

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**NOVEMBER 5, 2025  
6:00 PM**

**Ken Halliburton  
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the October 15, 2025 Planning Commission regular meeting and the October 15, 2025 Planning Commission/City Council Joint Conceptual Workshop meeting.**
- 5. Public Hearings and Recommendations to Council:**
  - a. Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant. (Project Planner: Richard Donovan)**
  - b. Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant. (Project Planner: Richard Donovan)**
  - c. Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant. (Project Planner: Richard Donovan)**
- 6. Staff Reports and Other Business:**
  - a. Mandatory Referral [2025-715] to consider the abandonment and relocation of a sanitary sewer easement on City-owned property located along Cherry Lane, SEC, Inc. applicant. (Project Planner: Marc Shackelford-Rowell)**
  - b. In-N-Out Burger Overflow Queueing and Parking [2025-3124] initial and final design review and site plan review for a temporary (120 days maximum) overflow queueing area, a temporary overflow parking area, and a temporary staging area on two properties zoned CH and GDO-1 located along Willowoak**

**MURFREESBORO PLANNING COMMISSION AGENDA**

**PAGE 2**

**NOVEMBER 5, 2025**

Trail and Robert Rose Drive, In-N-Out Burger developer. (Project Planner: Brad Barbee)

- c.** Consider naming the new “Cherry Lane Extension” west of I-840 to “Stonesbattle Parkway”. (Project Planner: Matthew Blomeley)

**7. Adjourn.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

**1:00 PM**

**Murfreesboro Airport Business Center**

## **MEMBERS PRESENT**

Jami Averwater, Vice-Chair  
Tristan Carroll  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright

## **STAFF PRESENT**

Darren Gore, City Manager  
Greg McKnight, Exec. Dir. Dev. Services  
Ben Newman, Dir. of Land Mngt. & Planning  
Matthew Blomeley, Assistant Planning Director  
Holly Smyth, Principal Planner  
Richard Donovan, Principal Planner  
Marc Shackelford-Rowell, Planner  
Brad Barbee, Principal Planner  
Katie Noel, Project Engineer  
Lee Holliman, Project Engineer  
Carolyn Jaco, Recording Assistant  
John Tully, Assistant City Attorney

### **1. Call to order.**

Vice-Chair Jami Averwater called the meeting to order.

### **2. Determination of a quorum.**

Vice-Chair Jami Averwater determined a quorum was present.

### **3. Public Comments.**

Vice-Chair Jami Averwater announced that no signed up to speak during the Public Comment portion of the agenda.

### **4. Approve minutes of the October 1, 2025 Planning Commission meeting.**

Mr. Tristan Carroll made a motion to approve the minutes of the October 1, 2025 Planning Commission meeting; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

## 5. Consent Agenda

**Murphy Oil USA [2025-3069]** site plan for a 2,824 ft2 convenience store with a gasoline canopy and 16 fuel pumps on 1.87 acres zoned CF located along Lascassas Pike and North Rutherford Boulevard, Murphy Oil USA, Inc. developer.

**Magnolia Grove, Section 3 [2025-1018]** preliminary plat for 61 lots on 23.02 acres zoned PRD located along Yeargan Road, TVLP Management, LLC developer.

**Three Rivers, Section 12 [2025-2080]** final plat for 54 lots on 23.28 acres zoned PRD located along Frogtown Lane, Star Land Company, LLC developer.

**River Landing, Section 3, Phase 2 [2025-2075]** horizontal property regime plat for 62 units on 2 lots on 22.91 acres zoned PUD located along Fir Tree Way, D.R. Horton developer.

**Magnolia Grove Right-of-Way Dedication [2025-2076]** final plat for dedication of right-of-way for Yeargan Road, Hon Shores Tennessee, LLC developer.

**The Maples, Section 8 [2025-2081]** final plat for 32 lots on 16.57 acres zoned RS-10 located along Flanders Drive and Lucinda Place, The Maples, Inc. developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## OCTOBER 15, 2025

The Gardens of Three Rivers, Resubdivision of Lots 35 and 37 [2025-2078] final plat for 4 lots on 0.44 acres zoned PRD located along Audubon Lane, Patterson Company, LLC developer.

Beck Subdivision, Resubdivision of Lot 1 [2025-2079] final plat for 2 lots on 1.3 acres zoned RS-15 located along Apollo Drive, Jones Construction Company developer.

There being no further discussion, Mr. Shawn Wright made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried by the following vote:

Aye:           Tristan Carroll

                  Reggie Harris

                  Bryan Prince

                  Kelly G Rollins

                  Shawn Wright

Abstain:       Jami Averwater

Ms. Jami Averwater explained an unlisted agenda item regarding the Fairfield by Marriott would be moved from Staff Reports and Other Business to the next item on the agenda.

Fairfield by Marriott [2024-3158 & 2024-6008] exterior architecture modification review for a 65, 000 ft2 4-story hotel on 2.68 acres zoned MU and GDO-1 located along Robert Rose Drive, Pradeep Agnihotri developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Lydia Lazendic (architect) was in attendance representing the application.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## OCTOBER 15, 2025

There being no further discussion, Mr. Shawn Wright made a motion to approve the exterior architecture modification review subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

### 6. Plats and Plans

WeGo Public Transit MTA Park and Ride (2025-3108) site plan for a parking lot on 0.73 acres with proposed PND zoning located along Bridge Avenue, WeGo Public Transit developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Ms. Kia Lewis (WeGo project manager) was in attendance for the meeting.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the site plan subject to all staff comments and to City Council approving the companion rezoning application; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

Shawn Wright

Jami Averwater

Nay: None

Project Keystone [2025-2077] final plat for 4 lots on 8.77 acres zoned PUD (2023-418: Keystone on Broad), CBD, and CCO along Northwest Broad Street and South Church Street, City of Murfreesboro developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to approve subject to all staff comments and contingent on approval of the purchasing, sales, and development agreement; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

## 7. New Business:

Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025**

maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Chip Loyd (developer) and Mr. Clyde Rountree (landscape architect) were in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for November 5, 2025; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

**Annexation petition and plan of services [2025-508] for approximately 6.41 acres located along Majesty Drive and Cicero Drive, Xaiyavong and Panola Saenphansiri applicants.** Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor of SEC, Inc. was in attendance representing the application.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Tristan Carroll and carried in favor by the following vote:

