

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**NOVEMBER 5, 2025
6:00 PM**

**Ken Halliburton
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the October 15, 2025 Planning Commission regular meeting and the October 15, 2025 Planning Commission/City Council Joint Conceptual Workshop meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant. (Project Planner: Richard Donovan)
 - b. Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant. (Project Planner: Richard Donovan)
 - c. Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant. (Project Planner: Richard Donovan)
- 6. Staff Reports and Other Business:**
 - a. Mandatory Referral [2025-715] to consider the abandonment and relocation of a sanitary sewer easement on City-owned property located along Cherry Lane, SEC, Inc. applicant. (Project Planner: Marc Shackelford-Rowell)
 - b. In-N-Out Burger Overflow Queueing and Parking [2025-3124] initial and final design review and site plan review for a temporary (120 days maximum) overflow queueing area, a temporary overflow parking area, and a temporary staging area on two properties zoned CH and GDO-1 located along Willowoak

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Trail and Robert Rose Drive, In-N-Out Burger developer. (Project Planner: Brad Barbee)

- c. Consider naming the new “Cherry Lane Extension” west of I-840 to “Stonesbattle Parkway”. (Project Planner: Matthew Blomeley)

7. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

1:00 PM

Murfreesboro Airport Business Center

MEMBERS PRESENT

Jami Averwater, Vice-Chair
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Greg McKnight, Exec. Dir. Dev. Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Marc Shackelford-Rowell, Planner
Brad Barbee, Principal Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney

1. Call to order.

Vice-Chair Jami Averwater called the meeting to order.

2. Determination of a quorum.

Vice-Chair Jami Averwater determined a quorum was present.

3. Public Comments.

Vice-Chair Jami Averwater announced that no signed up to speak during the Public Comment portion of the agenda.

4. Approve minutes of the October 1, 2025 Planning Commission meeting.

Mr. Tristan Carroll made a motion to approve the minutes of the October 1, 2025 Planning Commission meeting; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

5. Consent Agenda

Murphy Oil USA [2025-3069] site plan for a 2,824 ft² convenience store with a gasoline canopy and 16 fuel pumps on 1.87 acres zoned CF located along Lascassas Pike and North Rutherford Boulevard, Murphy Oil USA, Inc. developer.

Magnolia Grove, Section 3 [2025-1018] preliminary plat for 61 lots on 23.02 acres zoned PRD located along Yeargan Road, TVLP Management, LLC developer.

Three Rivers, Section 12 [2025-2080] final plat for 54 lots on 23.28 acres zoned PRD located along Frogtown Lane, Star Land Company, LLC developer.

River Landing, Section 3, Phase 2 [2025-2075] horizontal property regime plat for 62 units on 2 lots on 22.91 acres zoned PUD located along Fir Tree Way, D.R. Horton developer.

Magnolia Grove Right-of-Way Dedication [2025-2076] final plat for dedication of right-of-way for Yeargan Road, Hon Shores Tennessee, LLC developer.

The Maples, Section 8 [2025-2081] final plat for 32 lots on 16.57 acres zoned RS-10 located along Flanders Drive and Lucinda Place, The Maples, Inc. developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

The Gardens of Three Rivers, Resubdivision of Lots 35 and 37 [2025-2078] final plat for 4 lots on 0.44 acres zoned PRD located along Audubon Lane, Patterson Company, LLC developer.

Beck Subdivision, Resubdivision of Lot 1 [2025-2079] final plat for 2 lots on 1.3 acres zoned RS-15 located along Apollo Drive, Jones Construction Company developer.

There being no further discussion, Mr. Shawn Wright made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye: Tristan Carroll
 Reggie Harris
 Bryan Prince
 Kelly G Rollins
 Shawn Wright
Abstain: Jami Averwater

Ms. Jami Averwater explained an unlisted agenda item regarding the Fairfield by Marriott would be moved from Staff Reports and Other Business to the next item on the agenda.

Fairfield by Marriott [2024-3158 & 2024-6008] exterior architecture modification review for a 65, 000 ft2 4-story hotel on 2.68 acres zoned MU and GDO-1 located along Robert Rose Drive, Pradeep Agnihotri developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Lydia Lazendic (architect) was in attendance representing the application.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

There being no further discussion, Mr. Shawn Wright made a motion to approve the exterior architecture modification review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Jami Averwater

Nay: None

6. **Plats and Plans**

WeGo Public Transit MTA Park and Ride (2025-3108) site plan for a parking lot on 0.73 acres with proposed PND zoning located along Bridge Avenue, WeGo Public Transit developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Kia Lewis (WeGo project manager) was in attendance for the meeting.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the site plan subject to all staff comments and to City Council approving the companion rezoning application; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins

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Shawn Wright

Jami Averwater

Nay: None

Project Keystone [2025-2077] final plat for 4 lots on 8.77 acres zoned PUD (2023-418: Keystone on Broad), CBD, and CCO along Northwest Broad Street and South Church Street, City of Murfreesboro developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to approve subject to all staff comments and contingent on approval of the purchasing, sales, and development agreement; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

7. New Business:

Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is

MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Chip Loyd (developer) and Mr. Clyde Rountree (landscape architect) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for November 5, 2025; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Jami Averwater

Nay: None

Annexation petition and plan of services [2025-508] for approximately 6.41 acres located along Majesty Drive and Cicero Drive, Xaiyavong and Panola Saenphansiri applicants. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor of SEC, Inc. was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Tristan Carroll and carried in favor by the following vote:

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Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Jami Averwater

Nay: None

Zoning application [2025-421] for approximately 6.41 acres located along Majesty Drive and Cicero Drive to be zoned RS-6 simultaneous with annexation, Xaiyavong Saenphansiri applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Jami Averwater

Nay: None

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Annexation petition and plan of services [2025-507] for approximately 10.3 acres located along Elam Road, including approximately 1,200 linear feet of Elam Road right-of-way, Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc. and the City of Murfreesboro applicants. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Mr. Reggis Harris and carried in favor by the following vote:

Aye: Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Jami Averwater

Nay: None

8. Staff Reports and Other Business.

Mr. Ben Newman provided an update on a variety of topics, including staffing and land use plans.

**MINUTES OF THE MURFREESBORO
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9. Adjourn.

There being no further business, the meeting adjourned at 1:50 p.m.

Chair

Secretary

BN: cj

MINUTS OF THE JOINT CONCEPTUAL WORKSHOP MEETING OF THE MURFREESBORO CITY COUNCIL & PLANNING COMMISSION OCTOBER 15, 2025

2:00 P.M.

AIRPORT BUSINESS CENTER

CITY COUNCIL MEMBERS PRESENT

Shane McFarland, Mayor
Bill Shacklett, Vice-Mayor
Jami Averwater
Madelyn Scales Harris
Kirt Wade
Shawn Wright

PLANNING COMM. MEMBERS PRESENT

Jami Averwater, Vice-Chair
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

CITY STAFF PRESENT

Darren Gore, City Manager
Adam Tucker, City Attorney
Erin Tucker, City Recorder/Treasurer
Greg McKnight, Exec. Dir. Development Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney
Melanie Joy Peterson, City Clerk
Raven Bozeman, Executive Assistant
Michael Browning, Public Information Officer
Valerie Smith, MWRD Director

1. Call to order.

Vice-Chair Jami Averwater called the meeting to order at 2:00 p.m.

2. Determination of a quorum.

Vice-Chair Jami Averwater determined a quorum was present.

MINUTS OF THE JOINT CONCEPTUAL WORKSHOP MEETING OF THE MURFREESBORO CITY COUNCIL & PLANNING COMMISSION OCTOBER 15, 2025

3. Workshop Items:

Swanson Development/SEC, Inc.: 6331 Franklin Road Annexation and Zoning [2025-JCW-01]. Mr. Matthew Blomeley presented the conceptual proposal for annexation and zoning.

Mr. Matt Taylor (design engineer) and Swanson Development representatives were in attendance for the discussion. Mr. Matt Taylor gave a brief presentation on the proposal. Around thirty acres would be marketed for neighborhood commercial properties and medical uses. In addition, they propose residential attached and residential detached homes on approximately seventy acres. The Planning Commission and City Council discussed the proposal, including how sanitary sewer could serve the property.

Swanson Development/SEC, Inc.: Battleground Place Townhomes Rezoning [2025-JCW-02]

Mr. Matthew Blomeley presented the conceptual proposal for rezoning.

Mr. Matt Taylor (design engineer) and Swanson Development representatives were in attendance for the discussion. Mr. Taylor gave a brief presentation stating they met with neighbors regarding this proposal, and they expressed their concerns regarding traffic. The City Council and Planning Commissioners discussed the proposal, including traffic, trash pickup, and townhomes being inside an existing single-family development.

Service Infill Boundary along Halls Hill Pike

Mr. Ben Newman made a presentation describing the concept of the Service Infill Boundary. He also described the process by which it could be amended.

The City Council and Planning Commissioners discussed this topic, stating that Halls Hill Pike has a three-lane roadway with curb, gutter, and sidewalks. Included in the area is a mix of commercial and residential uses being so close to North Rutherford Boulevard. Roadway and sewer improvements in this area were a joint effort made by the City of Murfreesboro and

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Rutherford County. The two bodies indicated that it would be appropriate to allow City development to occur along Halls Hill Pike in this area.

SEC, Inc.: Annexation and Zoning along Halls Hill Pike (Bryson Cove Development) [2025-JCW-03] Mr. Ben Newman presented the conceptual proposal for annexation and zoning.

Mr. Matt Taylor (design engineer) was in attendance for the discussion. Mr. Matt Taylor discussed the proposed development layout, including drainage improvements, its density, and there being no proposed stub streets.

The City Council and Planning Commissioners asked for more information on current flooding and drainage conditions for this property and how it would be addressed.

On a different note, Mr. John Tully made known there are no public comments at the Joint Conceptual Workshops. The public would need to contact the Murfreesboro Planning Department before the meeting for any questions or comments.

4. Adjourn.

There being no further business, Vice-Chair Jami Averwater adjourned Joint Conceptual meeting at 2:55 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 5, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.a. Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant.

Sherry Wade Metzler has submitted a petition requesting annexation of her property into the City of Murfreesboro. The annexation area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road and west of Veterans Parkway. The annexation area also includes approximately 3,000 linear feet of Old Salem Road right-of-way. The Rutherford County Highway Commission reviewed and consented to the annexation of the right-of-way of Old Salem Road at its September 2, 2025 meeting. The total annexation study area is approximately 32.1 acres.

The annexation study area includes the following areas:

- Tax Map 115, Parcel 034.00 (27.9 acres)
- Old Salem Road right-of-way (approx. 4.2 acres)

The applicant has submitted a companion zoning application to rezone the subject property to a PRD (Planned Residential District; Aubrey PRD, formerly known as Old Salem PRD) designation. This rezoning would permit the 27.9-acre parcel to be developed with sixty-two single-family detached homes and thirty-two single-family attached homes.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its north boundary and contiguous to the east to an annexation area recommended for approval by the Planning Commission at its September 3, 2025 meeting. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The developer will need to work with neighboring property owner to the south/southeast to extend sanitary sewer to the subject property. The timeline for the gravity sewer to reach the proposed

development is currently unknown, and all main line extensions are the financial responsibility of the developer.

Staff Recommendation:

Staff is supportive of the annexation request for the following reasons:

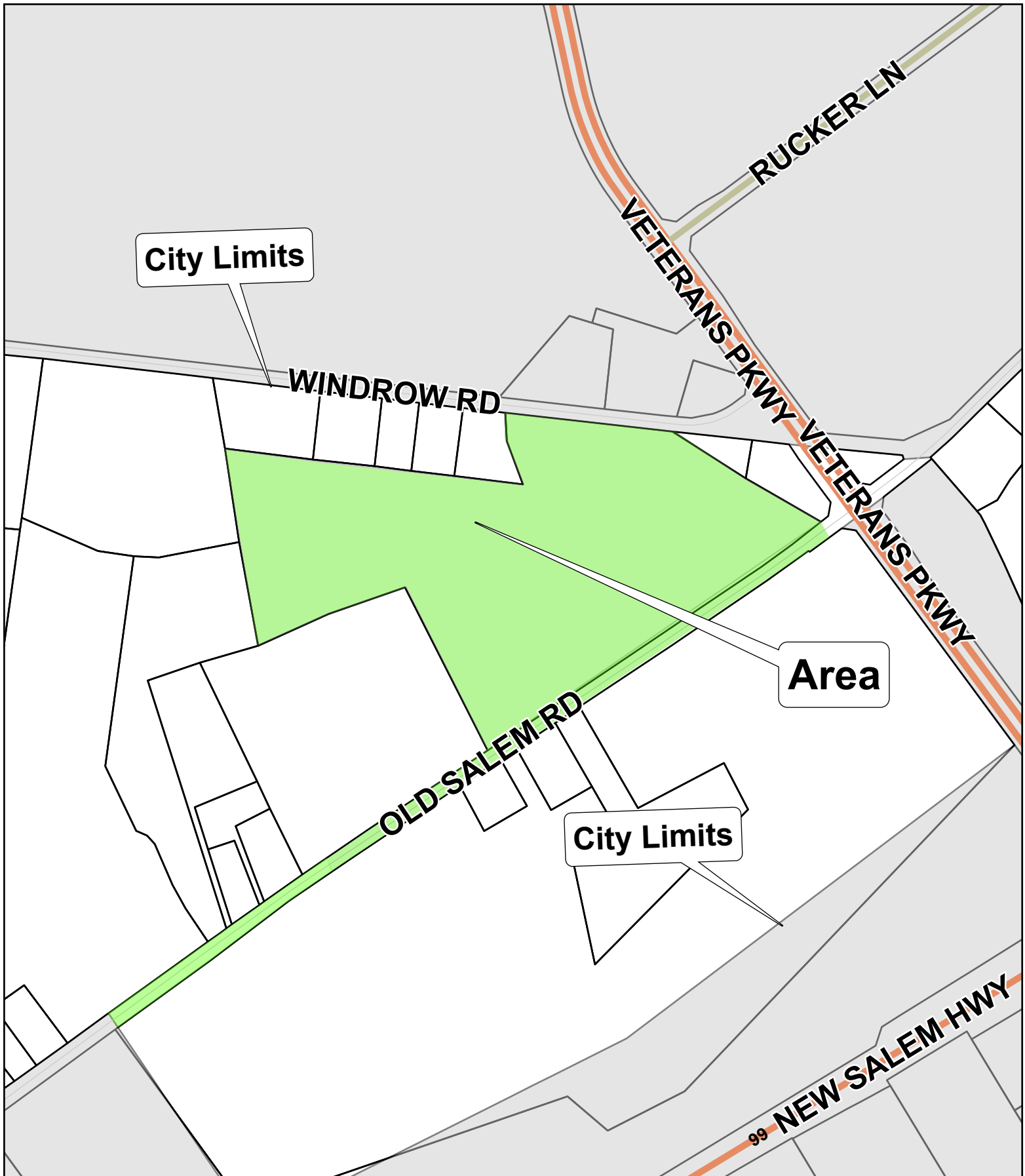
1. The subject property is contiguous with the existing City Limits.
2. It is located within the Urban Growth Boundary and within the Service Infill Area.
3. Services can be extended to the subject property upon annexation.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map
Non-ortho maps
Annexation Petition
Plan of Services



Annexation request for property along Old Salem Road and Windrow Road

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation request for property along Old Salem Road and Windrow Road

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Sherry Wade Metzler
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: Sherry Wade Metzler Status: Self Date: 8-13-25
239 Woodcrest Dr. Sylvestor, GA 31791
Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

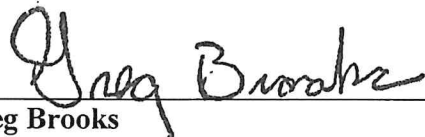
Legal Description is attached: _____ **Yes**

Power of Attorney applies and is attached: _____ **Yes** ☒ **No**

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Old Salem Road from the eastern boundary of 4492 Old Salem Road (Tax Map 115, Parcel 034.00) to the western boundary of Tax Map 115, Parcel 028.00, totaling approximately 3,000 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Old Salem Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on September 2, 2025 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 2 day of September 2025.



Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 2 day of September.



NOTARY PUBLIC

My Commission Expires: 4-15-2028



**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG OLD SALEM ROAD
INCLUDING PLAN OF SERVICES
(FILE 2025-506)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
NOVEMBER 5, 2025**



Annexation Request for property along Old Salem Road

0 380 760 1,520 2,280 3,040 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

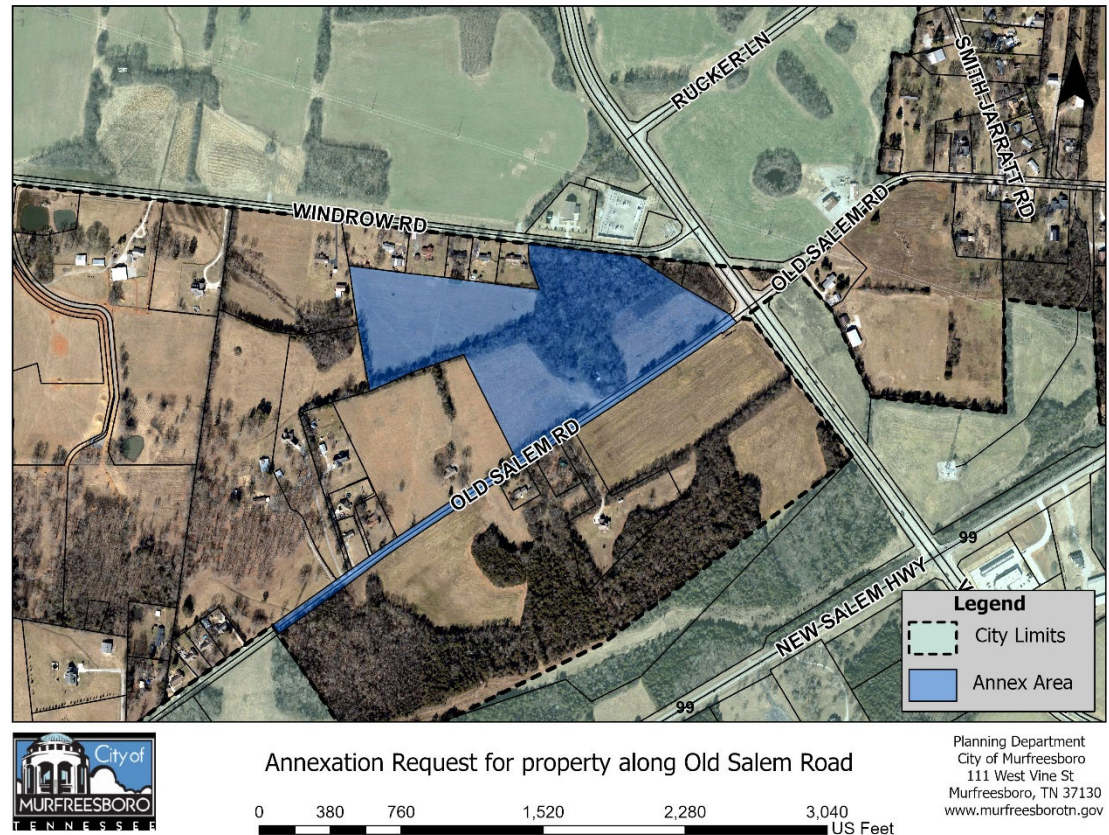
INTRODUCTION

OVERVIEW

The property owner, Sherry Wade Metzler, submitted a petition requesting her property be annexed into the City of Murfreesboro. Her property totals approximately 27.9 acres. It is located along the north side of Old Salem Road west of Veterans Parkway. In addition, included in the annexation study area is approximately 3,000 linear feet of Old Salem Road right-of-way (ROW). At its September 2, 2025, regular meeting, the Rutherford County Road Board voted to grant consent to the City to annex this segment of ROW. The total annexation study area is approximately 32.1 acres. The annexation study area includes the following properties:

- Tax Map 115, Parcel 034.00 (27.9 acres)
- Old Salem Road right-of-way (approx. 4.2 acres)

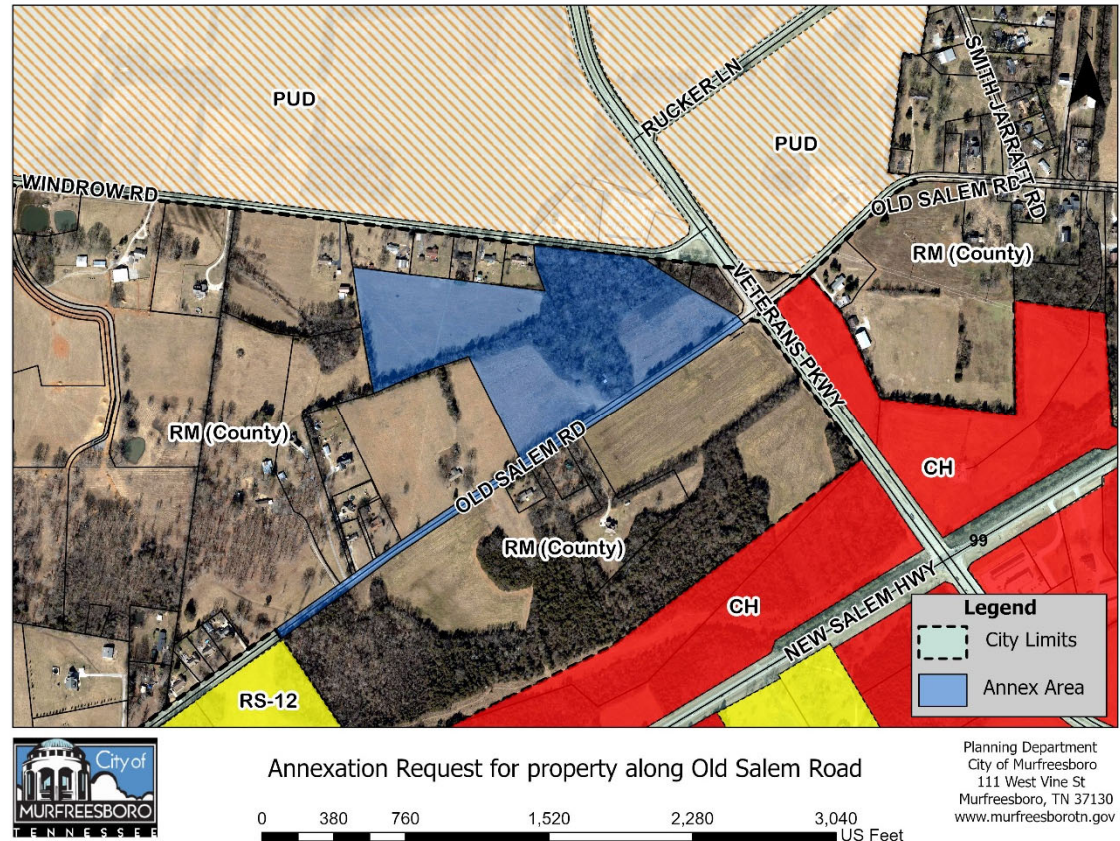
The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern and southern boundaries, as depicted on the adjacent map.



SURROUNDING ZONING

The study area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road west of Veterans Parkway and approximately 3,000 linear feet of Old Salem Road right-of-way (ROW). The subject parcel is zoned RM (Medium Density Residential) in the unincorporated county. There is a companion zoning application to rezone the subject parcel to a PRD (Planned Residential District; Old Salem PRD) designation.

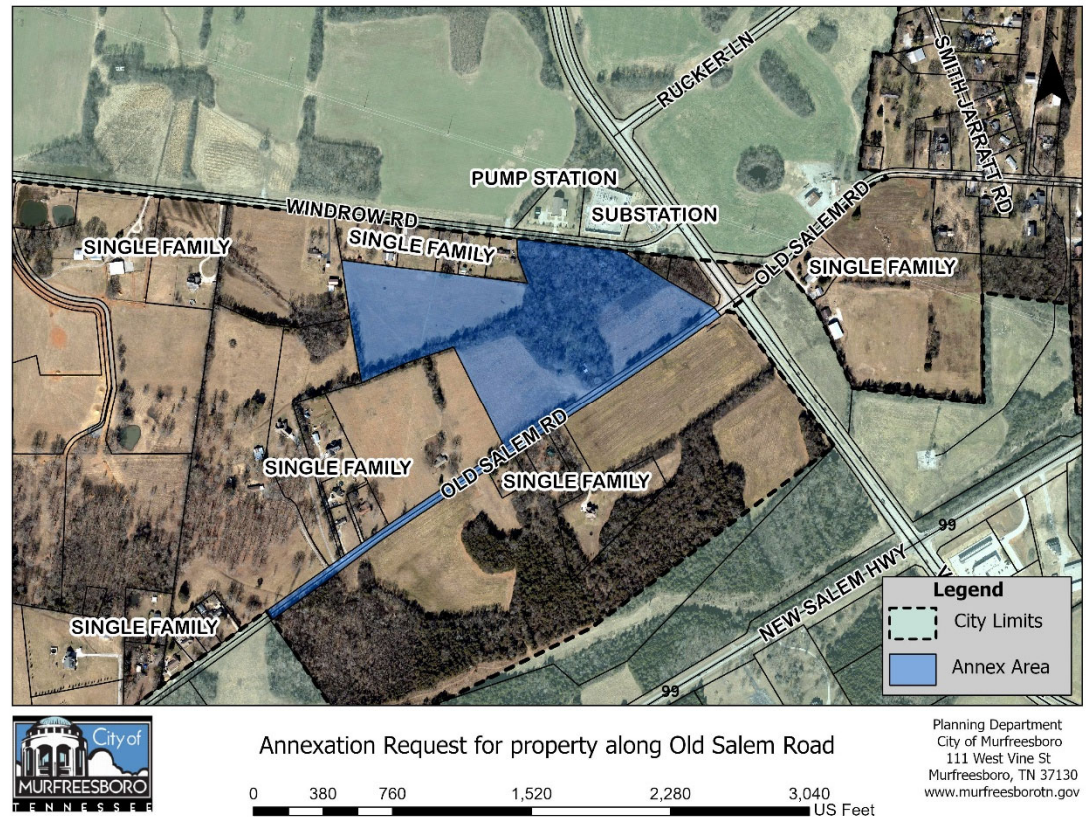
The surrounding properties are primarily residential and utility uses, with corresponding residential zoning classifications. To the north along Windrow Road, the property is zoned PUD (Marymont Springs PUD). Additional property to the north is located in unincorporated Rutherford County, along the south side of Windrow Road, and is zoned Medium Density Residential (RM). To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City but currently zoned Medium Density Residential (RM) in the county. Properties to the south and west, also in unincorporated Rutherford County, are zoned Medium Density Residential (RM).



SURROUNDING LAND USE

The study area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road west of Veterans Parkway and approximately 3,000 linear feet of Old Salem Road right-of-way (ROW).

The surrounding properties are primarily residential and utility uses. To the north along Windrow Road is primarily vacant but includes a CUD pump station and an MTE substation. Additional property to the north, located in unincorporated Rutherford County along the south side of Windrow Road, is developed with single-family detached homes. To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City. Properties to the south and west, also in unincorporated Rutherford County, are primarily developed with single-family detached homes.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Sherry Wade Metzler	115-034.00	27.9	\$202,700	\$0	\$50,675	\$482.73

These figures are for the property in its current state and assessed at the residential rate of 25 percent.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 2.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical facilities and capacity along Old Salem Road and Windrow Road to continue to serve the property upon annexation.

STREET LIGHTING

Streetlights do not currently exist along the Old Salem Road or Windrow Road right-of-way. Streetlights will be installed within the development by the developer if new public streets are constructed. If the City of Murfreesboro wishes to add streetlights along the Old Salem Road or Windrow Road public right-of-way, the Transportation Department would need to make the request to MTE, but at the present time, there are no plans to do so.

SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service for the existing house upon the effective date of annexation, as well as brush/debris removal every two to three weeks. In its current state, no additional equipment or manpower will be needed to serve the study area. Upon development as a residential subdivision, a solid waste cart for each dwelling (\$69.66 each) will be needed to serve the study area.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the Salem Elementary School zone, and it would become part of this school's zoned area if annexed. Any elementary school-aged children residing on the property once developed will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have no impact on the school system, since it is currently undeveloped. If developed with up thirty-two (32) single-family attached residential homes and sixty-six (66) single-family detached residential homes (98 total new residences), MCS would anticipate adding approximately 25 students to the school population. upon full buildout. MCS and the City will continue to monitor new growth in the district, including the Salem school zone, in order to evaluate the need for a new elementary school in the future.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations. 8

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 3,000 linear feet of Old Salem Road right-of-way. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro, including all routine maintenance. Based on an estimated 15-year re-pavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$4,500 for this roadway. The study area has access to both Windrow Road and Old Salem Road. As substandard streets, any development along these roadways will need to dedicate appropriate ROW and participate in the upgrade of the roadways to current City standards. Old Salem Road and Windrow Road within the study area are both on the City's Major Transportation Plan to be upgraded to a 3-lane section. Any new connections to these roadways must be approved by the City Engineer. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTATION

The study area is served by both Old Salem Road and Windrow Road. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Old Salem Road to be operating at a Level of Service C and Windrow Road to be operating at a Level of Service B in the study area. The 2040 Level of Service Model indicates that Old Salem Road and Windrow Road operate at a Level of Service F without the proposed improvements in the 2040 plan.

TRAFFIC INFRASTRUCTURE

The study area contains two (2) traffic control signs. These include a post-mounted speed limit sign and a post-mounted stop sign. The street name sign will need to be changed out to our standard city green upon annexation. The annexation study area contains approximately 3,000 linear feet of roadway. This would include 3,000 feet of Double Solid Yellow Line (DSYL) striping and 5,932 feet of Single White Solid Line (SSWL) striping.

Based on a replacement cycle of 5 years for pavement markings and 10 years for traffic signs, the annualized traffic infrastructure maintenance costs are estimated at \$3,608.20 for this roadway.

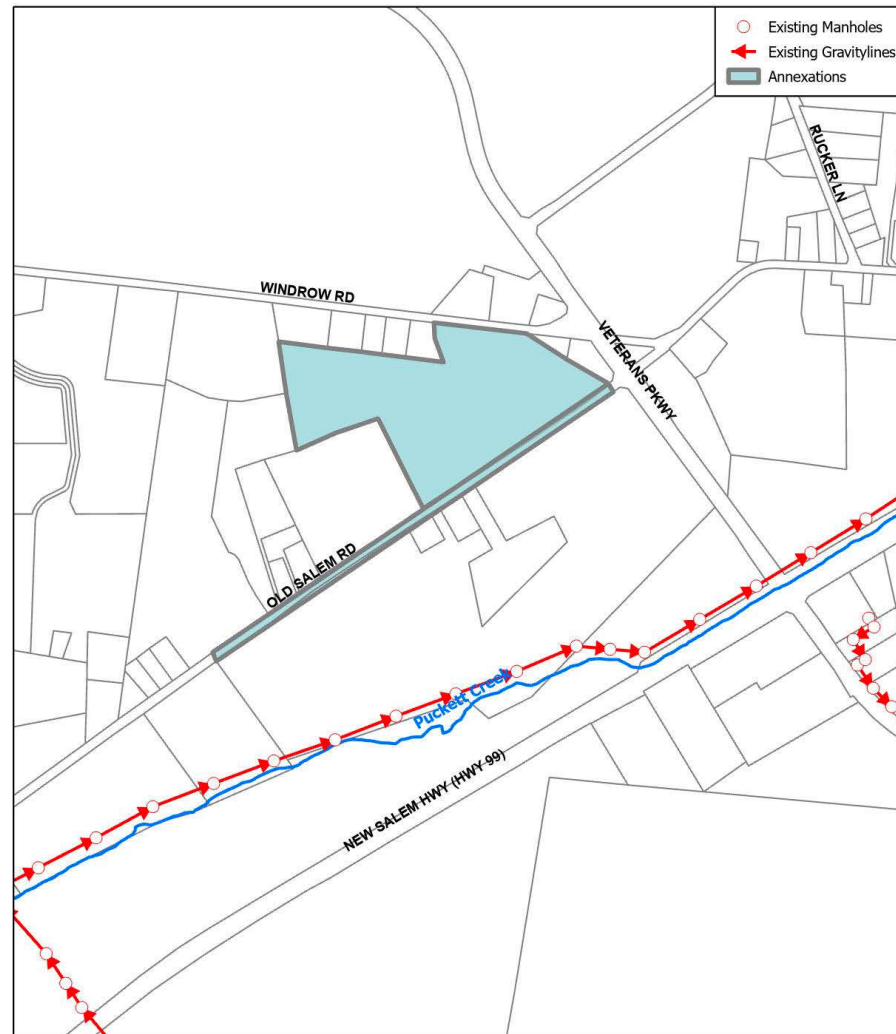
SANITARY SEWER SERVICE

Currently sanitary sewer is not available to the properties in question. Should the property remain undeveloped, the existing home would continue to utilize the existing septic system.

With regard to public sanitary sewer service for the development, the owner/developer would be required to acquire an off-site sewer easement from a neighbor to the south/southeast, to connect to the existing sewer interceptor just north of and parallel to Puckett Creek and extend gravity sewer throughout the development. In addition, the owner/developer, per our Policies and Procedures, may be required to extend gravity sewer to the limits of construction and to one or more neighboring properties to allow for future connections.

This property is within the Overall Creek and Rockvale Sanitary Sewer Assessment Districts and will be charged \$1,000 and \$1550 per single-family unit (sfu) respectively in addition to the standard connection fee of \$2550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.



