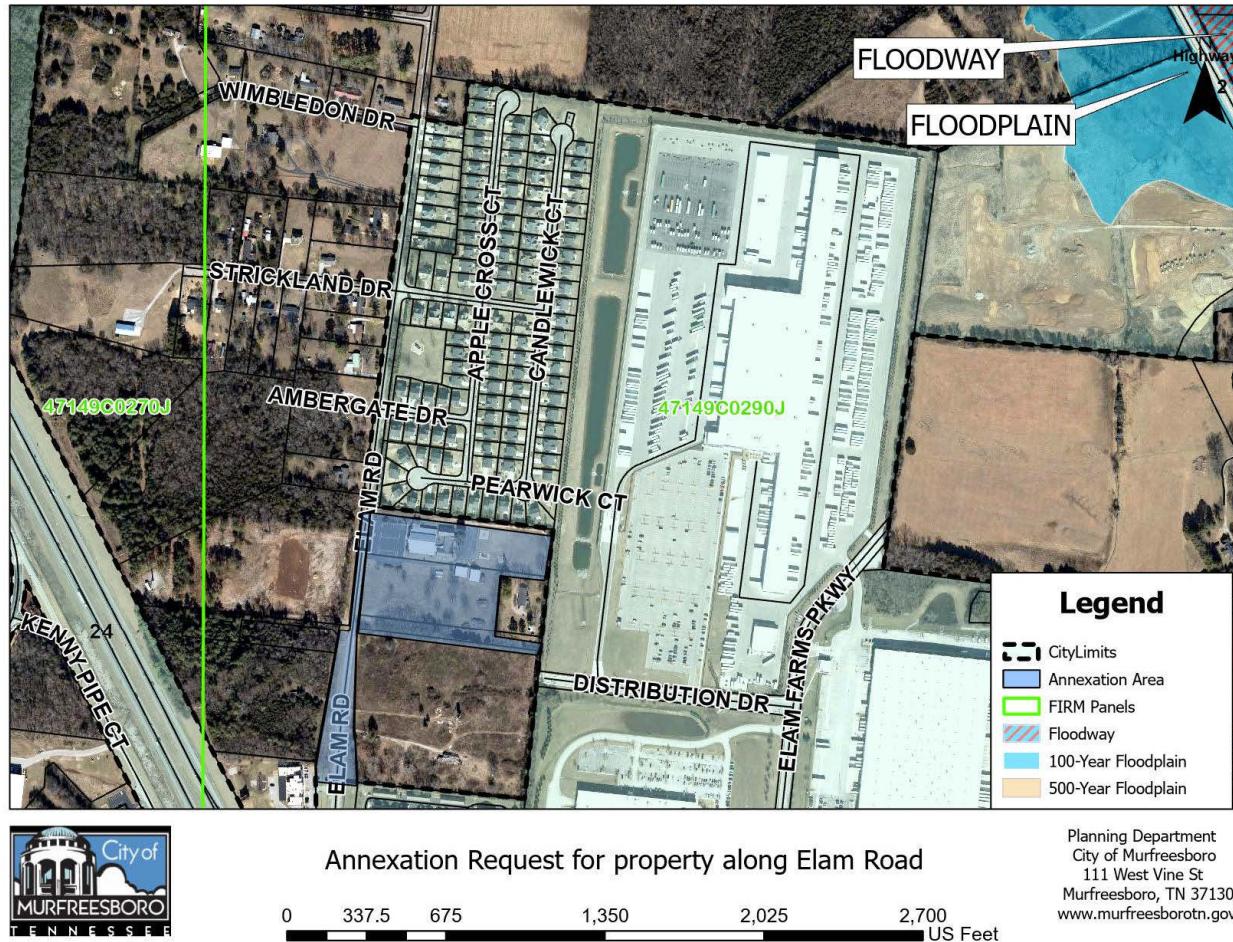
The study area is partially vacant and partially developed with a church and school. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services, including fire and medical response, to the study area and any existing structures immediately upon annexation. Station 3, located at 1511 Doctor Martin Luther King Jr Boulevard, would be the responding station and is 4.2 miles from the study area. Additional units are located at Station 2, located at 2880 Runnymede Drive, which is 5.5 miles away.

The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is located within Zone X on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA) per the May 23, 2023 FIRM panel 47149C0290J.



DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the right-of-way of Elam Road. The annualized operation and maintenance cost for this system is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

A review of aerial photography and topographic contours indicates the presence of a closed depression located on the south side of the study area. This feature suggests limited natural drainage and the potential for localized ponding. Supporting this observation, post-event aerial imagery taken two days after the May 2010 flood event shows standing water in this area, confirming poor drainage characteristics under heavy rainfall conditions.

Future development within the study area will need to account for this drainage constraint. Site-specific stormwater management plans will be required to

ensure compliance with City standards and to mitigate potential impacts to adjacent properties and infrastructure.

Stormwater Management and Utility Fees

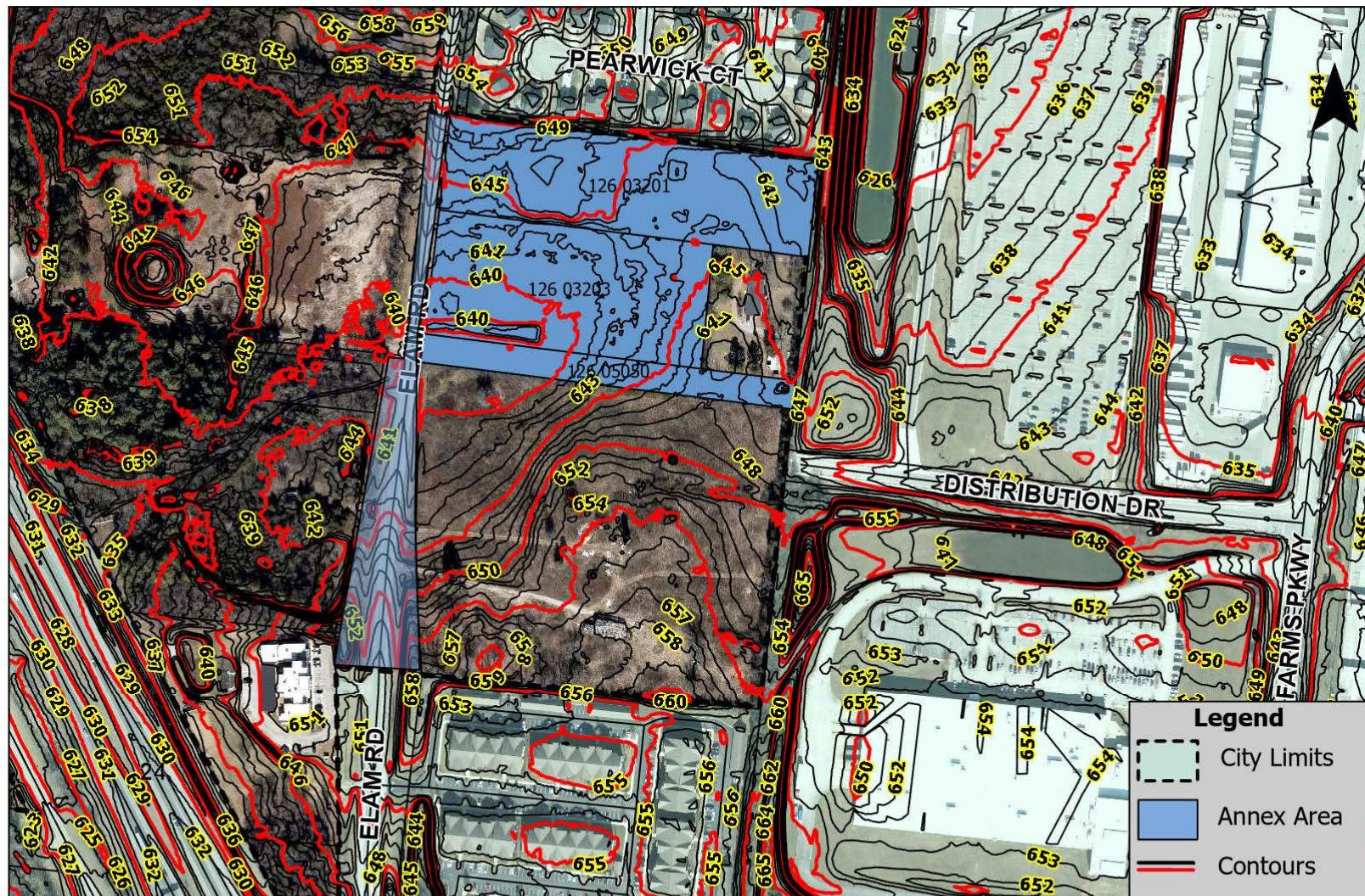
Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area currently is developed with a church and will not generate revenue for the Stormwater Utility Fee.

The study area is proposed to develop with 15,185 ft² of additional classroom space and 7,525 ft² of gym space. Based on this development scenario, it is anticipated that the site will generate approximately \$450 in revenue per year into the Stormwater Utility Fund upon full build-out.

Due to the presence of a closed depression on the south side of the study area, future development must address regional drainage constraints. Site-specific stormwater management plans will be required to mitigate localized ponding and ensure compliance with City stormwater regulations.

New development must also comply with the City's Stormwater Quality Regulations, including provisions for water quality treatment, streambank protection, and detention. Any proposed public drainage or roadway infrastructure must be constructed to current City standards.

The red lines on the adjacent map represent ten-foot contours. The grey lines represent two-foot intervals.



Annexation Request for property along Elam Road

0 185 370 740 1,110 1,480 US Feet



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City of Murfreesboro
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ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 3, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.d. Zoning application [2025-423] for approximately 5.3 acres located at 210 Chaffin Place to be rezoned from CH to PND (Redeemer Classical Academy PND), Redeemer Classical Academy applicant.

The subject property is located at 210 Chaffin Place (also known as Tax Map 092, Parcel 088.00). It is located at the south end of the Chaffin Place cul-de-sac, which is located south of Old Fort Parkway. The existing building on the subject property was constructed in 1985 and consists of approximately 12,000 square feet of building area. Between 1997 to at least 2021 the building was used as **Old Fort Academy child daycare center with a 250-student capacity**, which was allowed by right in the CH zone district. No use has been located in the building for at least the last 3 years. Last year the CH zone district policies would have allowed a new school on the subject property by right. However, earlier this year, the City adopted new zoning regulations related to schools and institutional group assembly uses. The new regulations require rezoning to a planned development in order for a public or private school (grades K-12) to be established for the first time on a piece of property, regardless of the existing zoning.

Redeemer Classical Academy proposes to renovate the current building interior into 13 classrooms, administrative offices, a music & art room, and a multi-purpose room. The initial capacity anticipates serving **85-100 pre-k through 12th grade students** with 12-16 faculty and staff. In the future, the pattern book calls for an 8,500 square-foot addition with a total **maximum student body of 300 students**. The hours of operation is anticipated to be 7am to 4:30pm Monday through Friday with 8am and 3pm bell times, with limited after-hour programs.

Adjacent Zoning and Land Uses

Surrounding abutting zoning is CH (Highway Commercial District) to the north and east, with H-I (Heavy Industrial District) on the south side of the Stones River, and RM-16 (Multi-family Residential District) on the west side of I-24.

The surrounding land uses include shopping, hotels, and restaurant uses along Chaffin Place and Old Fort Parkway and the back side of the Towne Centre shopping center.

Proposed PND

The proposed PND will allow for the K-12 school use in conformity with the City's new zoning regulations. **Endnote 34-1 requires rezoning to PND for the use "public or private schools, grades K-12" in the circumstance where "(a) The use has never previously been established on the subject property.**

New standards: Because a K-12 school use had never been an established use on the property, a rezone application needed to be filed to change the property from CH to Planned Institutional District (PND). Additionally Endnote 34-2 identifies 11 standards that must be met for the use, as follows (with staff analysis underlined for each):

- a) Parking shall not back into the right-of-way, turn around provided, and parking not located in the required front yard. Some of the pre-existing parking is already located within the front setback and therefore an exemption from this standard is requested.
- b) Type C buffer if adjacent residential uses/zones. Not applicable for this proposal.
- c) Utilities provided if temporary RV hookups for speakers Not applicable for this proposal.
- d) Will meet State and/or City Fire Marshal requirements. This will be done during permitting and construction processes.
- e) Existing development must comply with prior approvals and correct any violations of zoning or code violations. No violations exist.
- f) All building heights are limited to 50'. All building are far less than the current CH zone district maximum height of 75', and the PND proposes to lower the maximum height for this development to 45'.
- g) Any light fixtures associated with recreation fields shall not exceed 80' in height. Not applicable for this proposal.
- h) The minimum yard requirements shall be 40' front, 12.5' side, and 30' rear setbacks. The existing building and proposed future building addition meet these setback requirements.
- i) If a prior BZA permit authorized the use on the site, prior conditions shall remain in effect unless the approved PND contains an exception to such conditions. Not applicable, as no prior BZA approval on-site.
- j) Prior to the approval of any site plan, the applicant shall enter into a development agreement with the City for any off-site public infrastructure improvements required in conjunction with the application. A traffic analysis was conducted on the site and no off-site improvements are required.
- k) If accessory uses include machinery that generates noise (such as shop classes) they shall only be conducted indoors at least 150' from property line. Not applicable for this proposal.