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

**Zoning application [2025-421] for approximately 6.41 acres located along Majesty Drive and Cicero Drive to be zoned RS-6 simultaneous with annexation, Xaiyavong Saenphansiri applicant.** Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Matt Taylor (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION

## OCTOBER 15, 2025

Annexation petition and plan of services [2025-507] for approximately 10.3 acres located along Elam Road, including approximately 1,200 linear feet of Elam Road right-of-way, Kentucky-Tennessee Conference Association of Seventh Day Adventists, Inc. and the City of Murfreesboro applicants. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for December 3, 2025; the motion was seconded by Mr. Reggis Harris and carried in favor by the following vote:

Aye: Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Jami Averwater

Nay: None

### 8. Staff Reports and Other Business.

Mr. Ben Newman provided an update on a variety of topics, including staffing and land use plans.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION OCTOBER 15, 2025**

## **9. Adjourn.**

There being no further business, the meeting adjourned at 1:50 p.m.

---

Chair

---

Secretary

BN: cj

**MINUTS OF THE  
JOINT CONCEPTUAL WORKSHOP MEETING  
OF THE MURFREESBORO CITY COUNCIL &  
PLANNING COMMISSION  
OCTOBER 15, 2025**

**2:00 P.M.**

**AIRPORT BUSINESS CENTER**

**CITY COUNCIL MEMBERS PRESENT**

Shane McFarland, Mayor  
Bill Shacklett, Vice-Mayor  
Jami Averwater  
Madelyn Scales Harris  
Kirt Wade  
Shawn Wright

**PLANNING COMM. MEMBERS PRESENT**

Jami Averwater, Vice-Chair  
Tristan Carroll  
Reggie Harris  
Bryan Prince  
Kelly G Rollins  
Shawn Wright

**CITY STAFF PRESENT**

Darren Gore, City Manager  
Adam Tucker, City Attorney  
Erin Tucker, City Recorder/Treasurer  
Greg McKnight, Exec. Dir. Development Services  
Ben Newman, Dir. of Land Mngt. & Planning  
Matthew Blomeley, Assistant Planning Director  
Holly Smyth, Principal Planner  
Richard Donovan, Principal Planner  
Brad Barbee, Principal Planner  
Katie Noel, Project Engineer  
Lee Holliman, Project Engineer  
Carolyn Jaco, Recording Assistant  
John Tully, Assistant City Attorney  
Melanie Joy Peterson, City Clerk  
Raven Bozeman, Executive Assistant  
Michael Browning, Public Information Officer  
Valerie Smith, MWRD Director

**1. Call to order.**

Vice-Chair Jami Averwater called the meeting to order at 2:00 p.m.

**2. Determination of a quorum.**

Vice-Chair Jami Averwater determined a quorum was present.

**MINUTS OF THE  
JOINT CONCEPTUAL WORKSHOP MEETING  
OF THE MURFREESBORO CITY COUNCIL &  
PLANNING COMMISSION  
OCTOBER 15, 2025**

**3. Workshop Items:**

**Swanson Development/SEC, Inc.: 6331 Franklin Road Annexation and Zoning [2025-JCW-01]**

Mr. Matthew Blomeley presented the conceptual proposal for annexation and zoning.

Mr. Matt Taylor (design engineer) and Swanson Development representatives were in attendance for the discussion. Mr. Matt Taylor gave a brief presentation on the proposal. Around thirty acres would be marketed for neighborhood commercial properties and medical uses. In addition, they propose residential attached and residential detached homes on approximately seventy acres. The Planning Commission and City Council discussed the proposal, including how sanitary sewer could serve the property.

**Swanson Development/SEC, Inc.: Battleground Place Townhomes Rezoning [2025-JCW-02]**

Mr. Matthew Blomeley presented the conceptual proposal for rezoning.

Mr. Matt Taylor (design engineer) and Swanson Development representatives were in attendance for the discussion. Mr. Taylor gave a brief presentation stating they met with neighbors regarding this proposal, and they expressed their concerns regarding traffic. The City Council and Planning Commissioners discussed the proposal, including traffic, trash pickup, and townhomes being inside an existing single-family development.

**Service Infill Boundary along Halls Hill Pike**

Mr. Ben Newman made a presentation describing the concept of the Service Infill Boundary. He also described the process by which it could be amended.

The City Council and Planning Commissioners discussed this topic, stating that Halls Hill Pike has a three-lane roadway with curb, gutter, and sidewalks. Included in the area is a mix of commercial and residential uses being so close to North Rutherford Boulevard. Roadway and sewer improvements in this area were a joint effort made by the City of Murfreesboro and

**MINUTS OF THE  
JOINT CONCEPTUAL WORKSHOP MEETING  
OF THE MURFREESBORO CITY COUNCIL &  
PLANNING COMMISSION  
OCTOBER 15, 2025**

Rutherford County. The two bodies indicated that it would be appropriate to allow City development to occur along Halls Hill Pike in this area.

**SEC, Inc.: Annexation and Zoning along Halls Hill Pike (Bryson Cove Development) [2025-JCW-03]** Mr. Ben Newman presented the conceptual proposal for annexation and zoning.

Mr. Matt Taylor (design engineer) was in attendance for the discussion. Mr. Matt Taylor discussed the proposed development layout, including drainage improvements, its density, and there being no proposed stub streets.

The City Council and Planning Commissioners asked for more information on current flooding and drainage conditions for this property and how it would be addressed.

On a different note, Mr. John Tully made known there are no public comments at the Joint Conceptual Workshops. The public would need to contact the Murfreesboro Planning Department before the meeting for any questions or comments.

**4. Adjourn.**

There being no further business, Vice-Chair Jami Averwater adjourned Joint Conceptual meeting at 2:55 p.m.

---

Chair

---

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**5.a. Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant.**

Sherry Wade Metzler has submitted a petition requesting annexation of her property into the City of Murfreesboro. The annexation area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road and west of Veterans Parkway. The annexation area also includes approximately 3,000 linear feet of Old Salem Road right-of-way. The Rutherford County Highway Commission reviewed and consented to the annexation of the right-of-way of Old Salem Road at its September 2, 2025 meeting. The total annexation study area is approximately 32.1 acres.