MURFREESBORO WATER RESOURCES DEPARTMENT

Annexation Request Old Salem and Windrow Road

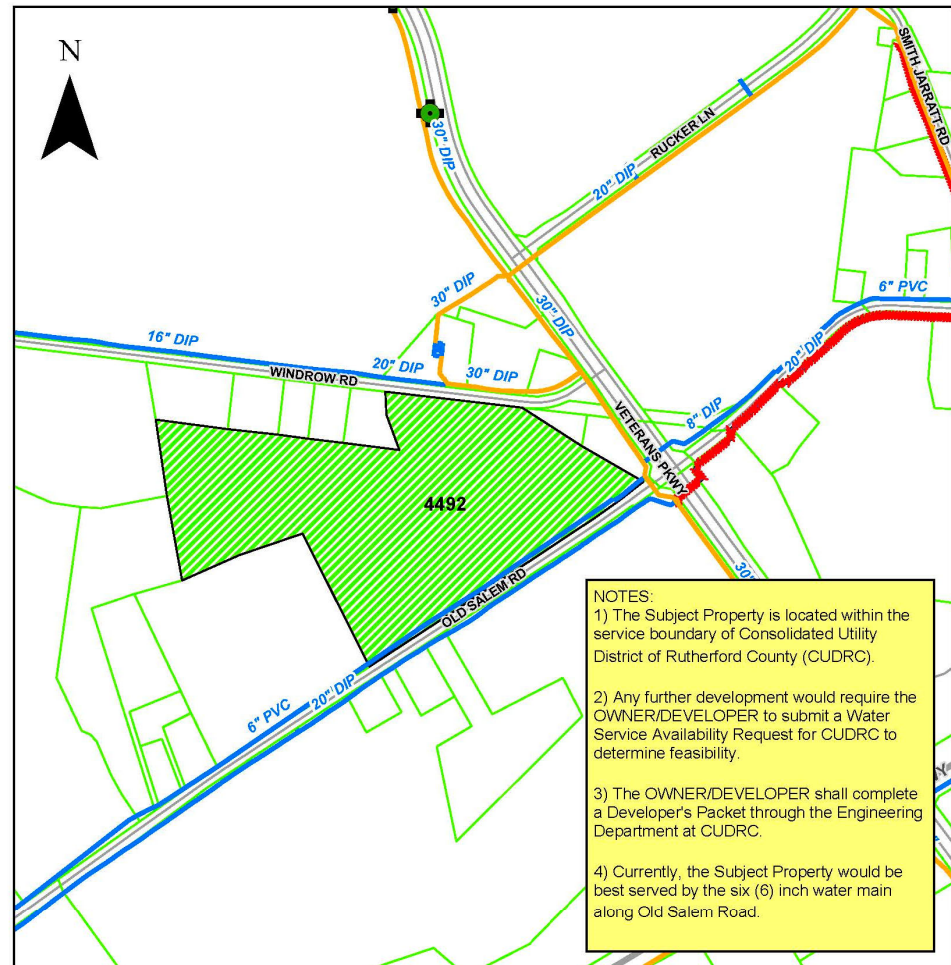


WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. The study area and existing house are served by CUD water through the six (6) inch water main along Old Salem Road.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

ANNEXATION REQUEST 4492 OLD SALEM RD TAX MAP 115 PARCEL 03400



- Subject Property
- CUD HYDRANT
- CUD HYDRANT
- CUD INACTIVE WATER MAIN
- CUD WATER MAIN
- CUD WATER MAIN

AUGUST 25, 2025

TAX MAP: 115
PARCEL: 03400

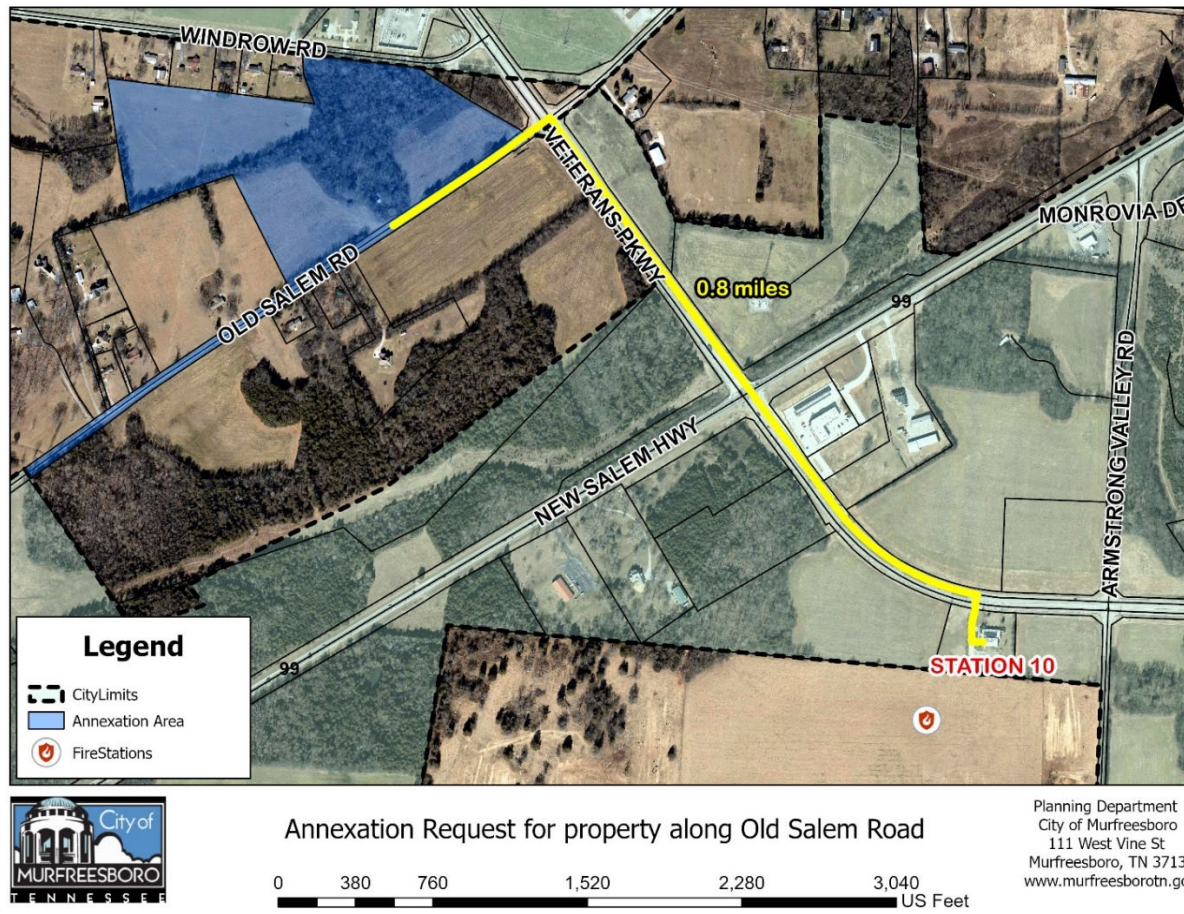


0 250 500 1,000
US Feet

FIRE AND EMERGENCY SERVICE

The study area contains vacant land, except for a vacant single-family dwelling. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

Currently the study area is located 0.8 miles from Fire Station #10 (2563 Veterans Parkway). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.

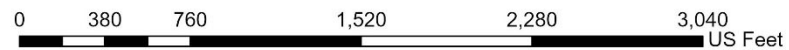


FLOODWAY

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



Annexation Request for property along Old Salem Road



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the rights-of-way of Old Salem Road and Windrow Road. The annualized operation and maintenance cost for these systems is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

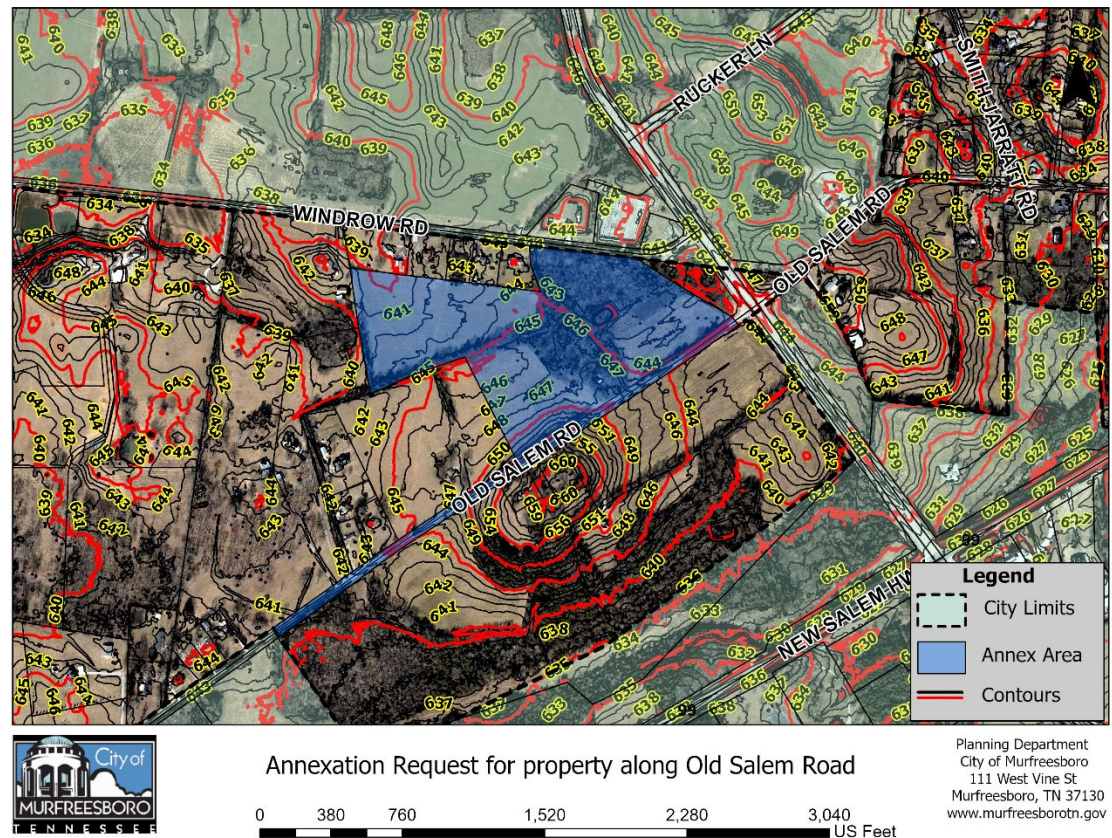
Regional Drainage Conditions

The study area generally drains north to the Windrow Road right-of-way. Review of the 2010 flood ortho shows portions of the study area to hold water for 2 days after a rain event.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area is currently vacant and will not generate revenue for the Stormwater Utility Fee.

The study area has a proposed zoning of PRD with 66 single-family detached homes and 32 single-family attached homes. Based on this development scenario, it is anticipated that the site will generate approximately \$3,822 in revenue per year into the Stormwater Utility Fund upon full build out.



PROPERTY AND DEVELOPMENT

Old Salem Road and Windrow Road are on the City's Major Transportation Plan. ROW dedication and participation in roadway improvements will be required with development.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 5, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 5.b. Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Aubrey PRD, formerly known as Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant.**

Patterson Company, LLC, the applicant, is requesting zoning the subject property simultaneous with annexation to PRD (Planned Residential District – Old Salem PRD). The property has an abandoned detached single-family home on approximately 27.9 acres located along the north side of Old Salem Road west of Veterans Parkway, identified as Tax Map 115, Parcel 34.00.



Adjacent Land Use and Zoning

The surrounding properties are primarily residential and utility uses, with corresponding residential zoning classifications. To the north along Windrow Road, the property is zoned PUD (Marymont Springs PUD – Planned Unit District) and includes a CUD (Consolidated Utility District) pump station and an MTE (Middle Tennessee Electric) substation. Additional property to the north, located in unincorporated Rutherford County along the south side of Windrow Road, is zoned Medium Density Residential (RM) and developed with single-family detached

homes. To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City. Properties to the south and west, also in unincorporated Rutherford County and primarily developed with single-family detached homes, are zoned Medium Density Residential (RM).

Old Salem PRD

The proposed development will consist of 66 detached single-family homes on individual lots of record and 32 attached single-family dwellings within a horizontal property regime. Detached homes will be located on lots with a minimum size of 6,000 square feet and a minimum lot width of 50 feet, with setbacks of 35 feet to the garage and 25 feet to a non-garage front, 25 feet on secondary fronts, 5 feet on the side, and 20 feet at the rear. Attached dwellings will provide a minimum 20-foot front setback, 15-foot secondary front setback, 10 feet between buildings, and a 25-foot rear setback from the garage to the alley curb. All homes will be limited to two stories and 35 feet in height, with detached homes offering a minimum of 1,600 square feet and three bedrooms, and attached homes providing a minimum of 1,300 square feet and two bedrooms. Architectural standards will include covered front entries on detached homes, rear-entry garages for attached homes, and a consistent material palette of brick, stone, and fiber cement siding on all sides, with a minimum 24-inch brick or stone water table on all four sides and vinyl trim and soffits for both attached and detached homes. Parking will include driveways for detached homes accommodating four spaces each, and garages and driveways for attached homes, with a request to allow 42 garage spaces to count toward the parking requirement. A total of 40 guest spaces will be provided throughout the community in proximity to the tot lot, fitness trail, mail kiosk, and attached dwellings. Approximately 8.25 acres, or 30% of the site, will be preserved as open space, including stormwater management areas, wetlands, landscaped buffers, and recreational amenities. These amenities will include a tot lot, walking and fitness trail, and landscape buffers along Old Salem Road and the northern boundary. Four exceptions are proposed with this PRD compared to the RS-6 district standards for detached homes and the RS-A Type 2 standards for attached homes: a reduction in the secondary front setback for detached homes from 35 feet to 25 feet, a reduction in the front setback for attached homes from 35 feet to 20 feet, a reduction in the secondary front setback for attached homes from 35 feet to 15 feet, and a reduction in required parking for attached homes from 106 spaces to 64 spaces, with CCR restrictions ensuring garage use for parking. One exception is requested from the Street Specification to reduce the right-of-way with on-street parking from 42 ft to 33 ft. The on-street parking areas are required to be maintained by the HOA through language in the PRD.

Lot Size and setbacks:

- 66 detached single-family lots
 - with a minimum lot size of 6,000 square feet

- with a minimum lot width of 50 feet
- Setbacks
 - Front – 35 ft to garage and 25 ft to non-garage front
 - Secondary front – 25 ft
 - An exception is required for detached homes to reduce the secondary front setback from 35 ft. to 25 ft. when compared to the RS-6 zoning district.
 - Side – 5 ft
 - Rear – 20 ft
- 32 attached single-family dwellings
 - Will be HPR
 - Setbacks
 - Front – 20 ft
 - An exception is required for attached homes to reduce the front setback from 35 ft. to 20 ft. when compared to the RS-A type 2 zoning district.
 - Secondary front – 15 ft
 - An exception is required for attached homes to reduce the secondary front setback from 35 ft. to 15 ft. when compared to the RS-A type 2 zoning district.
 - Between buildings (side to side) – 10 ft
 - Rear setback of main building and garage to face of alley curb – 25'

Architecture and Building Materials:

- Example elevations have been provided in the pattern book for both attached and detached homes.
- Attached homes will:
 - Not exceed 35 ft in height;
 - Be 1 or 2 stories;
 - Have minimum one-car rear entry garages;
 - Contain a minimum of 2 bedrooms;
 - Will be a minimum 1,300 square-feet.
- Detached homes will:
 - Not exceed 35 ft in height;
 - Be 1 or 2 stories;
 - Have covered front entries;
 - Have optional back patios;
 - Have two-car front-entry garages;
 - Contain a minimum of 3 bedrooms;

- Will be a minimum 1,600 square-feet.
- Building Materials (attached and detached)
 - All sides minimum of 24-inch brick or stone water table
 - Front – Brick, Stone, and Fiber Cement Board
 - Side – Brick, Stone, and Fiber Cement Board
 - Rear – Brick, Stone, and Fiber Cement Board
 - Soffit & Trim – Vinyl

Parking:

- Single-family detached
 - Driveway
 - Will accommodate 4 parking spaces.
- Single-family attached
 - Driveway
 - 64 spaces provided
 - 106 spaces required
 - Requesting an exception to allow garage parking to count toward required parking spaces
 - Requesting 42 garage spaces count as required parking
 - Providing 64 garage spaces or 2 per unit
 - CCRs will be required to restrict use of garages so as not to preclude vehicular parking in the garages.
- Amenity and Guest Parking
 - Providing 40 total guest spaces
 - 3 spaces north of attached units with tot lot and fitness trail access
 - 5 spaces between 4 northern single-family attached buildings.
 - 10 spaces south of attached units with mail kiosk
 - 22 spaces along the frontage of the townhomes (single family attached)

Open Space and Amenities:

There will be 8.25 acres of open space (30%), including the stormwater management areas; amenities; preserved wetlands, landscape buffers along the northern property line and along Old Salem Road; mail kiosk; and associated parking. The landscaping and amenities will include the following:

- Landscape Buffer
 - 12-foot-wide landscape buffer along the northern boundary
 - Type C Buffer
 - 20- foot-wide landscape yard along Old Salem Road
 - Planted with Type A buffer plantings
- Tot lot

- Walking and fitness trail

Exceptions:

The PRD includes four exceptions from the Zoning Ordinance and one from the Street Specifications.

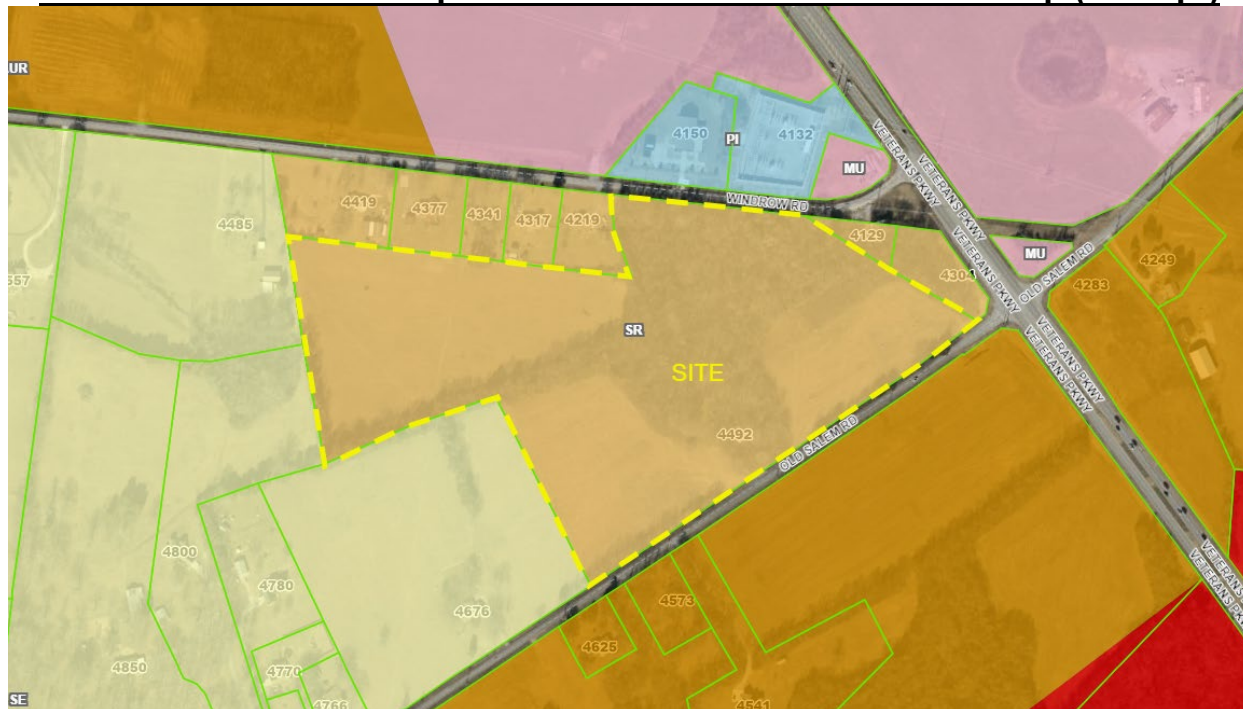
- The proposed secondary (corner) front setback for single-family detached dwellings is being requested to be reduced from 35 feet to 25 feet. A 10-foot reduction when compared to the RS-6 zoning district.
- The proposed front setback for single-family attached dwellings is being requested to be reduced from 35 feet to 20 feet. A 15-foot reduction when compared to the RS-A type 2 zoning district.
- The proposed secondary (corner) front setback for single-family attached dwellings is being requested to be reduced from 35 feet to 15 feet. A 20-foot reduction when compared to the RS-A type 2 zoning district.
- The required driveway parking is requested to be reduced in the single-family attached area from 106 spaces to 64 spaces. The PRD does state that the CCRs will restrict garages to parking and size specified in Section 26 of the Zoning Ordinance to accommodate the additional required parking.
- The right-of-way along the frontage of the attached homes is requested to be reduced from a 42 ft right-of-way to 33 ft right-of-way as required in the Street Specifications. This was at the request of the Public Infrastructure team to put parking on private property and the PRD states that maintenance of the on-street parking is the responsibility of the HOA. Sidewalks will be provided, in easements, along these streets.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Suburban Residential' (SR), which is considered the most appropriate land use character, as indicated on the map below. The SR designation supports a density range of 1.0 to 4.0 dwelling units per acre. The Comprehensive Plan recommends RS-15, RS-12, RS-10, and PRD zoning for these districts, with minimum lot sizes between 10,000 and 15,000 square feet. However, PRD zoning allows for cluster development, where smaller lot sizes are permitted as long as the overall density limit is met, and the remaining land is preserved as common areas and open space. As proposed, Aubrey/Old Salem PRD has a density of 3.51 units per acre, which aligns with the Comprehensive Plan's recommendation. The PRD allows a minimum lot size of 6,000 square feet and attached homes, characteristics more consistent with the 'Auto Urban Residential' (AUR) land use designation. The Planning Commission will need to determine whether the zoning request is, in its view, consistent with the SR land use character, which is intended to permit cluster development in a PRD. While the cluster development language references smaller lot sizes, it does not

specifically address attached homes as a tool for achieving cluster development.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

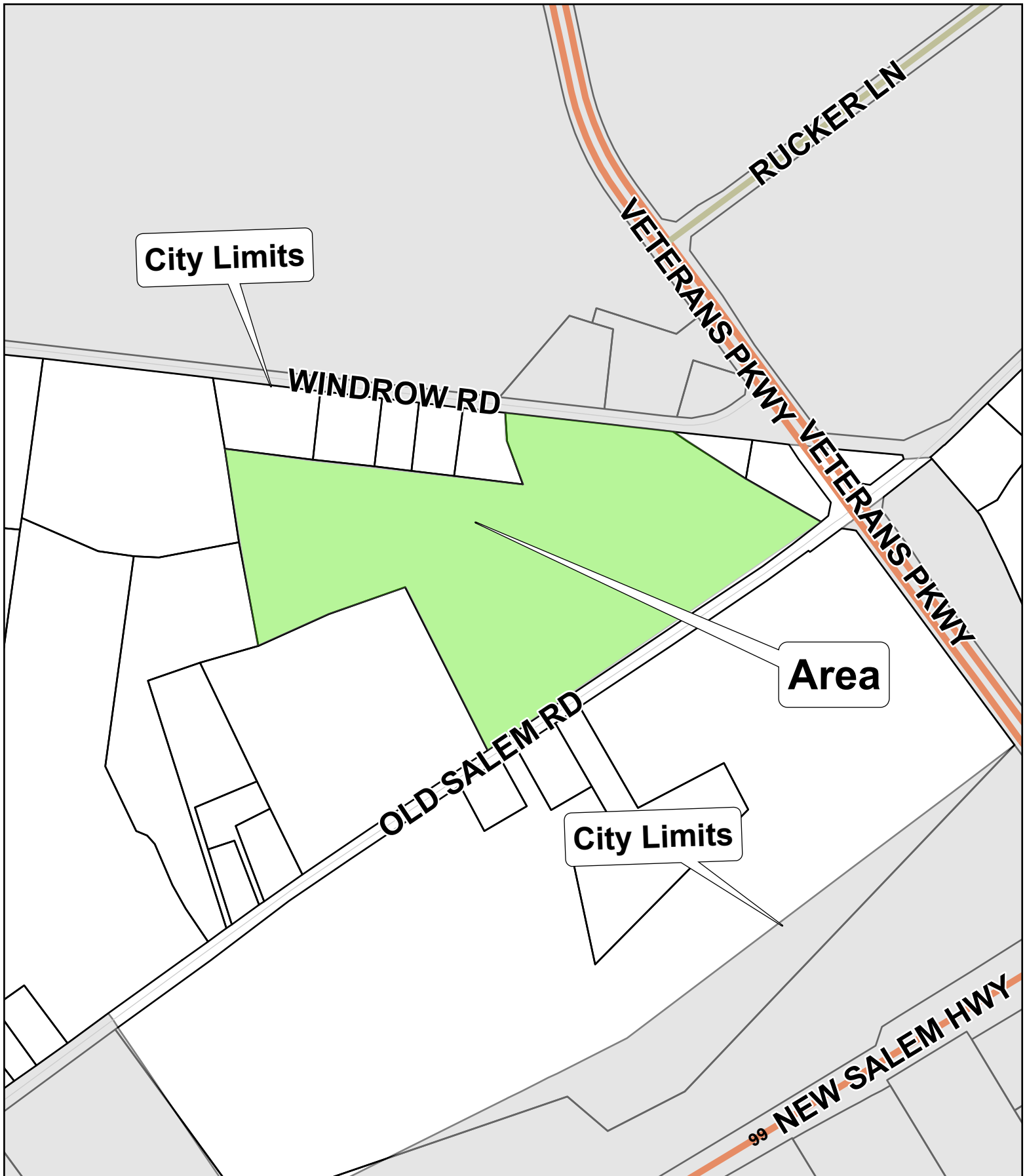
1. The rezoning request is consistent with the density recommendations of the Future Land Use Map designation of 'Suburban Residential' (SR) by providing a development with a net density of less than 4.0 units per acre.
2. The proposed Old Salem PRD is compatible with surrounding residential uses, offering detached and attached single-family homes that provide a transition to existing single-family residential uses in the area.
3. The PRD supports efficient use of underdeveloped land and provides a diverse mix of housing types, accommodating different household needs while contributing to the orderly growth of the area.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map
Non-ortho maps
Pattern Book



**Zoning request for property along
Old Salem Road and Windrow Road
PRD (Old Salem PRD)
simultaneous with annexation**

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Zoning request for property along
Old Salem Road and Windrow Road
PRD (Old Salem PRD)
simultaneous with annexation**

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

AUBREY

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) TO A PLANNED RESIDENTIAL DISTRICT (PRD)
Murfreesboro, Tennessee



Ben Young

SEC, Inc.

SEC Project #23682



Initial Submittal

August 14th, 2025

Resubmitted

September 3rd, 2025 for the September 17, 2025
Planning Commission Workshop

Resubmitted

October 28th, 2025 for the November 5th, 2025
Planning Commission Public Hearing



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129



Company Name: Patterson Company, LLC
Attn: Jackson Nichols
Phone: 615-812-9844
Email: jnichols@buypatterson.com

1645 Westgate Circle
Brentwood, TN 37027

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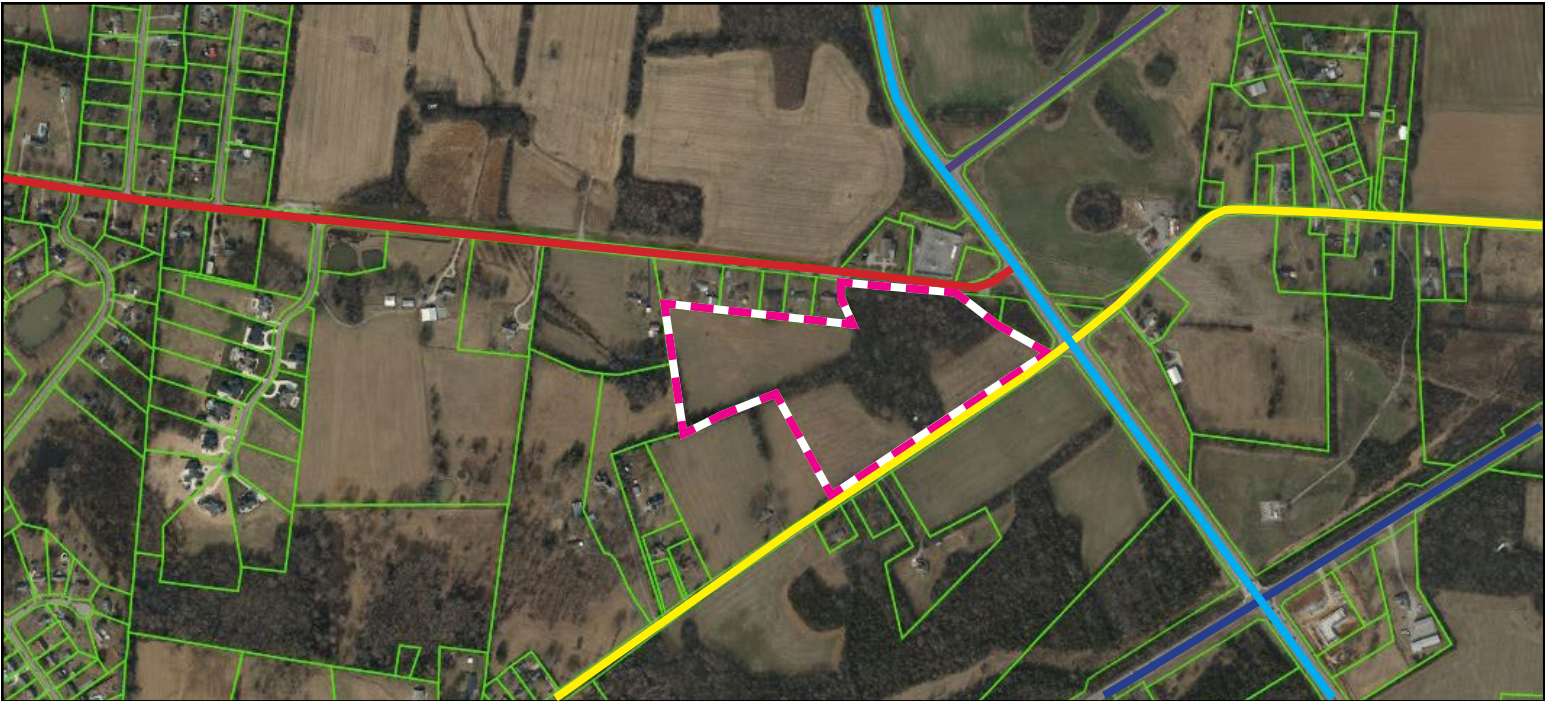
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AERIAL PHOTOGRAPH

Not To Scale

- Veterans Parkway
- Windrow Road
- New Salem Highway
- Old Salem Road
- Rucker Lane

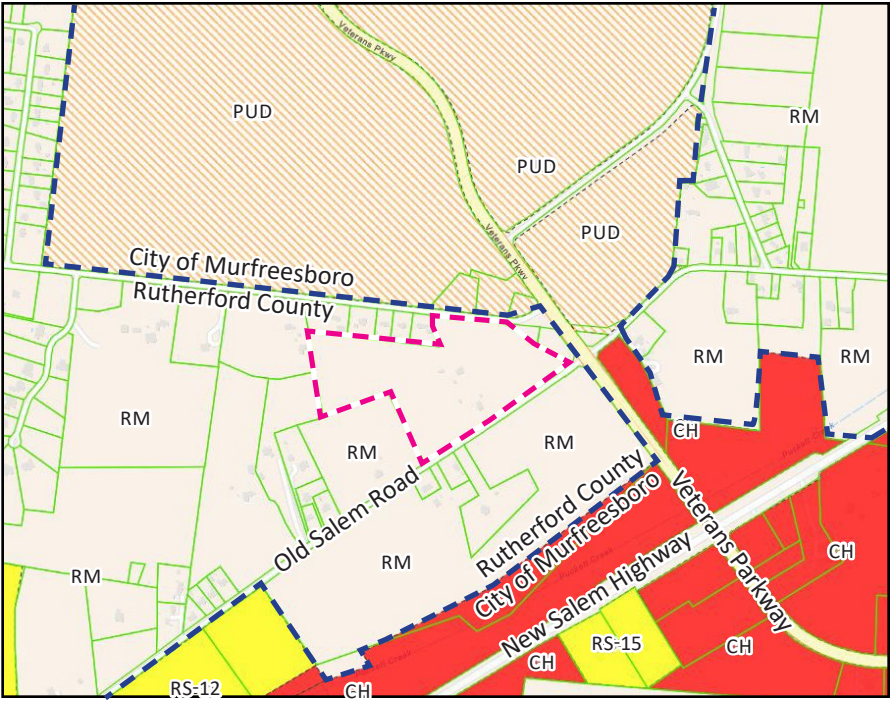


Patterson Company respectfully requests annexation and rezoning of the Sherry Wade Metzler property at 4492 Old Salem Road from Medium Density Residential - (RM) in Rutherford County to Planned Residential District (PRD) in the City of Murfreesboro to create AUBREY. The site is identified as Parcel 34.00 (27.50 acres) of Tax Map 115.

The PRD development will consist of 98 dwelling units on 27.50 acres for an overall density of 3.56 dwelling units per acres. AUBREY will consist of 66 single-family detached lots on approximately 24.96 acres for a density of 2.64 units/acres and 32 single-family attached townhomes on approximately 2.54 acres for a density of 12.59 units/acres.

The development's single-family detached homes will be a minimum of 1,600 sf. and contain a minimum of 2 bedrooms. Each home will have a two car front-entry garage. Minimum lot size will be 6,000 sf. The exterior elevations of the homes will be constructed with a mixture of masonry materials to add quality and character to the community.

The proposed single-family attached townhomes will be a minimum of 1,300 sf., and will have a minimum of 2 bedrooms. Each townhome unit will have a minimum two car rear-entry garage. The townhomes will have elevations constructed with a mixture of masonry materials to add quality and character to the community. The entrance onto Old Salem Road will incorporate signage constructed of materials and anchored by landscaping. H.O.A. will maintain all common areas and amenities.



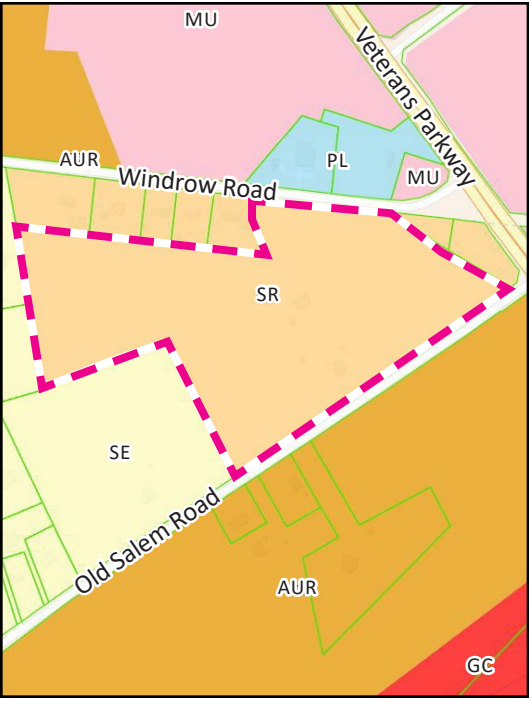
ZONING MAP

- RS-12 Residential Single-Family (RS-12)
- RS-15 Residential Single-Family (RS-15)
- CH Commercial Highway (CH)
- RM Medium Density Residential (RM-Rutherford County)
- PUD Planned Unit District (PUD)
- Murfreesboro City Limits

The surrounding area consists of a mixture of zoning types and land uses. The land to the north is zoned PUD in the City of Murfreesboro. The land to the east, west and south is zoned RM in Rutherford County. The majority of the land surrounding this development is zoned for residential classifications with a portion of commercial land to the southeast along Old Salem Highway, zoned for Commercial Highway (CH) .

The proposed Murfreesboro Future Land Use Map Amendment designates this site as Suburban Residential (SR). The SR category suggests small acreages, large lot estates or clustered small lots that surround a common open space, characterized by enhanced open space and amenity packages focusing on pedestrian, bicycle and greenway facilities. The SR land use is defined by single-family detached homes featuring larger front yards/setbacks, and with a density range of 1.0 to 4.0 units/acre and compatible zoning districts of RS-15, RS-12, RS-10, PRD, and Public Institutional Land uses.