In addition to the one exception shown in red above, **the PND makes 2 other exception requests within the program book. The first is to allow the building architecture to be utilized as is, and only additions will need to meet Design Guideline architectural standards. The other exception is to exclude additional base of building landscaping requirements based on the recommendations of the Department of Homeland Safety for educational facilities.**

Transportation/Traffic Analysis (provided by the City's Public Infrastructure Division)

Traffic: A few years ago the City was able to get funding for a project that substantially improved the Chaffin Place approach to the Old Fort Parkway (OFP) intersection. The signal was also updated to run a more efficient operation and additional turn lanes were added. Chaffin Place runs with significantly less delay than it did before the improvement project was constructed. The existing configuration of the street and the heavy traffic volumes on OFP severely limit the City's options to make any further changes that could accommodate additional volume (as this is one of the City's highest volume intersections).

A Traffic Impact Study (TIS) was conducted at the OFP and Chaffin Place /North Thompson Lane intersection as well as at the intersection of the OFP Frontage Road and Chaffin Place. The TIS indicates there is already significant existing delay and queue. The study indicates that the PM peak hour will not be impacted as school will not be let out during the PM peak. The PM peak is more or less the same volume of traffic from 12:00 to 6:30 PM at this location. That is why staff is currently running a 150 sec cycle length from 11:30 to 6:30. When this school lets out, there will be additional delay and queue for the Chaffin Place approach. There does not appear to be any type of improvement project that Redeemer can reasonably construct to improve the intersection. A copy of the study is available on the City's GIS under the "Traffic_Impact_Studies" layer list then click on the parcel and use the right arrows in the top of the pop up box until you see the Attachments listed in blue and underlined.

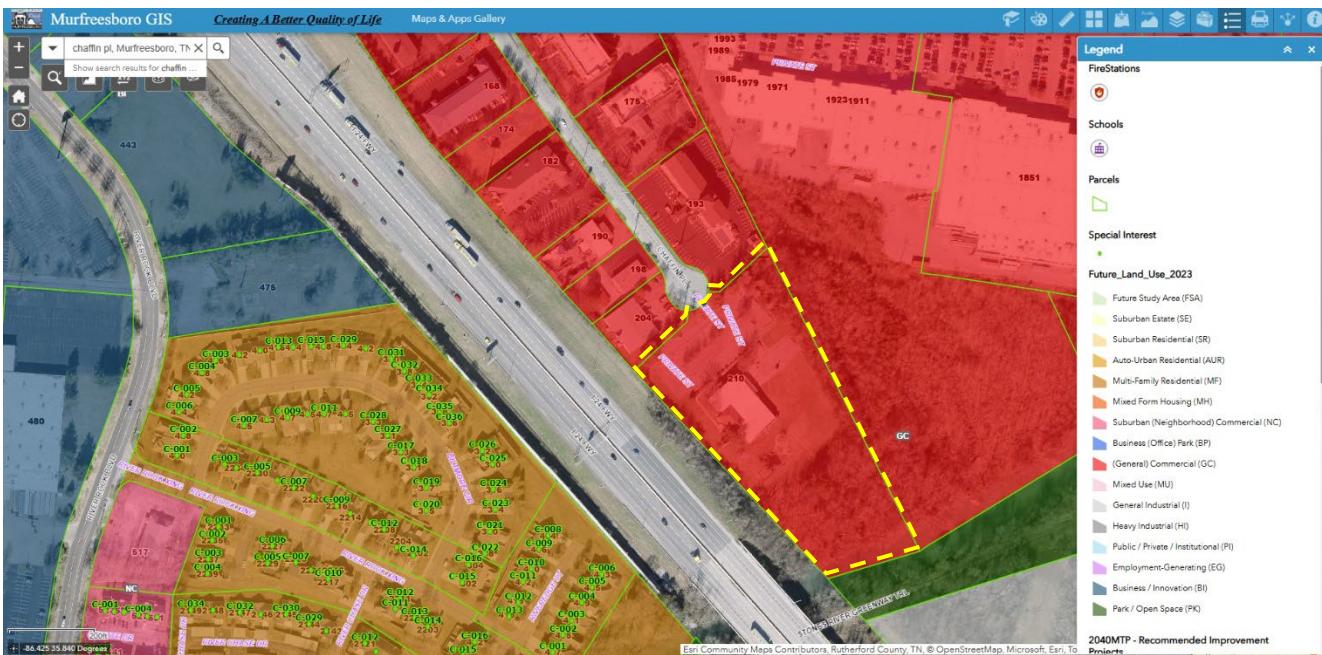
Long-term, the widening of Old Fort Parkway to six lanes may allow for a few extra seconds to be redistributed from the main line thru to the side street movements or the main line left-turn movements or at least prevent increasing the cycle length, which would create more side street delay.

FEMA Flood Hazard Map



The project site contains some 500-year, 100-year, and floodway designated FEMA areas, as depicted in the orange, blue, and cross-hatched colors or designs on the map, respectively. Per the Murfreesboro Zoning Ordinance, as the site sits today, the existing building has a finished floor elevation (FFE) of 586.22, as measured at the truck dock, whereas the base flood elevation (i.e., the "100-year floodplain" elevation) is at 580'. This existing condition is compliant with the "Critical Facilities" standards in the City's floodplain management ordinance requiring school facilities to be at least 2' above the base flood elevation. Any future expansions on-site will be required to comply with the floodplain management ordinance, including the Critical Facilities standards, as they are written at the time of construction.

Future Land Use Map



The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in 2023, recommends that the subject parcel develop with a *General Commercial* land use character (see excerpt from the future land use map above). Auto-Urban commercial uses include high-intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Typical uses include regional shopping centers, grocery stores, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways. Development types include a wide variety of uses including gas stations, car washes, and restaurant chains. Characteristics include significant portions of development devoted to vehicular access drives, circulation routes, surface parking, and loading/delivery areas and may include formal open space.

The comprehensive plan calls out CH, PCD, PUD, PND, and CF as existing zoning districts that are compatible with this designation. In Staff’s opinion, the proposed rezone is consistent with the *General Commercial* land use character because the proposed PND zoning and use are compatible and complementary to the adjacent uses and similar to the last use of the property.

Recommendation:

Staff is supportive of this rezoning request for the following reasons:

- 1) The last use of the property as a daycare use for up to 250 children is very similar to the requested new school use with long-range expansion to ultimately serve 300 students, and Staff is not aware of any negative impacts of the previous use.

- 2) The proposed PND zoning is consistent with 10 of the 11 standards in the Zoning Ordinance for new schools as discussed above (with an exception to the setback of the existing parking lot).
- 3) The proposed use is compatible with the adjacent CH- Highway Commercial uses in the area.
- 4) The existing site conditions meet the City's and FEMA's "Critical Facilities" standards as listed above and any new expansion will continue to meet the standards.
- 5) In Staff's opinion, the request is consistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan, as it pertains to this property.

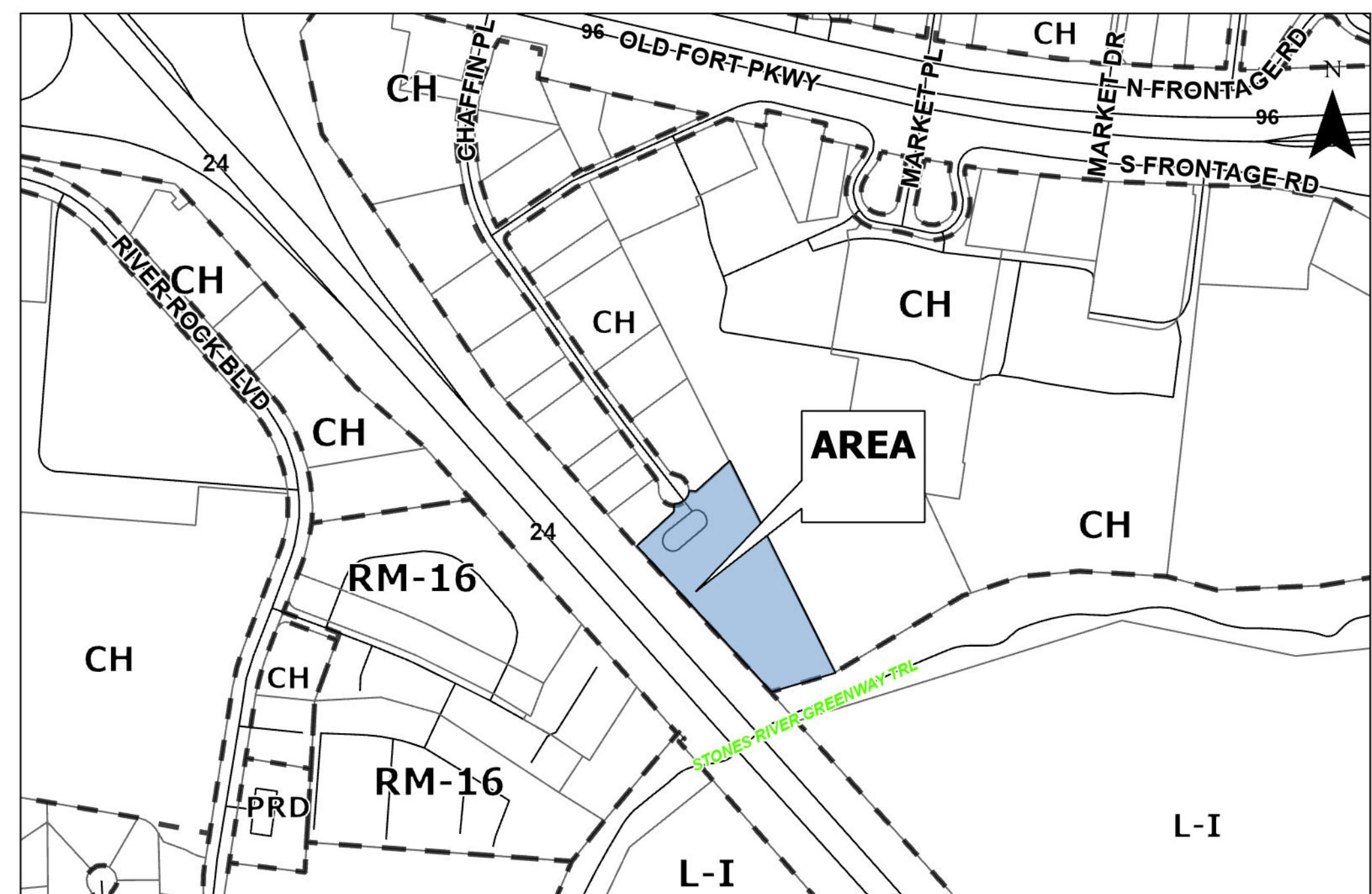
However, it should be noted that Staff is continuing to work with the applicant on various revisions to the pattern book and Staff would ask that any approval of this request be subject to said revisions being completed prior to the City Council's consideration of this item.

Action Needed

The Planning Commission will need to conduct a public hearing and then discuss the matter, after which it will need to formulate a recommendation for the City Council. The applicant's representative will be present to make a presentation and to answer any questions or provide clarifications regarding the proposed zoning.