The annexation study area includes the following areas:

- Tax Map 115, Parcel 034.00 (27.9 acres)
- Old Salem Road right-of-way (approx. 4.2 acres)

The applicant has submitted a companion zoning application to rezone the subject property to a PRD (Planned Residential District; Aubrey PRD, formerly known as Old Salem PRD) designation. This rezoning would permit the 27.9-acre parcel to be developed with sixty-two single-family detached homes and thirty-two single-family attached homes.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its north boundary and contiguous to the east to an annexation area recommended for approval by the Planning Commission at its September 3, 2025 meeting. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The developer will need to work with neighboring property owner to the south/southeast to extend sanitary sewer to the subject property. The timeline for the gravity sewer to reach the proposed

development is currently unknown, and all main line extensions are the financial responsibility of the developer.

**Staff Recommendation:**

Staff is supportive of the annexation request for the following reasons:

1. The subject property is contiguous with the existing City Limits.
2. It is located within the Urban Growth Boundary and within the Service Infill Area.
3. Services can be extended to the subject property upon annexation.

**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

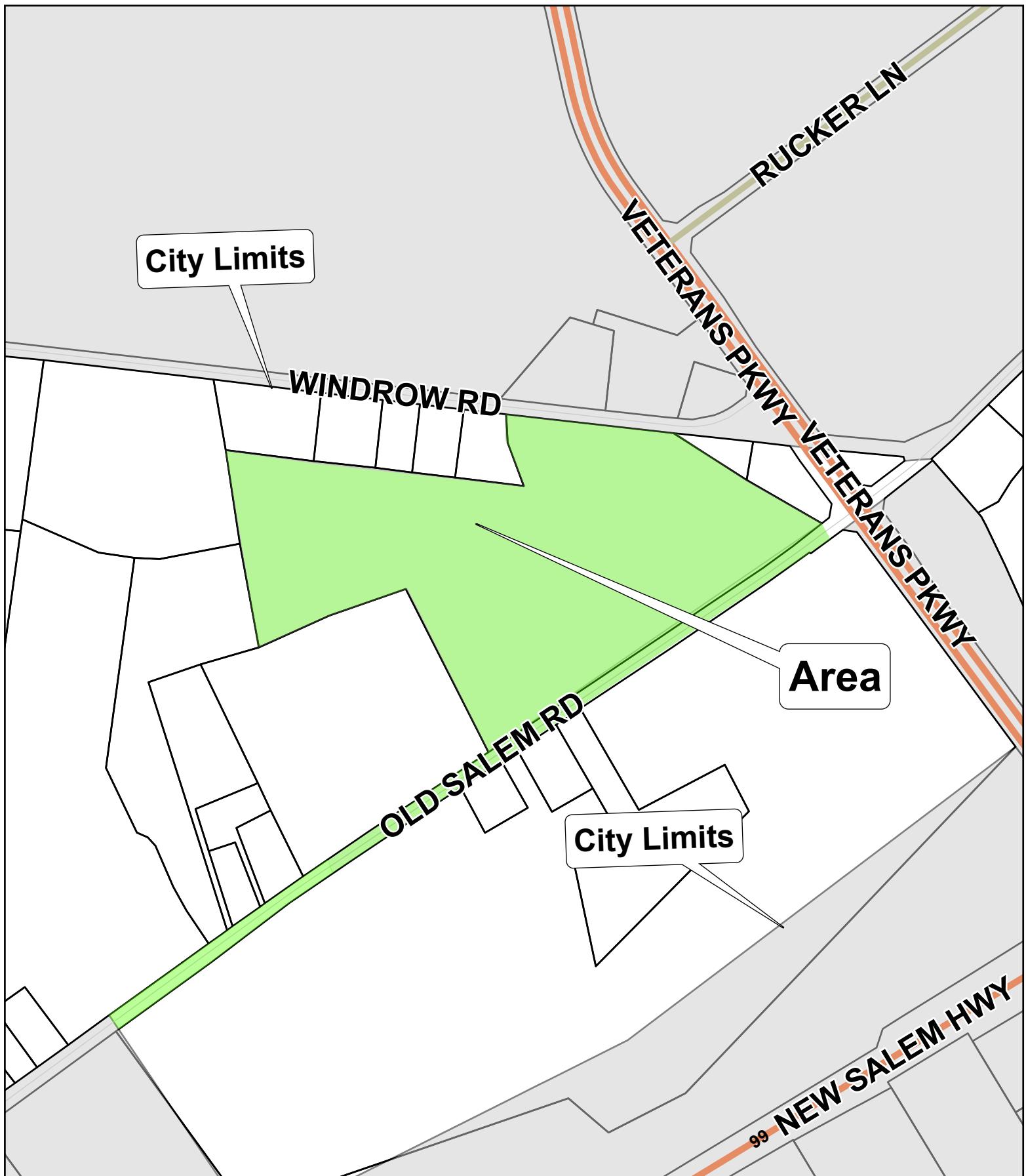
**Attachments:**

Ortho Map

Non-ortho maps

Annexation Petition

Plan of Services



## Annexation request for property along Old Salem Road and Windrow Road

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



## Annexation request for property along Old Salem Road and Windrow Road

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

## PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

**Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.**

1. Sherry Wade Metzler

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Sherry Wade Metzler Status: Self Date: 8-13-25  
239 Woodcrest Rd. Seafrester, GA 31791

Mailing Address (if not address of property to be annexed)

2.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

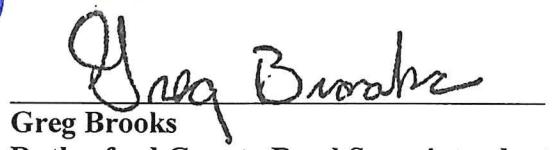
**Legal Description is attached: \_\_\_\_\_ Yes**

**Power of Attorney applies and is attached: \_\_\_\_\_ Yes  No**

## Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Old Salem Road from the eastern boundary of 4492 Old Salem Road (Tax Map 115, Parcel 034.00) to the western boundary of Tax Map 115, Parcel 028.00, totaling approximately 3,000 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Old Salem Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on September 2, 2025 and in furtherance of the requirements set forth in Tenn. Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 2 day of September 2025.