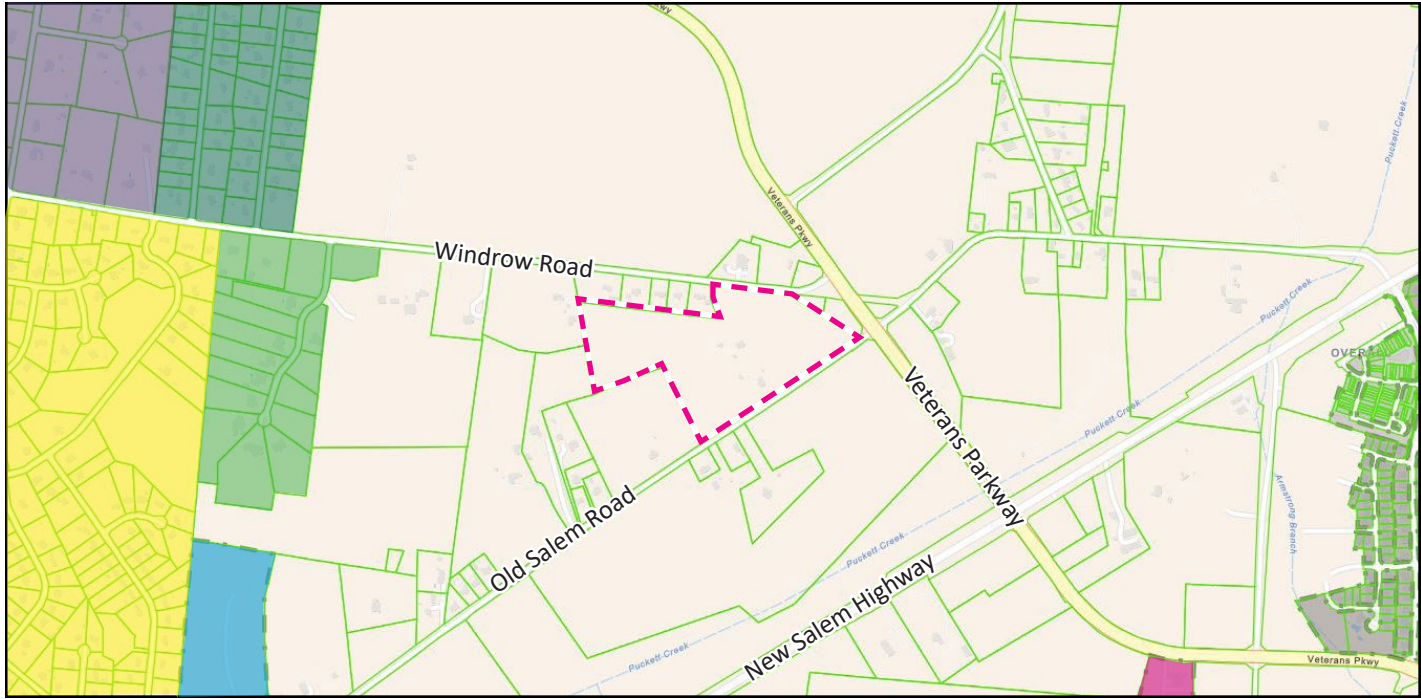
The proposed development aligns with several FLUM recommendations, including density, open space, accommodating amenity package, allowable percentage of single-family attached units and their coverage, enhanced landscape at entrances and two connection points to Old Salem road. Through appropriate density, thoughtful open spaces, and amenities such as a tot lot and fitness trails, the project creates a welcoming environment to a wide spectrum of Middle Tennessee's population.



2035 FLUM

Not To Scale





SUBDIVISION MAP

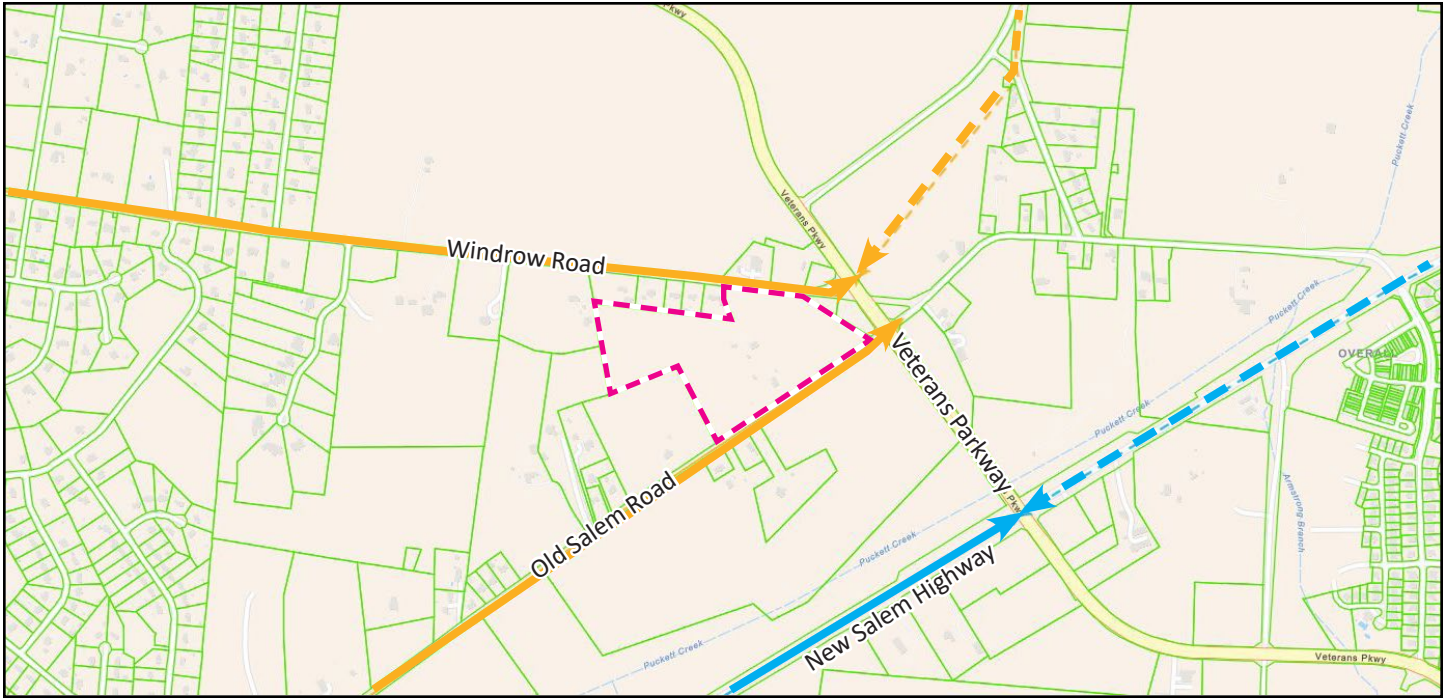
Not To Scale

- | | | |
|-----------------|---------------------------|-------------|
| Gilley | Trotter's Lane | Weston Park |
| Blackberry Cove | Salem Downs | |
| New Salem | Murfreesboro Fire Station | |



AUBREY is surrounded by a mixture of residential subdivisions and agricultural properties. Majority of subdivisions are located to the west of the site which include Blackberry Cove, New Salem, Trotter's Lane, Salem Downs and the Gilley Property. These subdivisions consist of one to two story single-family detached homes with garages on lot sizes of approximately 100' x 250' or roughly 25,000 sqft. There primary point of ingress/egress to the development in along Windrow road.

Weston Park Subdivision located to the east consists of two story single-family detached homes with garages on lots sizes of approximately 55' x 110' or roughly 6,000 sqft. and includes townhomes. The exterior elevations consist of primarily vinyl siding with brick along the front elevation on the first floor for most units. There is a primary point of ingress/egress to the development from Veterans Parkway and New Salem Highway.



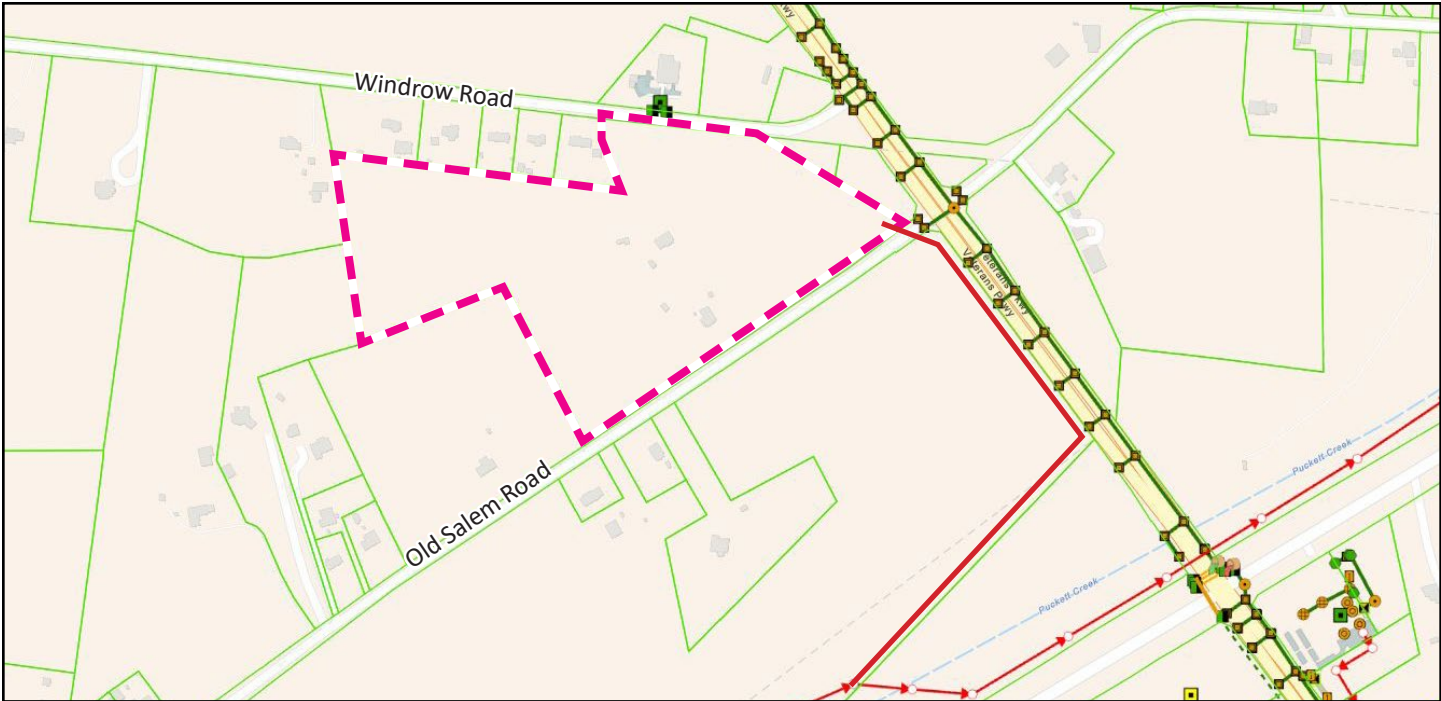
2040 MAJOR TRANSPORTATION PLAN

Not To Scale

- | | |
|--|--------------------------------|
| | 3 LANE ROADWAY |
| | 3 LANE RECOMMENDED IMPROVEMENT |
| | 5 LANE ROADWAY |
| | 5 LANE RECOMMENDED IMPROVEMENT |

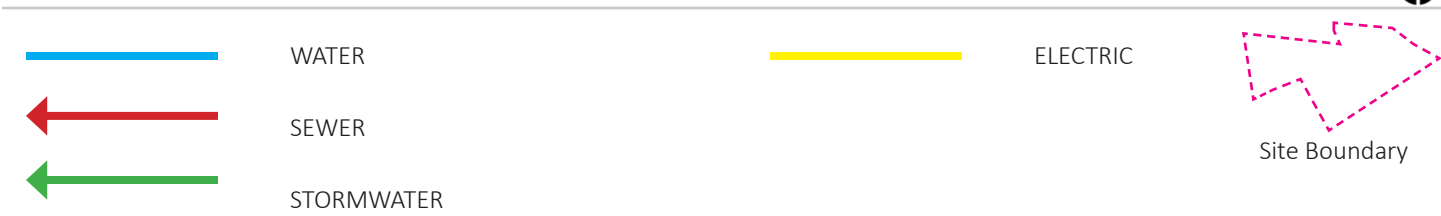


The southern portion of this property has/will have access to the existing public right-of-way of Old Salem road through two entrances. This section of Old Salem road is on the City of Murfreesboro's 2040 Major Transportation Plan and is recommended to be improved from a two lane roadway to a three lane roadway.



UTILITY MAP

Not To Scale



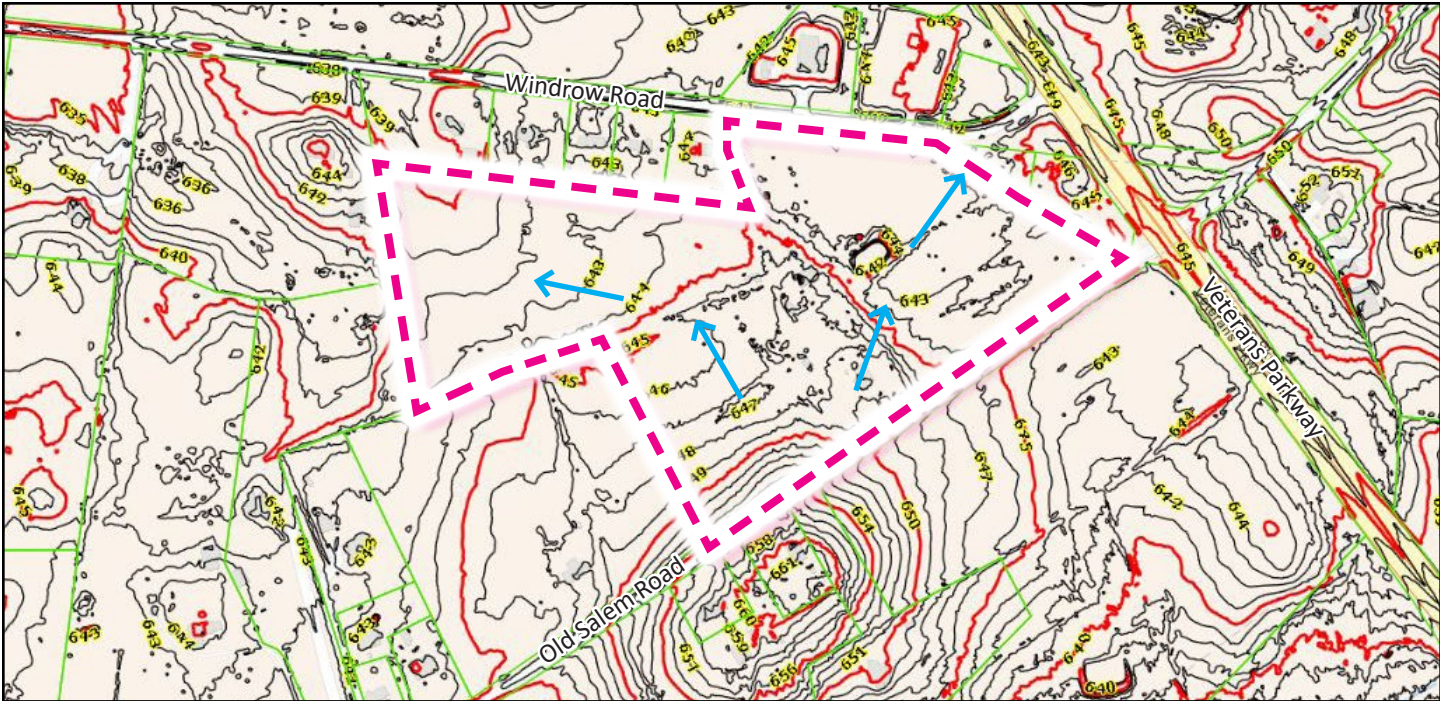
Water service will be provided by the Consolidated Utility District. There is an existing 30 inch ductile iron water main along Veterans Parkway with a 12 inch water main connection for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 15" iron ductile gravity sewer line along New Salem Highway. This sewer line will extend through the southeast side of the Matthew Jarratt property (Parcel 28.00 of Tax Map 115) and continues along Veteran Parkway. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. Existing 15" line shall be up-sized pending the MWRD hydraulic study. The proposed development will fall within its sewer allocation with the proposed zoning changes.

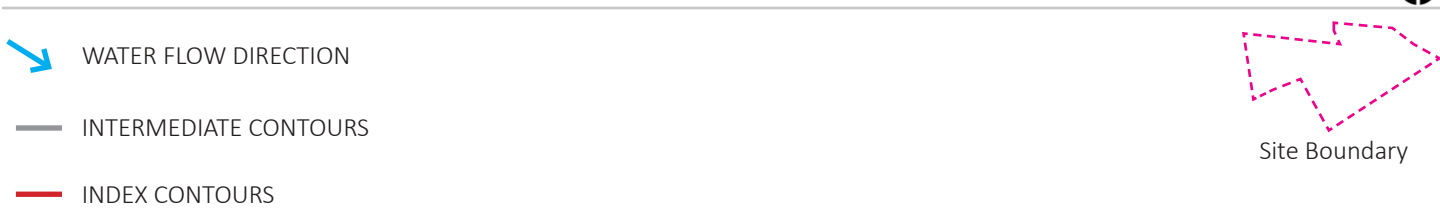


Electric service will be provided by Middle Tennessee Electric. Service will be extended from Old Salem road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the southern corner of the property. From this high point, the property drains towards the northeast and the northwest. Stormwater that exists within the site travels north before ultimately draining into Overall Creek.

No portions of this property are within a designated floodway or floodplain per FEMA Flood Panel 47149C0265H eff. 1/5/2007.

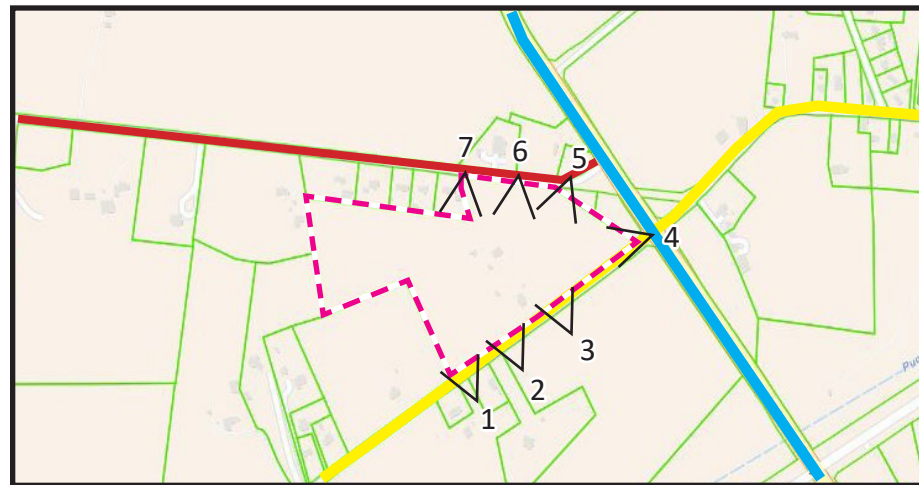


PHOTO DIRECTION MAP

Not To Scale

- Veterans Parkway
- Old Salem Road
- Windrow Road
- Site Boundary



View of Existing Treeline Looking North from Old Salem Road



View of Existing Field Looking North from Old Salem Road



View of Existing Field Looking North from Old Salem Road



View of Existing Field Looking Northwest from Old Salem Road & Veterans Parkway



View of Existing Treeline Looking South From Old Windrow Road & Veterans Parkway



View of Existing Treeline Looking South From Old Windrow



View of Existing Treeline Looking South From Old Windrow

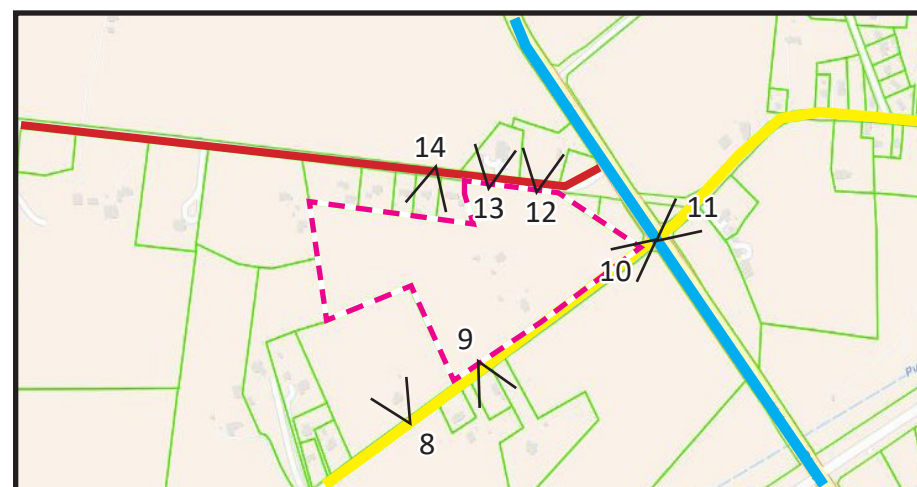


PHOTO DIRECTION MAP

Not To Scale



View of Adjacent Residential Home Looking North From Old Salem Road



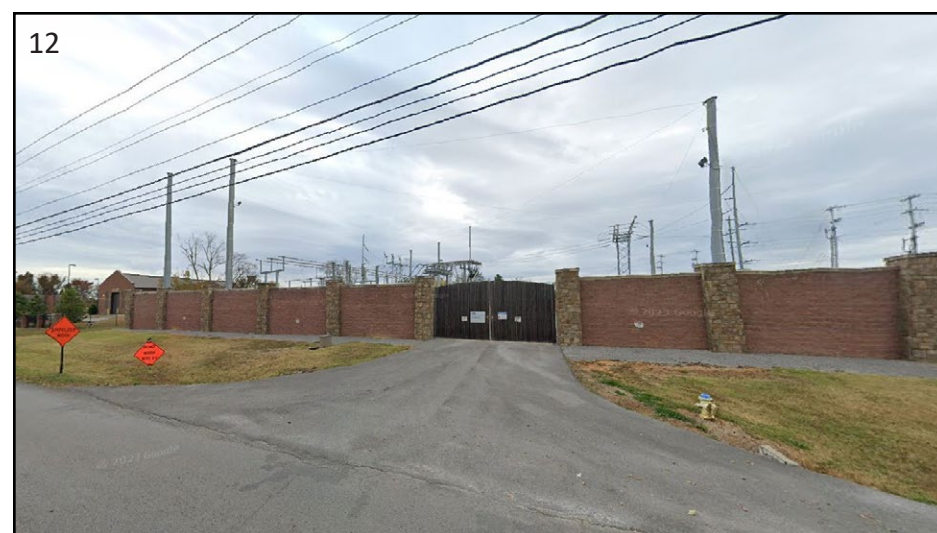
View of Adjacent Residential Home Looking South From Old Salem Road



View of Old Salem Road Looking West from Veterans Parkway



View of Old Salem Road Looking East from Veterans Parkway



View of Existing MTE Power Station Looking North From Windrow Road



View of Existing Pump Station Looking North From Windrow Road



View of Adjacent Residential Home Looking South From Windrow Road

OVERALL SITE DATA:

Total Land Area: ±27.50 Acres
Total Single-Family Detached Units: 66 Units (67%)
Total Single-Family Attached Units: 32 Units (33%)
Total Number of Units: 98 Units
Density: 98 Units/27.50 Acres = ±3.56 Units/Acre

Required Open Space: ±5.50 Acres (20%)
Min. Provided Open Space: ±8.25 Acres (30%)
Required Formal Open Space(2.54 x5%): ±0.13 Acres (5%)
Provided Formal Open Space: ±0.13 Acres (5%)

Provided Detention: ±2.28 Acres (8%)
Length of New Roadway: ±3,215 Linear Feet
Length of New Alley: ±458 Linear Feet

Single-Family Detached Lots Parking Requirements

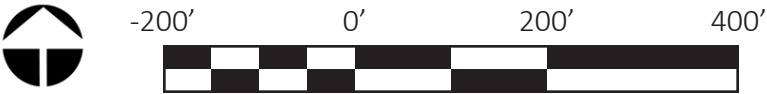
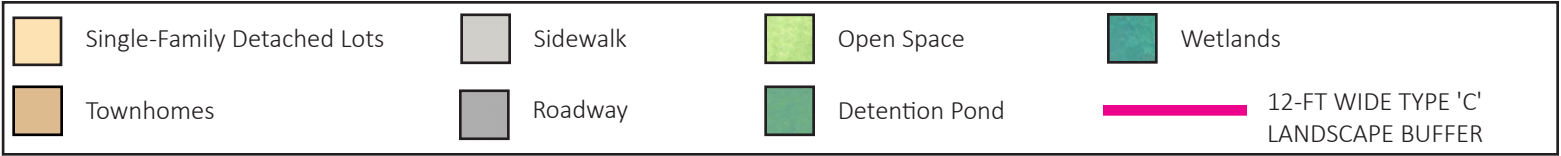
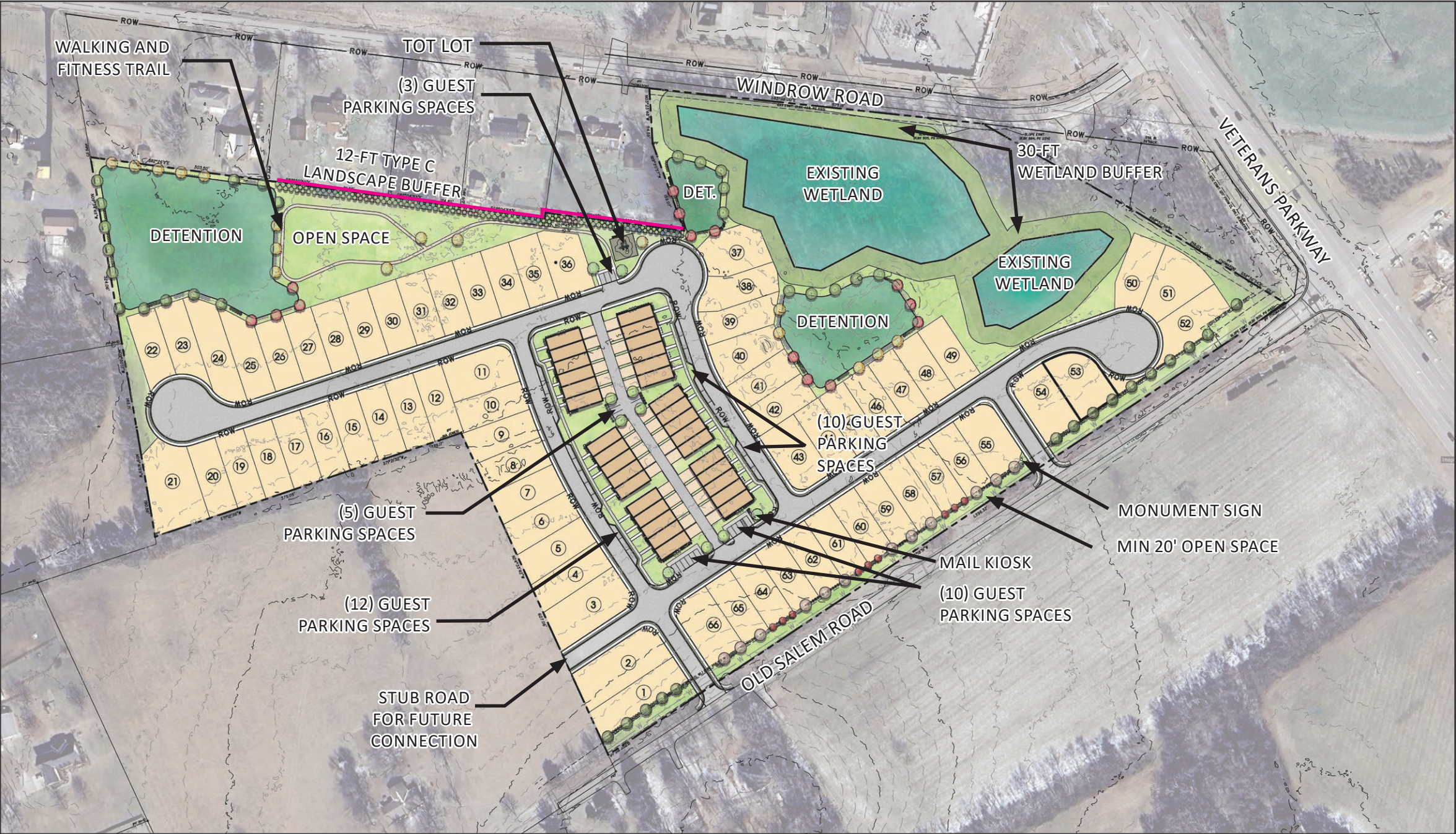
Req'd Parking (66 x 4 Spaces/Units): 264 Spaces

Provided Garage Spaces (2-Car Garage/Unit): 132 Spaces
Provided Driveway Spaces: 264 Spaces
Total Parking Provided = 396 Spaces
Difference = +132 Spaces

Townhome Parking Requirements

Number of Bedrooms Per Unit: 3 Bedrooms
Req'd Parking (32 x 3.3 Spaces/Units): 106 Spaces

Provided Garage Spaces (2-Car Garage/Unit): 64 Spaces
Provided Driveway Spaces (2-Spaces/Unit): 64 Spaces
Provided Guest Parking Spaces: 40 Spaces
Total Parking Provided = 168 Spaces
Difference = +62 Spaces



Overall Development Standards For AUBREY:

- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the single-family attached and detached homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Each Townhome unit will be for purchase and sold via a Horizontal Property Regime.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned district if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned district.
- No home occupation shall be allowed to receive clients on site. This restriction shall remain in perpetuity, regardless of any amendments to the Murfreesboro Zoning Ordinance.
- The eastern entrance off of Old Salem Road will have signage constructed of materials and anchored by landscaping. Signage shall adhere to the Murfreesboro signage ordinances.
- Builders shall install sod and landscaping along all front and sides which face onto a private or public roadway.
- Driveways shall be a minimum of 16' wide.
- All above ground utilities and mechanical equipment (i.e. HVAC and transformers) to be screened via landscape or fencing
- All on-site utilities will be underground.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by the H.O.A. Board per the By-Laws
- HOA will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an H.O.A.
- Guest parking areas for the development shall be private and maintained by the H.O.A.
- Streets will be public with the Townhomes utilizing a private alley.
- ROWs that have Townhomes fronting onto them will utilize a modified 33' wide ROW to separate the proposed on-street parking. These on-street parking areas shall also be maintained by the HOA. See page 21 for typical street sections.
- Sidewalks will be provided on both sides of all public streets throughout the development to create a pedestrian friendly community.
- Sidewalks along the on-street parking in the typical 33' ROW shall be recorded in an easement.
- A 12-ft wide Type 'C' Landscape Buffer shall be installed along a portion of the northern perimeter of the development as shown, and shall be maintained by the H.O.A.
- Mail service will be provided via centralized mail kiosks.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- Decorative street lights will be coordinated with MTE at site plan level.



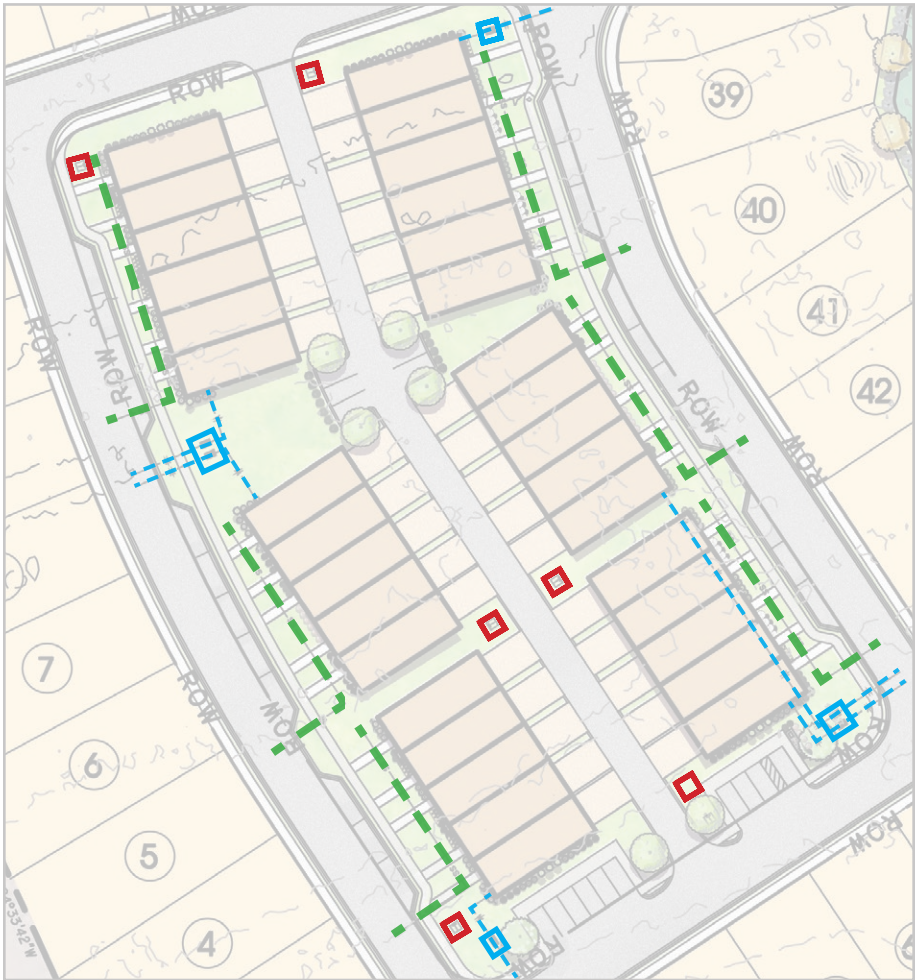
EXAMPLE OF ENTRANCE SIGN



EXAMPLE OF CENTRALIZED MAIL KIOSK

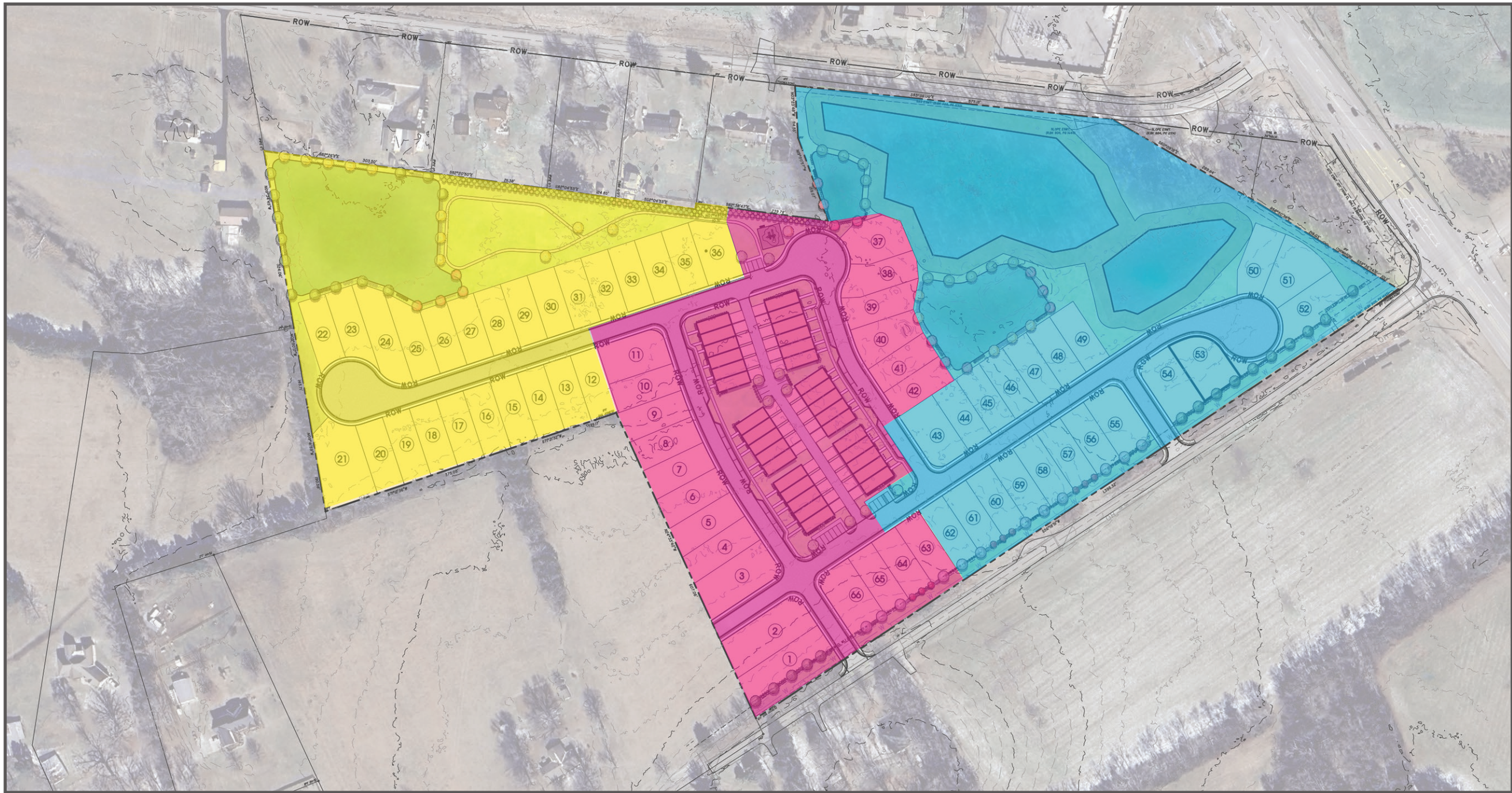


EXAMPLES OF ROADWAY LIGHTING



- Anticipated Water Meter
- Anticipated Transformer Location
- Anticipated Waterline
- Anticipated Sewerline

Final utility locations shall be determined at site plan level. Utilities depicted in this exhibit are conceptual in nature.