Attachments:

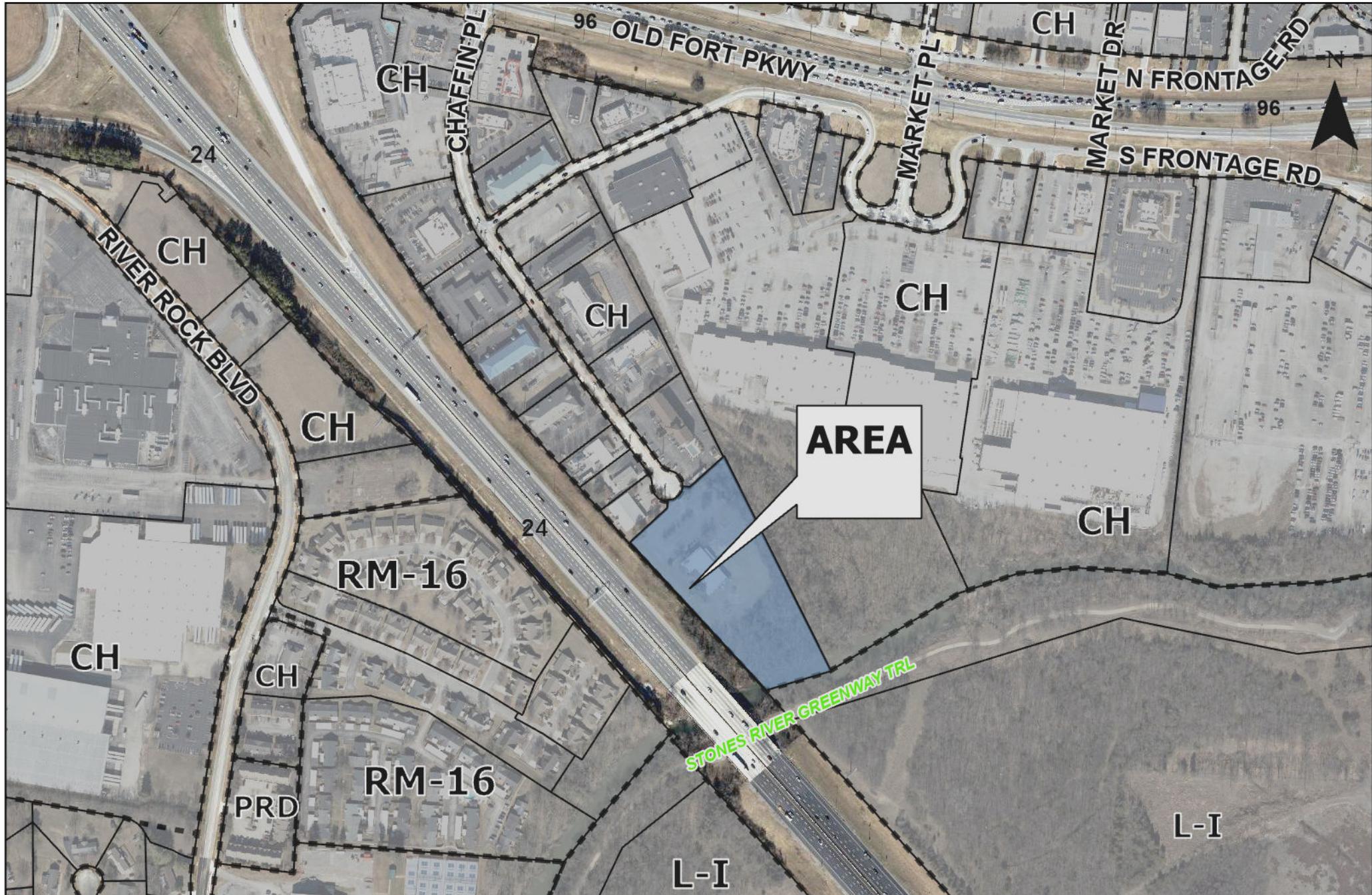
- Ortho Zone Map
- No-ortho Zone
- Program Book



Rezoning request for property along Chaffin Place
CH to PND (Redeemer Classical Academy PND)

0 290 580 1,160 1,740 2,320
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning request for property along Chaffin Place
CH to PND (Redeemer Classical Academy PND)

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REDEEMER CLASSICAL ACADEMY

A REQUEST FOR REZONING FROM COMMERCIAL HIGHWAY (CH) TO PLANNED INSTITUTIONAL DISTRICT (PND)

Murfreesboro, Tennessee



SEC Project #21570

Initial Submittal

October 16, 2025

Resubmitted

Resubmitted
November 7th, 2025 for the November 19th, 2025
Planning Commission Meeting

Resubmitted

Resubmitted
November 26th, 2025 for the December 3rd, 2025
Planning Commission Public Hearing



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Matt Taylor / Brian Grover
Phone: (615) 890-7901
Email: [REDACTED]
Web: www.sec-civil.com

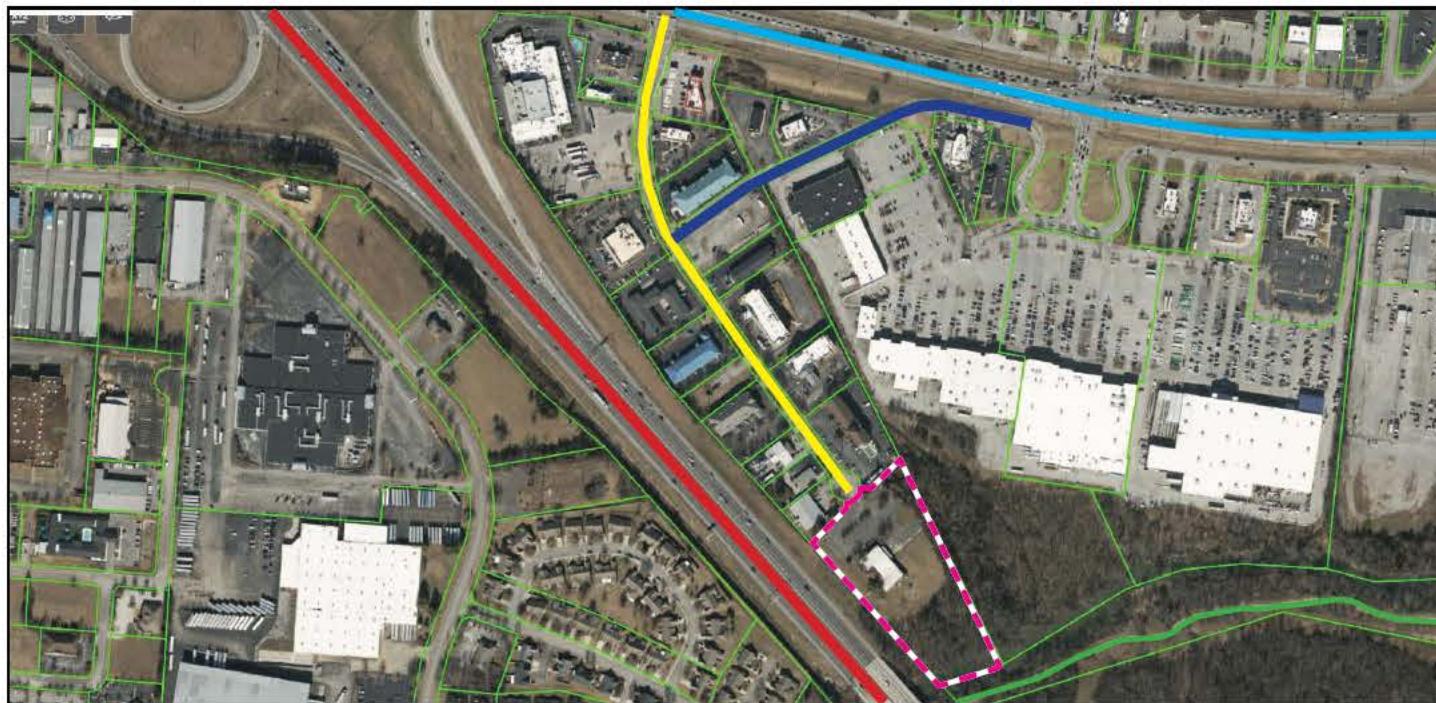
850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129



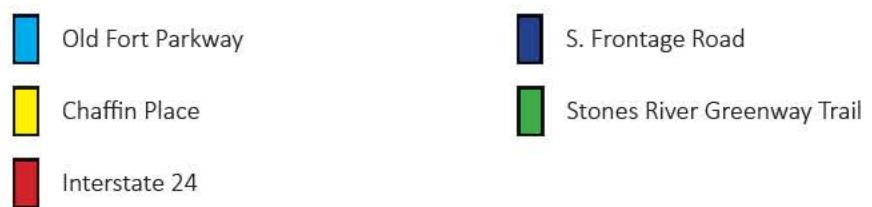
Company Name: Redeemer Classical Academy
Profession: Chairman
Attn: Stan Bennett
Phone: 615-713-9526
Email: [REDACTED]

108 North Church Street
Murfreesboro, Tennessee 37130

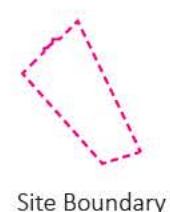
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AERIAL PHOTOGRAPH



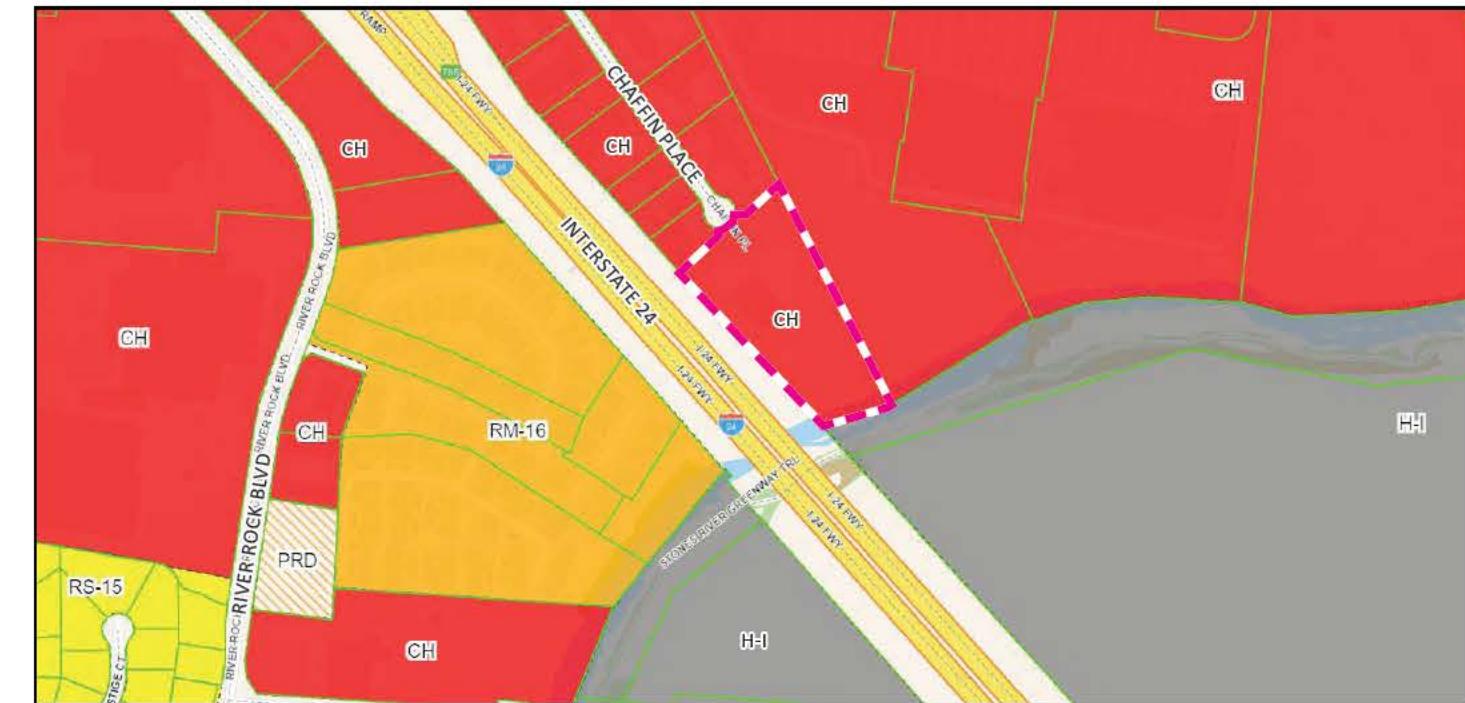
Not To Scale



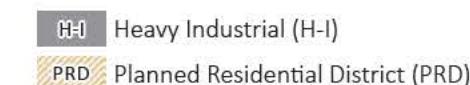
Redeemer Classical Academy respectfully requests rezoning of the property at 210 Chaffin Place from Commercial Highway (CH) to Planned Institutional District (PND), to create Redeemer Classical Academy at Chaffin. The property is located at the southeast terminus of Chaffin Place and is adjacent to Interstate 24. The site is identified as Parcel 88.00 of Tax Map 92 for a total approximate area of 5.30 acres. The site was previously Old Fort Academy, an educational facility with a 250 student capacity.

Redeemer Classical Academy currently operates alongside Fellowship Bible Church at the southeast corner of the Veterans Parkway and Jack Byrnes Drive intersection. Established in June 2013, the Academy has experienced steady growth and now seeks to expand enrollment in response to increasing demand within Murfreesboro and Rutherford County. In addition to welcoming new students, Redeemer Classical Academy remains committed to enhancing its educational offerings and expanding its facilities to support continued excellence in learning. With this request, Redeemer Classical Academy can take a step forward, to achieve both by relocating to this property.