  
\_\_\_\_\_  
Greg Brooks  
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 2 day of September.

My Commission Expires: 4-15-2028

  
\_\_\_\_\_  
NOTARY PUBLIC



**ANNEXATION REPORT FOR PROPERTY  
LOCATED ALONG OLD SALEM ROAD  
INCLUDING PLAN OF SERVICES  
(FILE 2025-506)**



**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
NOVEMBER 5, 2025**



## Annexation Request for property along Old Salem Road

0 380 760 1,520 2,280 3,040 US Feet

Planning Department  
 City of Murfreesboro  
 111 West Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

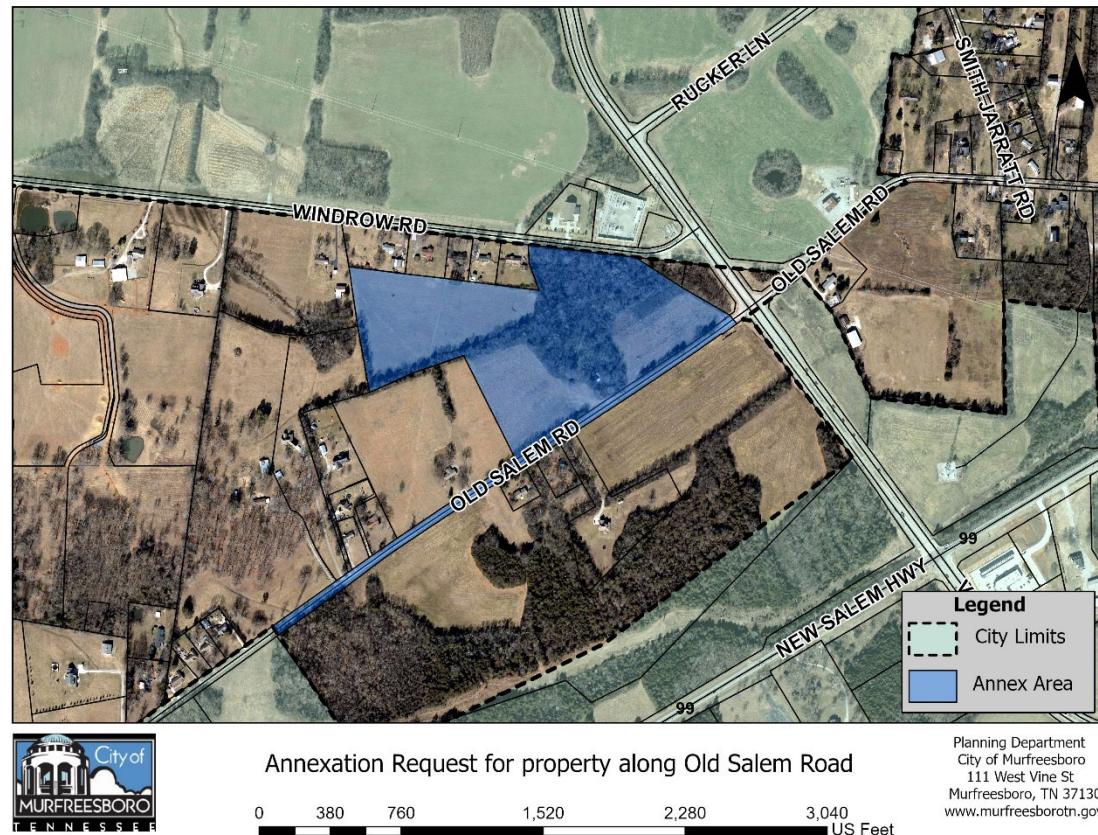
# **INTRODUCTION**

## OVERVIEW

The property owner, Sherry Wade Metzler, submitted a petition requesting her property be annexed into the City of Murfreesboro. Her property totals approximately 27.9 acres. It is located along the north side of Old Salem Road west of Veterans Parkway. In addition, included in the annexation study area is approximately 3,000 linear feet of Old Salem Road right-of-way (ROW). At its September 2, 2025, regular meeting, the Rutherford County Road Board voted to grant consent to the City to annex this segment of ROW. The total annexation study area is approximately 32.1 acres. The annexation study area includes the following properties:

- Tax Map 115, Parcel 034.00 (27.9 acres)
- Old Salem Road right-of-way (approx. 4.2 acres)

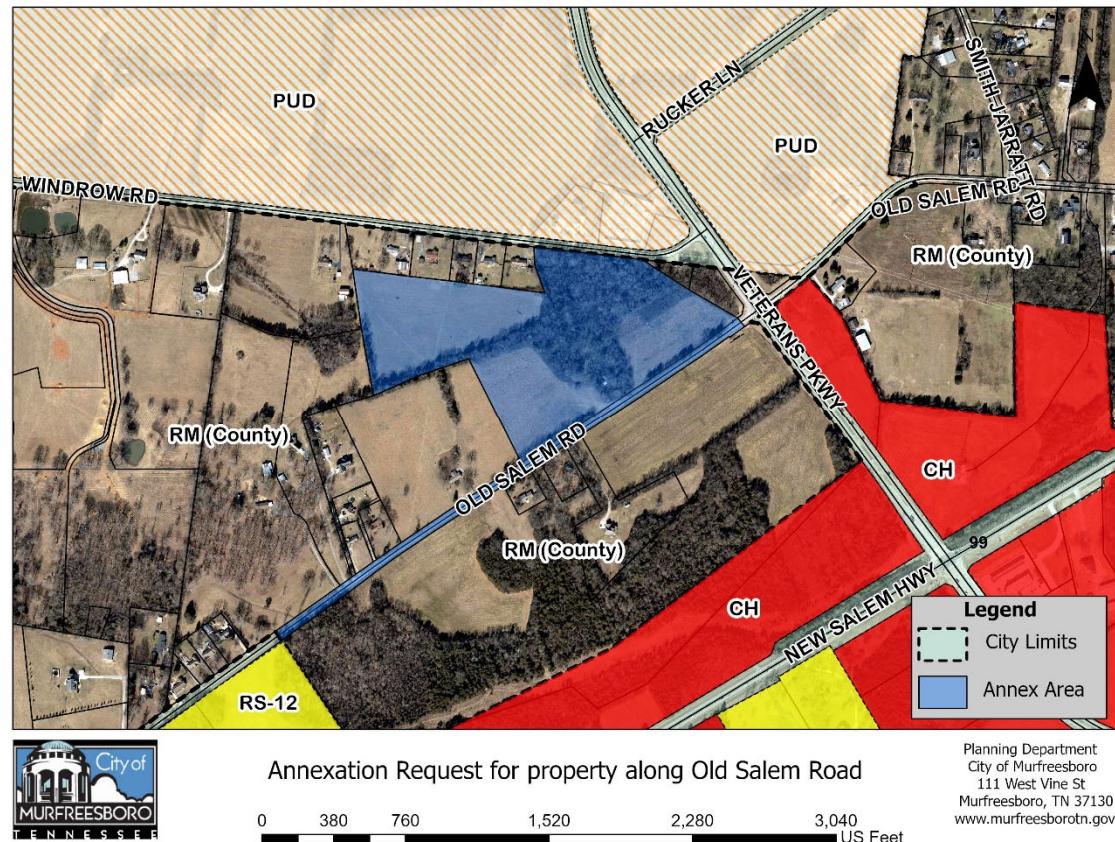
The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern and southern boundaries, as depicted on the adjacent map.