AUBREY Phasing Standards:

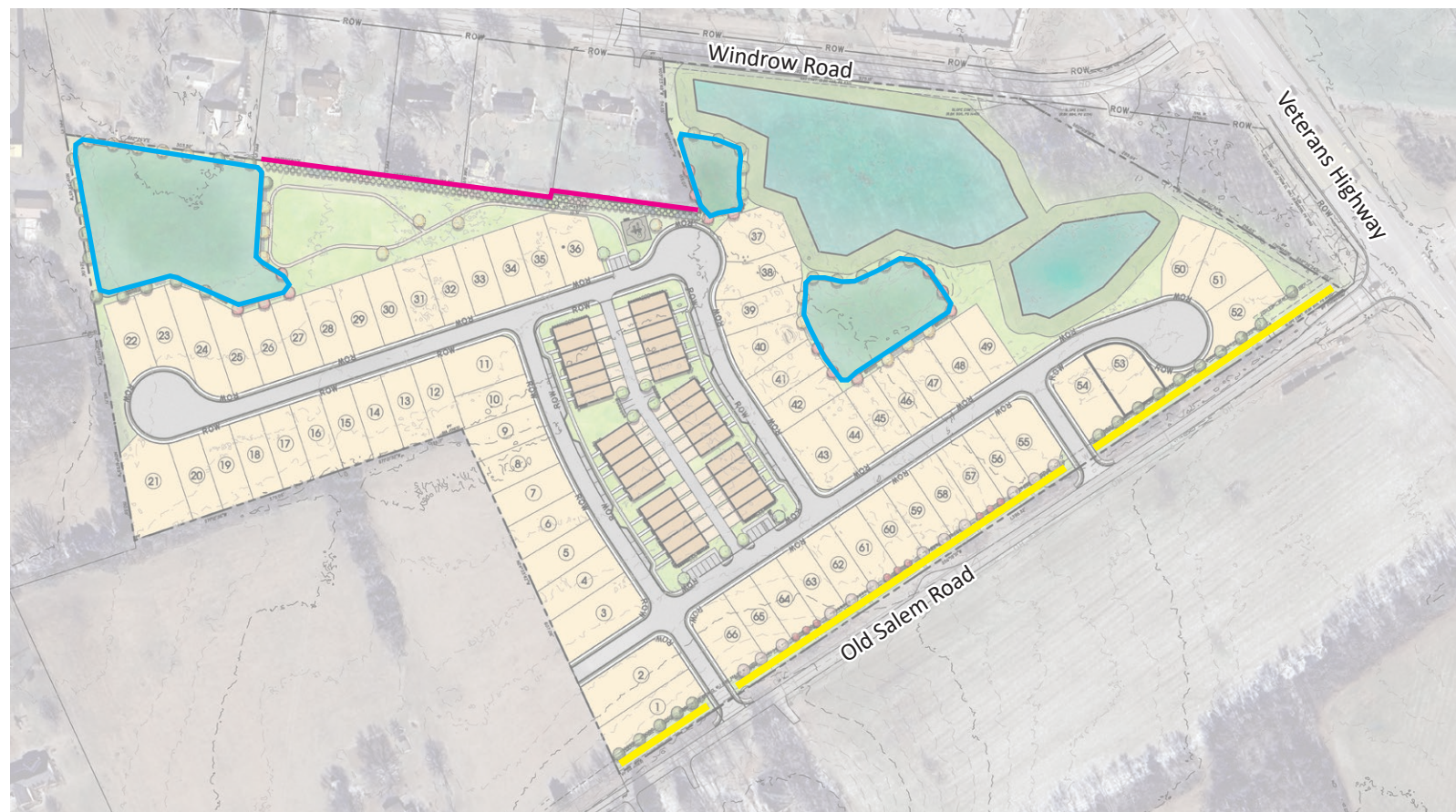
- Construction of Phase 1 is anticipated to begin following their permitting.
- Phase 1 will include all roadway improvements proposed for this site.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.
- Phase 1 Amenities to be installed with the development of within the phases they are designed in
- Phase 3 Amenities to be completed by 50% C/O of Phase 3 Homes.

PHASES	UNITS	ACRES
PHASE 1	19	11.33
PHASE 2	54	8.46
PHASE 3	25	7.71
TOTAL	98	27.50

Phase 1

Phase 2

Phase 3



Not To Scale

12-FT WIDE TYPE 'C' LANDSCAPE BUFFER

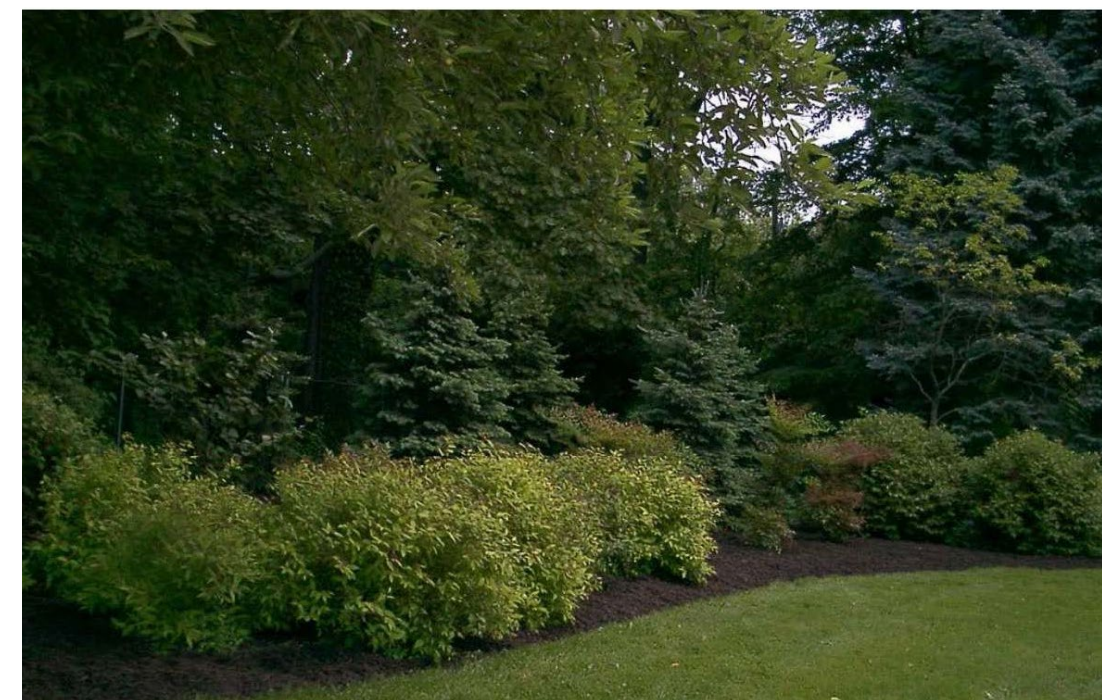
STORMWATER BEAUTIFICATION

LANDSCAPE/ OPEN SPACE AREA

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- A 12-ft wide Type 'C' Landscape Buffer shall be installed along a portion of the northern development.
- A minimum 7.5 feet of landscape area between parking lots/areas and all property lines.
- Public rights-of-way shall be screened from off-street parking lots/areas by use of landscaping and/or berming.
- Low level screening shrubs shall be installed where parking headlights interfere with R.O.W. or adjacent residential units to mitigate vehicular headlights.
- The front and side of all homes/townhomes that face a public/private roadway shall have a minimum 3-ft wide landscape bed along those foundations.
- Landscaping plant material at time of planting shall be in conformance with the City of Murfreesboro's landscaping ordinance.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within open space of the development.
- The landscape/open space area along Old Salem Road shall, at a minimum, utilize the same plantings as seen in a Type 'A' Option-1 Landscape Buffer.



EXAMPLE OF ENHANCED PLANTING




EXAMPLE OF LANDSCAPED BUFFER

Single-Family Detached Homes Architectural Characteristics:

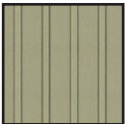
- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All homes will have at least 3 bedrooms
- All homes units will have eaves
- All homes will have an option for a patio area at the rear of the unit
- All homes will have a 2-car front-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- All homes will be comprised of alternating unit style and unit color.
- Homes shall have covered front-entries.
- All homes will have a minimum 24" high water table on all four sides.

Building Materials:


Front Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
Side & Rear Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas
Water table:	Brick or Stone




Example of Brick
(Different colors, cuts, patterns will be allowed)




Example of Board and Batten
(Different colors will be allowed)




Example of Stone Veneer
(Different colors, cuts, patterns will be allowed)



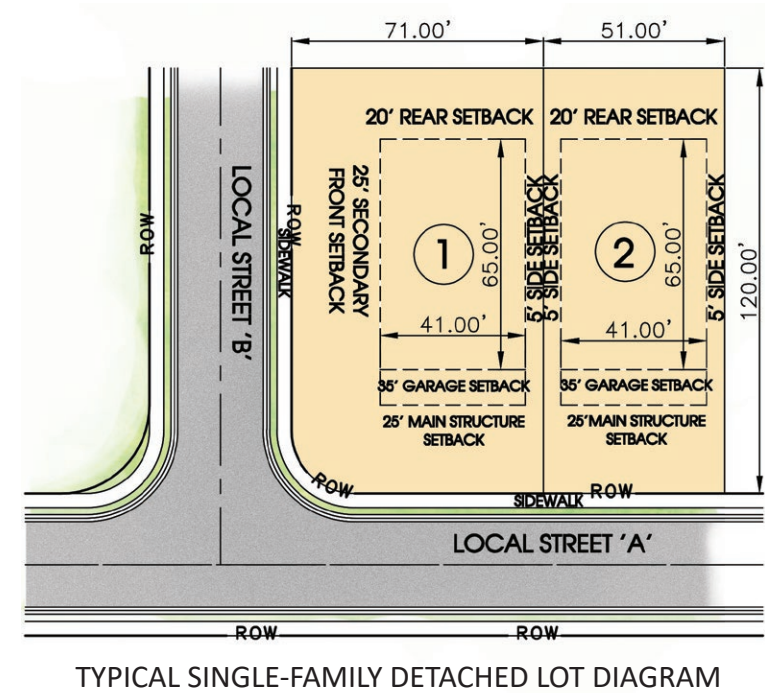
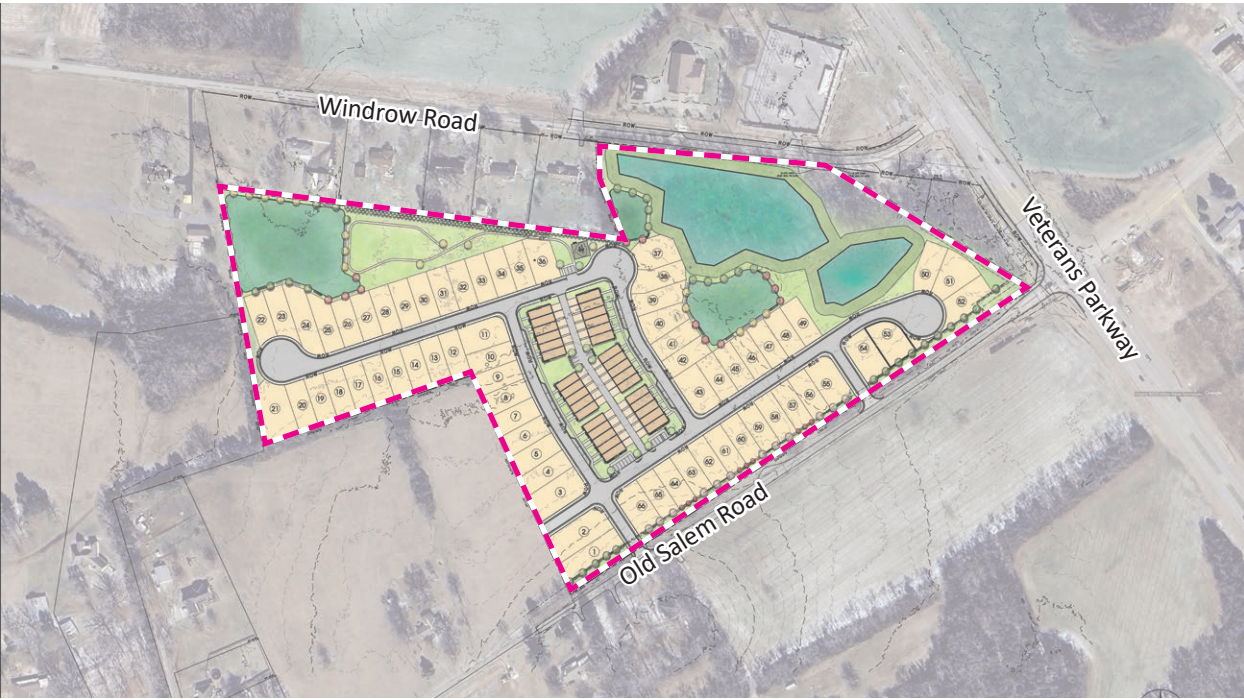
Example of Fiber Cement Board
(Different colors will be allowed)



Example of Asphalt Shingles
(Different colors will be allowed)



Example of Metal Seam Roof
(Different colors will be allowed)



Setbacks Proposed in PRD compared to RS-6 Zoning

Single-Family Detached Homes Minimum Building Setbacks (Internal)

Front Setback to Garage:	35-ft vs. 35-ft Front Setback
Front Setback to Main Structure:	25-ft vs. 25-ft Front Setback
Secondary Front Setback**:	25ft vs. 35-ft Front Setback
Side Setback:	5-ft vs. 5-ft Side Setback
Rear Setback:	20-ft vs. 20-ft Rear Setback

Minimum Lot Width at ROW:	51'
Minimum Lot Width at ROW at Cul-de-sacs:	40'

*Covered porches/stoops/patios shall be permitted to encroach a maximum of 5-ft into front and rear setbacks.

**Secondary Front Setback shall refer to any front setback where a driveway or garage does not directly front onto the roadway

Red text denotes exceptions from the comparative zoning district.



Front Elevation Example



Harpeth - Front Elevation Example



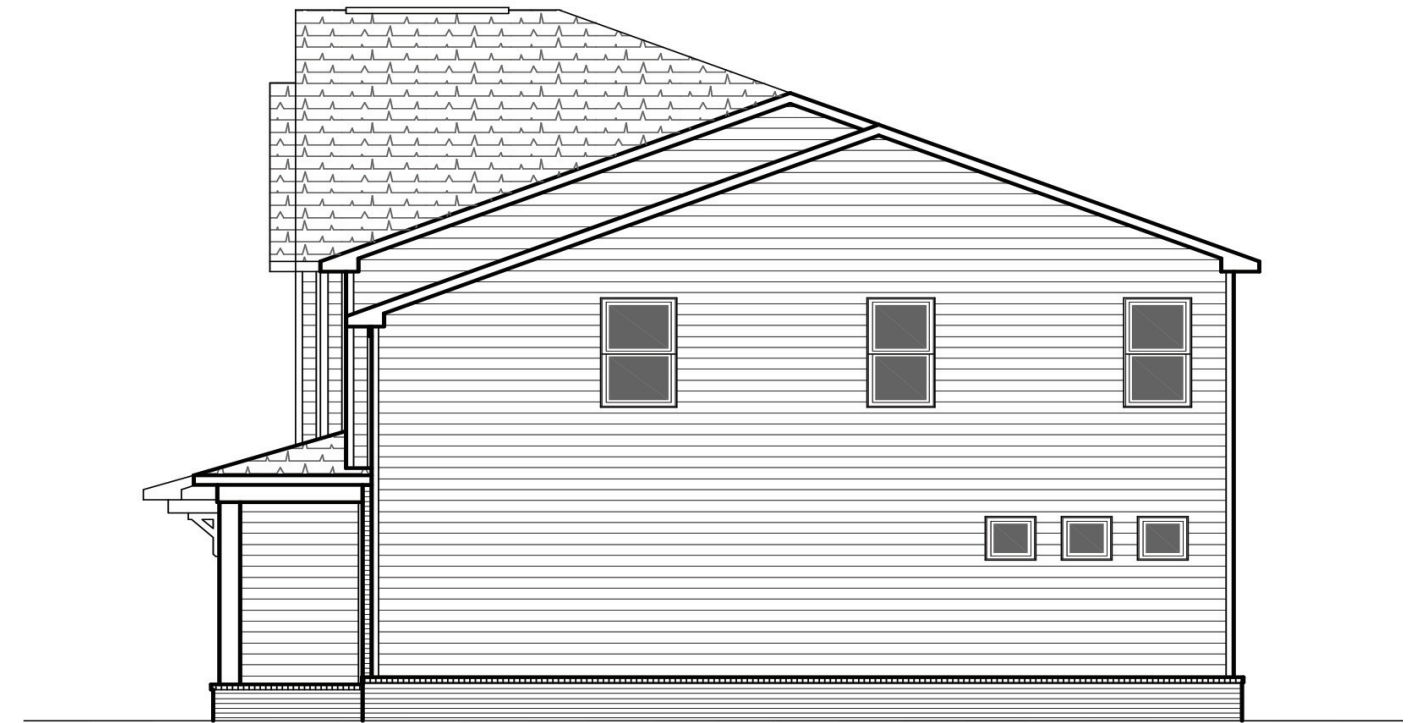
Front Elevation Example



Holston - Front Elevation Example



Powell - Front Elevation



Powell- Right Elevation



Powell - Rear Elevation



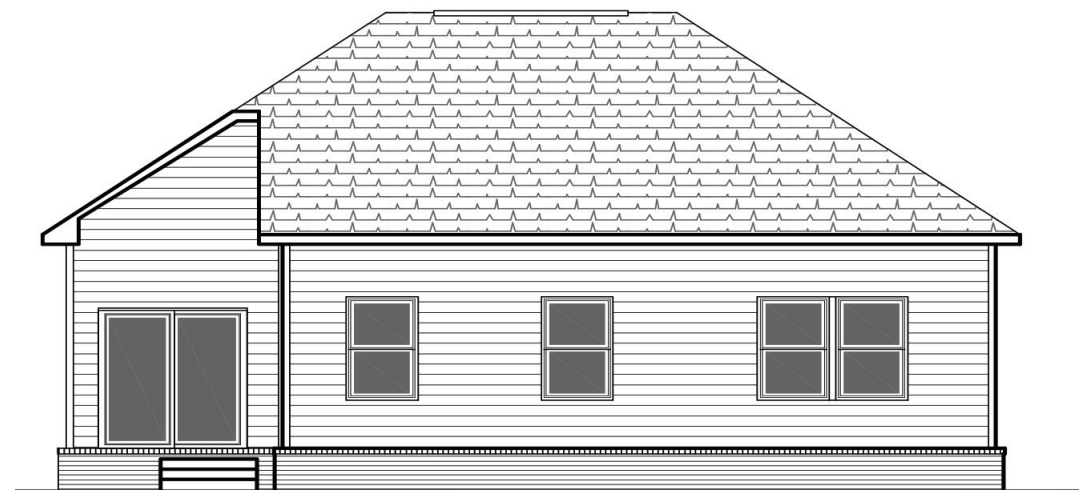
Powell - Left Elevation



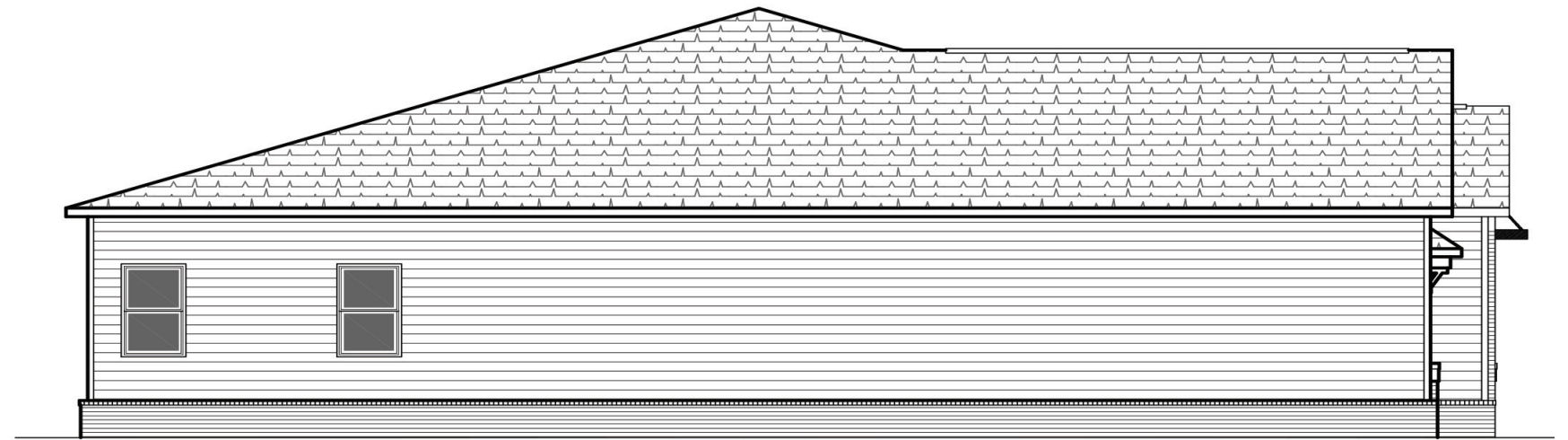
Ocoee - Front Elevation



Ocoee - Right Elevation



Ocoee - Rear Elevation




Ocoee - Left Elevation

Single-Family Attached Homes Architectural Characteristics:

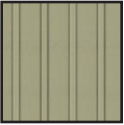
- Building heights shall not exceed 35 feet in height
- Homes will be 1-2 stories
- All homes will have a minimum of 2 bedrooms
- All homes will have eaves
- All homes will have a 2-car rear-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit color.
- All homes will have a minimum 24" high water table on all four sides.
- CCR's will require trash bins be kept in the garage or on rear of building on non-street side.
- Garage spaces shall be restricted to vehicular storage only and not for the parking or storage of boats, recreational vehicles, trailers, equipment, household items, or any other items if such parking or storage would preclude the parking of the requisite number of vehicles garage spaces except via an exception. CCR shall restrict garages to parking, and they must measure a minimum of 19 ft- 4 inches wide by 20 ft. deep.

Building Materials:


Front Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
Side & Rear Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas
Water Table:	Brick or Stone




Example of Brick
(Different colors, cuts, patterns will be allowed)




Example of Board and Batten
(Different colors will be allowed)




Example of Stone Veneer
(Different colors, cuts, patterns will be allowed)



Example of Fiber Cement Board
(Different colors will be allowed)



Example of Asphalt Shingles
(Different colors will be allowed)



Example of Metal Seam Roof
(Different colors will be allowed)




Setbacks Proposed in PRD compared to RS-A Type 2 Zoning

Single-Family Attached Homes Minimum Building Setbacks (Internal)


Garage Rear Setback to Face of Curb:	25-ft	vs.	20-ft
ROW to the Front of the Home:	*20-ft	vs.	35-ft Front Setback
Secondary Front to ROW (Corner):	*15-ft	vs.	35-ft Front Setback
Side to Side Between Buildings:	15-ft		
Back of sidewalk to Side of Home:	5-ft		
Back of Sidewalk to the Front of Home:	*10-ft		(Stoops/Covered Entries my encroach up to 5' in this area)

*Covered porches, stoops, and canopies shall be permitted to encroach a maximum of 5-ft into front, secondary front, and rear setbacks.
**Secondary Front Setback shall refer to any front setback where the townhomes front door does not directly front onto the roadway

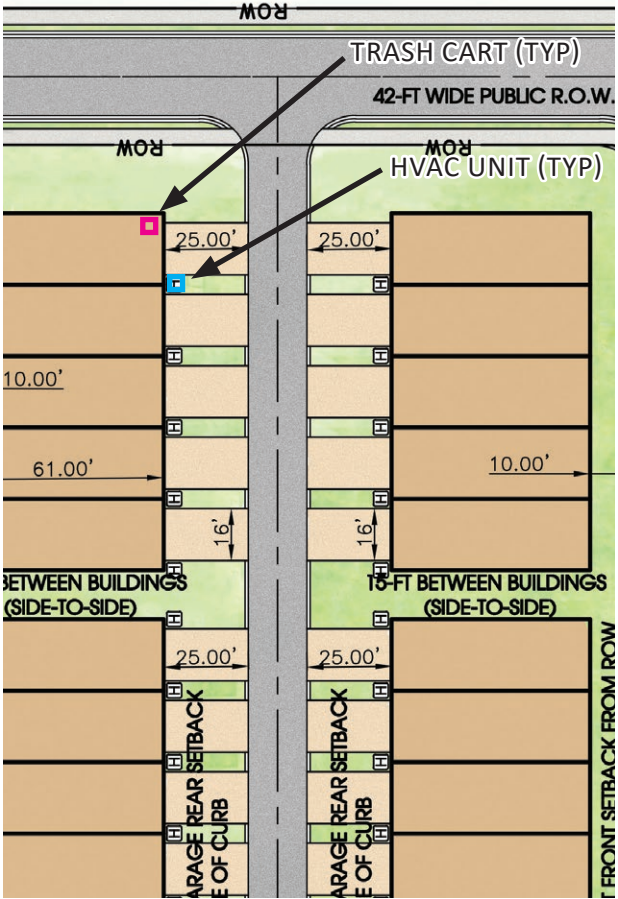
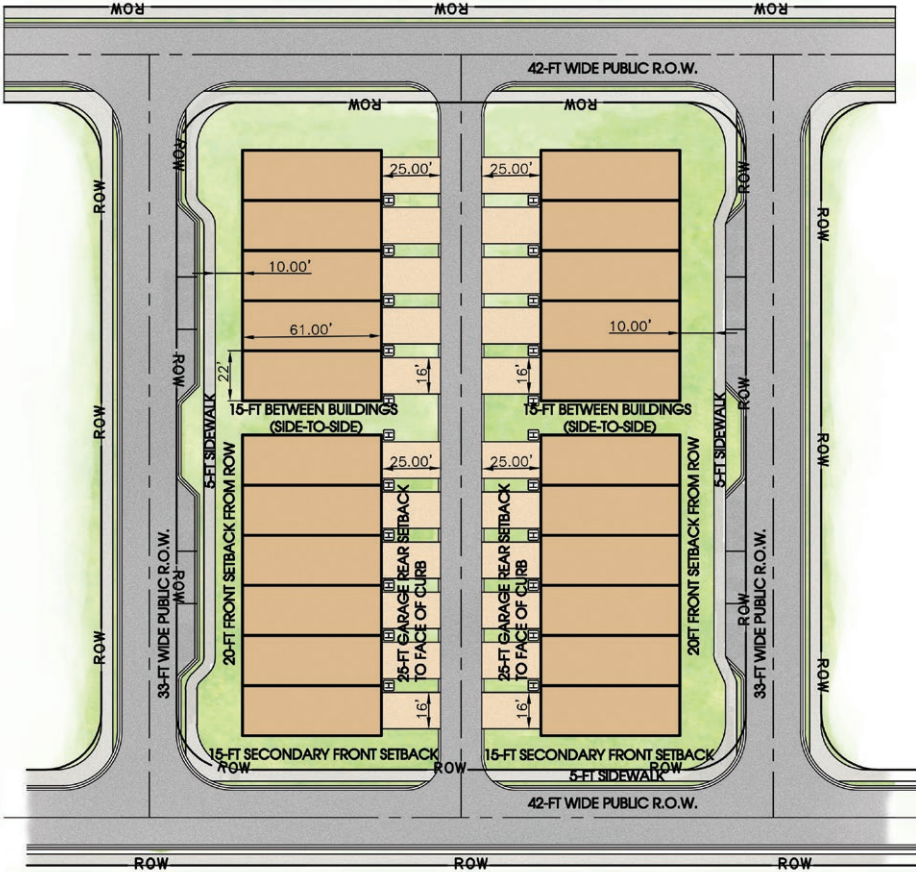
Red text denotes exceptions from the comparative zoning district.



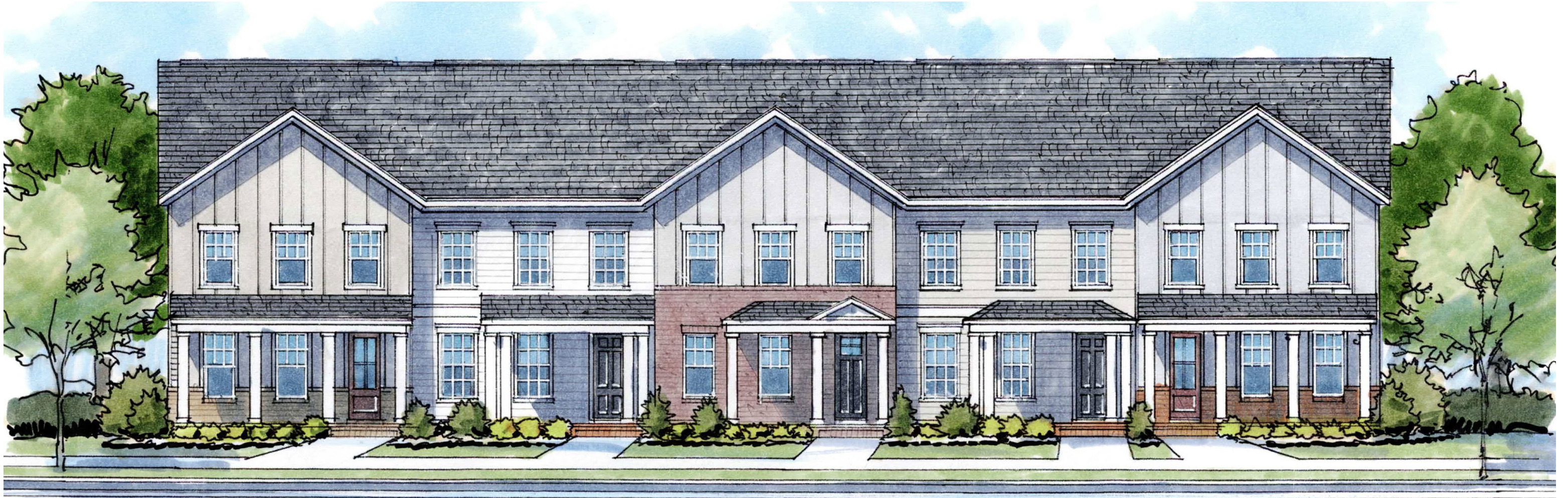
TRASH CART



HVAC UNIT

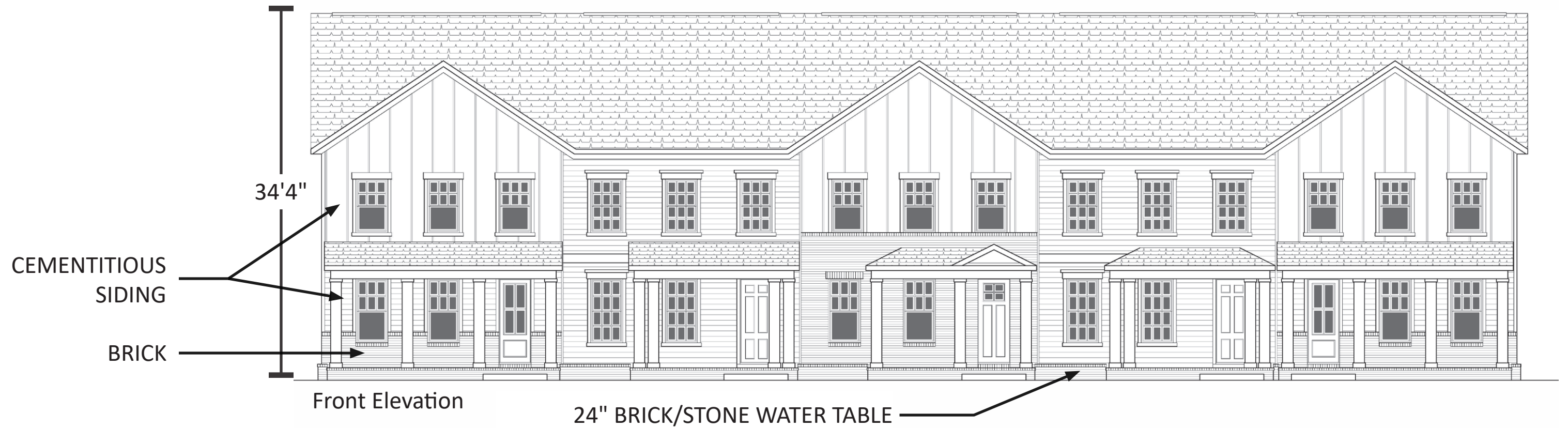


*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Rendered example of Townhome Front Elevation.