Redeemer Classical Academy at Chaffin proposes to utilize the existing building, approximately 12,000 sq ft in size, along with a future 8,500 sq ft addition. The renovated building will provide thirteen classrooms, administrative offices, music & art room, and a multi-purpose room, with a future addition providing opportunities for expansion. At initial capacity, the school will educate approximately 85-100 (Pre K-12th) students, accompanied by approximately 12-16 faculty and staff. The maximum estimated student body is 250-300 students with 18-25 staff members. The school's hours of operation will mirror that of the nearby schools approximately 7am - 4:30pm, Monday - Friday with 8am and 3pm bell times, with limited after hour programs each year. Overall the operations will remain similar as they are today at their current facility at Fellowship Bible Church.



ZONING MAP



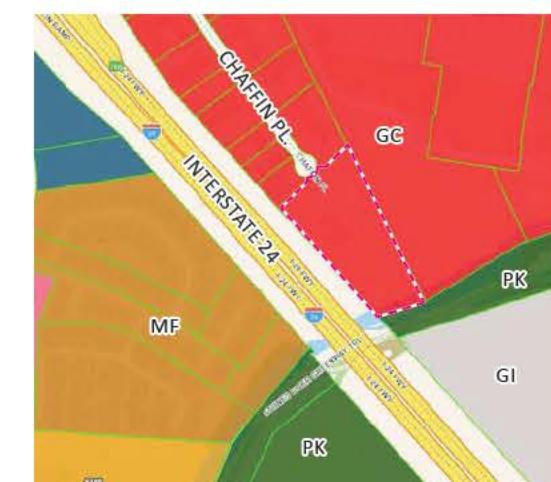
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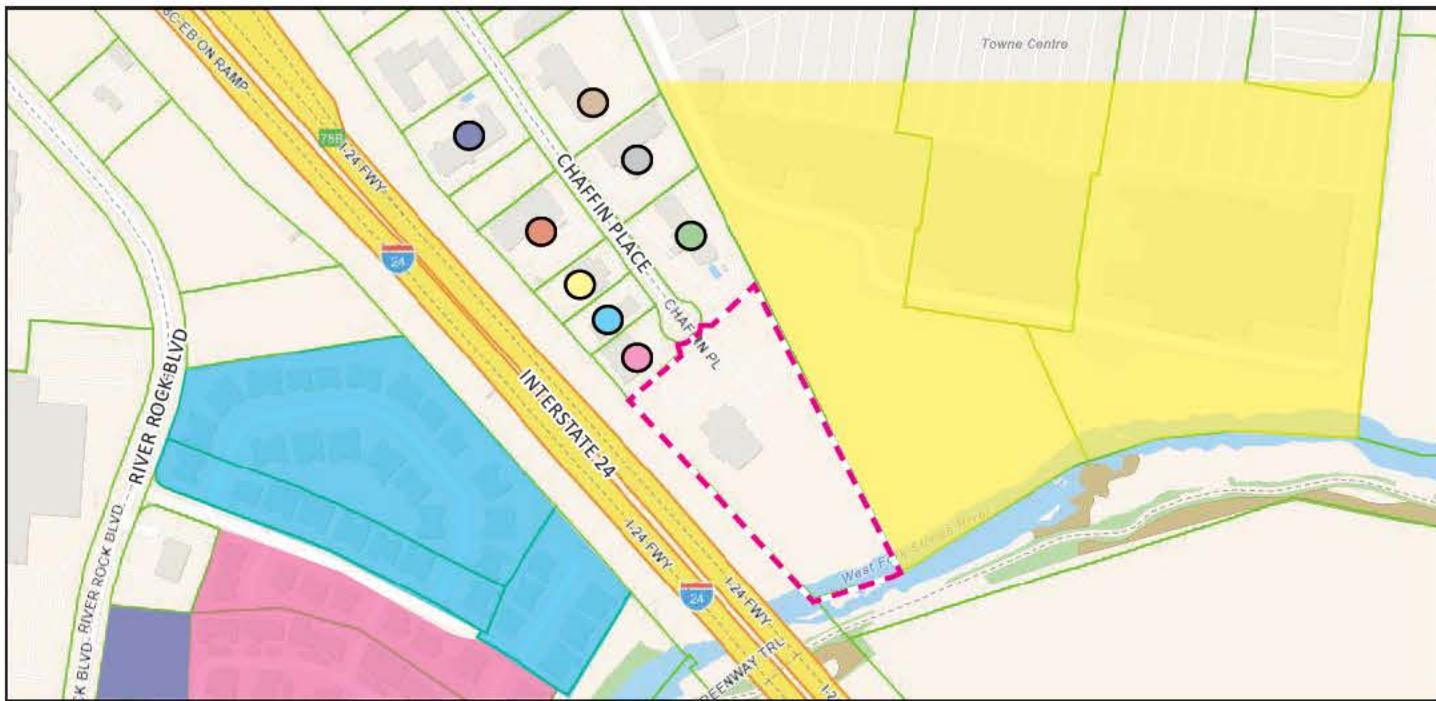
The surrounding area consists of a mixture of zoning types and land uses. The lands to the north and northeast are primarily zoned Commercial Highway. The lands to the southeast are zoned Heavy Industrial on the south-side of the Stones river and the lands across Interstate 24 are zoned RM-16.

The Murfreesboro Future Land Use Plan Amendment proposes this area as General Commercial (GC). The General Commercial (GC) character area is intended to provide a broad mix of commercial activities along major transportation routes, and is characterized by large parking lots surrounding buildings. Some of the viable development types for this character area include Commercial Centers, Automobile service-related enterprises, hotels, Big-Box Commercial stores, and Restaurant Chains.

2035 FUTURE LAND USE MAP



The proposed development does align with the Murfreesboro Future Land Use Plan in terms of suggested Zoning Districts as PND's are a recommended district for the GC character area. Although not providing a commercial land-use, the design characteristics needed for a proposed school align with the GC characteristics portrayed in terms of vehicular circulation, off-street parking, access to major transport routes, and general need for larger tracts of land.



SUBDIVISION MAP

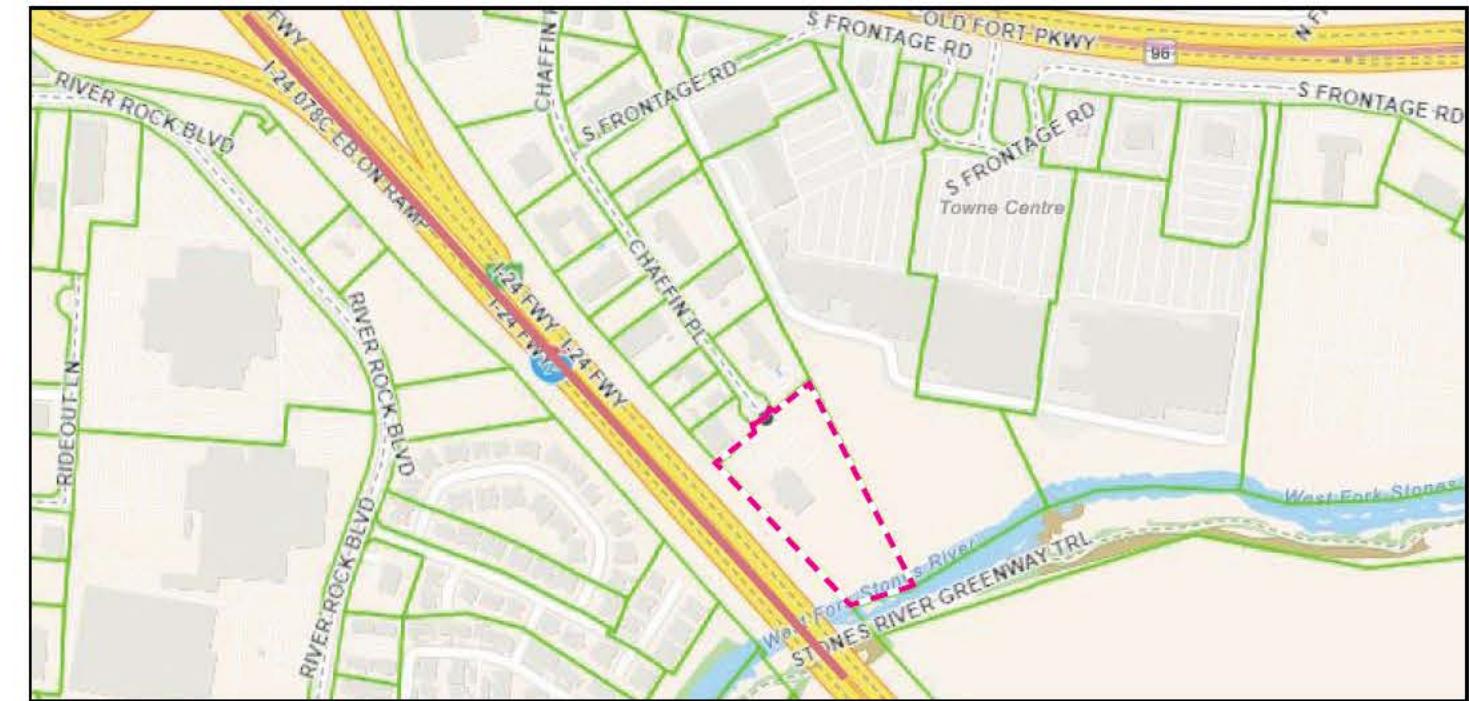
River Rock Crossing	HylaBrook Antique Mall	Days Inn & Suites Hotel
River Chase Townhomes	Williams Animal Hospital	Best Western Hotel
General's Retreat Townhomes	Ewing Outdoor Supply	Spark by Hilton Hotel
Towne Centre Shopping Mall	Sleep Inn Hotel	Holiday Inn Hotel

Not To Scale



The proposed development is adjacent to several commercial properties along Chaffin Place. Such properties include Williams Animal Hospital, Sleep Inn Hotel, and the HylaBrook Antique Mall. Located to the northeast of the site is the Towne Centre Shopping Mall which houses some larger retailers such as Target and TJ Max. Located to the west and southwest of the site across Interstate 24 Highway are the multi-family developments of River Chase Townhomes and General's Retreat Townhomes.

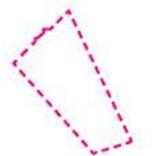
The River Chase and General's Retreat contains one and two-story buildings, with exterior elevations consisting of primarily of a mixture of brick and vinyl along the all elevations. Just to the north of these developments is the River Rock Crossing Senior Community, consisting of one and two-story single family detached homes with garages. The exterior elevations consist primarily of brick along the front and side elevations.



2040 MAJOR TRANSPORTATION PLAN

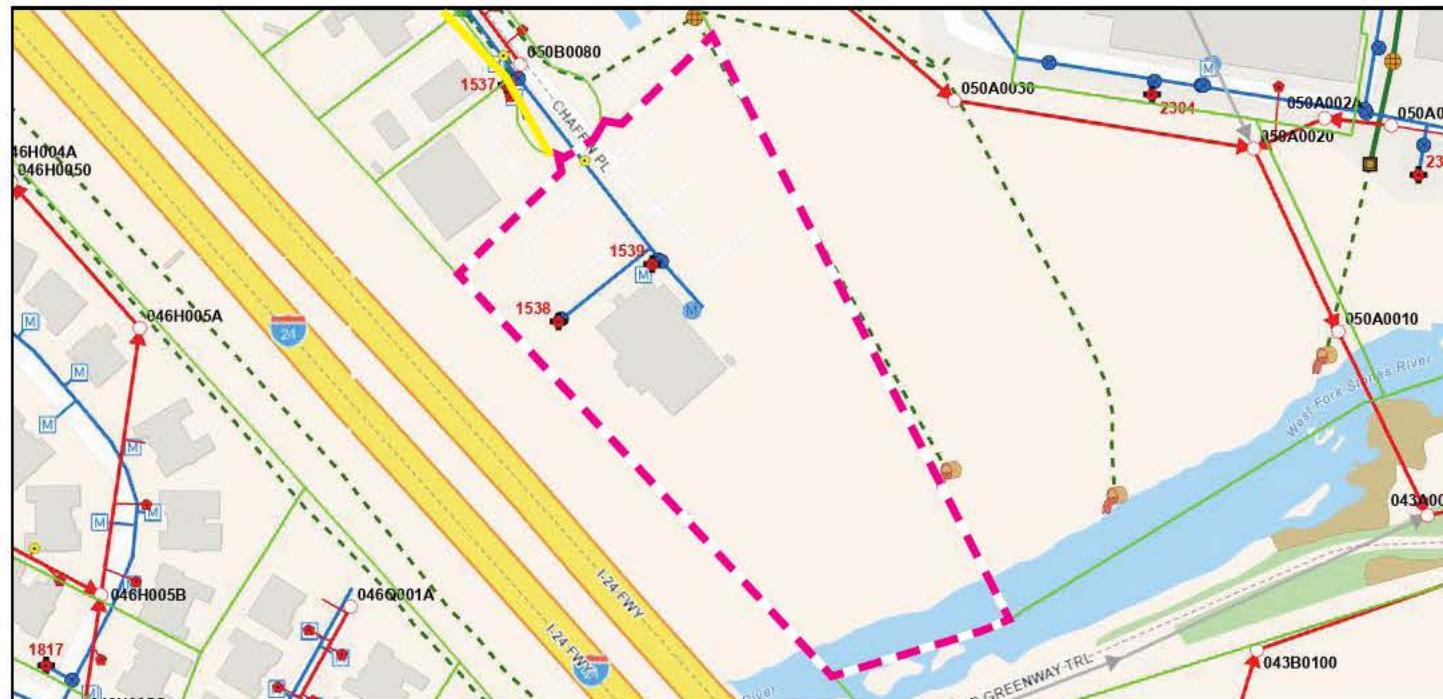
6 LANE ROADWAY

Not To Scale



Site Boundary

The property has access to the existing public rights-of-way of Chaffin Place through one entrance. Chaffin Place is classified as a local street, and is not designated for any roadway improvements on the City of Murfreesboro's 2040 Major Transportation Plan. Chaffin Place is currently built as a two-lane roadway with curb & gutter on both sides of the road. The City recently made road widening improvements at Chaffin Place, south of Old Fort Parkway, to add a north bound left turn lane that increased storage capacity by ≈ 200 feet, which created a double left lane.