## SURROUNDING ZONING

The study area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road west of Veterans Parkway and approximately 3,000 linear feet of Old Salem Road right-of-way (ROW). The subject parcel is zoned RM (Medium Density Residential) in the unincorporated county. There is a companion zoning application to rezone the subject parcel to a PRD (Planned Residential District; Old Salem PRD) designation.

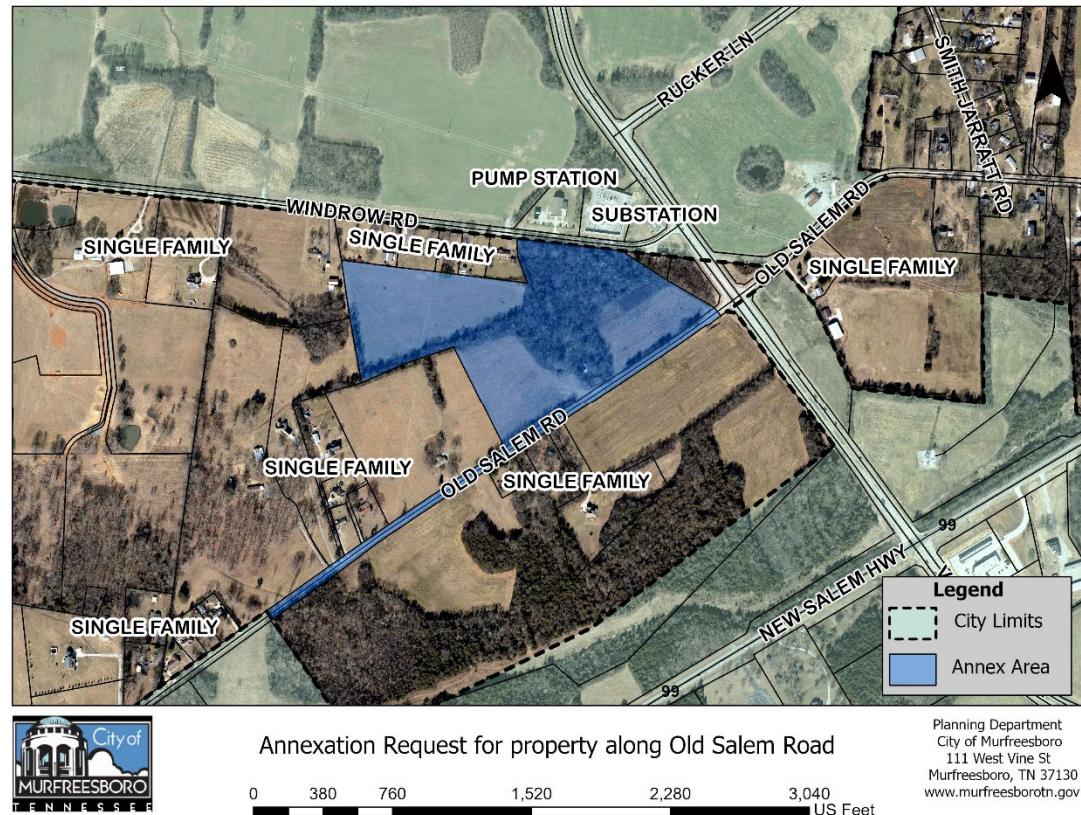
The surrounding properties are primarily residential and utility uses, with corresponding residential zoning classifications. To the north along Windrow Road, the property is zoned PUD (Marymont Springs PUD). Additional property to the north is located in unincorporated Rutherford County, along the south side of Windrow Road, and is zoned Medium Density Residential (RM). To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City but currently zoned Medium Density Residential (RM) in the county. Properties to the south and west, also in unincorporated Rutherford County, are zoned Medium Density Residential (RM).



## SURROUNDING LAND USE

The study area consists of one parcel with an abandoned detached single-family home, situated north of Old Salem Road west of Veterans Parkway and approximately 3,000 linear feet of Old Salem Road right-of-way (ROW).

The surrounding properties are primarily residential and utility uses. To the north along Windrow Road is primarily vacant but includes a CUD pump station and an MTE substation. Additional property to the north, located in unincorporated Rutherford County along the south side of Windrow Road, is developed with single-family detached homes. To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City. Properties to the south and west, also in unincorporated Rutherford County, are primarily developed with single-family detached homes.



## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

***Table I***  
***Estimated Taxes from Site***

<b>Owner of Record</b>	<b>Tax Map and Parcel</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
Sherry Wade Metzler	115-034.00	27.9	\$202,700	\$0	\$50,675	\$482.73

These figures are for the property in its current state and assessed at the residential rate of 25 percent.

## **PLAN OF SERVICES**

## **POLICE PROTECTION**

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 2.

## **ELECTRIC SERVICE**

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical facilities and capacity along Old Salem Road and Windrow Road to continue to serve the property upon annexation.