Bon Jotugo





Left Elevation



Right Elevation



Example of rear Elevation

Old Salem Road is a local roadway where the majority of vehicular trips generated by this development will impact and is currently built as a two-lane roadway. Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), Old Salem Road is slated to be improved from a two-lane roadway to a three-lane roadway.

The entrances are proposed to incorporate two travel lanes; one lane into the site and one lane out of the site. The concept plan has included a potential future connection to the western properties.

The illustration to the right shows the proposed entrances to the development from Old Salem Road and the future connection.

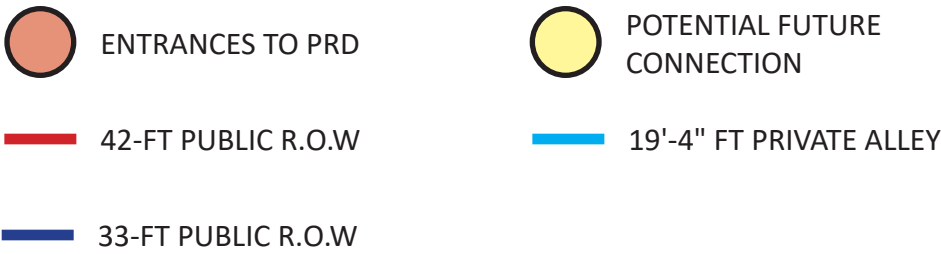
A Traffic Impact Study has been conducted and it concluded that a dedicated right turn-lane be installed on east bound Old Salem Road at the intersection of Veterans Parkway. This improvement is warranted based on existing conditions today.

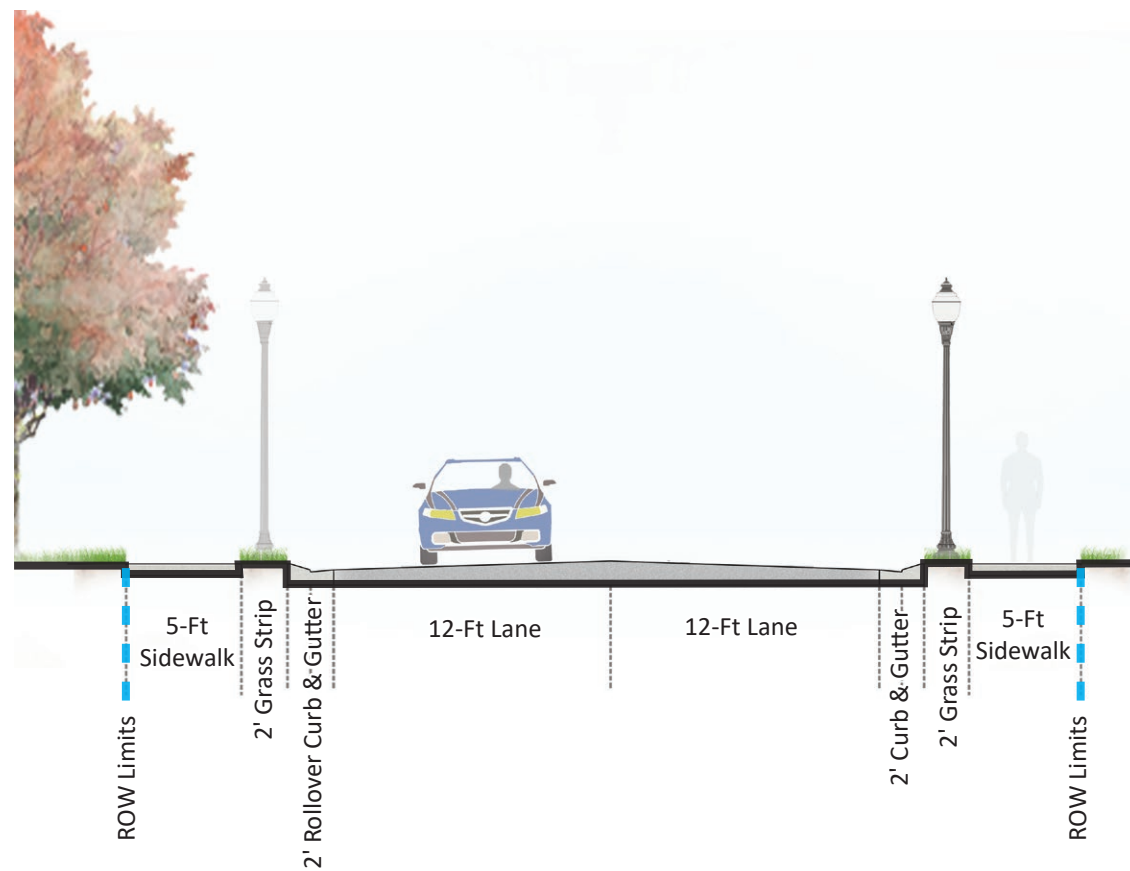
The traffic study also indicated that the entrances / exits into the development shall consist of two lanes each. One for entering the development and one for exiting.

All streets within the development will be either private alley with a typical 19'-4" cross-section or public streets with a typical 42-ft or 33-ft cross-section with on-street parking. The 33-ft cross section shall be held to the following standards.

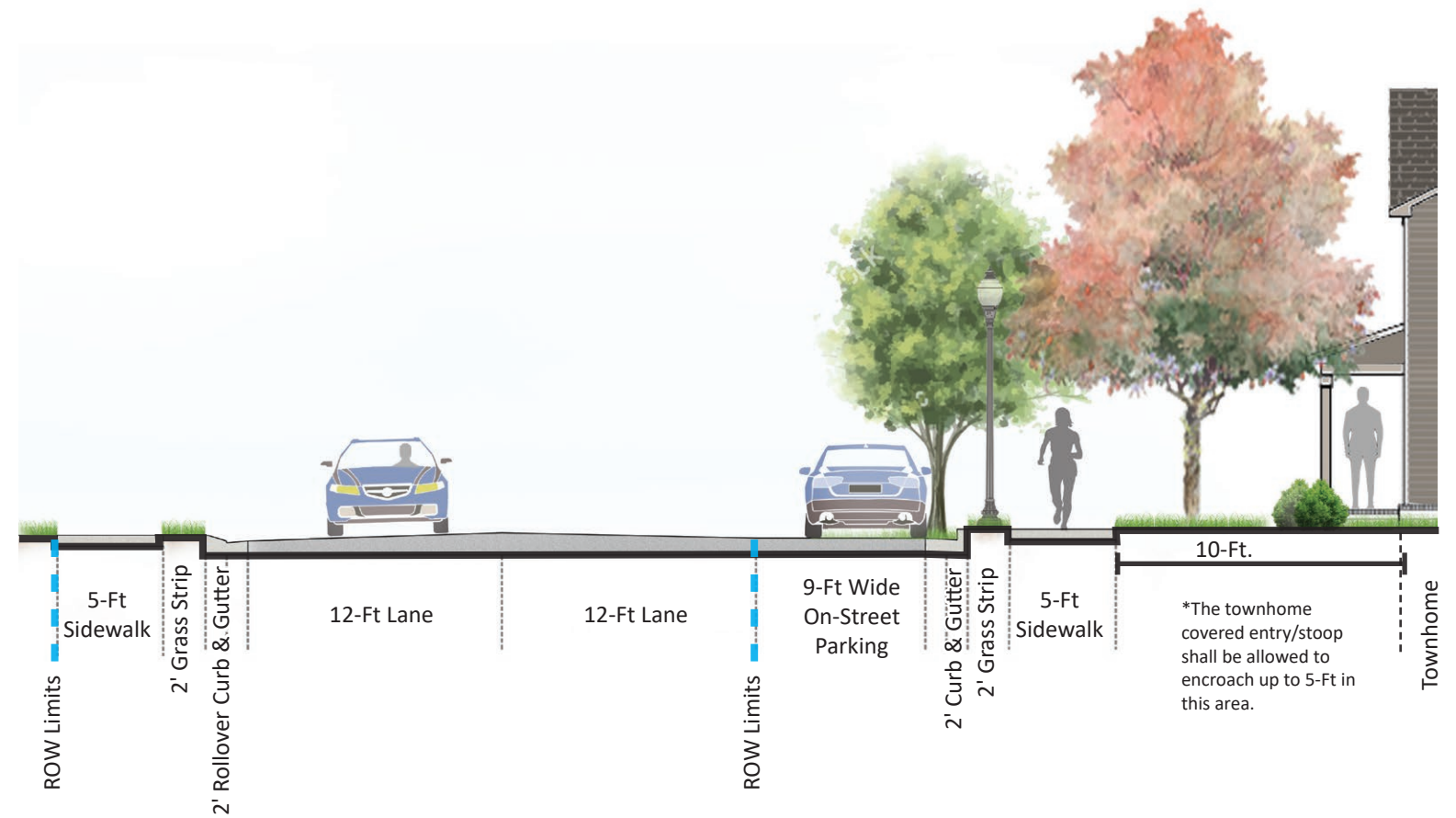
- The right-of-way should be narrowed to so that the parking is located on private property. The HOA will be responsible for maintaining the parking.
- The sidewalk must be provided within an easement to maintain public access.
- All street specifications, including corner clearance requirements, must be met for both parking spaces and drives per these written standards.

This project will be providing the following roadway improvements: Old Salem Road shall be improved from a two-lane roadway to a three-lane roadway starting from the left turn lane into the western entrance of the development and providing a continuous center turn lane up to Veterans Parkway.

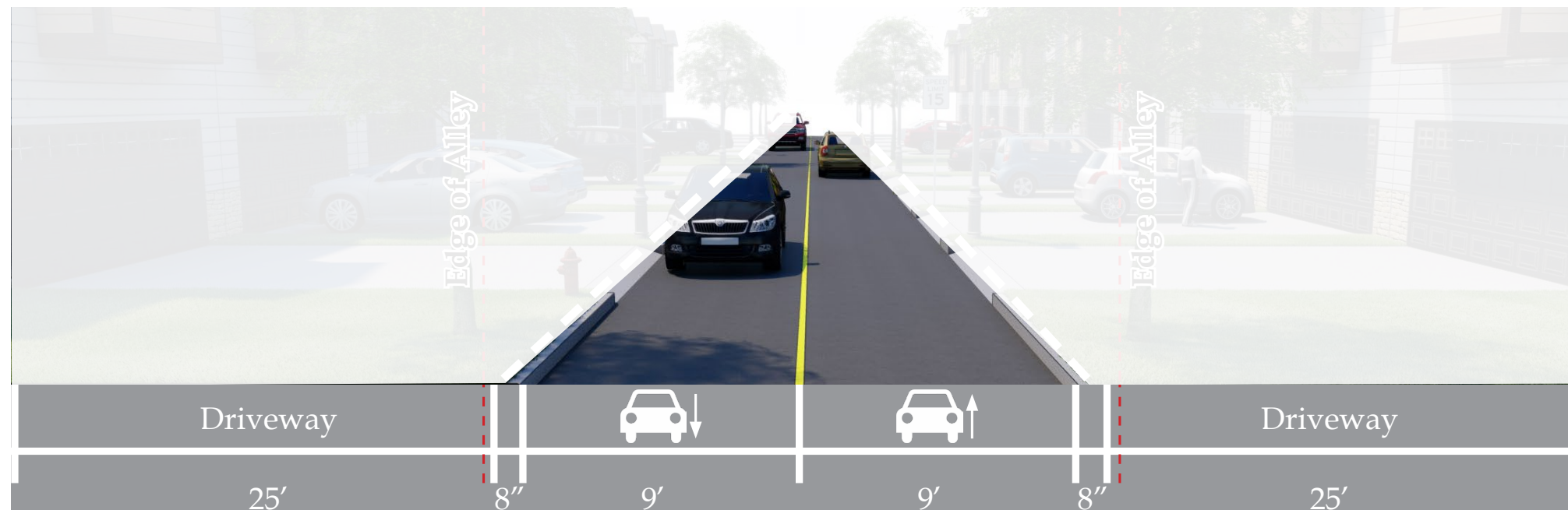




42-FT Public Street
(See Page 20 for location of private vs public roads)



33-FT Public Street
(See Page 20 for location of private vs public roads)



19'-4" FT Private Alley
(See Page 16 for location of private vs public roads)

With this request, AUBREY will be dedicating over 8 acres (30% of the site) to open space. The open space areas will be comprised of usable open space and detention areas. Usable open space areas spread around the overall development will offer a walking/fitness trails and a Tot lot. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well.

AUBREY Amenities:

- The playground shall have a minimum capacity of 20 children.
- The playground shall provide a play-timber boarder filled with playground mulch per the manufactures specifications for fall heights.
- A minimum of two benches and a trash receptacle shall be provided within close proximity to the playground.
- The walking trail shall be concrete and a minimum of 5' wide.
- A minimum of three fitness stations shall be provided along the trial.
- Phase 2 Amenities to be installed with the development of Phase 2.
- Phase 3 Amenities to be completed by 50% C/O of Phase 3 Homes.



LOCATION MAP - AMENITIES

Not To Scale

- A** Walking Trails
- B** Tot Lot



LOCATION MAP - ACTIVE AMENITIES AREA

Not To Scale

- A Walking Trail
- B Fitness Circuit
- C Tot Lot



Example of Concrete Walking Trail



Example of Fitness Circuit



Example of Fitness Circuit



Example of Tot Lot

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3- 7 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 8-11 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Pages 8-11 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

Response: See Data Table below

TOTAL SITE AREA	646,866 s.f.	14.85 AC (100.00%)
WETLANDS AREA TO REMAIN	62,984 s.f.	1.45 AC (9.76%)
DEVELOPABLE RESIDENTIAL SITE AREA	583,704 s.f.	13.40 AC (90.24%)
TOTAL MAXIMUM FLOOR AREA	125,800 s.f.	2.89 AC (19.45%)
TOTAL LOT AREA	646,866 s.f.	14.85 AC (100.00%)
TOTAL BUILDING COVERAGE	138,725 s.f.	3.18 AC (21.45%)
TOTAL DRIVE/ PARKING AREA	102,948 s.f.	2.36 AC (15.91%)
TOTAL RIGHT-OF-WAY	0 s.f.	0.00 AC (0.00%)
TOTAL LIVABLE SPACE	547,753 s.f.	12.57 AC (84.65%)
TOTAL OPEN SPACE	191,228 s.f.	4.39 AC (32.76%)
FLOOR AREA RATIO (F.A.R.)	0.19	
LIVABILITY SPACE RATIO (L.S.R.)	0.63	
OPEN SPACE RATIO (O.S.R.)	0.79	

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in 7 phases. Phasing information is described on Page 12.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 11 and 28-31.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Pages 24-25

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0265H eff. 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 4 & 26-27 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. Developer/ applicant is Ole South Home Builders. contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 13-25 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 9 and a description is on Pages 3 & 9.

AUBREY (SINGLE FAMILY DETACHED):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-6	Proposed PRD (SFD)	Difference
Residential Density			
Maximum Gross Density	7.2 Units / Acre	3.56 Units / Acre	-3.64 Units / Acre
Minimum Lot Area	6,000 sqft	6,000 sqft	+0 sqft
Minimum Lot Width	50'	51'	+1'
Minimum Setback Requirements			
Minimum Front Setback to Garage	35'	35'	0'
Minimum Front Setback to Main Structure	25'	25'	0'
Minimum Secondary Front Setback	35'	25'	-10'
Minimum Side Setback	5'	5'	0'
Minimum Rear Setback	20'	20'	0'
Land Use Intensity Ratios			
MAX F.A.R.	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	3%	3%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to the secondary front setback on corner lots to be reduced by 10-ft from 35-ft to 25-ft.

AUBREY (SINGLE FAMILY ATTACHED REAR LOADED):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-A Type 2	Proposed PRD (SFA-RL)	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	12 Units / Acre	3.56 Units / Acre	-8.44 Units / Acre
Minimum Lot Area	2,000 sf	N/A	N/A
Minimum Lot Width	20'	N/A	N/A
Minimum Setback Requirements			
Minimum Garage Rear Setback to Face of Curb	20'	25'	+5'
Minimum Main Building Rear Setback to Face of Curb	20'	25'	+5'
Minimum Main Building Front to Back of Sidewalk	35'	20'	-15'
Minimum Main Building Secondary Front to R.O.W. (Corner)	35'	15'	-20'
Minimum Distance Between Buildings (Side to Side)	10'	10'	0'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	N/A	N/A
Minimum Livable Space Ratio	0.5	N/A	N/A
Minimum Open Space Ratio	0.25	N/A	N/A
Minimum Open Space Requirement	20%	20%	0%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to reduce the required front setback from 35-ft to 20-ft, a 15-ft reduction.
- Requesting an exception to reduce the secondary front setback from 35-ft to 15-ft, a 20-ft reduction.
- Requesting an exception to modify the standard 42-ft ROW along portions of the project where Townhomes are fronting onto the ROW to a 33-ft ROW as seen on page 21.
- Requesting an exception to allow the garages to be counted towards the parking requirements. These spaces must meet the minimum clear space for garages. (19'-4" Wide x 20' Deep)

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 5, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 5.c. Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant.**

O'Brien Loyd Venture, the applicant, is requesting zoning the subject property from RS-6 (Single-Family Residential District, 6,000 ft² minimum lot size) to RS-A2 (Single-Family Residential Attached District, Suburban Townhouse). The approximately 9.6-acre vacant property is located south of New Salem Highway and north of Ashers Fork Drive, identified as part of Tax Map 114, Parcel 014.00.



Adjacent Land Use and Zoning

The surrounding properties include a mix of residential and commercial uses, with corresponding residential and commercial zoning districts. To the north, along New

Salem Highway, is vacant land zoned CF (Commercial Fringe District), which is a part of the subject parcel not included in the rezoning request. To the east are single-family detached homes zoned Medium Density Residential (RM) located in unincorporated Rutherford County. To the south is vacant land planned for development as part of the Waites Creek Crossing Subdivision, zoned RS-6, with additional sections of Waites Creek Crossing further south zoned RS-A1 and developed with both single-family attached (two-unit) and single-family detached residences. To the west is Creekside at Three Rivers Assisted Living, zoned PCD (Planned Commercial District), as well as vacant land zoned CH (Highway Commercial District).

RS-A TYPE 2, SINGLE-FAMILY ATTACHED:

Type 2: Suburban Townhouse. Type 2 includes single-family attached developments characterized by multi-unit townhouse structures with lots of least two thousand square feet per dwelling unit. Because Type 2 developments require broad building setbacks and dedicated open space, these developments are appropriate for suburban areas.

Other uses such as single-family detached dwellings, churches, and specified services associated with or compatible with the residential uses allowed in this district are also permitted, some of which are subject to site plan review and approval or the issuance of a special use permit therefore.

The applicant is requesting a bulk zoning of RS-A2 for the subject property. The RS-A2 district permits by right single-family detached and single-family attached townhomes (suburban type) on individual lots or through an HPR (horizontal property regime). The district also permits a variety of other housing types and institutional uses by special use permit.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Auto Urban Residential' (AUR), which is considered the most appropriate land use character, as indicated on the map below. The AUR designation supports a density range of 4.0 to 12.0 dwelling units per acre. The Comprehensive Plan recommends RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, R-D, PRD, and PUD as compatible zoning districts. The AUR designation also supports attached residential development on lots of 4.1 acres or greater with the following criteria:

- Maximum 20% of overall acreage consists of attached residential units
- Maximum 40% of overall number of units is attached residential units
- Transition of heights and setbacks, requiring an increase in setback when attached units are taller than detached housing.

The applicant has indicated an expected yield of approximately 59 attached single-family units and 21 detached single-family units within the area north of Ashers Fork Drive. As proposed, the standards of the Auto Urban Residential (AUR) character area for supporting attached residential development would not be met for the area of the Waite's Creek Crossing development north of Ashers Fork Drive, as 55.2% of the acreage and 73.8% of the units are dedicated to attached housing. The proposed unit mix would result in an overall density of 4.6 units per acre.

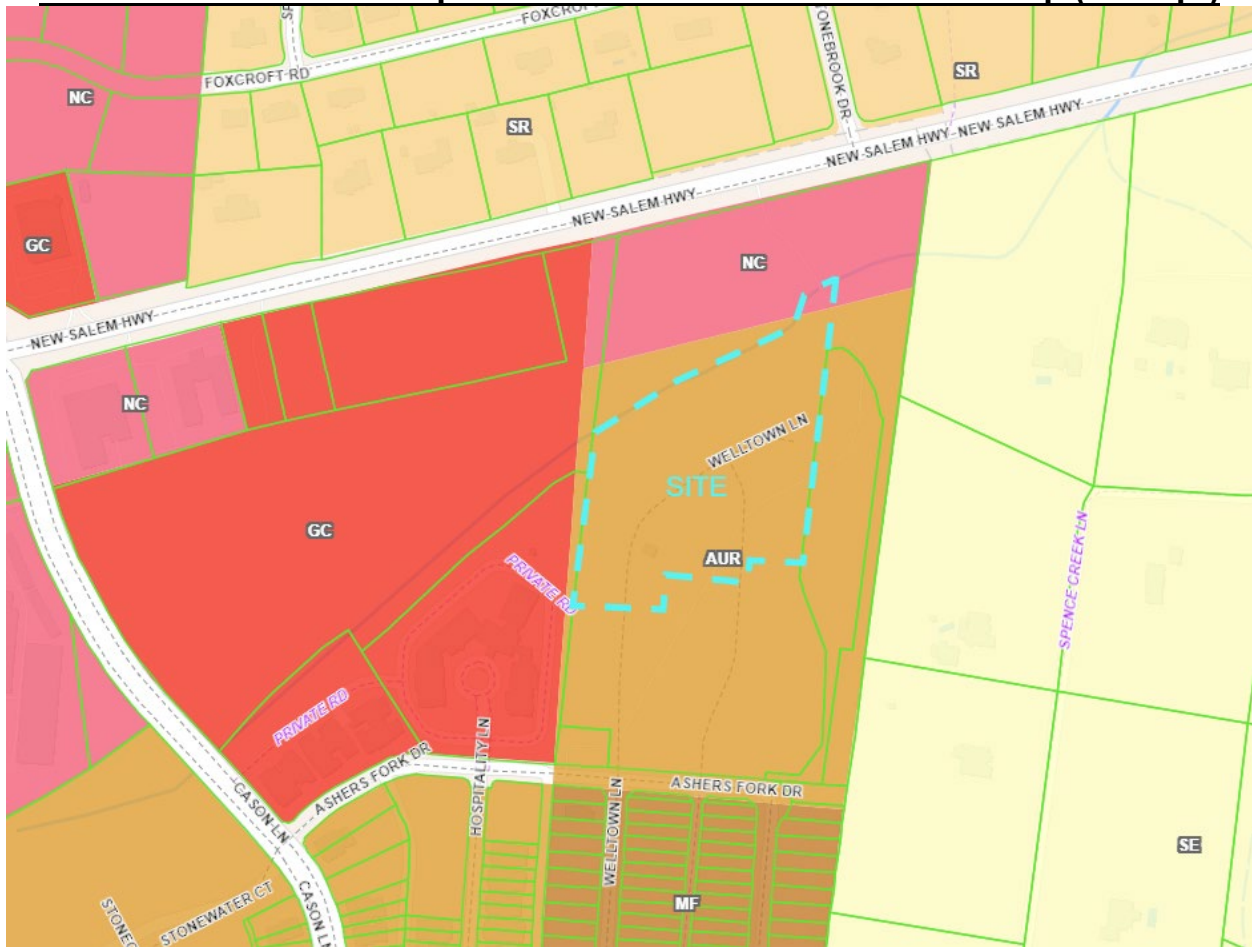
When considering the entire Waites Creek Crossing development, the project area includes portions designated as AUR and MF (Multi-Family) under the Land Use Plan. Of the total acreage, 29.2% is allocated to attached single-family units, representing 42.2% of the total unit count. These figures exceed the AUR designation thresholds of 20% for acreage and 40%, respectively, for total unit count for attached single-family development, though only by less than 10% for acreage and approximately 2% for total unit count.

The table below illustrates how the attached-unit criteria are measured across three contexts: the entire development, the AUR-designated portion (a portion of the site is designated for multi-family), and the area north of Ashers Fork Drive. It is important to note that while the proposed unit mix does not meet the additional attached-residential criteria, it does fall within or below the supported density range of 4.0 to 12.0 units per acre.

	Waites Creek Crossing Total Development		Waites Creek Crossing with AUR designation		Waites Creek Crossing north of Asher Fork Dr.	
	Acreage	Units	Acreage	Units	Acreage	Units
Detached SF Units	45.45	174	31.5	88	7.8	21
Attached SF Units	18.75	127	9.6	59	9.6	59
Total SF Units	64.2	301	41.1	147	17.4	80
Attached Unit Percentage	29.2%	42.2%	23.4%	40.1%	55.2%	73.8%
Units per Acre	4.7		3.6		4.6	

The Planning Commission will need to evaluate this request further to determine whether a deviation from attached unit criteria is appropriate when the supported density range is met.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

1. The rezoning request is consistent with the Future Land Use Map designation of 'Auto Urban Residential' (AUR) by supporting a density of 4.6 units per acre for the portion of the development north of Ashers Fork Drive, which falls within the AUR-recommended range and accommodates a mix of single-family attached and detached homes.
2. The proposed RS-A2 district is compatible with surrounding residential and commercial uses, providing a logical transition between nearby single-family detached homes, planned subdivisions, and higher-intensity commercial areas along New Salem Highway.
3. The subject property is currently vacant and located within an area of active residential development, making it well-suited to provide diverse and potentially more affordable housing options that complement ongoing growth in the New Salem Highway corridor.

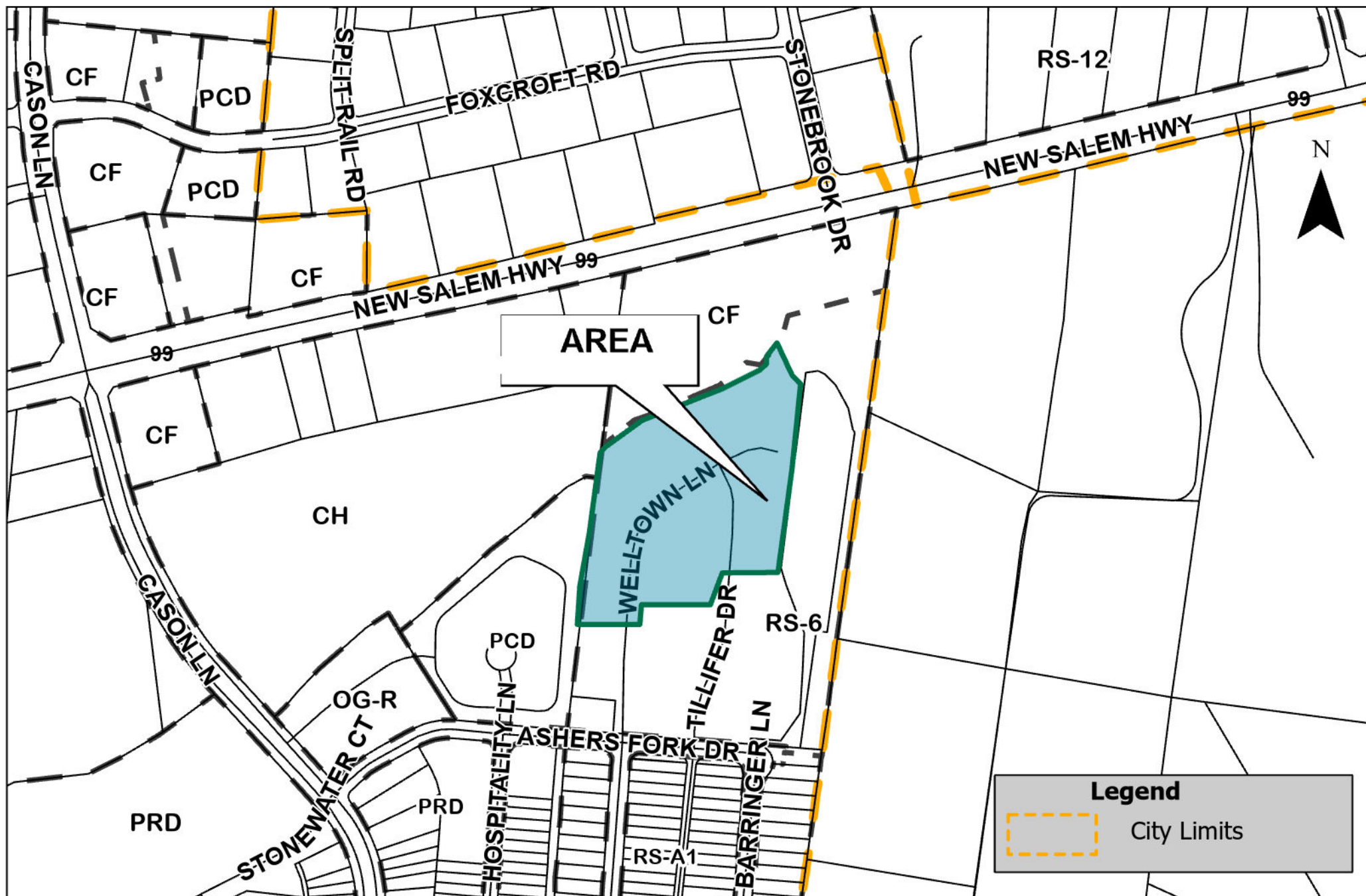
Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

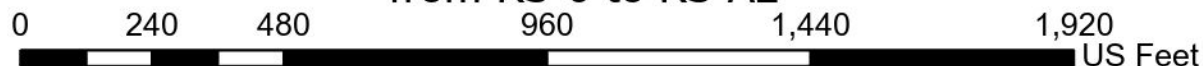
Attachments:

Ortho Map

Non-ortho maps



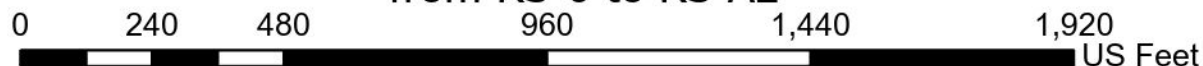
Rezoning request for property along Ashers Fork Drive from RS-6 to RS-A2



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

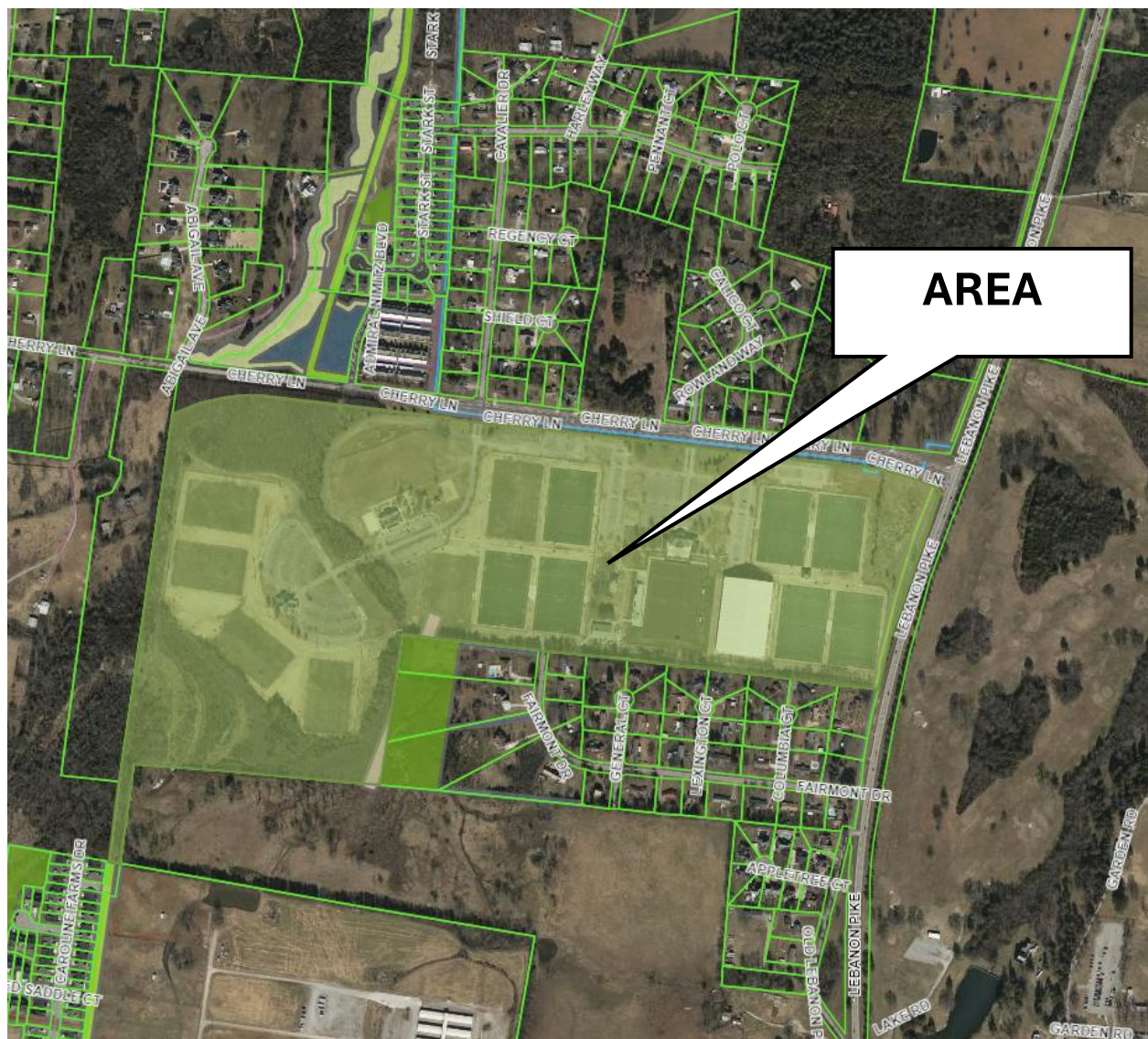


Rezoning request for property along Ashers Fork Drive from RS-6 to RS-A2



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

6. a. Mandatory Referral [2025-715] to consider the abandonment and relocation of a sanitary sewer easement on City-owned property located along Cherry Lane, SEC, Inc. applicant.



In this mandatory referral, the Planning Commission is being asked to consider the abandonment and relocation of an existing sanitary sewer easement for SEC, Inc. on City-owned property along Cherry Lane. The reason for the abandonment is that the existing 30' easement does not align with the new sewer main design and is less than the minimum 40' easement width now required by the Murfreesboro Water Resources Department (MWRD) for a sewer main installed at the proposed depth. A 40' easement for the new sewer main shall be dedicated after the sewer main line is installed.