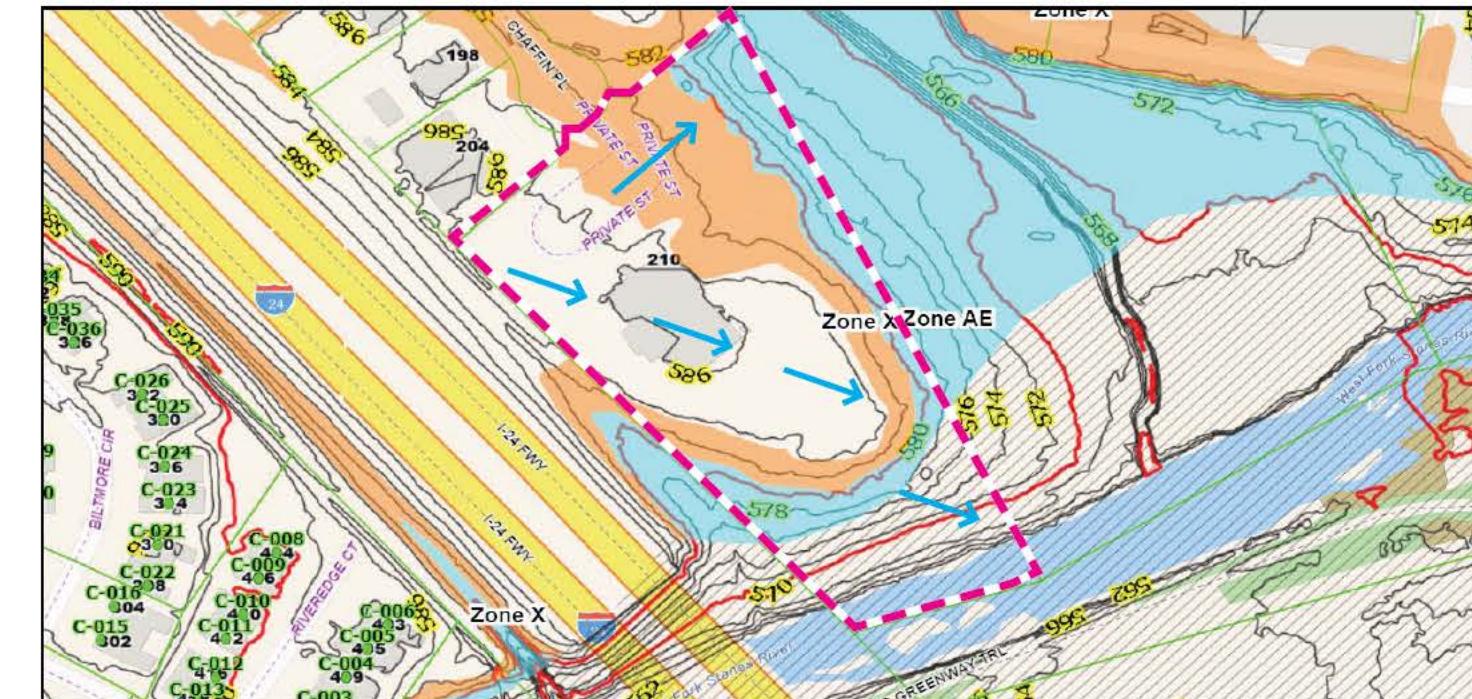
UTILITY MAP

The logo for the City of Murfreesboro Water Resources. It features a stylized water tower graphic on the left, composed of concentric circles and vertical lines. To the right of the tower, the words "City of" are written in a large, white, serif font. Below the tower, the word "MURFREESBORO" is written in a large, white, sans-serif font. At the bottom, the words "TENNESSEE" and "WATER RESOURCES" are written in a smaller, white, sans-serif font, stacked vertically.

Water service will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch cast iron water line along Chaffin Place providing water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service. Water mains extend into the site will have a 20' easement.

Sanitary sewer services will be provided by the Murfreesboro Water Resources Department. There is an existing 8 inch ductile iron gravity line along Chaffin Place. The developer will be responsible for extending the sanitary sewer services into the site.

Electric service will be provided by Middle Tennessee Electric. Service will be extended from Chaffin Place. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



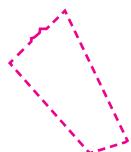
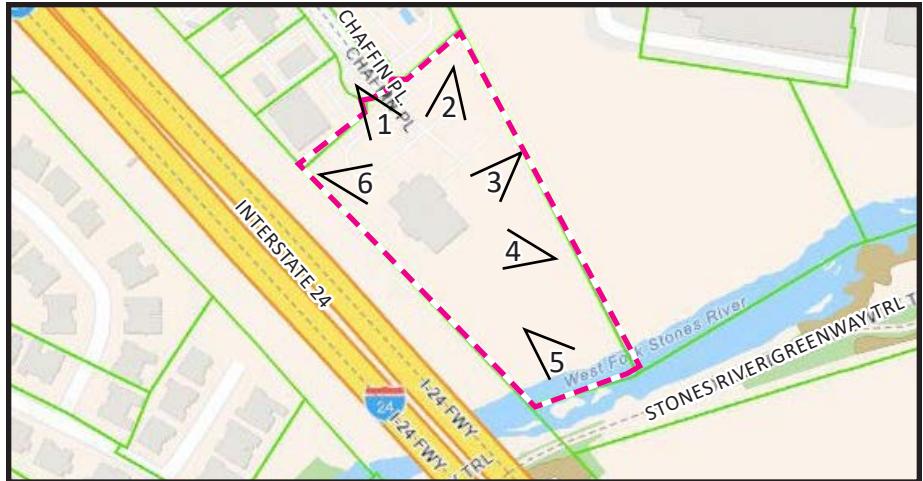
HYDROLOGY AND TOPOGRAPHY

- WATER FLOW DIRECTION
- INTERMEDIATE CONTOURS
- INDEX CONTOURS
- ZONE X 500-YEAR FLOODPLAIN
- ZONE AE 100-YEAR FLOODPLAIN
- FLOODWAY

The topographic map above shows the site's topographic high point generally at the north western corner of the property. From this high point, the property drains towards the north and southeast, flowing towards the West Fork Stones River. Stormwater that drains along the northeast flows towards the Towne Centre Shopping Mall property. All Stormwater from this site ultimately drains into West Fork Stones River.

Per the Murfreesboro Zoning Ordinance, as the site sits today, the existing building has a finish floor elevation (FFE) of 586.22 as measured at the truck dock, whereas the 100-year floodplain is at \approx 580' elevation. This is compliant with the Critical Facilities standards being at least 2' above the 100-year floodplain. Any future expansions on site will be built to comply with the Critical Facilities standards as they are written at time of construction.

The This property is within Zone AE, a designated floodway or floodplain per FEMA Flood Panel 47149C0260J eff. 5/9/2023



Site Boundary



View of Entrance Looking Southeast



View of Existing Building and Parking Lot On-Site Looking South



View of Existing Building On-Site Looking Southwest



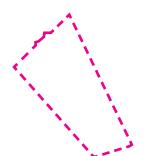
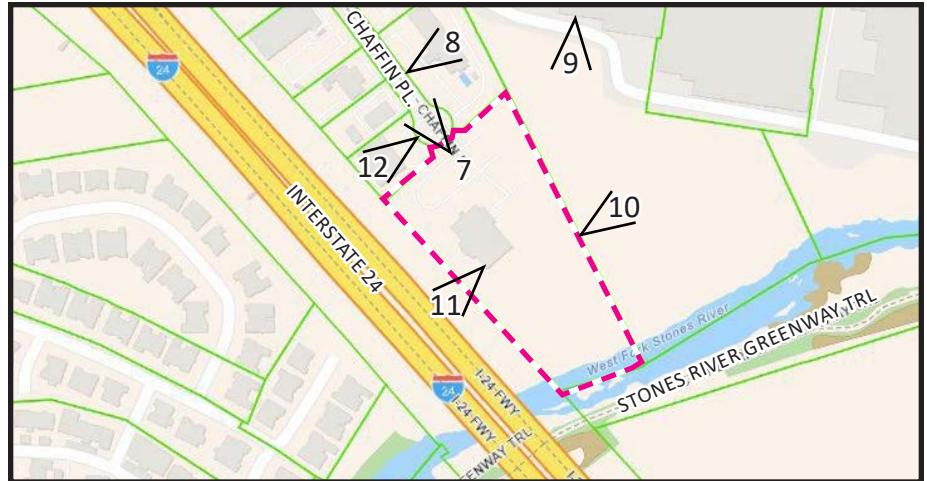
View of Existing Building On-Site Looking Northwest



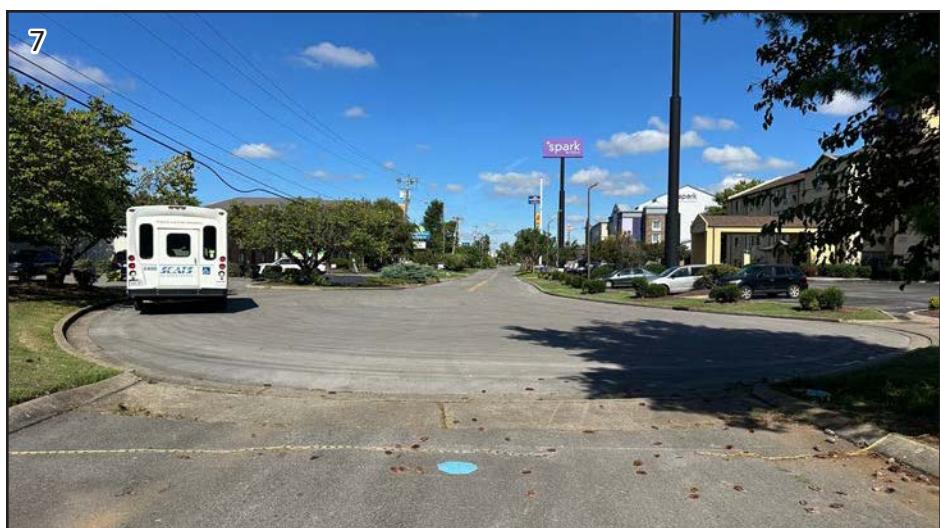
View of West Fork Stones River Looking Southeast



View of Existing Building and Parking Lot On-Site Looking East



Site Boundary



View of Chaffin Place Looking Northwest



View of Sleep Inn Hotel Looking Northeast



View of Neighboring Property Field Looking South



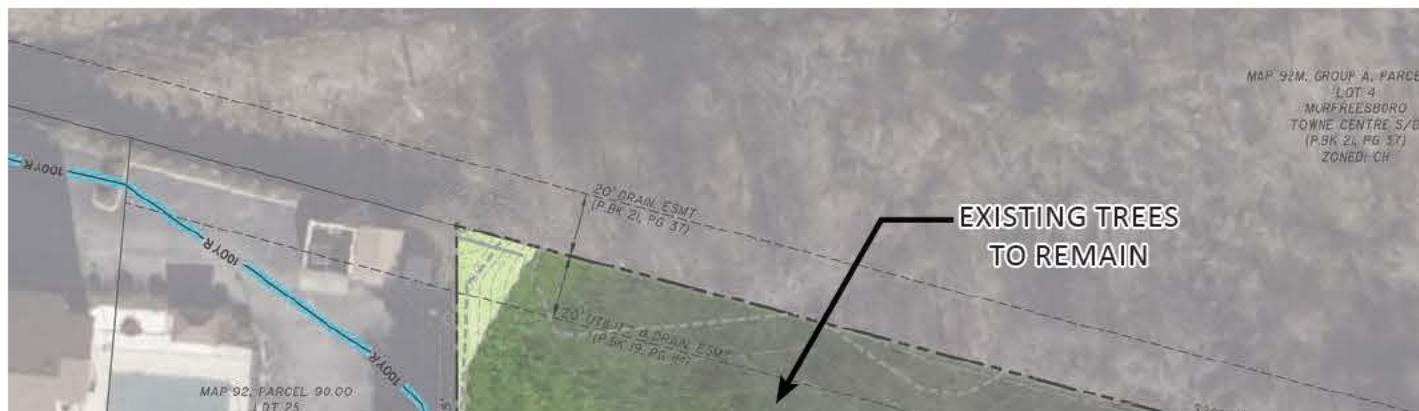
View of Neighboring Property Field Looking Northeast