## **STREET LIGHTING**

Streetlights do not currently exist along the Old Salem Road or Windrow Road right-of-way. Streetlights will be installed within the development by the developer if new public streets are constructed. If the City of Murfreesboro wishes to add streetlights along the Old Salem Road or Windrow Road public right-of-way, the Transportation Department would need to make the request to MTE, but at the present time, there are no plans to do so.

## **SOLID WASTE COLLECTION**

The City will provide weekly curbside solid waste collection service for the existing house upon the effective date of annexation, as well as brush/debris removal every two to three weeks. In its current state, no additional equipment or manpower will be needed to serve the study area. Upon development as a residential subdivision, a solid waste cart for each dwelling (\$69.66 each) will be needed to serve the study area.

## **RECREATION**

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

## **CITY SCHOOLS**

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the Salem Elementary School zone, and it would become part of this school's zoned area if annexed. Any elementary school-aged children residing on the property once developed will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have no impact on the school system, since it is currently undeveloped. If developed with up thirty-two (32) single-family attached residential homes and sixty-six (66) single-family detached residential homes (98 total new residences), MCS would anticipate adding approximately 25 students to the school population. upon full buildout. MCS and the City will continue to monitor new growth in the district, including the Salem school zone, in order to evaluate the need for a new elementary school in the future.

## **BUILDING AND CODES**

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

## **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations. 8

## **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

## **STREETS AND ACCESS**

The annexation study area includes approximately 3,000 linear feet of Old Salem Road right-of-way. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro, including all routine maintenance. Based on an estimated 15-year re-pavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$4,500 for this roadway. The study area has access to both Windrow Road and Old Salem Road. As substandard streets, any development along these roadways will need to dedicate appropriate ROW and participate in the upgrade of the roadways to current City standards. Old Salem Road and Windrow Road within the study area are both on the City's Major Transportation Plan to be upgraded to a 3-lane section. Any new connections to these roadways must be approved by the City Engineer. Any future public roadway facilities to serve the study area must be constructed to City standards.

## **REGIONAL TRAFFIC & TRANSPORTATION**

The study area is served by both Old Salem Road and Windrow Road. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Old Salem Road to be operating at a Level of Service C and Windrow Road to be operating at a Level of Service B in the study area. The 2040 Level of Service Model indicates that Old Salem Road and Windrow Road operate at a Level of Service F without the proposed improvements in the 2040 plan.

## **TRAFFIC INFRASTRUCTURE**

The study area contains two (2) traffic control signs. These include a post-mounted speed limit sign and a post-mounted stop sign. The street name sign will need to be changed out to our standard city green upon annexation. The annexation study area contains approximately 3,000 linear feet of roadway. This would include 3,000 feet of Double Solid Yellow Line (DSYL) striping and 5,932 feet of Single White Solid Line (SSWL) striping.

Based on a replacement cycle of 5 years for pavement markings and 10 years for traffic signs, the annualized traffic infrastructure maintenance costs are estimated at \$3,608.20 for this roadway.

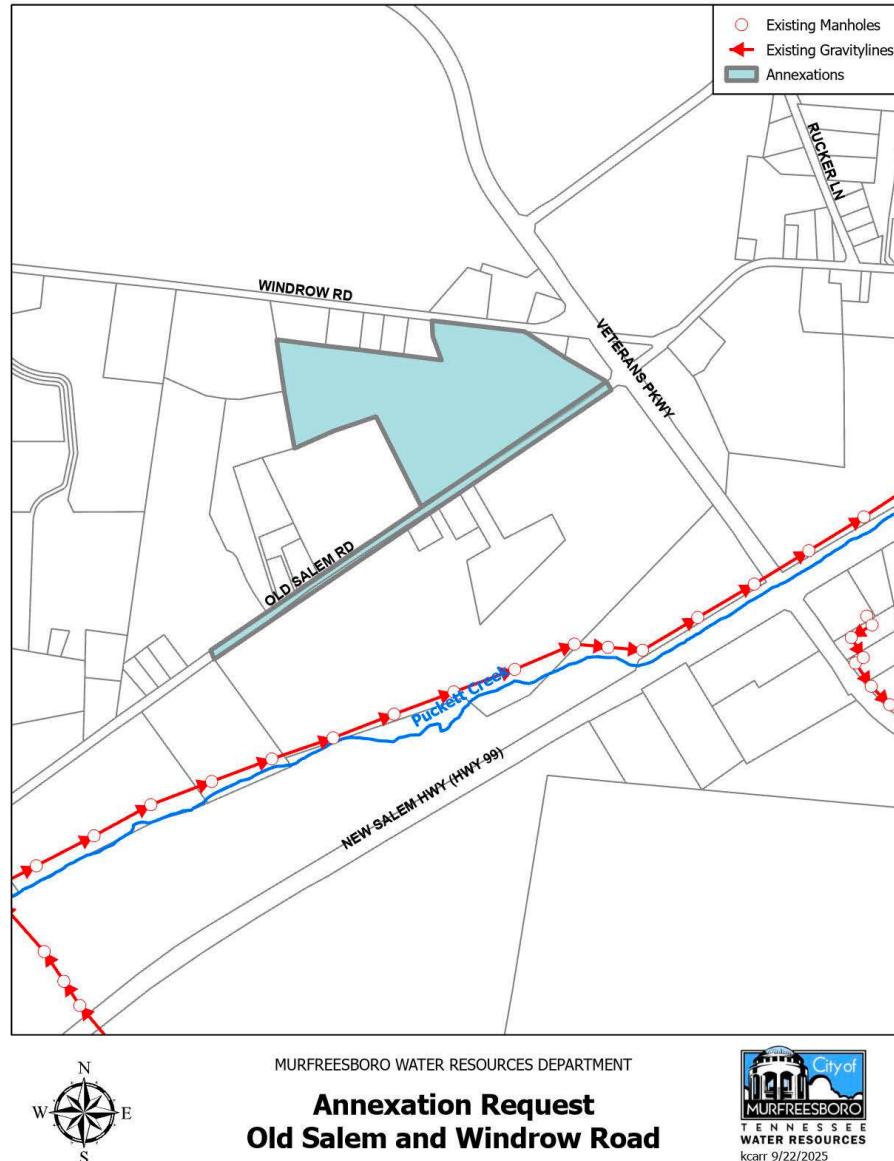
## **SANITARY SEWER SERVICE**

Currently sanitary sewer is not available to the properties in question. Should the property remain undeveloped, the existing home would continue to utilize the existing septic system.