The proposed upgrades will allow MWRD to ensure they can deliver services to the proposed Cherry Lane Townhomes development located on the north side of Cherry Lane across from the Siegel Soccer Park.

An exhibit showing the location of the proposed easement abandonment is included in the agenda materials, as well as a letter from SEC, Inc. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. If approved by City Council, the applicant will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare the legal instrument(s) to formally abandon the existing easement and dedicate the proposed easement. The legal instrument(s) will be subject to final review and approval of the Legal Department.
2. The applicant will also be responsible for recording the legal instrument(s), including payment of the recording fee.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel: 58/20.00

Address (if applicable): 515 Cherry Lane

Street Name (if abandonment of ROW): N/A

Type of Mandatory Referral: Sewer Easement Abandonment

Applicant Information:

Name of Applicant: Aws Ahmed

Company Name (if applicable): SEC, Inc.

Street Address or PO Box: 850 Middle Tennessee Blvd.

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address: [REDACTED]

Phone Number: 615-890-7901

Required Attachments:

- ☒ Letter from applicant detailing the request
- ☒ Exhibit of requested area, drawn to scale
- ☒ Legal description (if applicable)

Aws L. Ahmed

10-14-2025

Applicant Signature

Date



Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
www.sec-civil.com

October 14, 2025

Matthew T. Blomeley, AICP
City of Murfreesboro Planning Dept.
111 West Vine Street
Murfreesboro, TN 37130

RE: Cherry Lane Townhomes Offsite Sewer Main Extension
Easement Abandonment Mandatory Referral
SEC Project No. 23692

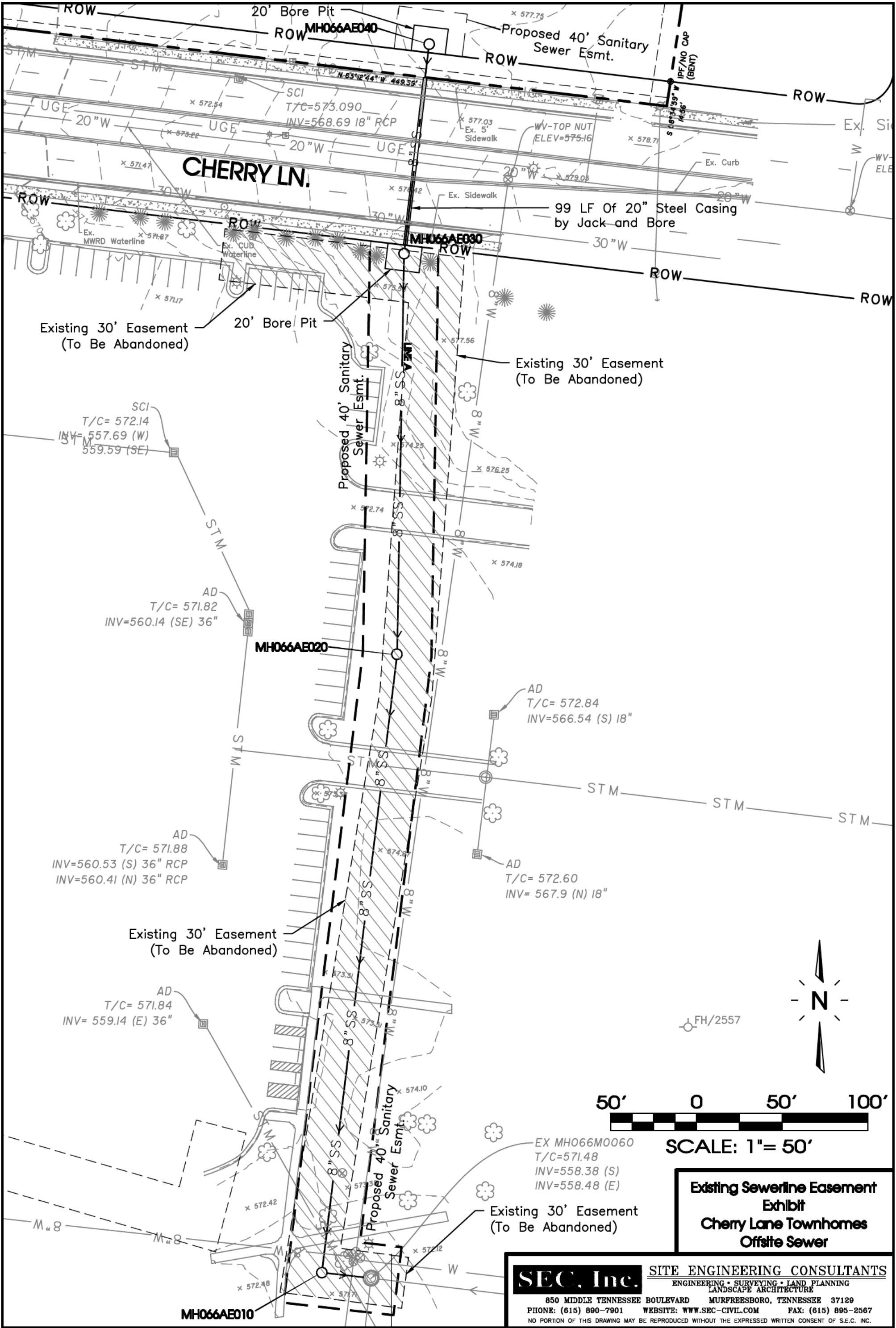
Dear Matthew,

Please find the attached application and supplemental documents to support the mandatory referral request to abandon the existing sewer easement at the Richard Seigel Soccer Complex property. The reason for the abandonment is that the existing 30' easement does not align with the new sewer main design and is less than the minimum 40' easement width required by MWRD. A 40' easement for the new sewer main shall be dedicated after the sewer main line is installed.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or [REDACTED]

Sincerely,

Aws Ahmed, P.E.
SEC, Inc.



CHERRY LN.

MH066AE040

Proposed 40' Sanitary Sewer Esmt.

SCI
T/C=573.090
INV=568.69 18" RCP

99 LF Of 20" Steel Casing by Jack and Bore

MH066AE030

Existing 30' Easement (To Be Abandoned)

Existing 30' Easement (To Be Abandoned)

SCI
T/C= 572.14
INV= 557.69 (W)
559.59 (SE)

AD
T/C= 571.82
INV=560.14 (SE) 36"

MH066AE020

AD
T/C= 572.84
INV=566.54 (S) 18"

AD
T/C= 571.88
INV=560.53 (S) 36" RCP
INV=560.41 (N) 36" RCP

Existing 30' Easement (To Be Abandoned)

AD
T/C= 571.84
INV= 559.14 (E) 36"

EX MH066M0060
T/C=571.48
INV=558.38 (S)
INV=558.48 (E)

Existing 30' Easement (To Be Abandoned)

MH066AE010

Existing Sewerline Easement
Exhibit
Cherry Lane Townhomes
Offsite Sewer

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 WEBSITE: WWW.SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

WATER RESOURCES BOARD COMMUNICATION

Meeting Date: 10/28/2025

Item Title: Sewer Easement Abandonment–Siegel Soccer Park

Department: Engineering

Presented by: Valerie Smith

Requested Action:

Ordinance	<input type="checkbox"/>
Resolution	<input type="checkbox"/>
Motion	<input checked="" type="checkbox"/>
Direction	<input type="checkbox"/>
Information	<input type="checkbox"/>

Summary

The developer requests for portions of the existing sewer easement to be abandoned and for the City to dedicate additional easement based on the new design of the sewer extension.

Staff Recommendation

Approval of abandoning the orange highlighted portions of the existing sewer easement.

Background Information

SEC, on behalf of the Developer is requesting the abandonment of the existing sanitary sewer easement. The newly requested easement, shown as the heavy black dashed line, encompasses the majority of the existing easement except for those portions shown on the attached exhibit highlighted in orange. The original sewer design changed just enough that the easement needed to be adjusted. This sewer main extension will serve the proposed Cherry Lane Townhomes north of Cherry Lane.

This request will also be taken to Planning Commission as a mandatory referral upon Board approval.

Fiscal Impact

None.

Attachments

Abandonment Request & Exhibit



Site Engineering Consultants
850 Middle Tennessee Blvd
Murfreesboro, TN 37129
(615)890-7901
www.sec-civil.com

October 7, 2025

Planning/Engineering Department
City of Murfreesboro
111 W Vine St
Murfreesboro, TN 37130

RE: Cherry Lane Townhomes
Sewer Easement Abandonment
SEC Project No. 23692

To Whom It May Concern,

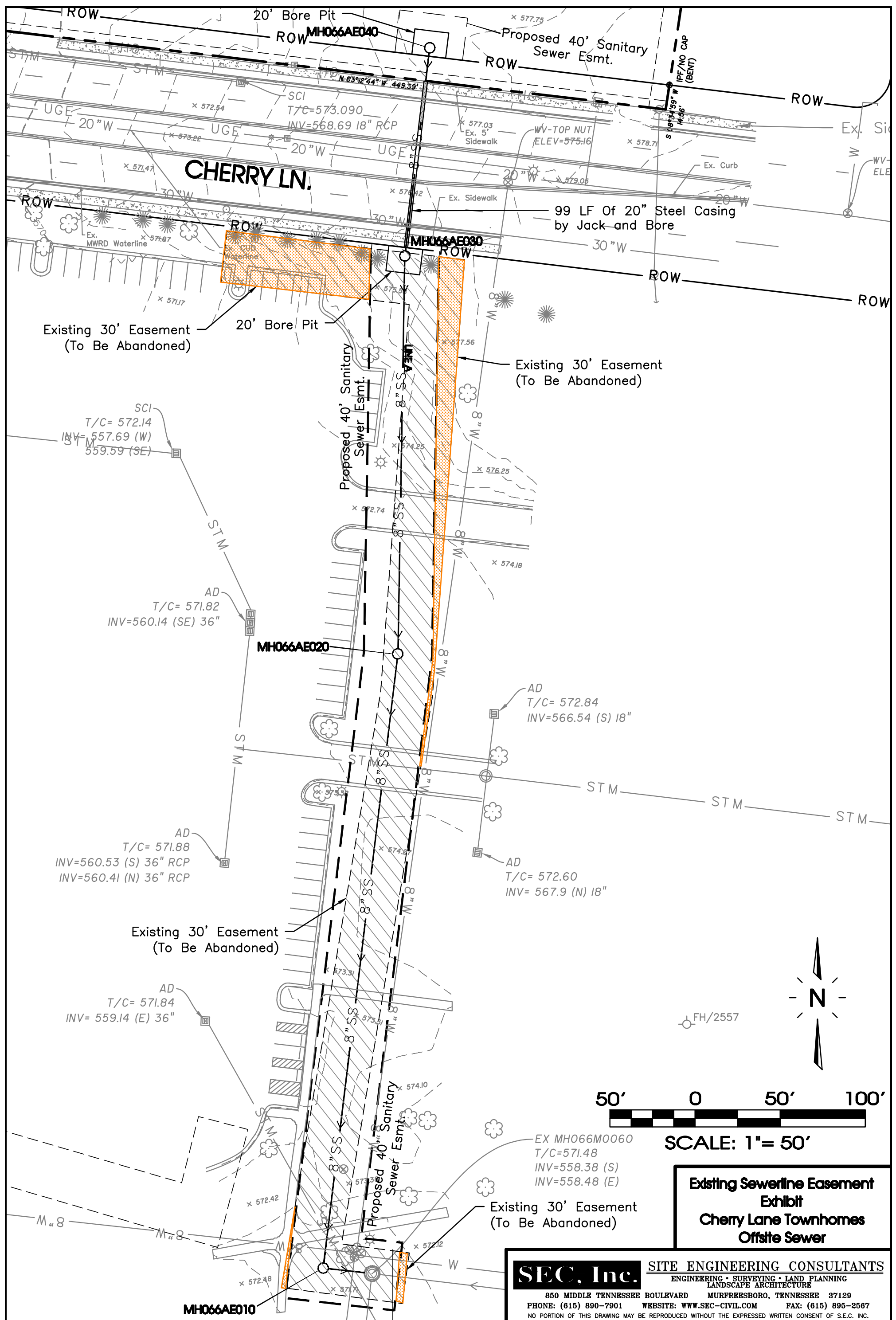
On behalf of Harney Homes, LLC, SEC, Inc. would like to submit a request for the abandonment of the existing sewer easement recorded in Record Book 1880, pages 3960-3962. Due to design changes for the Cherry Lane Townhomes project, the proposed sewer main extension on the Richard Seigel Soccer Complex property no longer aligns with the existing easement. Also, the existing easement is 30' wide but due to the depth of the proposed sewer, MWRD requires that the easement be at least 40' wide. The proposed easement will be recorded after construction of the sewer is completed.

Accompanying this Letter of Request is an exhibit of the area including the existing easement to be abandoned, the proposed sewer main extension, and the proposed 40' sewer easement.

If you should have any questions or if I may be of further assistance, I can be contacted at 615-890-7901. My email address is [REDACTED]

Sincerely,

Aws L. Ahmed, P.E.
SEC, Inc.



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 5, 2025
PROJECT PLANNER: BRAD BARBEE**

6.b. In-N-Out Burger Overflow Queueing and Parking [2025-3124] initial and final design review and site plan review for a temporary (120 days maximum) overflow queueing area, a temporary overflow parking area, and a temporary staging area on two properties zoned CH and GDO-1 located along Willowoak Trail and Robert Rose Drive, In-N-Out Burger developer.

This is the initial site plan review for the In-N-Out temporary overflow stacking, parking, and staging areas. Area 1 is located at the intersection of Willowoak Drive and Robert Rose Drive. Area 2 is located at the intersection of Willowoak Drive and Wilkinson Pike.

In-N-Out Burger has made application to construct two temporary overflow stacking, parking, and staging areas as an effort to minimize the impact to public rights of ways and adjacent properties during the opening of their new Murfreesboro location.

The opening for In-N-Out Burger is anticipated to generate exceptionally high traffic volumes that exceed typical daily conditions for the surrounding roadway network. Similar openings at other locations have demonstrated a strong customer response, resulting in long vehicle queues forming along primary-access drives and extending onto adjacent public streets.

During the initial days of operation, particularly on opening day—traffic congestion is expected along major approach routes and key intersections near the site. The drive-thru lane typically experiences extended wait times, causing vehicle stacking that can impact on-site circulation and spill over into nearby right-of-ways.

The construction of these two temporary areas is a key component of the overall traffic management plan for In-N-Out Burger. Off-site stacking arrangements play a critical role in mitigating traffic congestion and ensuring safe, orderly vehicle circulation during the opening phase of high-demand establishments such as In-N-Out Burger. By providing designated queueing space for vehicles outside of the immediate site boundaries, these arrangements help prevent overflow conditions that can otherwise block access drives, impede through traffic, and disrupt adjacent intersections.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) The improvements described in this document must be removed within 120 days of the opening of business for the In-N-Out located at 2508 Medical Center Parkway. An additional 60 days extension is available, if necessary. Any extension must be approved by the Murfreesboro Planning Director.
- 2) Add all Standard Notes to the site plan. Please see the Murfreesboro Zoning Ordinance page 48.
- 3) Add the lighting plan to the civil submittal.
- 4) Add the point of contact for both Planning and Engineering to the civil submittal cover sheet.
- 5) Show and label all easements on the site plan.
- 6) Add a scale to the site plan.
- 7) Add the zoning classification(s) of adjoining land; overlay districts such as airport zones, flood zones, battlefield protection districts, gateway design overlay districts, and historic districts; a table of the required minimum setbacks as per Chart 2 of this article including the footnotes contained therein; the proposed use for the subject property.
- 8) No signage is included as a part of this review.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) EPSC plans must be included in the civil set. For sites over 5 acres in size, 3 phases must be included.
- 2) For area 2, limits of construction and all EPSC measures should be contained within the property except for the entrance drives.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) *Approval has been received from this utility provider.*

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

1) *Approval has been received from this utility provider.*

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

1) No Comments.

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

1) *Approval has been received from this utility provider.*

Informational and Procedural Comments

Development Services – Planning

Brad Barbee 615.893.6441, bbarbee@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.
- 4) *Please be advised that plans approved after July 1, 2023, are subject to the City's Impact Fee Ordinance. If further information is needed, please contact the Planning Department.*

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 2) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
- 2) Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at tstevens@murfreesborotn.gov for additional information.

- 3) Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
- 4) For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
- 5) Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
- 6) Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
- 7) Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

Consolidated Utility District

William Steele, 615.225.3311, wsteele@ cudrc.com

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Ben Martin, 615.494.1621, murfreesborocity.engineering@mte.com

- 1) No Comments

Murfreesboro Fire and Rescue Department

Brian Lowe, 615.893.1422, blowe@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Anita Heck, 615.890.0862, aheck@murfreesborotn.gov

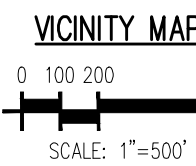
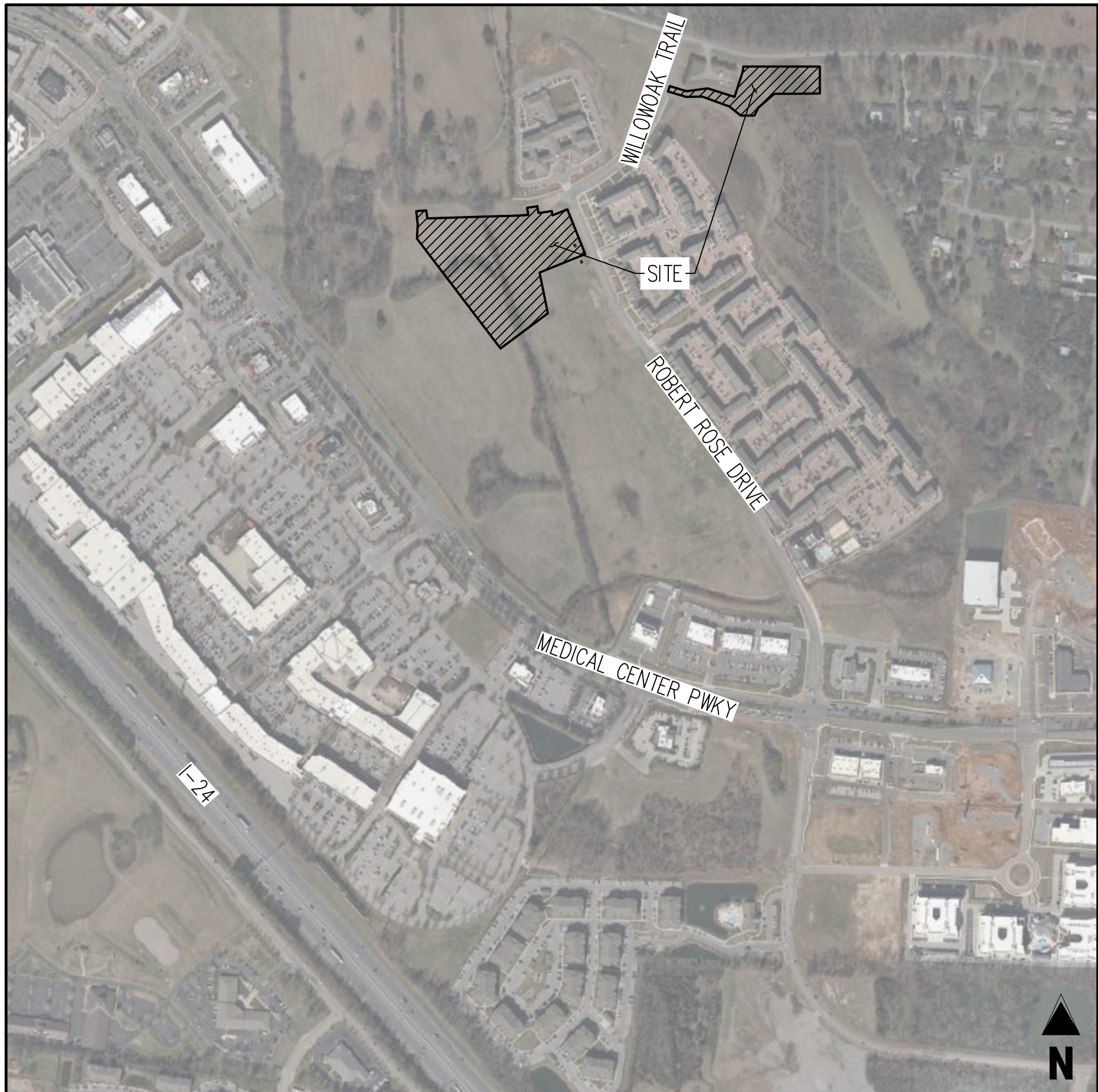
- 1) No Comments.

CLARI PARK LOT 9 (IN-N-OUT)

OVERFLOW AREA PLAN

10/15/2025

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	OVERFLOW AREA PLAN - COVER SHEET
2	OVERFLOW AREA LOT 1 - EPSC PLAN
3	OVERFLOW AREA 2 - EPSC PLAN
4	OVERFLOW AREA PLAN - EPSC DETAILS



THESE PLANS REFLECT CIVIL IMPROVEMENTS ONLY TO ADDRESS TEMPORARY PAVEMENT INSTALLATION, GRADING, AND EROSION CONTROL FOR TEMPORARY OVERSTACK AREAS. TRAFFIC CONTROL PLANS INCLUDING STRIPING, WAYFINDING SIGNAGE AND OPERATIONAL DETAILS ARE BEING COORDINATED SEPARATELY WITH THE CITY DUE TO THE DYNAMIC NATURE OF THE PLAN.

LIST OF ABBREVIATIONS

SHT - SHEET
A - DEFLECTION ANGLE
L - LENGTH
R - RADIUS
CB - COUPLER BEARING
C - COUPLER LENGTH
N - NORTH/NORTHEAST
W - WEST
E - EAST/EASTING
S - SOUTH
DET - DETAIL
EX - EXISTING
W/ - WITH
PC - POINT OF CURVATURE/PORTLAND CEMENT
WFB - WELDED MESH FABRIC
V - VERTICAL
ON - ON CENTER
FDC - FIRE FIREPROOFING CONNECTION
CT - COURT
DR - DRIVE
TYP - TYPICAL
CT - RECEPTION NUMBER
6, DIA - DIAMETER
PT - POINT OF TANGENCY
MIN - MINIMUM
MAX - MAXIMUM
HDPE - HIGH DENSITY POLYETHYLENE
REF - REFERENCE
ARCH - ARCHITECTURAL
TRR - TO BE REMOVED
PRO - PROPOSED
PUB - PUBLIC UTILITY EASEMENT

LEGAL DESCRIPTION

BEING PARCEL 94.06, MAP 092, AS OF RECORD BOOK 2133, PAGE 1088 & 1098, R.O.R.C.T.

BASIS OF BEARING

BEARINGS, ELEVATIONS, AND COORDINATES SHOWN ARE BASED ON TENNESSEE STATE PLANE
NAD83. (NAVD88)


BENCHMARK

ONSITE BENCHMARKS:

BENCHMARK #1:
MAG NAIL IN ASPHALT, ELEVATION = 588.50

BENCHMARK #2:
MAG NAIL IN BACK OF CURB, ELEVATION = 586.57

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

Know what's below.
Call before you dig.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

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PARCEL 092 09406
OVERFLOW AREA EROSION CONTROL

WILLOWOAK TRAIL
MURFREESBORO, TN 37129

[illegible]

Project No:	INO000057.20
Drawn By:	BSM
Checked By:	PJD
Date:	10/15/2025

OVERFLOW AREA PLAN -
COVER SHEET

*NOTE: CUT/FILL VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR PAVEMENT SECTIONS OR FOUNDATIONS.

*NOTE: CUT/FILL VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR PAVEMENT SECTIONS OR FOUNDATIONS.

EXISTING ON-SITE CONDITION		
COVER	SCS CLASSIFICATION	AREA (AC)
OPEN SPACE, GOOD CONDITION	B SOIL, CN = 61	3.74
OPEN SPACE, GOOD CONDITION	C SOIL, CN = 74	0.24
COMPOSITE		61

PAVEMENT VOLUMES – OVERFLOW AREA		
TYPE	AREA (SF)	TOTAL (CY)
2" HMA	203,099	1,254
4" BASE	203,099	2,507

NOTE: POND DESIGN IS BASED ON ASSUMED 85% IMPERVIOUSNESS FOR PARCEL 092 09406 AS NOTED IN THE STORMWATER CALCULATIONS FOR CLARI PARK SUBDIVISION, PREPARED BY SEC, INC. DATED JULY 2024. THUS, THE RESULTING IMPERVIOUSNESS IS LESS THAN THE ASSUMED VALUE FOR THE POND DESIGN AND WILL NOT ADVERSELY AFFECT THE POND.

REMOVAL:
 EROSION AND MOBILIZATION, THE SEDIMENT AND STORMWATER RUNOFF
 CONTROLLED WITH BEST MANAGEMENT PRACTICES (Bmps), SILT FENCE WILL
 BE INSTALLED ON THE DOWN-SLOPE SIDES OF THE SITE. THE STORM INLETS WILL BE
 COVERED WITH SILT FENCE INLET PROTECTION UNTIL STONE BASE AND PAVEMENTS
 ARE INSTALLED. A STONE CONSTRUCTION ENTRANCE WILL BE INSTALLED UPON
 THE SITE TO LIMIT THE TRACKING OF MUD AND SEDIMENT ONTO THE
 PAVEMENTS AND ROADWAYS. COVERED DUMPSTERS WILL BE ON SITE FOR
 DISPOSAL OF TRASH AND OTHER DEBRIS, PAINT AND OTHER POTENTIALLY
 HAZARDOUS CHEMICALS WILL BE STORED INSIDE THE BUILDING. THEREFORE
 THE CONTRACTOR SHALL PROVIDE PROPERLY LABELED AND PURCHASED
 LEAK-PROOF WEATHERPROOF CONTAINERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
 PROPERLY DISPOSING OF THE CONTENTS AND THE CONTAINERS AND MATERIALS
 IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS.
 AN AREA WILL BE PROVIDED FOR THE CONCRETE TRUCKS AS REQUIRED.

CONTRACTORS' RESPONSIBILITY DURING CONSTRUCTION TO INSTALL AND MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION BMPs AS ABOVE AND DETAILED WITHIN THE PLANS AT ALL TIMES, WHICH INCLUDES REMOVAL AND DISPOSAL OF ACCUMULATED DEBRIS. ALL EROSION AND CONTROLS MUST BE MAINTAINED PROPERLY UNTIL THE SITE IS STABILIZED. ONCE MAINTAINED INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS SHALL RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR REPLACEMENT, RESEEDING, RE-MULCHING AND RE-NETTING, MUST BE PERFORMED. THE DEVELOPER WILL OWN AND MAINTAIN THE SITE AFTER ACTION HAS BEEN COMPLETED.

SECTION SEQUENCE:
 KE AND/OR FLAG LIMITS OF CLEARING.

- ING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL
ILITIES & PROCEDURES SHALL BE DISCUSSED.
- AR & GRUB, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROL.
- ALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON PLANS.

ALL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY, IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE SPILLING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS DROPPED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.

AR & GRUB THE REMAINING SITE AS NECESSARY.

SILT FENCE ALONG DOWNGRAIENT PERIMETER
CONSTRUCTION ENTRANCE

NATIVE SEED

TESTING AREA, WORKER PARKING & ADJOINING DRIVE TO BE CONSTRUCTED OF

ING AREA IS TO BE KEPT LITTER FREE WITH DAILY CLEANUP. IN ADDITION,

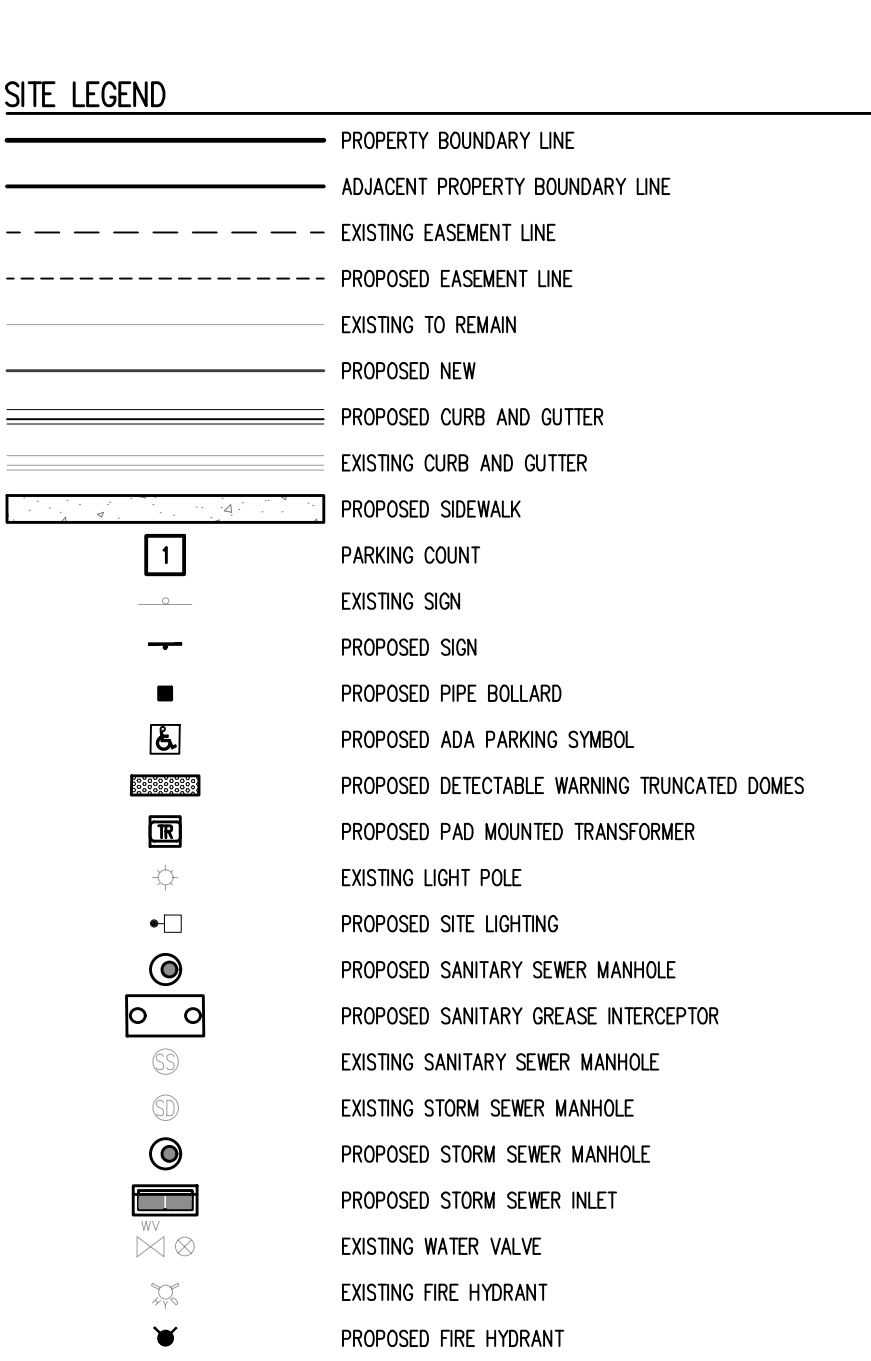
EMPT SITE WILL NOT BE PERMITTED, AND IF DEBRIS IS STORED IN AREAS
SIDE OF THE DESIGNATED STORAGE AREA, CITY STAFF WILL SHUT DOWN THE
SITE

CONSTRUCTION SIGNAGE IS TO BE CONSTRUCTED ON 2-4"x4" PAINTED

#1-DISPLAY SURFACE CAN BE NO MORE THAN 32 S.F. & MUST BE LESS
N.O. FT. TALL

DISTURBED AREAS THAT ARE INACTIVE FOR 14 DAYS OR MORE SHALL BE

INITIAL EPSC MEASURES MUST BE INSTALLED AND INSPECTED AND APPROVED
CITY OF MURFREESBORO PRIOR TO ANY GRADING OPERATIONS



EROSION CONTROL LEGEND

LEGAL DESCRIPTION
BEING PARCEL 94.06 MAR 092 AS OF RECORD BOOK 2133 PAGE 1088 & 1098 P.O.B.C.T.

Basis of bearing

BEARINGS, ELEVATIONS, AND COORDINATES SHOWN ARE BASED ON TENNESSEE STATE PLANE
NAD83. (NAVD88)

BENCHMARK

BENCHMARK #1:

BENCHMARK #2:

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE

EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES.