View of Interstate 24 Looking Southwest



View of Hylabrook Antique Mall Looking Southwest

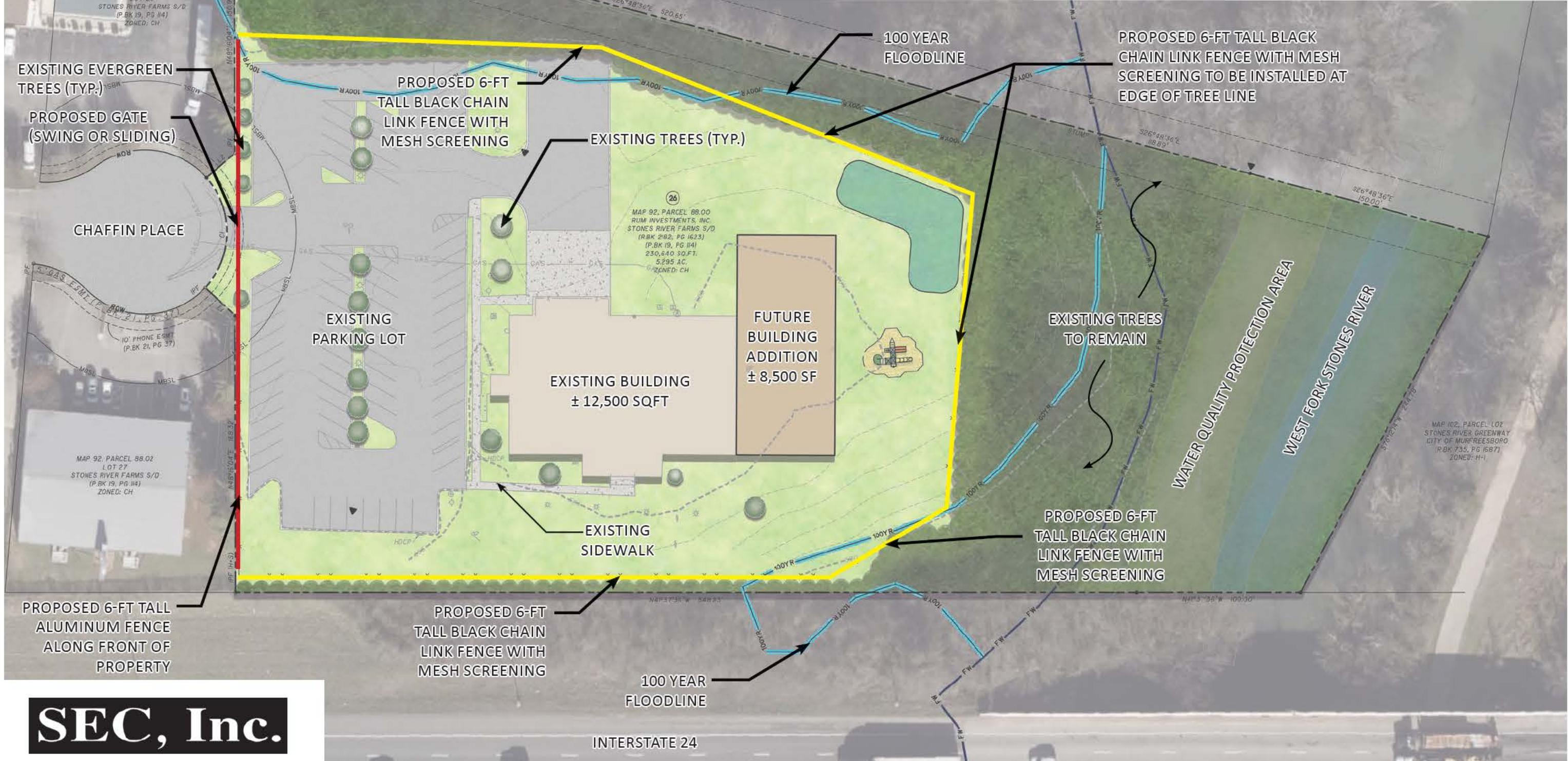


Land Use Data:

Existing Zoning: CH
Proposed Zoning: PND
Land Area: ±5.30 Acres
Building Addition Area: ±8,500 SF
Min. Required Open Space: 1.06 Acres (20%)
Provided Open Space: 1.06 Acres (20%)

Parking Required:
Kindergarten/HH = 1 sp. per 5 Children
40 seats/5 = 8 spaces
1st-9th grade = 2 sp. per classroom
13 Classrooms: 26 spaces
10th-12th grade = 5 sp. per classroom
6 Classrooms: 30 spaces
Parking Required: 64 Spaces + 3 Acces.Sp.
Parking Provided: 66 Spaces + 3 Acces.Sp.

Existing School Building
Open Space
Existing Tree Canopy
Stream
Existing Parking Lot



SEC, Inc.

SEC Project #21570

Murfreesboro, Tennessee



-60' 0' 60' 120'

Development Standards:

- The Building will be a maximum of 21,000 SF (12,500 SF existing plus 8,500 SF potential addition)
- Building height shall not exceed 45 feet in height
- Signage will be placed along Chaffin Place for proper identification, and will be built with materials consistent with the building architecture, and be accented with landscaping.
- All mechanical equipment located on the ground (i.e. HVAC and transformers) shall be screened with landscaping or fencing.
- All on-site utilities will be underground
- Solid waste enclosure shall be constructed of materials consistent with the building architecture, be at least 8-feet tall with opaque gates and shall be enhanced with landscaping.
- Solid waste shall be handled via a 3rd party private hauler.
- On-site lighting shall comply with the City of Murfreesboro performance standards to reduce light pollution while providing safety for students, employees and visitors.
- All parking areas will have curbing.
- Parking will comply with the City of Murfreesboro Ordinance in surface materials, number of spaces and size of spaces.
- Project will dedicate a 20' waterline easement along the on-site waterline.
- Operation hours will be Monday-Friday from 7am - 4:30pm. With bell times at 8am and 3pm. Some programs may extend beyond 4:30pm such as Holiday Programs.
- Maximum student enrollment is estimated at 300 students at this time.
- The future addition shall be approximately 8,500 sq ft in size.
- Any future additions shall meet the Critical Facilities requirements pertaining to flood elevations, as they are written in the Murfreesboro Zoning ordinance at time of construction.

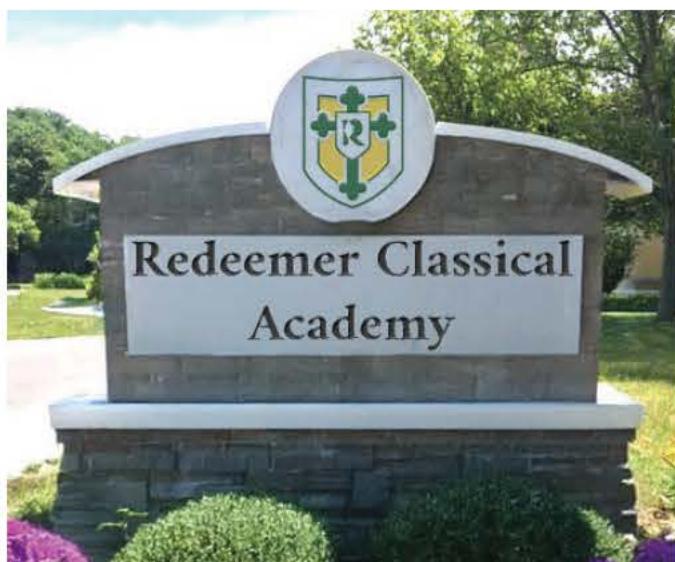


PND Site Setbacks

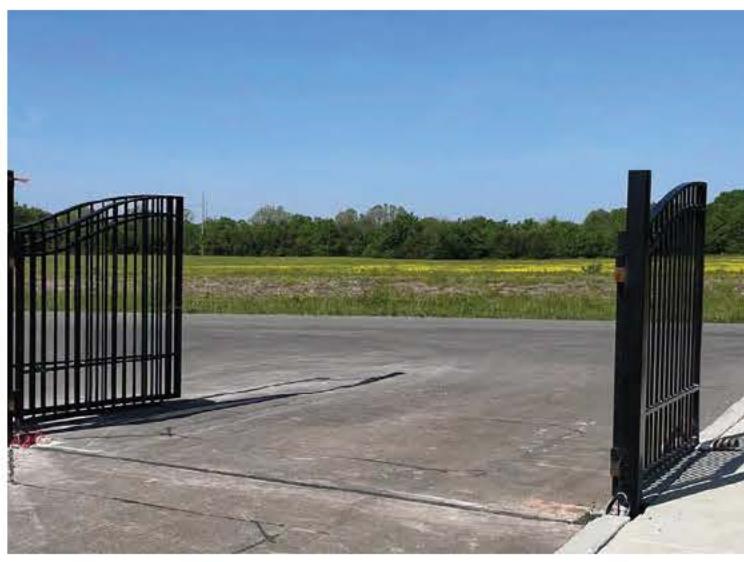
Front Setback (Chaffin Place): 42-Feet
Side Setback: 12.5-Feet
Rear Setback: 30-Feet



Example of On-Site Lighting



Example of Monument Sign



Example of Entrance Gate



Example of Black Aluminum Fence



Example of 6-ft Tall Chain Link Black Vinyl Fence

Architectural Characteristics:

- Building heights shall not exceed 45 feet in height
- All buildings will be 1-story
- The existing structure's exterior is to remain primarily unchanged
- The interior of the building shall be renovated to provide for the schools needs.
- The proposed building addition shall match the existing building in terms of material, style, and color with a brick facade.

Building Materials:

All Elevations:

Building to remain unchanged. Repairs to the exterior will be functional or cosmetic to replace windows, doors, etc. as needed.



Existing Front Elevation - Towards Chaffin Place



Existing Rear Elevation



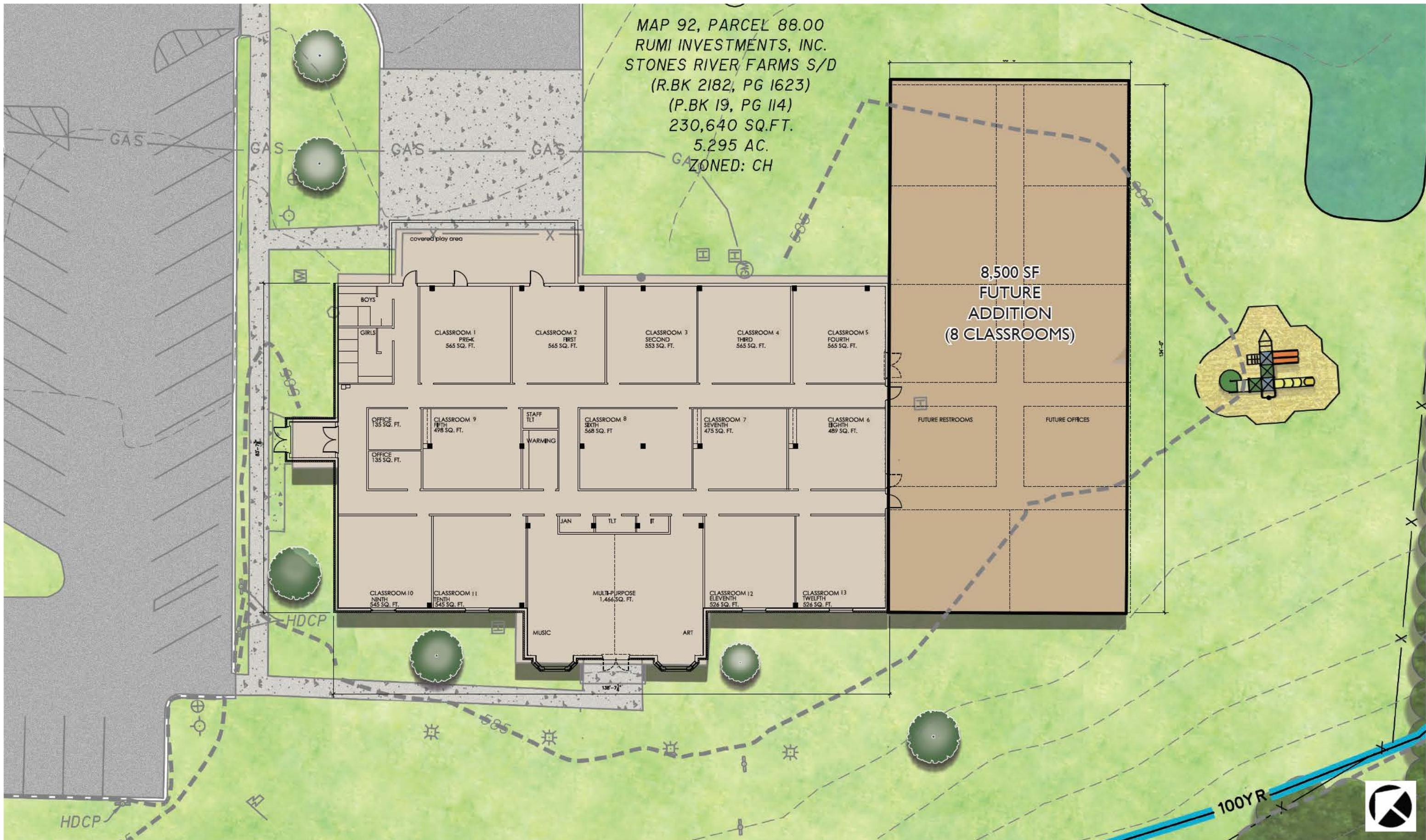
Existing East Elevation - This portion of the building will be updated (painted) to match the color of the other three elevations.