With regard to public sanitary sewer service for the development, the owner/developer would be required to acquire an off-site sewer easement from a neighbor to the south/southeast, to connect to the existing sewer interceptor just north of and parallel to Puckett Creek and extend gravity sewer throughout the development. In addition, the owner/developer, per our Policies and Procedures, may be required to extend gravity sewer to the limits of construction and to one or more neighboring properties to allow for future connections.

This property is within the Overall Creek and Rockvale Sanitary Sewer Assessment Districts and will be charged \$1,000 and \$1550 per single-family unit (sfu) respectively in addition to the standard connection fee of \$2550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.

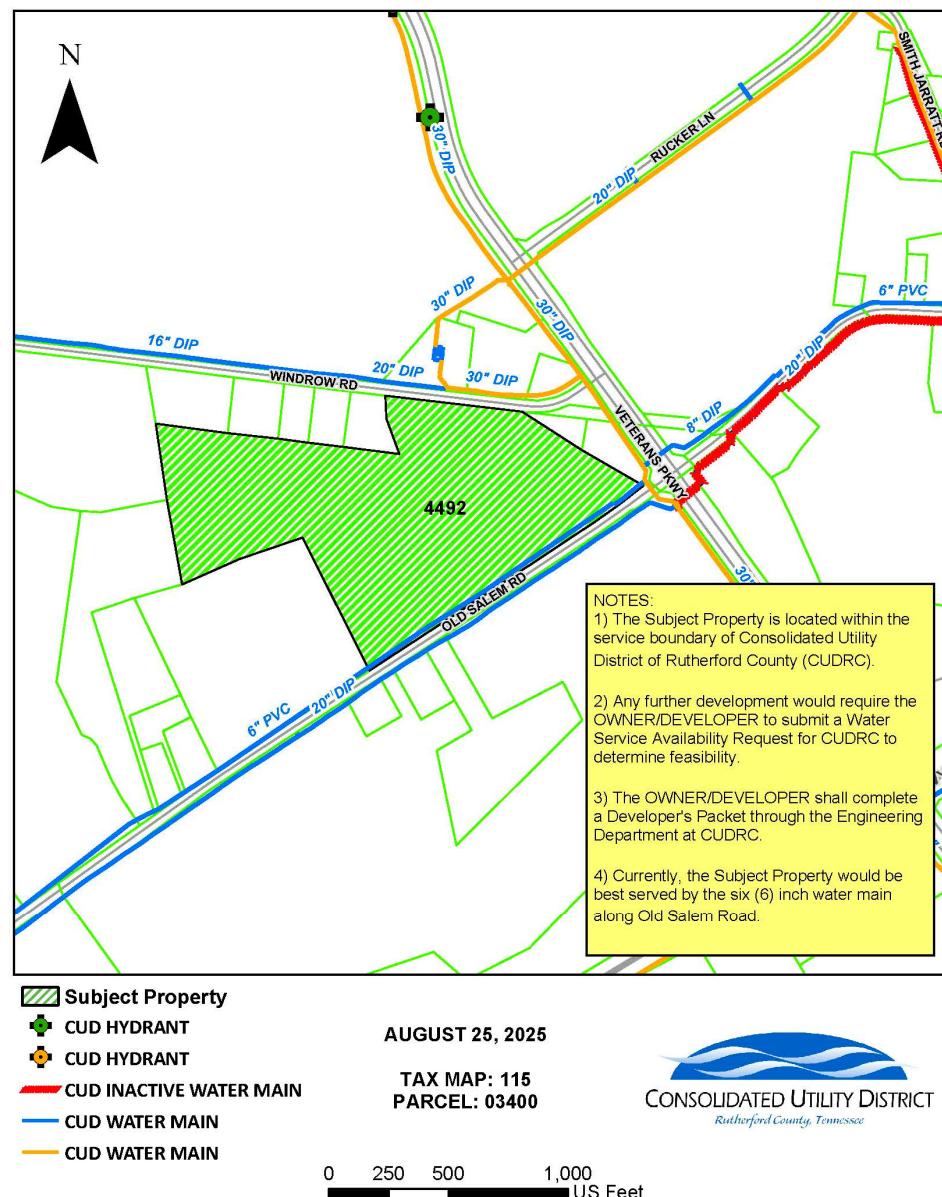


## WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. The study area and existing house are served by CUD water through the six (6) inch water main along Old Salem Road.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