Know what's below.
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING

UTILITY, EITHER THROUGH FATHOMING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



PARCEL 092 09406
OVERFLOW AREA EROSION CONTROL

WILLOWOAK TRAIL
MURFREESBORO, TN 37129

[illegible]

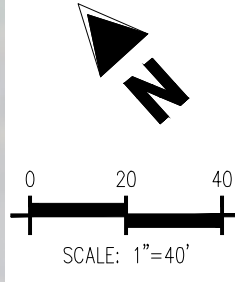
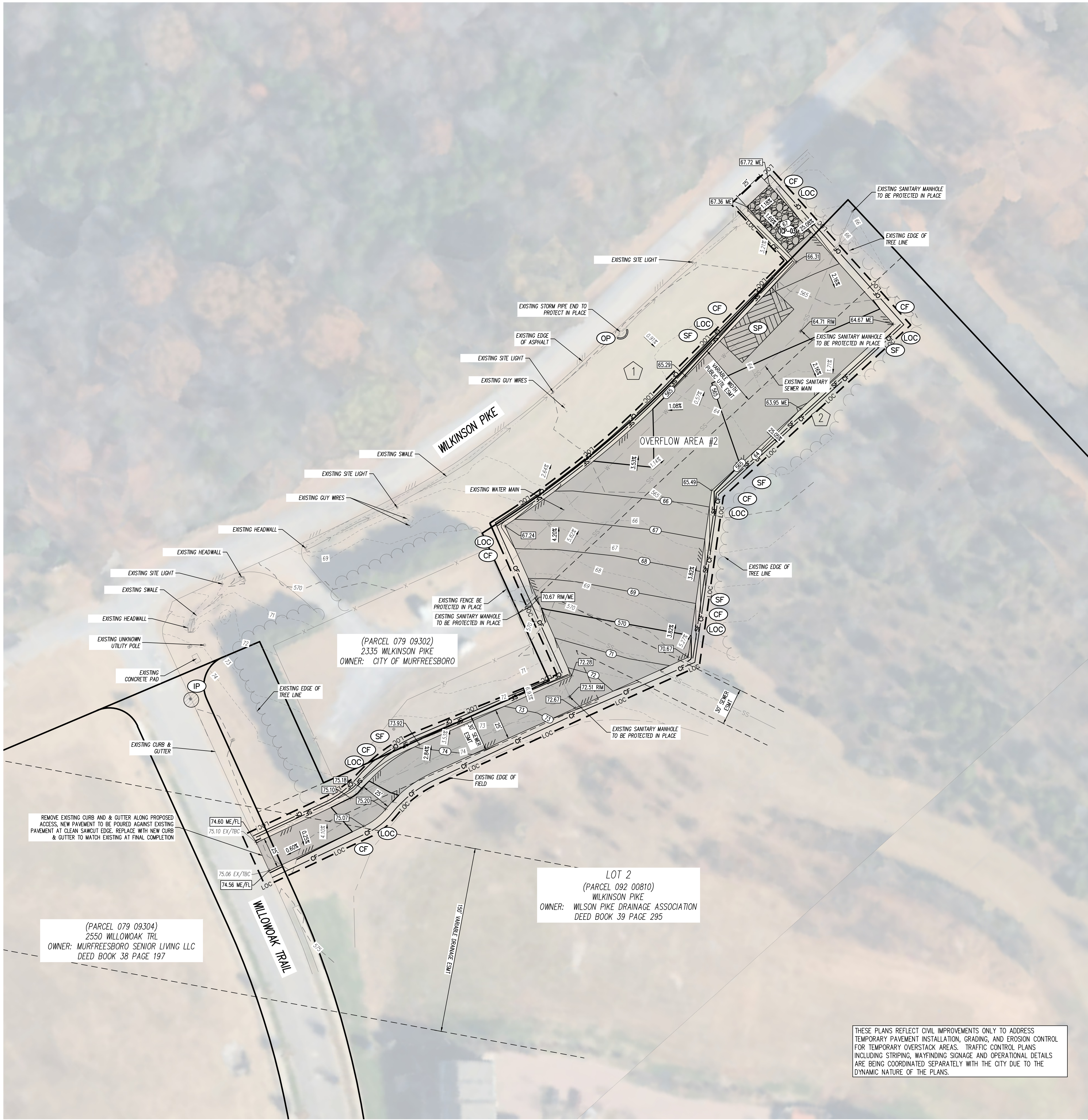
Project No:	INO000057.20
Drawn By:	BSM
Checked By:	PJD
Date:	10/15/2025

OVERFLOW AREA 1 -
EPSC PLAN

#	Date	Issue / Description	Init.
	09/24/2025	1ST SUBMITTAL	PJD
	10/13/2025	2ND SUBMITTAL	PJD

Project No:	INC000057.20
Drawn By:	SR
Checked By:	PJD
Date:	10/09/2025

OVERFLOW AREA 2 -
EPSC PLAN



OVERFLOW AREA - DISTURBED AREA TABLE

LIMITS	AREA (SF)	AREA (AC)
LIMITS OF CONSTRUCTION	66,267	1.52

CUT/FILL TABLE*		
CUT (CU. YD.)	FILL (CU. YD.)	NET CUT (CU. YD.)
230	1,620	1,390

*NOTE: CUT/FILL VOLUMES ARE UNADJUSTED AND DO NOT ACCOUNT FOR PAVEMENT SECTIONS OR FOUNDATIONS.

FINAL OUTFALL				
NO.	DESCRIPTION	AREA	SLOPE	LAT. LONG.
1	NORTH OF SITE	1.01	0-5%	35.8654 -86.4371
2	SEC OF SITE	0.80	0-5%	35.8658 -86.4376

EXISTING ON-SITE CONDITION		
COVER	SCS CLASSIFICATION	AREA (AC)
OPEN SPACE, GOOD CONDITION	B SOIL, CN = 61	0.9
OPEN SPACE, GOOD CONDITION	C SOIL, CN = 74	1.3
COMPOSITE		38

PROPOSED ON-SITE CONDITION		
COVER	SCS CLASSIFICATION	AREA (AC)
OPEN SPACE, GOOD CONDITION	CN = 74	0
PAVEMENT, SIDEWALK, ROOFS	CN = 98	1.82
COMPOSITE		45

PAVEMENT VOLUMES - OVERFLOW AREA		
TYPE	AREA (SF)	TOTAL (CY)
2" HMA	49,449	305
4" BASE	49,449	610

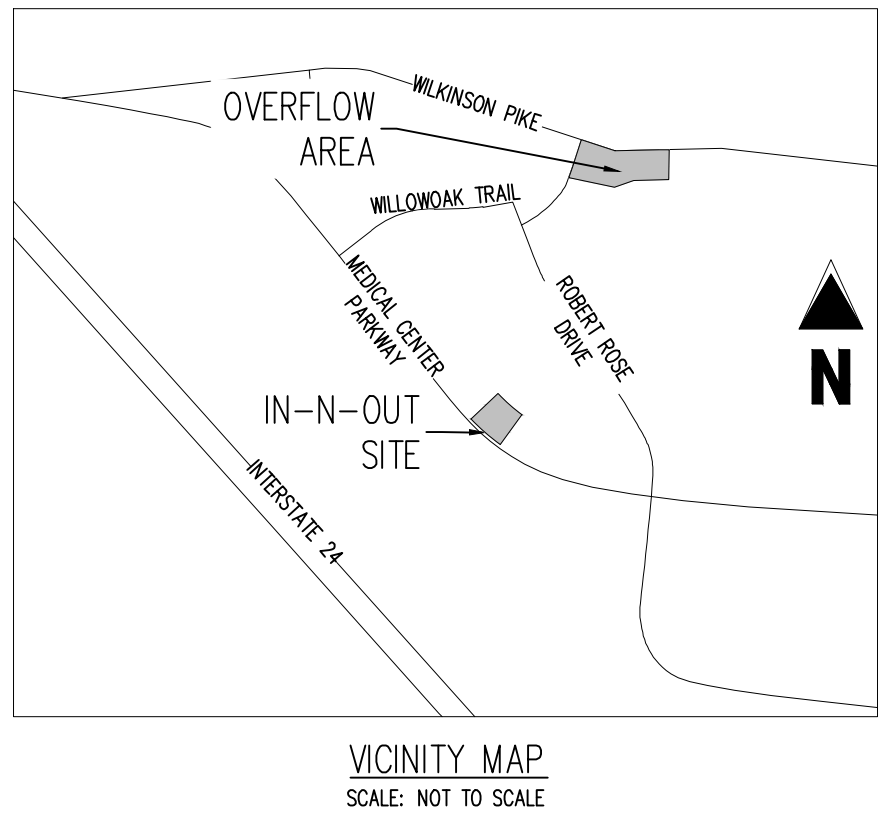
SWPPP NARRATIVE:
DURING DEMOLITION AND MOBILIZATION, THE SEDIMENT AND STORMWATER RUNOFF WILL BE CONTROLLED WITH BEST MANAGEMENT PRACTICES (BMPs). SILT FENCE WILL BE INSTALLED ON THE DOWN-SLOPE SIDES OF THE SITE. THE STORM INLETS WILL BE PROTECTED WITH SILT FENCE INLET PROTECTION UNTIL STONE BASE AND PAVEMENTS CAN BE INSTALLED. A STONE CONSTRUCTION ENTRANCE WILL BE INSTALLED UPON MOBILIZATION OF SITE TO LIMIT THE TRACKING OF MUD AND SEDIMENT ONTO THE ADJACENT PAVEMENTS AND ROADWAYS. COVERED DUMPSTERS WILL BE ON SITE FOR DISPOSAL OF TRASH AND OTHER DEBRIS. PAINT AND OTHER POTENTIALLY HAZARDOUS CHEMICALS WILL BE STORED INSIDE THE BUILDING OR OTHERWISE APPROVED WEATHERPROOF CONTAINER. THE CONTRACTOR PURCHASING THE MATERIALS WILL BE RESPONSIBLE FOR LEGALLY DISPOSING OF THE CONTAINERS AND EXCESS MATERIALS IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS. A WASHOUT AREA WILL BE PROVIDED FOR THE CONCRETE TRUCKS AS REQUIRED.

IT IS THE CONTRACTORS' RESPONSIBILITY DURING CONSTRUCTION TO INSTALL AND MAINTAIN ALL SEDIMENTATION AND STORM WATER POLLUTION PREVENTION BMPs DESCRIBED ABOVE AND DETAILED WITHIN THE PLANS AT ALL TIMES. WHICH INCLUDES REGULAR REMOVAL AND DISPOSAL OF ACCUMULATED DEBRIS. ALL EROSION AND SEDIMENT CONTROLS MUST BE MAINTAINED PROPERLY UNTIL THE SITE IS STABILIZED. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-SEEDING, RE-MULCHING AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY. THE DEVELOPER WILL OWN AND MAINTAIN THE SITE AFTER CONSTRUCTION HAS BEEN COMPLETED.

- CONSTRUCTION SEQUENCE:**
1. STAKE AND/OR FLAG LIMITS OF CLEARING.
 2. DURING PRESUBMITTAL MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED.
 3. CLEAR & GRUB, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROL.
 4. INSTALL SILT FENCE PERIMETER CONTROLS AS SHOWN ON PLANS.
 5. INSTALL CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT FACILITY. IF CONDITIONS ARE SUCH THAT MUD IS COLLECTING ON VEHICLE TIRES, THE TIRES MUST BE CLEANED BEFORE THE VEHICLES ENTER THE PUBLIC ROADWAY. THE SITE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT THE TRACKING OR FLOW OF MUD ONTO THE PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE ROADWAY MUST BE REMOVED PROMPTLY.
 6. CLEAR & GRUB THE REMAINING SITE AS NECESSARY.

EPSC PHASING
INITIAL: SILT FENCE ALONG DOWNGRADIENT PERIMETER
CONSTRUCTION ENTRANCE
TEMPORARY CONCRETE WASHOUT
FINAL: NATIVE SEED

- EPSC NOTES**
1. STAGING AREA, WORKER PARKING & ADJOINING DRIVE TO BE CONSTRUCTED OF STONE.
 2. STAGING AREA IS TO BE KEPT LITTER FREE WITH DAILY CLEANUP. IN ADDITION, ALL STORED MATERIALS ARE TO BE KEPT IN ORGANIZE & STACKED FASHION. AN UNKEMPT SITE WILL NOT BE PERMITTED, AND IF DEBRIS IS STORED IN AREAS OUTSIDE OF THE DESIGNATED STORAGE AREA, CITY STAFF WILL SHUT DOWN THE JOB SITE.
 3. ALL CONSTRUCTION SIGNAGE IS TO BE CONSTRUCTED ON 2'-4'x4' PAINTED POSTS.
 4. SIGN #1-DISPLAY SURFACE CAN BE NO MORE THAN 32 S.F. & MUST BE LESS THAN 9 FT. TALL.
 5. ALL DISTURBED AREAS THAT ARE INACTIVE FOR 14 DAYS OR MORE SHALL BE STABILIZED.
 6. ALL INITIAL EPSC MEASURES MUST BE INSTALLED AND INSPECTED AND APPROVED THE CITY OF MURFREESBORO PRIOR TO ANY GRADING OPERATIONS



SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING TO REMAIN
- PROPOSED NEW
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- PROPOSED SIDEWALK
- PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- PROPOSED PAD MOUNTED TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED SITE LIGHTING
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY GREASE INTERCEPTOR
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER INLET
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT

EROSION CONTROL LEGEND

- 550 EXISTING MAJOR CONTOUR
- 551 EXISTING MINOR CONTOUR
- 550 PROPOSED MAJOR CONTOUR
- 551 PROPOSED MINOR CONTOUR
- SD EXISTING STORM SEWER (LESS THAN 12")
- EXISTING STORM SEWER
- FLOW ARROW
- LOC LIMITS OF CONSTRUCTION
- VTC VEHICLE TRACKING CONTROL
- CWA CONCRETE WASHOUT AREA
- SSA STABILIZED STAGING AREA
- SM SEED AND MULCH
- IP INLET PROTECTION
- CS CURB SOCKS
- SF SILT FENCE
- SF SILT FENCE
- PT PORTABLE TOILET
- SP SITE POSTING (CONTACTS AND PERMITS)
- WP WASHOUT POSTING

LEGAL DESCRIPTION

BEING PARCEL 94.06, MAP 092, AS OF RECORD BOOK 2133, PAGE 1088 & 1098, R.O.R.C.T.

BASIS OF BEARING

BEARINGS, ELEVATIONS, AND COORDINATES SHOWN ARE BASED ON TENNESSEE STATE PLANE NAD83. (NAD83)

BENCHMARK

ONSITE BENCHMARKS:

- BENCHMARK #1: MAG NAIL IN ASPHALT, ELEVATION = 588.50
- BENCHMARK #2: MAG NAIL IN BACK OF CURB, ELEVATION = 586.57

CAUTION - NOTICE TO CONTRACTOR

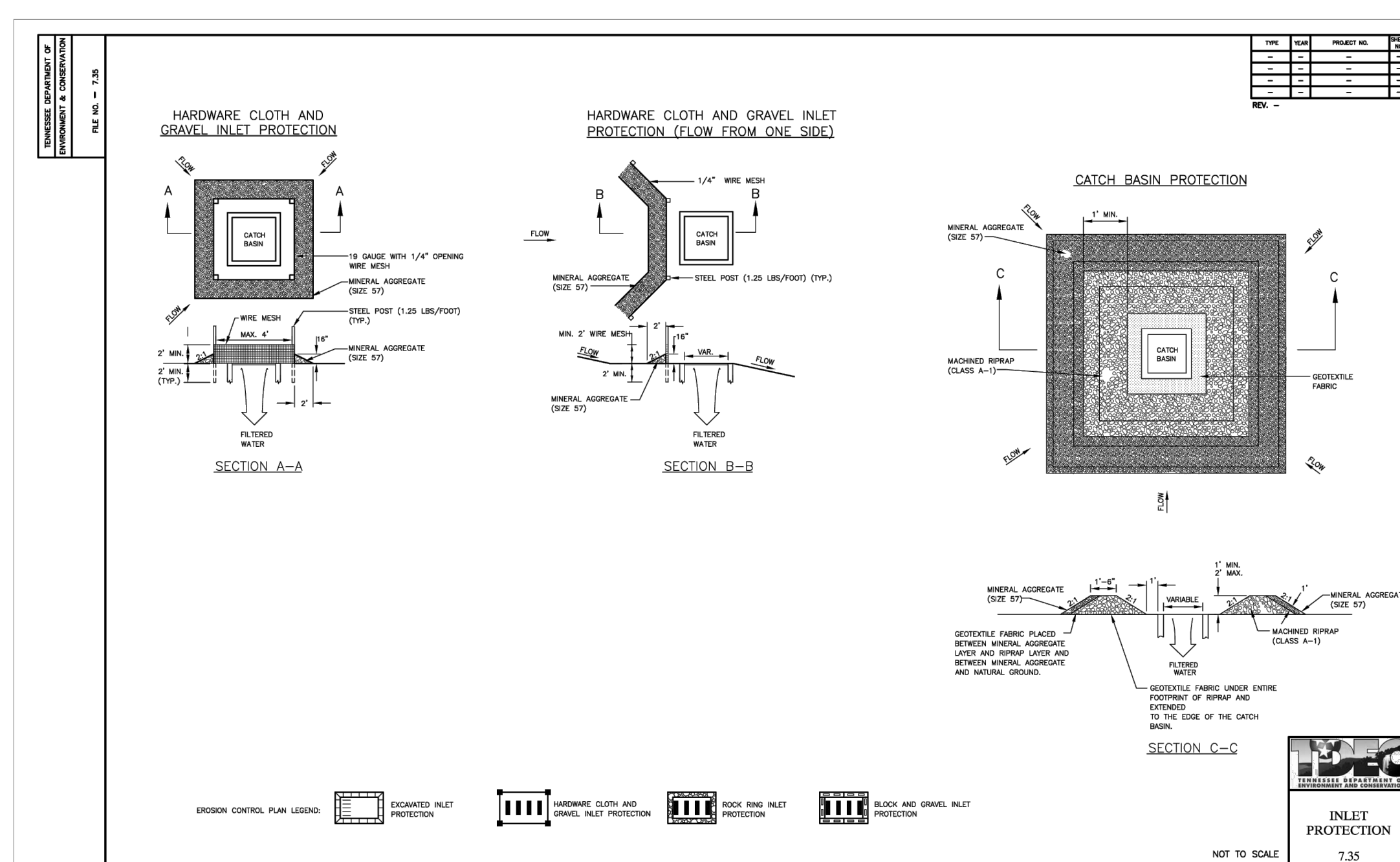
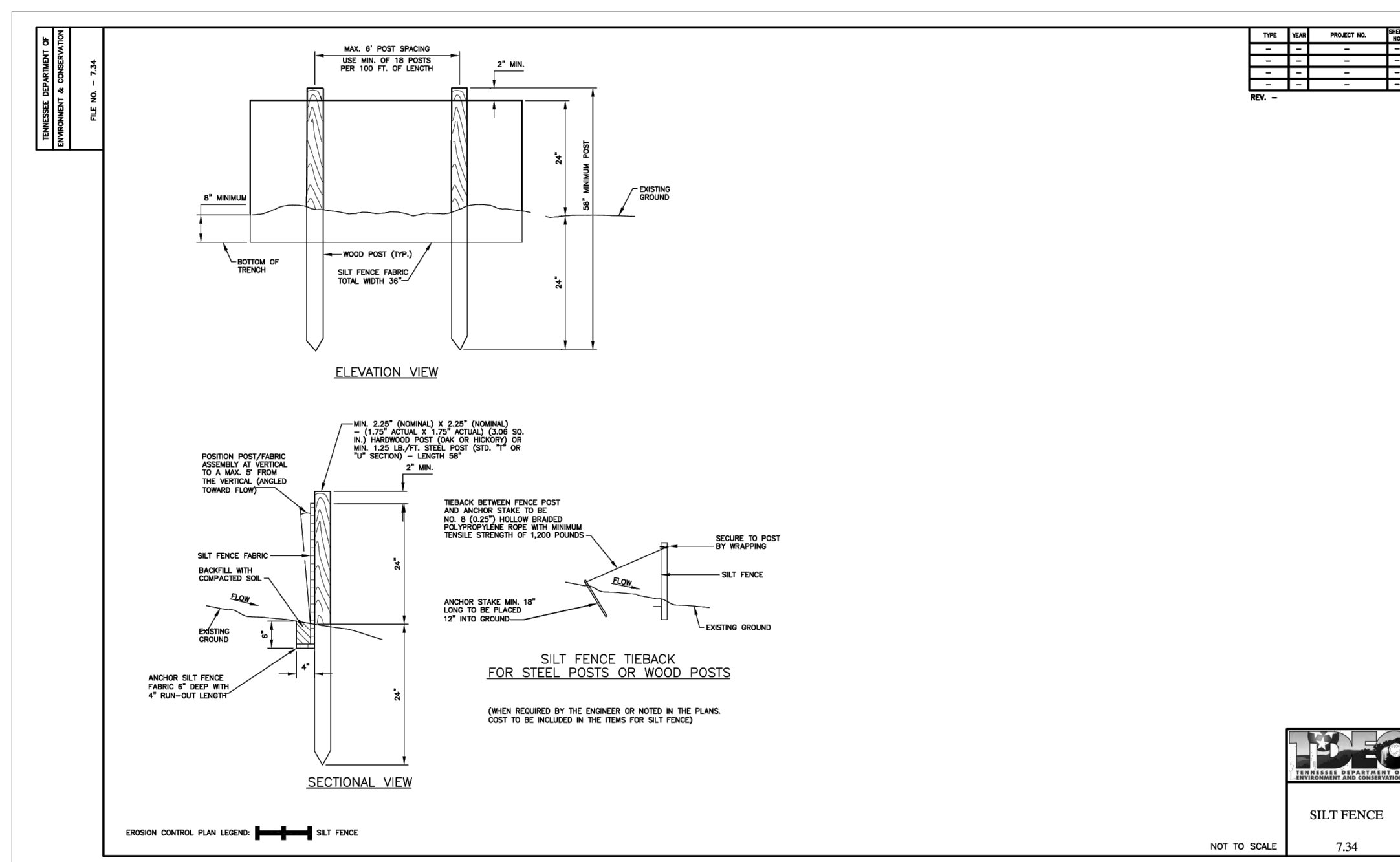
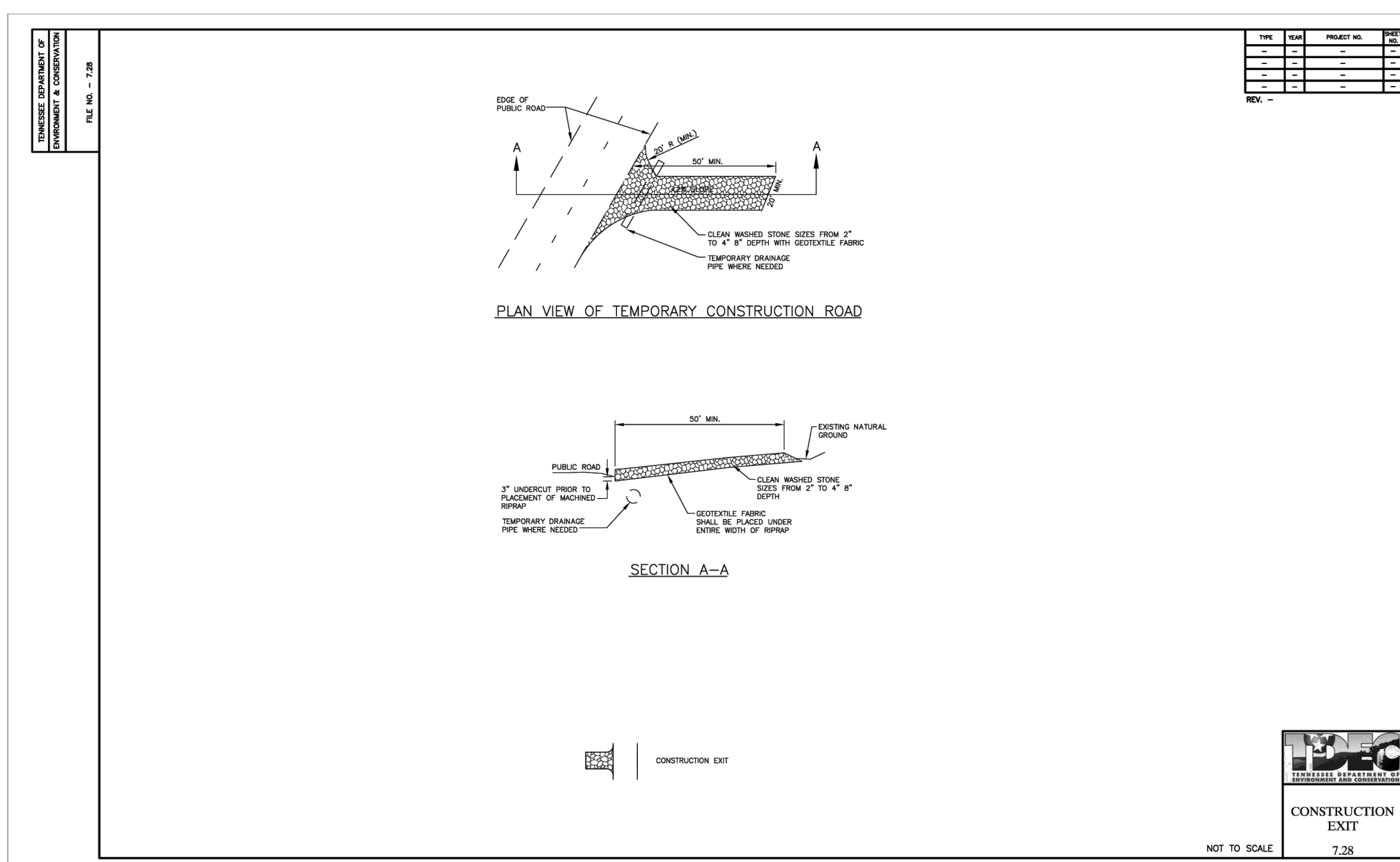
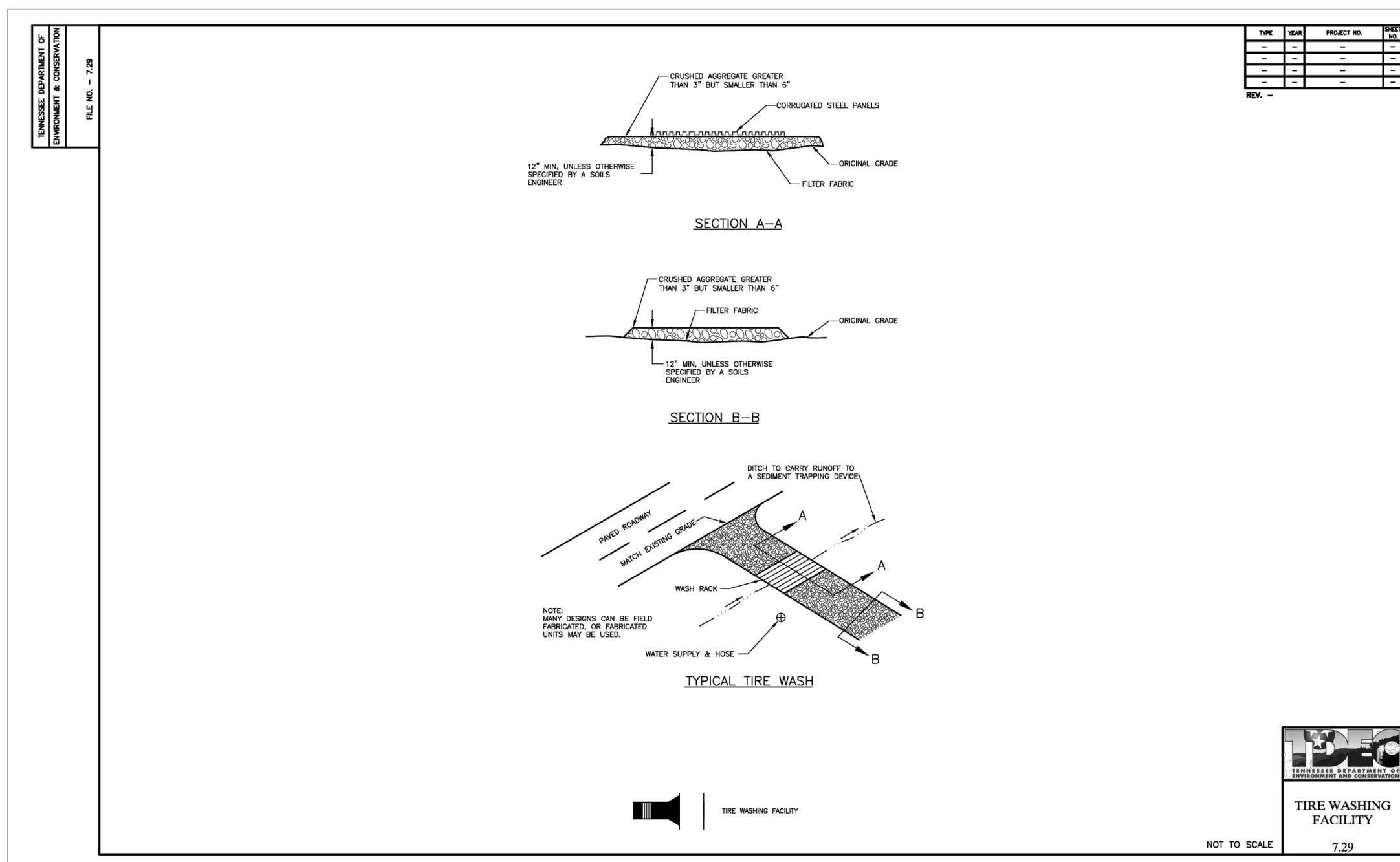
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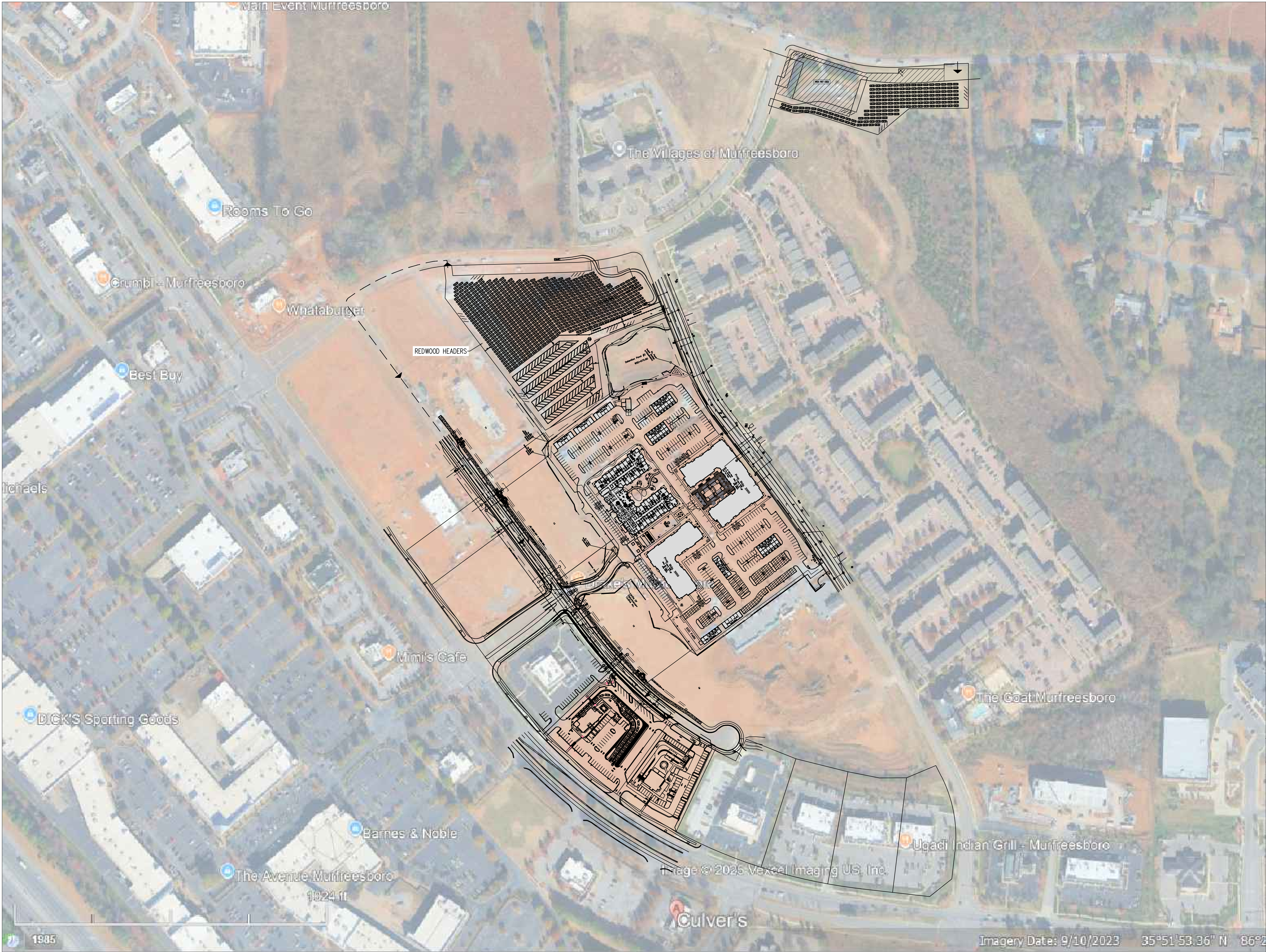


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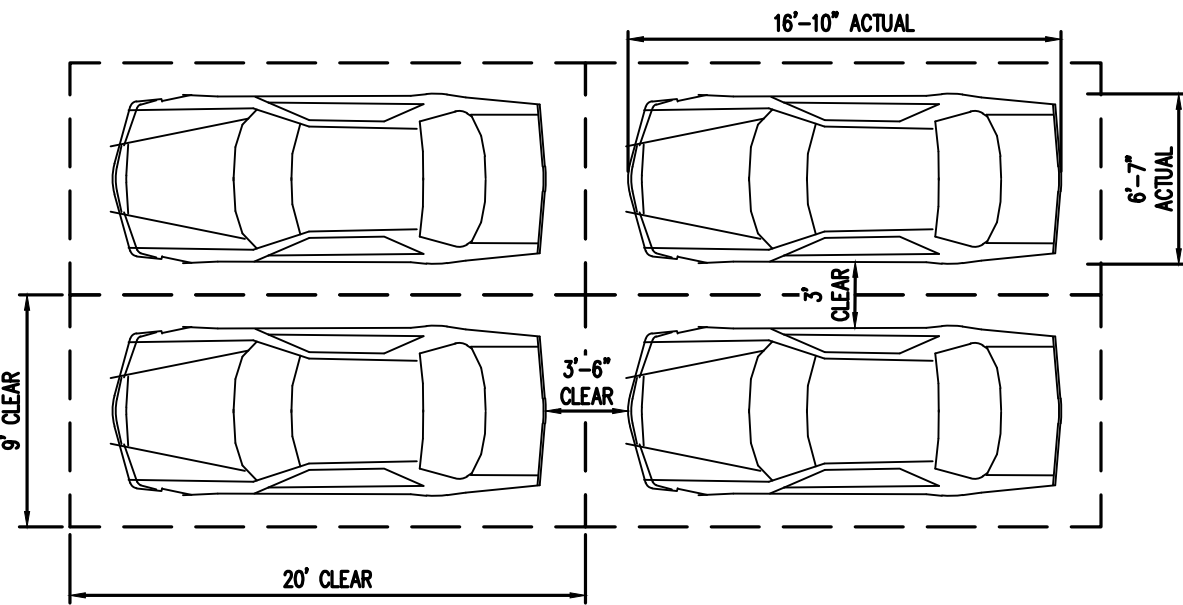
Project No:	INO000057.20
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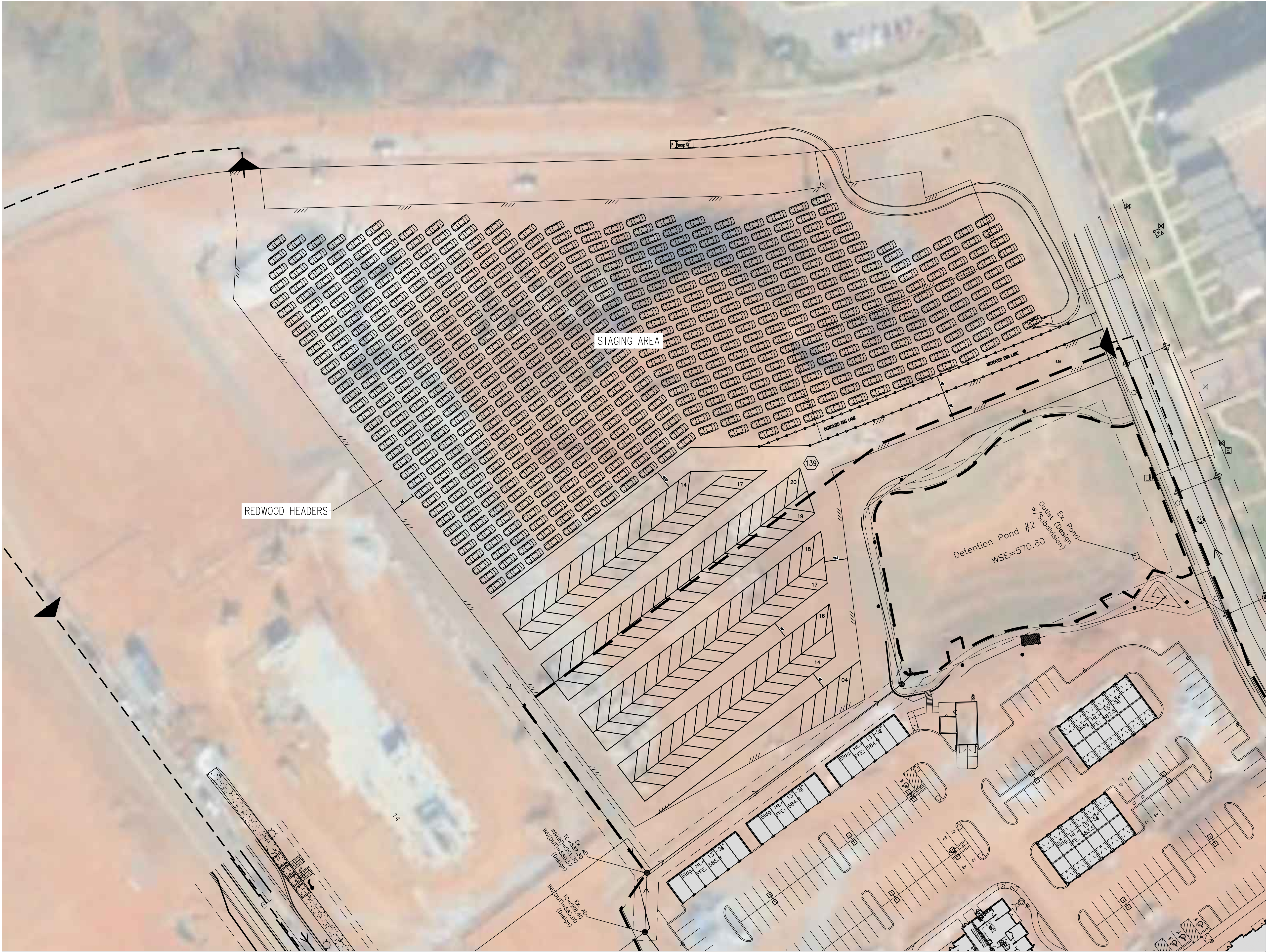
OVERFLOW AREA PLAN -
EPSC DETAILS