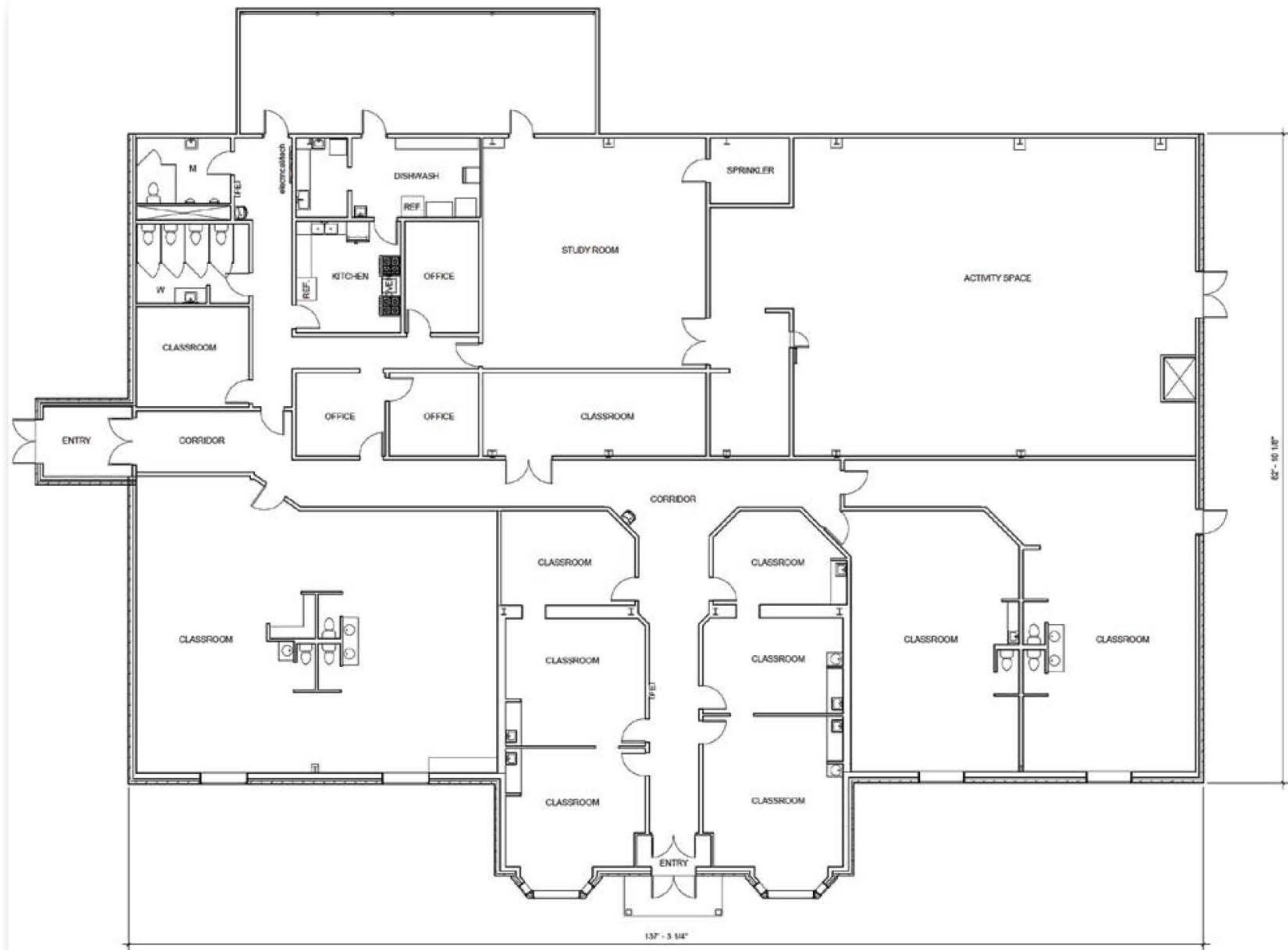
Existing West Elevation

MAP 92, PARCEL 88.00
RUMI INVESTMENTS, INC.
STONES RIVER FARMS S/D
(R.BK 2182, PG 1623)
(P.BK 19, PG 114)
230,640 SQ.FT.
5.295 AC.
GAR
ZONED: CH

8,500 SF
FUTURE
ADDITION
(8 CLASSROOMS)



Redeemer Classical Academy Conceptual Floor Plan

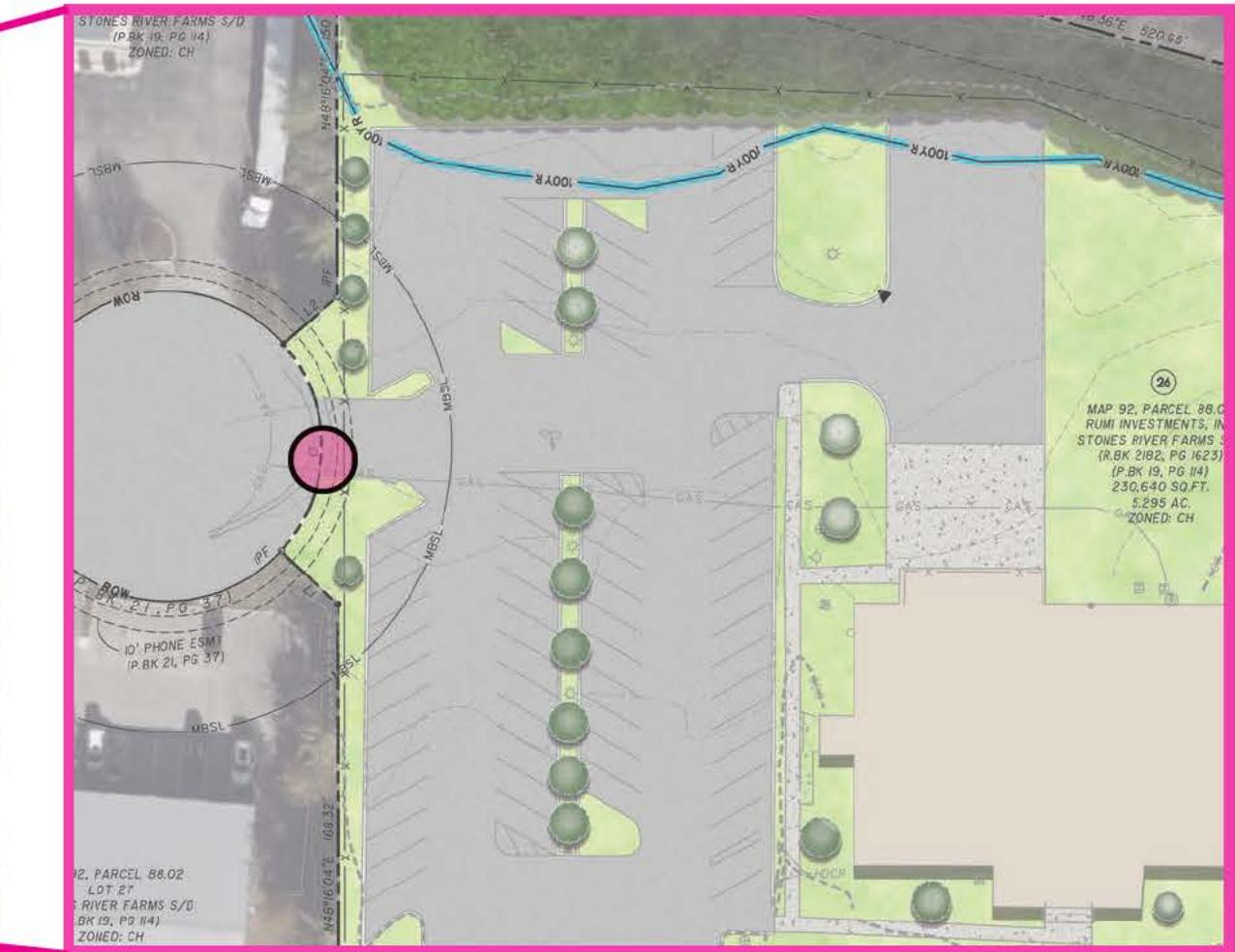
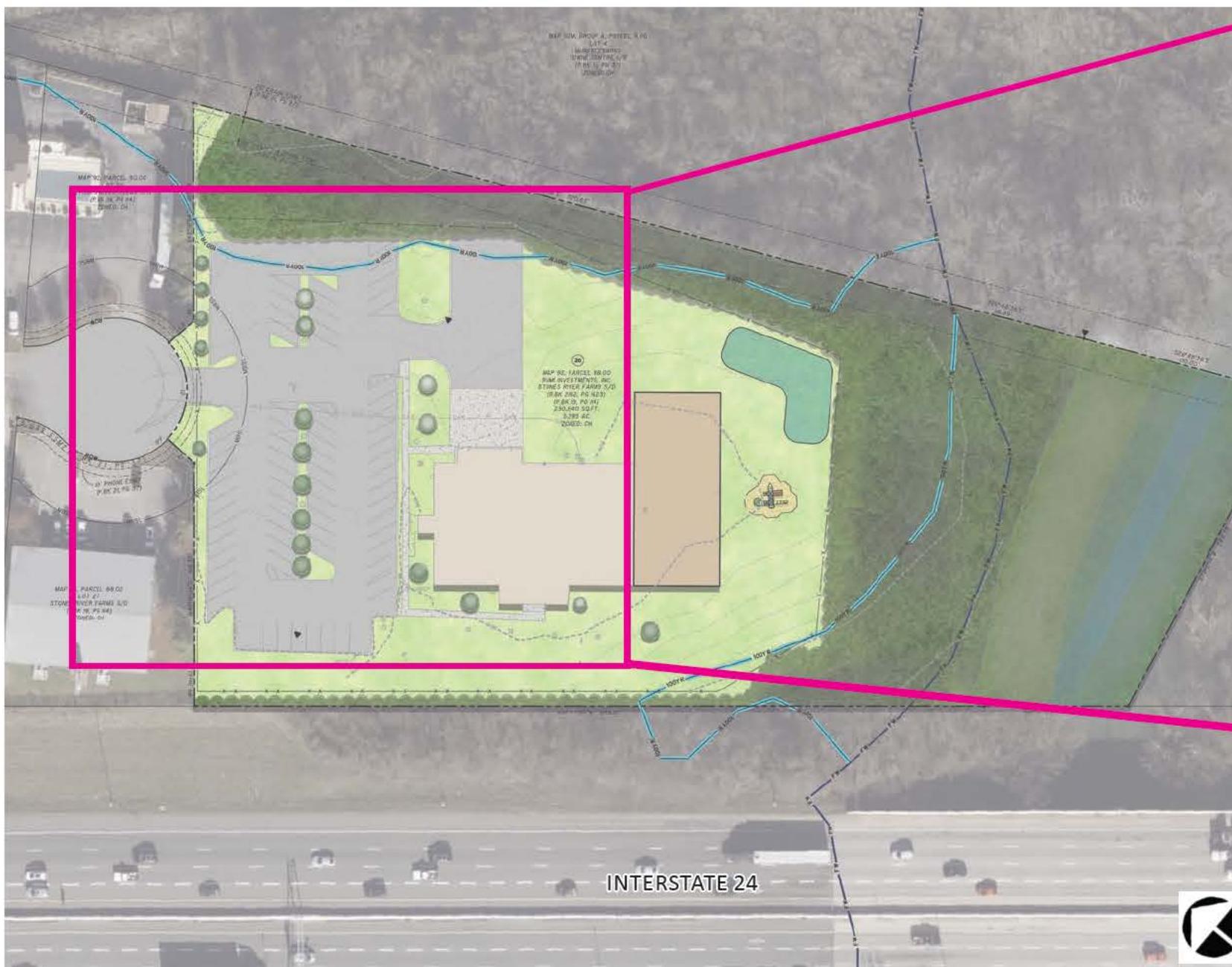


Existing Floor Plan

Redeemer Classical Academy Existing Floor Plan

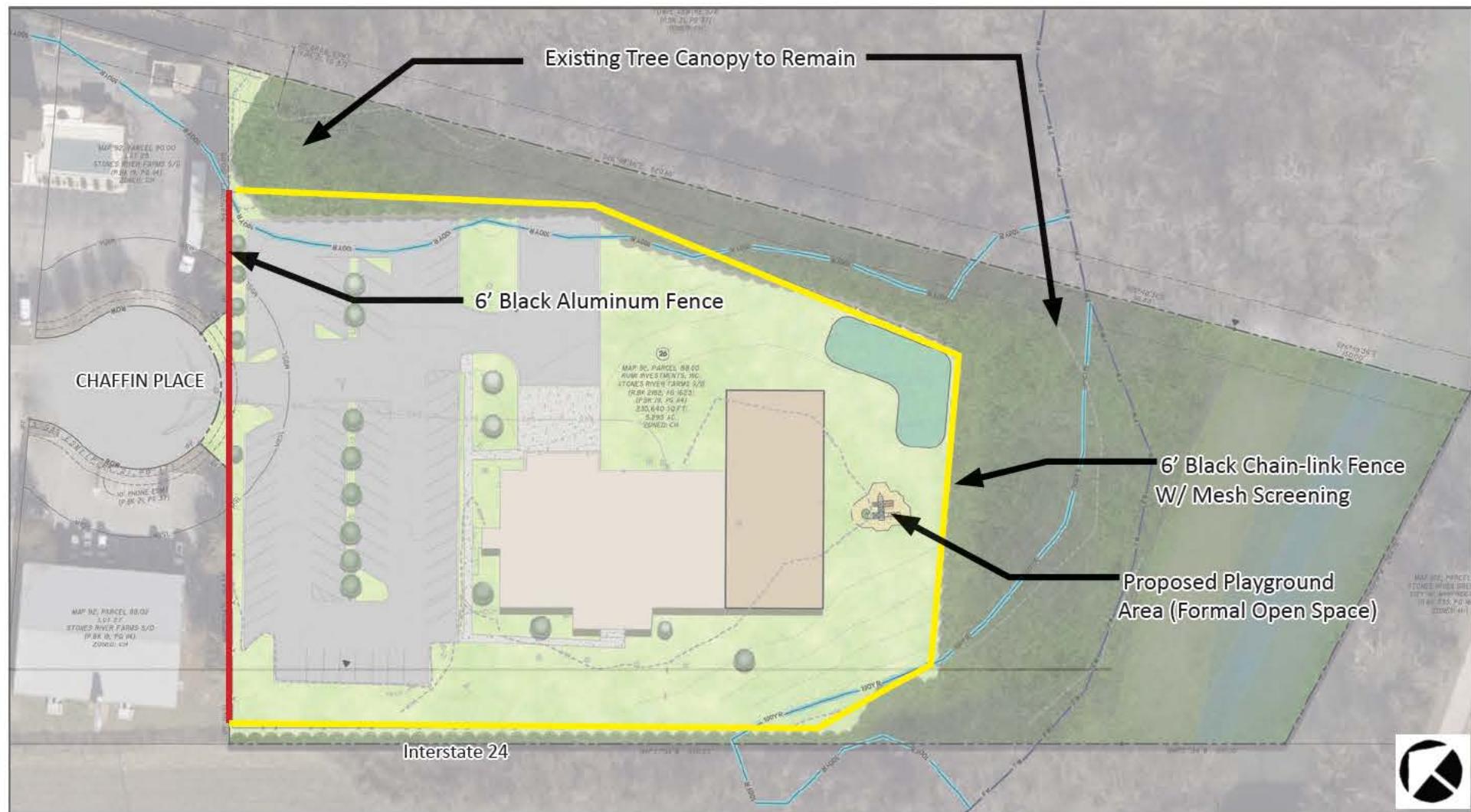
*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.
Final architecture shall be provided at the site plan level and will meet design guidelines.





 Ingress/Egress Point

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Chaffin Place is a minor thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 2 lane cross-section with curb and gutter along with no sidewalks on both sides of the roadway. Much of the existing traffic on Chaffin Place is generated by the adjacent Towne Centre Shopping Mall through the S. Frontage road. As stated above, the only primary means of ingress/egress from this site will be onto Chaffin place. A traffic impact study has been completed. The study did not warrant any improvements and this has been reviewed and accepted by Murfreesboro Public Infrastructure.



Landscaping Characteristics:

- Existing landscaping around the building is to remain. Trees and shrubs that are removed or damaged during construction shall be replaced.
- A minimum 8 feet of landscape area shall be required for any proposed parking areas and the Chaffin Place ROW. The existing parking areas shall remain as is and are not required to be reconstructed to meet the 8' distance requirements along the northwestern boundary of the site.
- Public rights-of-way screened from parking by use of landscaping and/or berthing.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or fences.
- The base of building plantings will not be required with this project based on recommendations of the Department of Homeland Safety for educational facilities.
- All other Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- Detention ponds and other stormwater facilities shall follow beautification standards per City of Murfreesboro landscaping ordinance.
- Fencing shall be utilized as seen in the above exhibit. Fencing shall be a minimum of 6' tall. Gated entrances shall be coordinated with Emergency Services to ensure access into the site.
- Formal Open Space requirements shall be satisfied by the playground area.



Example of Black Aluminum Fence



Example of Black Chain-link Fence

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-6 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3-6 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Pages 8-9,14-15 provide exhibits and standards that provides the required materials.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Page 14 provide exhibits and standards that provides the required materials.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned Commercial Highway (CH). The surrounding area has a mixture of commercial and industrial properties. The concept plan and development standards combined with the architectural requirements of the buildings shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complement existing and future development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property. See below Comparative Use Table for exception in red text.

Response: The applicant is the requesting setback exceptions below with this PND.

SETBACKS	CH	PND	DIFFERENCE
Front Setback	42.0'	40.0'	-2.0'
Side Setback	10.0'	12.5'	+2.5'
Rear Setback	20.0'	30.0'	+10.0'
Minimum Lot Size	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PND.

Response: This requirement has been addressed in the chart below.

TOTAL SITE AREA	230,868 s.f.
TOTAL MAXIMUM FLOOR AREA	21,000 s.f.
TOTAL LOT AREA	230,868 s.f.
TOTAL BUILDING COVERAGE	21,000 s.f.
TOTAL DRIVE/ PARKING AREA	39,248 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	191,620 s.f.
TOTAL OPEN SPACE	153,105 s.f.
FLOOR AREA RATIO (F.A.R.)	0.09
LIVABILITY SPACE RATIO (L.S.R.)	0.74
OPEN SPACE RATIO (O.S.R.)	0.91

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). The property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0260J Effective 5/9/2023.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Transportation Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 14 discusses the Major Transportation Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Redeemer Classical Academy contact info for both is provided on inside of cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Pages 10-13 show the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page .

PND Setbacks

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (EXISTING VS PROPOSED)	CH (COMPARATIVE)	PROPOSED PND	DIFFERENCE
RESIDENTIAL DENSITY			
MINIMUM LOT AREA	N/A	NA	N/A
MINIMUM LOT WIDTH	N/A	NA	N/A
MINIMUM EXTERNAL SETBACK REQUIREMENTS			
MINIMUM FRONT SETBACK	42'	40'	-2'
MINIMUM SIDE SETBACK	10'	12.5'	+2.5'
MINIMUM REAR SETBACK	20'	30'	+10'
LAND USE INTENSITY RATIOS			
MAX F.A.R.	NONE	NONE	NA
MINIMUM LIVABLE SPACE RATIO	NONE	NONE	NA
MINIMUM OPEN SPACE REQUIREMENT	20%	20%	0%
MINIMUM FORMAL OPEN SPACE REQUIREMENT	3%	3%	0%
MAX HEIGHT	75'	45'	-30'

REQUESTED EXCEPTIONS:

- 1.) Requesting an exception to the Murfreesboro Design Guidelines for building architecture to allow the building to be utilized as is. Additions will meet Design Review Standards.
- 2.) Requesting an exception to minimum area between parking and property lines to reduced from 8' to 5' for existing parking areas only.
- 3.) Requesting an exception to exclude any additional base of building landscaping requirements based on the recommendations of the Department of Homeland Safety for educational facilities.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
DECEMBER 3, 2025
PROJECT PLANNER: STEPHEN ANTHONY**

6. a. Mandatory Referral [2025-717] to consider the dedication of an electric easement on City-owned property located along Wilkinson Pike, Middle Tennessee Electric applicant.



In this mandatory referral, the Planning Commission is being asked to consider the dedication of an electric easement for Middle Tennessee Electric (MTE) on City-owned property located at 2335 Wilkinson Pike. The purpose of this easement relocation is so that the electric infrastructure can be relocated southward so that it will no longer be in conflict with the City of Murfreesboro's road widening project on Wilkinson Pike.

The property in question is currently developed with a Murfreesboro Water Resources Department (MWRD) sanitary sewer pump station. In 2006, when it was constructed, landscaping was required along the north and west property lines to screen the pump station. The relocation of the electric line will require the removal of some of the existing vegetation. Staff recommends that it be replaced in conjunction with the road project with vegetation that is acceptable to both MTE and MWRD.

An exhibit showing the location of the proposed electric easement relocation is included in the agenda materials as is a letter from MTE.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. Any landscaping damaged in the process of constructing the electric infrastructure shall be replaced with landscaping acceptable to MTE and as agreed upon by MWRD and the City Engineer.
2. The applicant shall be responsible for submitting to the City Legal Department any documents necessary in order to dedicate the proposed easement, and any such documents shall be subject to the final review and approval of the City Legal Department.
3. The applicant shall be responsible for recording the document, including payment of the recording fee.

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November 6, 2025

RE: City of Murfreesboro
Parcel: 079 09302

To whom it may concern,

Middle Tennessee Electric is planning to relocate our current overhead power line along Wilkinson Pike to deconflict with the Murfreesboro City's road widening project. (shown in map).

MTE is requesting a signed easement for these relocated overhead facilities.

We appreciate your help, as we rely heavily upon the cooperative spirit of our membership.

Sincerely,

Mark Champion

Mark Champion

System Designer

615-217-5282

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KETRON WILLIAM F JR ETUX THERESA

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WILKERSON PIKE DRAINAGE ASSOCIATION

Remove trees that are within MTE 40' ROW

Legend

- Existing Utility Pole
- Proposed Utility Pole
-  Manhole
-  Vault
-  Primary Pullbox
- Secondary Pullbox
-  UG Sector
-  Overhead Transformer
-  Underground Transformer
-  Anchor Guy
- Span Guy

Disclaimer:
Middle Tennessee Electric Membership Corporation
("MTE") makes no representation, warranty, or
certification as to map accuracy, including, but not
limited to, its accuracy as to underground conductor
locations, property boundaries, rights-of-way, or
placement and location of any map features or data.
This exhibit is not intended to be an ALTA/ACSM,

Category I Boundary, or any other type of land survey. The drawing is not to scale. The location of the easement centerline and/or easement dimensions as shown are approximate and may vary with actual construction. After actual construction, the as-built electric lines and/or equipment shall be deemed to be the centerline of the easement. MTE expressly disclaims liability for any errors or omissions.

Initials:

Job Number: 15853499
Location: Wilkinson Pike Intersec. Widenin
Description:

Map: 5350-E
Scale: 1 inch = 50 feet
Print Date: 10/22/2025



Exhibit "1"



Legend

- Utility Lines
- Existing Utility Pole
- Proposed Utility Pole
- Manhole
- Vault
- Primary Pullbox
- Secondary Pullbox
- UG Sector
- Overhead Transformer
- Underground Transformer
- Anchor Guy
- Span Guy

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Location: Wilkinson Pike Intersec. Widenin

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Map: 5350-E

Scale: 1 inch = 50 feet

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Exhibit "1"