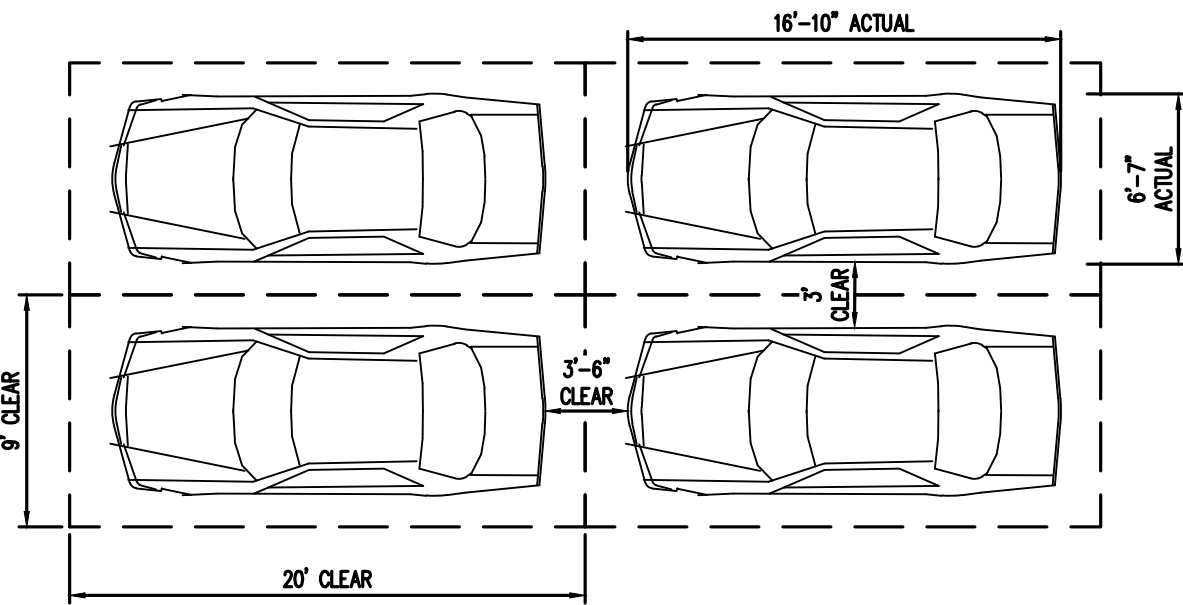


CAR SPACING EXHIBIT





CAR SPACING EXHIBIT



REVISIONS

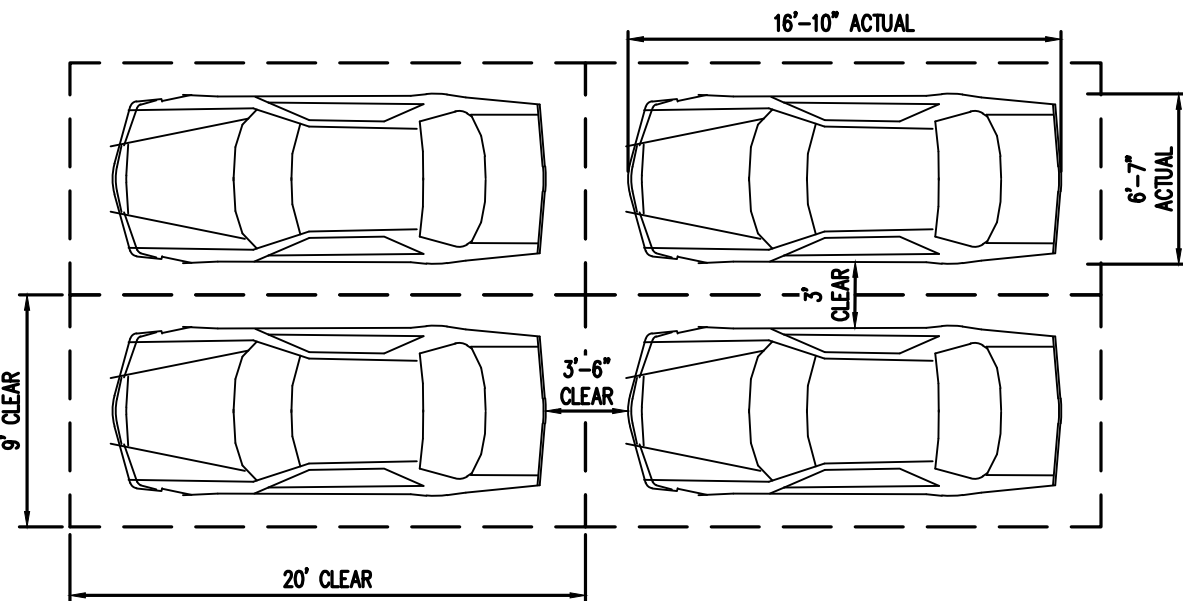
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IN-N-OUT BURGER
2508 MEDICAL CENTER PKWY
MURFREESBORO, TN

OVERSTACK OPTION 7
595 CARS
139 PARKING STALLS



CAR SPACING EXHIBIT



REVISIONS

△	_____
△	_____
△	_____
△	_____
△	_____

IN-N-OUT BURGER
2508 MEDICAL CENTER PKWY
MURFREESBORO, TN

OVERSTACK OPTION 7
157 CARS

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
NOVEMBER 5, 2025
PROJECT PLANNER: MATTHEW BLOMELEY**

6.c. Consider naming the new “Cherry Lane Extension” west of I-840 to “Stonesbattle Parkway”.

Section 5.2 of the Subdivision Regulations states that “The Planning Commission shall have final authority over street names.” It also states that “The proposed name of a subdivision, or street within the subdivision, shall not duplicate or closely approximate phonetically, the name of any other subdivision or street within the limits of the City of Murfreesboro or the jurisdictional area of Rutherford County.”

The City’s 2040 Major Transportation Plan (MTP) was adopted in 2017. One of its goals was to promote additional connectivity through existing physical impediments, such as waterways, interstates, and railroads. The MTP identifies the extension of Cherry Lane as an important such link. The current Cherry Lane runs from Lebanon Pike west to Leanna Road. With this road project, it will dip southward east of Leanna Road and traverse westward to a new interchange with I-840. From I-840, it will continue westward toward Northwest Broad Street and eventually to I-24. The project is broken down into phases, with the phases east of I-840 being constructed first. It is anticipated that that phases west of I-840 will begin construction in approximately 5-6 years with completion in approximately 8-10 years.

The Masonbrooke Subdivision on the east side of Florence Road has been under construction for the last several years. A segment of the “Cherry Lane Extension” bisects Masonbrooke running east to west. The Masonbrooke developer was required to construct a 3-lane cross-section of this roadway as a function of the subdivision development and also to dedicate sufficient right-of-way for its eventual widening to five lanes.

With it being approximately 8-10 years before this roadway segment will connect to the remaining Cherry Lane to the east, Staff thought it would be appropriate for the segment of this roadway west of I-840 to have a different street name. Otherwise, it would be a disconnected segment of Cherry Lane for an extended period of time, potentially resulting in confusion for motorists and service providers, including emergency service providers. By giving it a different street name, this roadway segment in Masonbrooke could stand on its own for an indefinite period of time without being confused with Cherry Lane. Changing the street name at I-840, as proposed, is not unprecedented, as it would be similar to Medical Center Parkway changing to Fortress Boulevard at I-24.

The Planning Staff researched numerous street names in consultation with Rutherford County E-911, and the City Manager's office has been in contact with City Council members regarding potential street names. It was determined that the street name "Stonesbattle Parkway" would be nominated for Planning Commission consideration for this roadway west of I-840. Rutherford County E-911 has vetted this proposed street name and has indicated that it does not conflict with or duplicate any existing street names in Rutherford County or in any of its municipalities.

The developer of Masonbrooke is nearing completion of infrastructure construction and hopes to record the final plat soon, so that vertical construction can begin on single-family homes. When the final plat went before the Planning Commission in July, the street name "Cherry Lane" was shown on the plat in the agenda packet. However, Staff has identified a need for a different street name to be used and recommends "Stonesbattle Parkway" in commemoration of the Battle of Stones River. The developer has been notified that an alternative street name will be considered by the Planning Commission.

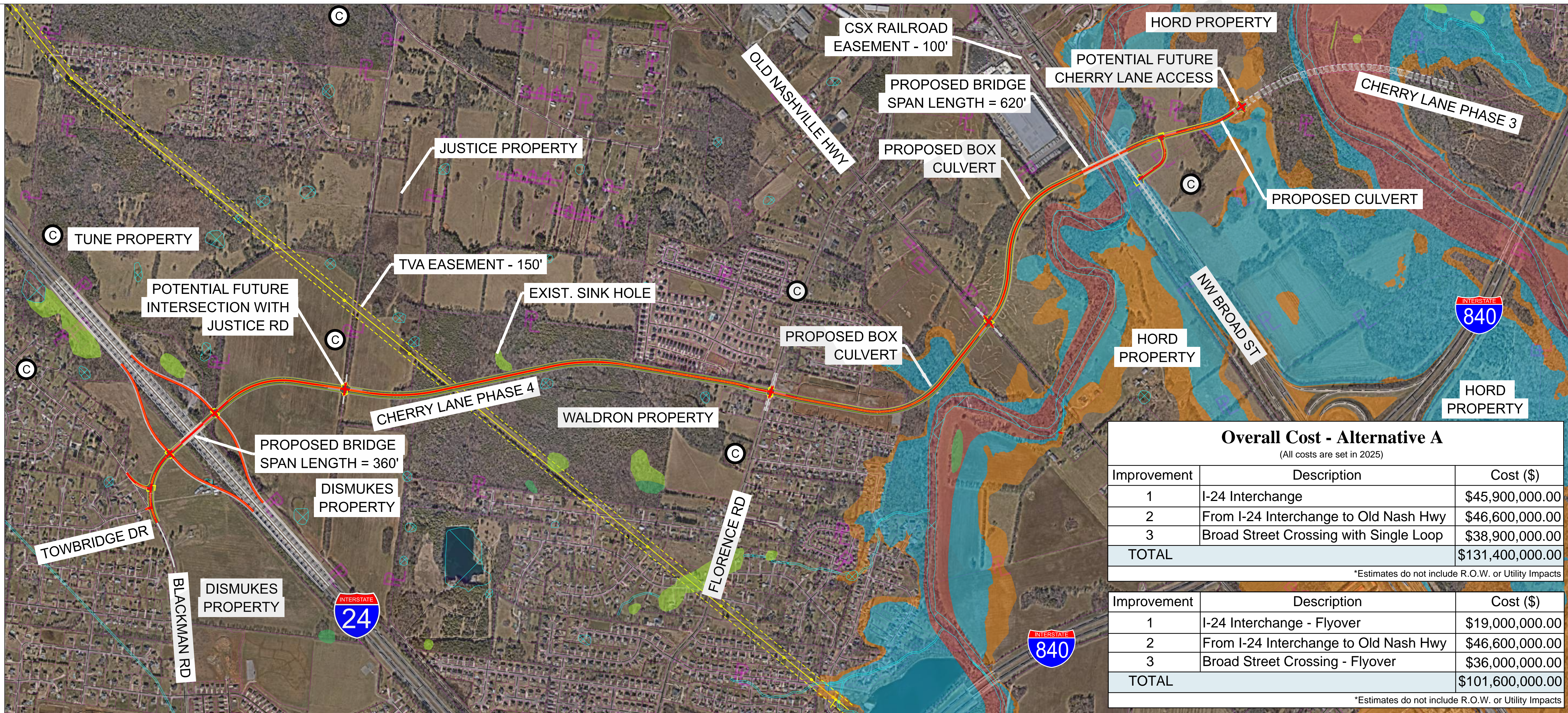
Action Needed:

The Planning Commission will need to discuss this matter and then consider its approval. This will allow the developer to update the final plat with the new street name prior to recording it.

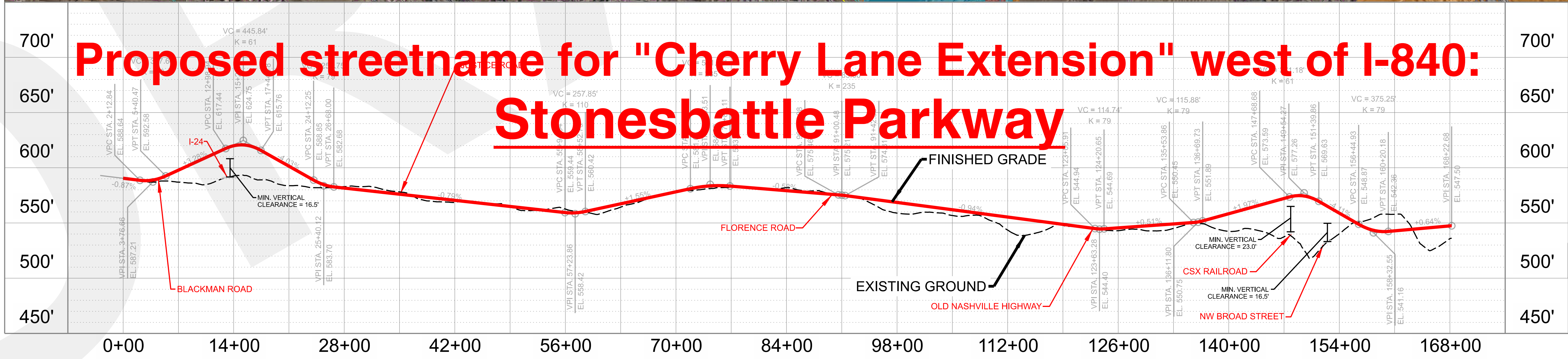
- LEGEND:**
- ALIGNMENT ALTERNATIVE - A
 - EXISTING ROADS
 - EXISTING ROAD CENTERLINE
 - PARCEL LINEWORK
 - APPROXIMATE CEMETERY LOCATION
 - TVA POWERLINES
 - FRESHWATER POND/STREAM
 - EMERGENT WETLAND
 - FORESTED/SHRUB WETLAND
 - 500 YR - FLOOD HAZARD
 - 100 YR - FLOOD HAZARD
 - REGULATORY FLOODWAY

DESIGN CRITERIA:

CLASSIFICATION: MAJOR ARTERIAL
DESIGN SPEED: 45 MPH
DESIGN VEHICLE: WB-50



Overall Cost - Alternative A		
(All costs are set in 2025)		
Improvement	Description	Cost (\$)
1	I-24 Interchange	\$45,900,000.00
2	From I-24 Interchange to Old Nash Hwy	\$46,600,000.00
3	Broad Street Crossing with Single Loop	\$38,900,000.00
TOTAL		\$131,400,000.00
*Estimates do not include R.O.W. or Utility Impacts		
Improvement	Description	Cost (\$)
1	I-24 Interchange - Flyover	\$19,000,000.00
2	From I-24 Interchange to Old Nash Hwy	\$46,600,000.00
3	Broad Street Crossing - Flyover	\$36,000,000.00
TOTAL		\$101,600,000.00
*Estimates do not include R.O.W. or Utility Impacts		



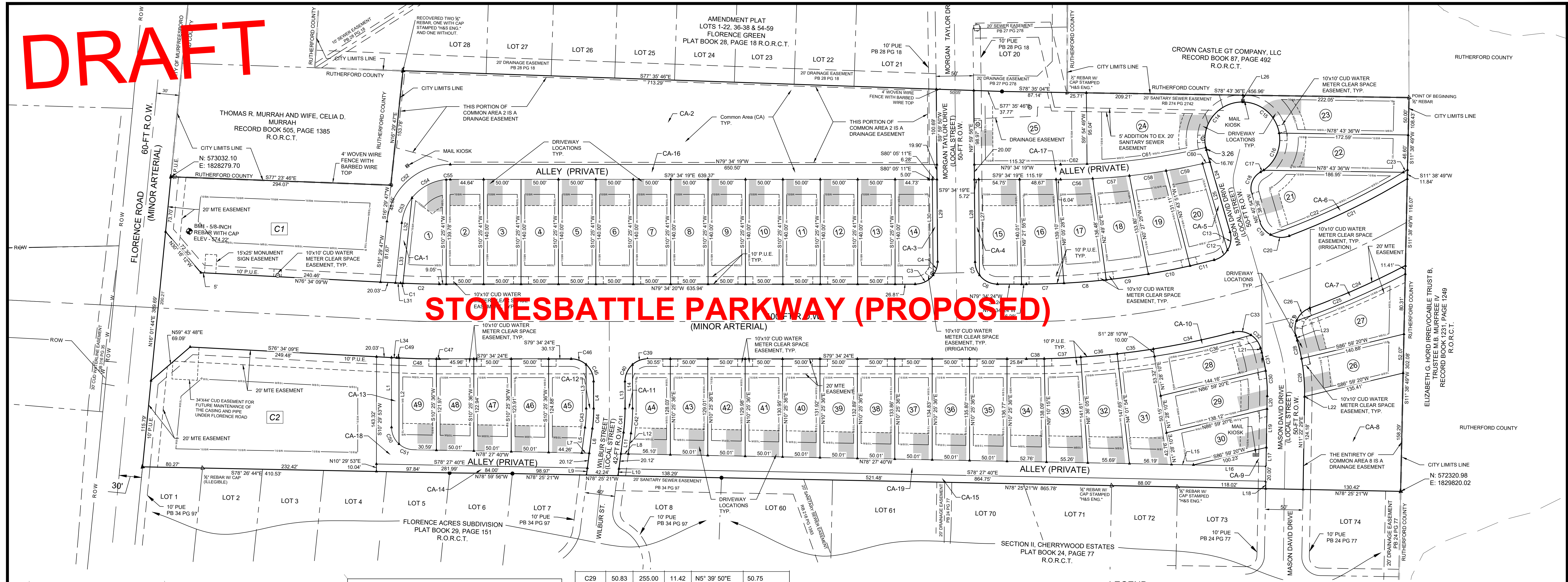
Preliminary
07/22/2025

NOTE:
National Wetland Inventory shapes displayed were developed using biological definition of wetlands and may not be consistent with wetland boundaries established according to the federal regulatory definition of wetlands under the Clean Water Act. The data does not account for changes in the landscape that may have occurred after mapping (see metadata). The Wetlands Mapper data should not be interpreted as representing the presence, absence, or extent of wetlands that may be covered under one or more federal, state, Tribal, or local laws. If you are planning to conduct activities that could affect waters or wetlands, we recommend that you contact your local USACE regulatory office to ensure compliance with applicable federal wetland regulations.

Proposed streetname for
"Cherry Lane Extension"
west of I-840:
Stonesbattle Parkway



DRAFT



Parcel Line Table		
Line #	Length	Direction
L1	93.24	N10° 25' 30.98"E
L2	115.08	N10° 25' 30.98"E
L3	58.55	N10° 20' 07.95"E
L4	36.19	S10° 20' 07.95"W
L5	34.41	N17° 40' 51.28"E
L6	33.33	S17° 40' 51.28"W
L7	10.06	N78° 27' 40.46"W
L8	10.06	N78° 27' 40.46"W
L9	9.40	S17° 40' 51.28"W
L10	9.43	N17° 40' 51.28"E
L11	28.81	N17° 40' 51.28"E
L12	27.74	N17° 40' 51.28"E
L13	36.03	N10° 20' 07.95"E
L14	58.39	N10° 20' 07.95"E
L15	29.32	N78° 27' 40.46"W
L16	97.07	N78° 27' 40.46"W
L17	25.18	S11° 24' 02.48"W
L18	9.96	S11° 24' 02.48"W
L19	51.62	S11° 24' 02.48"W
L20	17.18	S11° 24' 02.48"W
L21	4.23	S5° 40' 54.13"E
L22	0.21	N11° 22' 29.42"E
L23	6.74	N5° 40' 54.13"W
L25	120.43	S5° 40' 54.13"E
L26	9.28	S11° 16' 23.77"W
L27	128.05	N9° 54' 48.55"E
L28	110.21	N9° 59' 55.79"E
L29	109.88	S9° 59' 49.74"W
L30	128.00	S9° 54' 48.55"W
L31	6.87	N76° 34' 09.06"W

Parcel Line Table		
L32	114.70	S16° 29' 46.79"W
L33	80.60	N16° 29' 46.79"E
L34	6.93	S76° 34' 09.06"E

COMMON AREA TABLE			
PARCEL NAME	AREA (SF)	AREA (AC)	TYPE
CA-1	1,038	0.02	LANDSCAPED
CA-2	82,623	1.90	LANDSCAPED
CA-3	757	0.02	LANDSCAPED
CA-4	711	0.02	LANDSCAPED
CA-5	1,133	0.03	LANDSCAPED
CA-6	1,937	0.04	LANDSCAPED
CA-7	1,537	0.04	LANDSCAPED
CA-8	18,466	0.42	LANDSCAPED
CA-9	1,222	0.03	LANDSCAPED
CA-10	1,248	0.03	LANDSCAPED
CA-11	1,126	0.03	LANDSCAPED
CA-12	1,117	0.03	LANDSCAPED
CA-13	1,085	0.02	LANDSCAPED
CA-14	2,723	0.06	LANDSCAPED
CA-15	8,363	0.19	LANDSCAPED
CA-16	16,831	0.39	ALLEY
CA-17	6,275	0.14	ALLEY
CA-18	8,319	0.19	ALLEY
CA-19	17,273	0.40	ALLEY

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	3.14	990.00	0.18	N76° 39' 36"W	3.14
C2	48.77	990.00	2.82	N78° 09' 44"W	48.76
C3	27.84	29.99	53.18	S73° 45' 23"W	26.85
C4	19.46	29.99	37.19	S28° 34' 24"W	19.12
C5	19.15	30.00	36.58	N8° 17' 27"W	18.83
C6	27.75	30.00	52.99	N53° 04' 36"W	26.77
C7	50.33	990.00	2.91	N81° 01' 36"W	50.33
C8	56.70	990.00	3.28	N84° 07' 25"W	56.69
C9	56.78	990.00	3.29	N87° 24' 26"W	56.77
C10	56.86	990.00	3.29	S89° 18' 16"W	56.85
C11	33.06	990.00	1.91	S86° 42' 09"W	33.06
C12	22.47	30.00	42.91	S63° 57' 41"W	21.94
C13	25.23	30.00	48.19	S18° 24' 47"W	24.49
C14	90.08	50.00	103.22	S49° 39' 48"W	78.38
C15	69.20	50.00	79.30	N39° 04' 32"W	63.81
C16	56.92	50.00	65.22	N33° 11' 13"E	53.89
C17	4.73	50.00	5.42	N68° 30' 28"E	4.73
C18	33.55	25.00	76.90	N32° 46' 04"E	31.09
C19	23.99	30.00	45.82	N28° 35' 32"W	23.36
C20	25.57	30.00	48.84	N75° 55' 27"W	24.81
C21	175.71	990.00	10.17	S74° 33' 33"W	175.48
C22	196.40	980.00	11.48	S75° 13' 23"W	196.08
C23	6.43	980.00	0.38	S69° 17' 38"W	6.43
C24	140.45	1090.00	7.38	N76° 24' 58"E	140.35
C25	158.38	1100.00	8.25	N77° 08' 13"E	158.24
C26	24.93	30.00	47.62	N58° 18' 00"E	24.22
C27	19.99	30.00	38.17	N13° 24' 19"E	19.62
C28	25.08	255.00	5.63	N2° 51' 52"W	25.07

C29	50.83	255.00	11.42	N5° 39' 50"E	50.75
C30	33.88	205.00	9.47	S6° 39' 57"W	33.84
C31	27.24	205.00	7.61	S1° 52' 31"E	27.22
C32	21.47	30.00	41.00	S26° 08' 53"E	21.01
C33	24.93	30.00	47.61	S70° 27' 06"E	24.22
C34	109.02	1090.00	5.73	N88° 36' 15"E	108.98
C35	48.74	1090.00	2.56	S87° 14' 58"E	48.74
C36	48.88	1090.00	2.57	S84° 41' 00"E	48.88
C37	48.88	1090.00	2.57	S82° 06' 50"E	48.88
C38	23.89	1090.00	1.26	S80° 12' 04"E	23.89
C39	21.94	30.00	41.90	N79° 28' 33"E	21.45
C40	25.23	30.00	48.19	N34° 25' 49"E	24.49
C41	32.18	251.00	7.35	N14° 00' 30"E	32.16
C42	33.46	261.00	7.35	N14° 00' 30"E	33.44
C43	25.51	199.00	7.35	N14° 00' 30"E	25.49
C44	26.79	209.00	7.35	S14° 00' 30"W	26.78
C45	25.23	30.00	48.19	S13° 45' 33"E	24.49
C46	21.84	30.00	41.72	S58° 42' 48"E	21.36
C47	4.04	1090.00	0.21	S79° 28' 02"E	4.04
C48	50.02	1090.00	2.63	S78° 02' 46"E	50.02
C49	3.09	1090.00	0.16	S78° 39' 01"E	3.09
C50	25.23	30.00	48.19	N13° 40' 10"W	24.49
C51	21.31	30.00	40.70	N58° 06' 46"W	20.86
C52	124.52	85.00	83.93	S58° 27' 44"W	113.68
C53	36.53	65.00	32.20	N32° 35' 54"E	36.06
C54	53.32	65.00	47.00	N72° 12' 01"E	51.84
C55	5.36	65.00	4.73	S81° 56' 10"E	5.36
C56	42.93	860.00	2.86	S81° 00' 07"E	42.92
C57	49.21	860.00	3.28	S84° 04' 16"E	49.20
C58	49.44	860.00	3.29	S87° 21' 25"E	49.43
C59	49.67	860.00	3.31	N89° 20' 29"E	49.66
C60	10.01	860.00	0.67	N87° 21' 12"E	10.01
C61	160.38	840.00	10.94	N87° 27' 17"W	160.13
C62	35.38	840.00	2.41	N80° 46' 43"W	35.38

SITE INFORMATION:

PROJECT NAME: MASONBROOKE SUBDIVISION
PARCEL NOS.: 15.00 and 15.02
TAX MAP: 71
CURRENT ZONING: CF / RS-6

PROPOSED USE: SINGLE-FAMILY RESIDENTIAL / COMMERCIAL
COMMERCIAL LOTS: 2 LOTS
RESIDENTIAL LOTS: 49 LOTS
TOTAL PROPERTY AREA: 18.81 AC
DENSITY: 2.71 LOTS/AC
MINIMUM LOT SIZE: 6,000 SF
MINIMUM LOT WIDTH: 50 FT

LAND USE BREAKDOWN
RESIDENTIAL LOTS: 7.04 AC (37.5%)
COMMERCIAL LOTS: 2.13 AC (11.3%)
OPEN SPACE: 3.78 AC (20.1%)
ROAD R/W DEDICATION: 4.58 AC (24.3%)
ALLEYS (PRIVATE ROADS): 1.28 AC (6.8%)

FEMA NOTE: THIS SITE LIES WITHIN ZONE X, OUTSIDE THE 100 YEAR FLOODPLAIN, PER COMMUNITY PANEL 47149C0140J, EFFECTIVE MAY 9, 2023.

DEED: THE PROPERTY SHOWN HEREON IS LOCATED ON FLORENCE ROAD, TAX MAP 71, PARCEL 15, 6TH CIVIL DISTRICT, AS RECORDED IN D.B. 2313, PG. 3147 AND PARCEL 15.02, 6TH CIVIL DISTRICT, AS RECORDED IN D.B. 2407, PG. 3213

APPLICANT: PARCEL 15.00
ALCORN PROPERTIES
4613 VETERANS PKWY
MURFREESBORO, TN 37128
615-896-0081
DAVID ALCORN

CONTACT: PARCEL 15.02
CASTLEROCK COMMUNITIES
381 RIVERSIDE DR, STE 300
FRANKLIN, TN 37064
615-580-8680
PATRICK CAREY

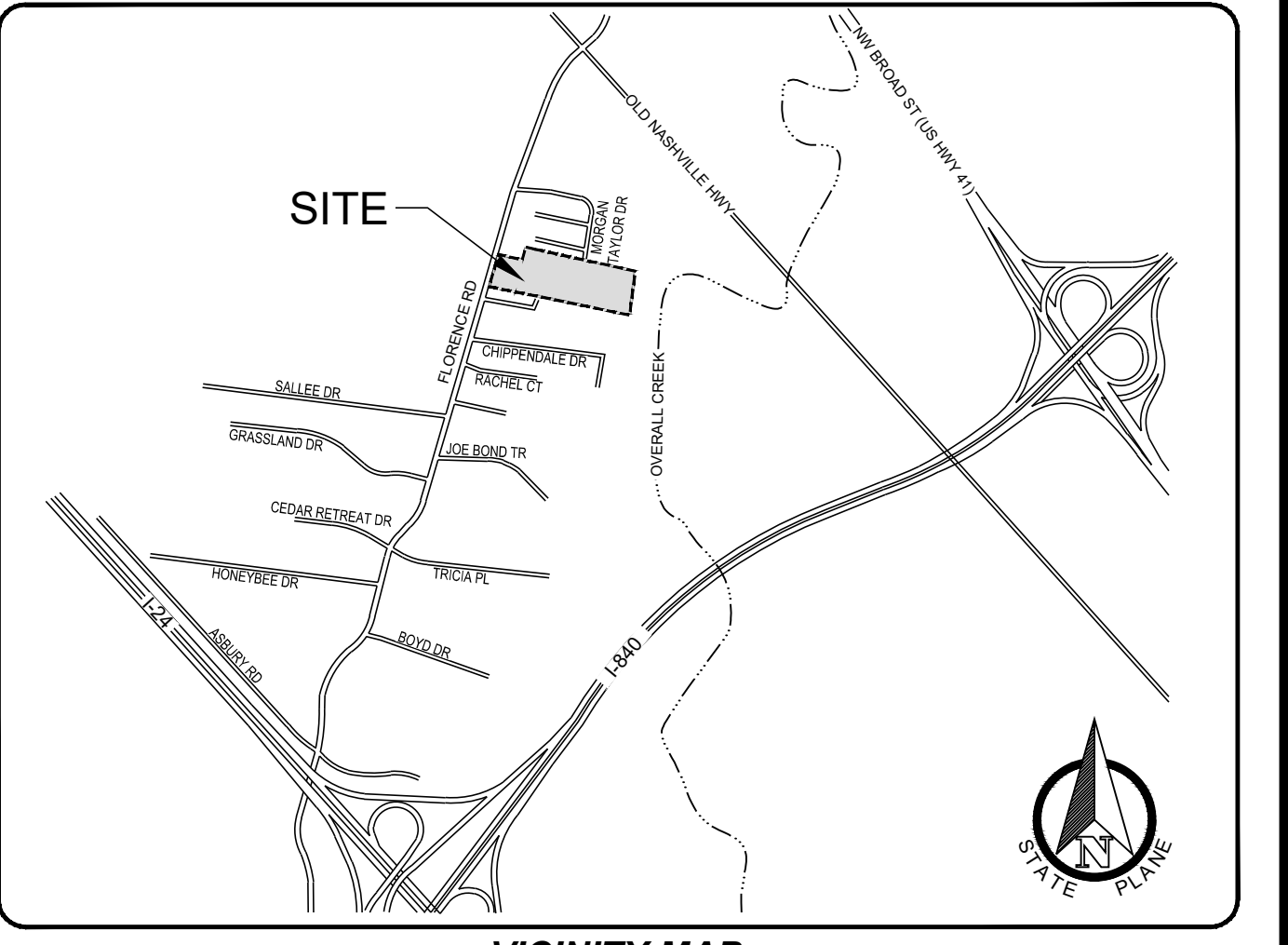
PREPARED BY: CIVIL INFRASTRUCTURE ASSOCIATES, LLC
307 HICKERSON DRIVE
MURFREESBORO, TN 37129
615-516-2852

CONTACT: LINDA SULLIVAN, PE

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- REBAR FOUND
- PIPE FOUND
- CONCRETE MONUMENT FOUND
- PK / MAG NAIL FOUND
- UNMARKED BOUNDARY
- REBAR W/ CAP SET
- COMMON AREA # - SEE TABLE
- COMMON AREA - LANDSCAPED

- NOTES
- This property is located within the Overall Creek Sewer Assessment District.
 - The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.
 - Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.



PREPARED BY:

CIVIL INFRASTRUCTURE ASSOCIATES
307 Hickerson Drive
Murfreesboro, TN 37129
Tel: 615-663-7678
www.cia-engineers.com

contact: Ryan Beasley, RLS

UNLESS OTHERWISE NOTED, ALL NEW LOT CORNERS ARE CAPPED 18" LONG 1/2" REBAR SET

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____ PAGE: _____

SCALE: 1"= 60'

FINAL PLAT
Masonbrooke Subdivision
FLORENCE ROAD
MURFREESBORO, TENNESSEE

PROJECT NO. 2021-005 6th CIVIL LAND DISTRICT
DATE: 11 AUG 2025 SCALE 1"=60' SH. 1 OF 2