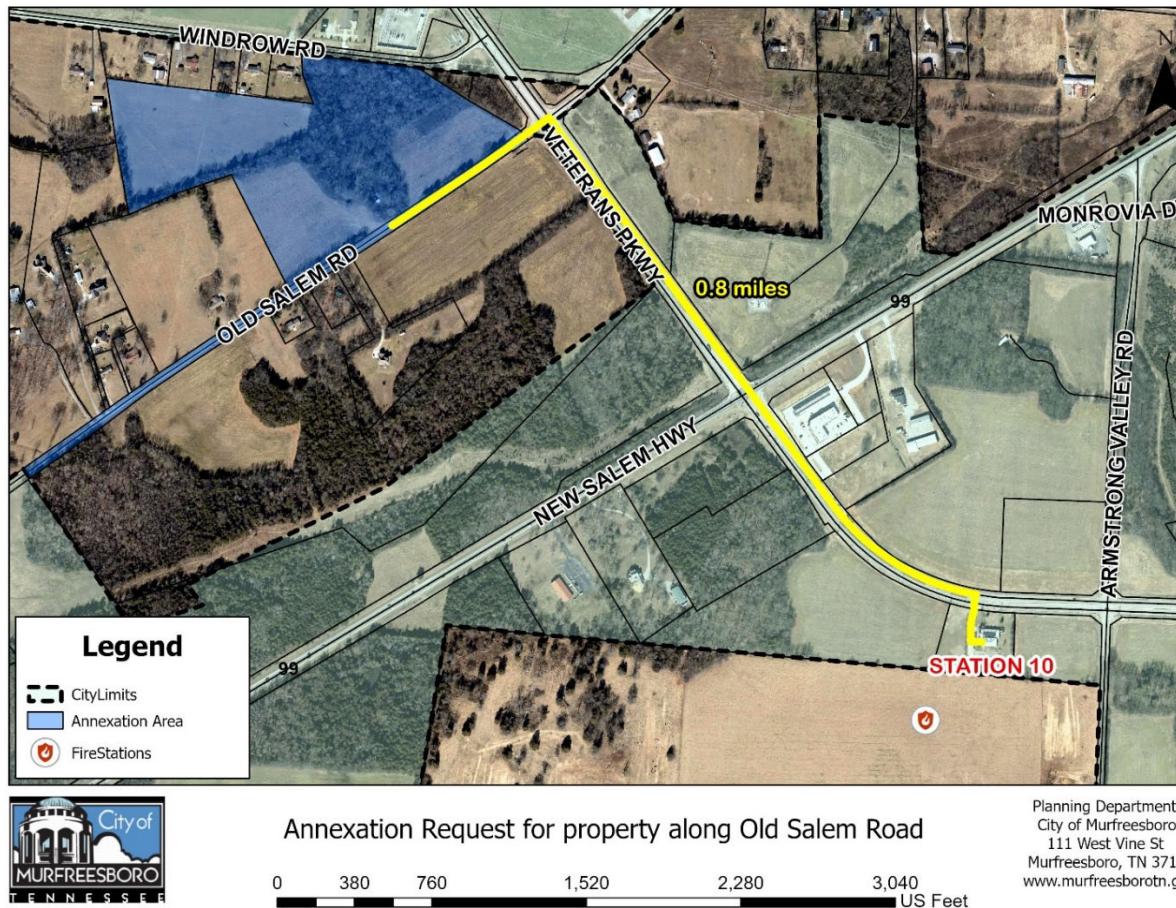
## ANNEXATION REQUEST 4492 OLD SALEM RD TAX MAP 115 PARCEL 03400



## **FIRE AND EMERGENCY SERVICE**

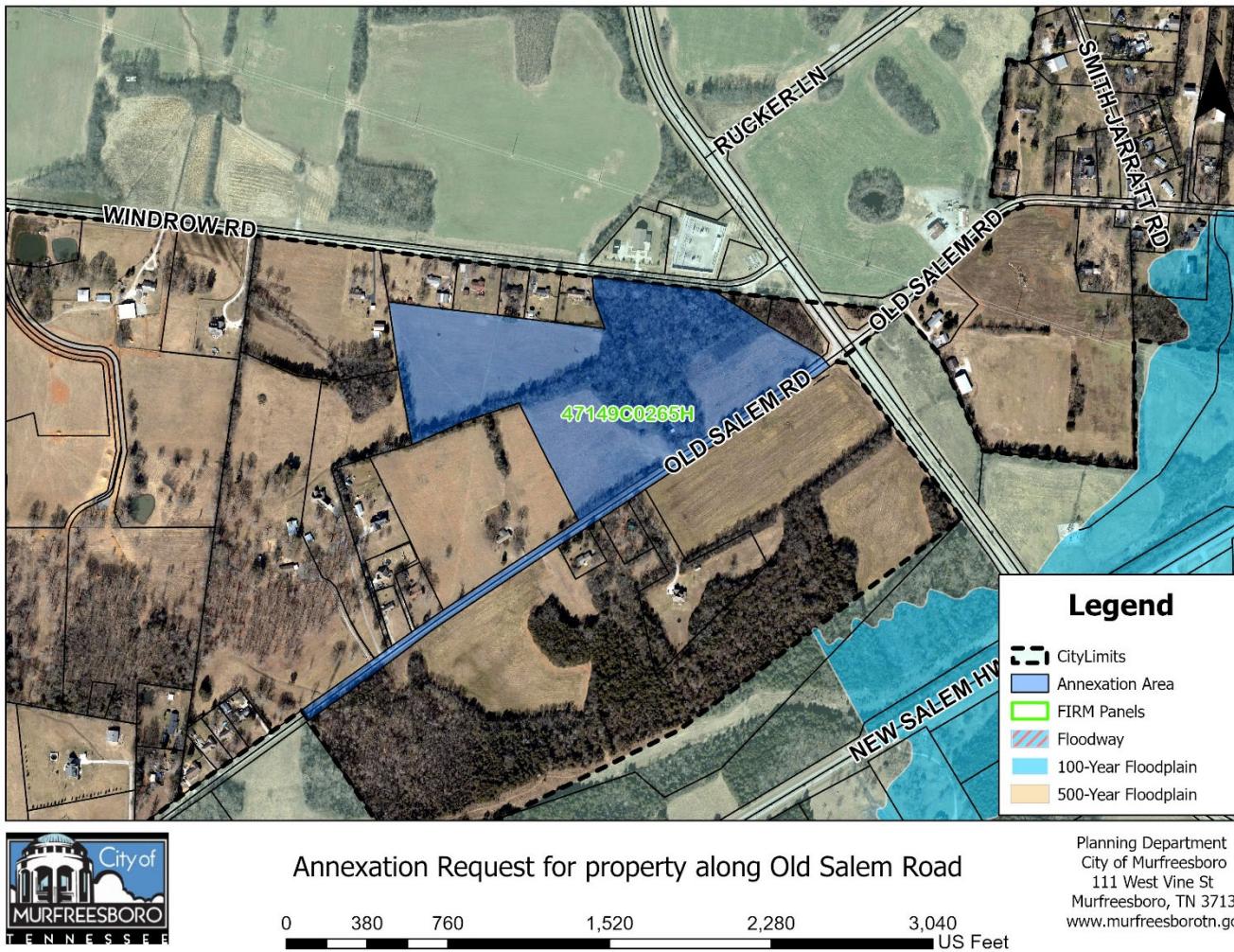
The study area contains vacant land, except for a vacant single-family dwelling. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

Currently the study area is located 0.8 miles from Fire Station #10 (2563 Veterans Parkway). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



## **FLOODWAY**

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



## **DRAINAGE**

### **Public Drainage System**

Public drainage facilities available to the study area are located within the rights-of-way of Old Salem Road and Windrow Road. The annualized operation and maintenance cost for these systems is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

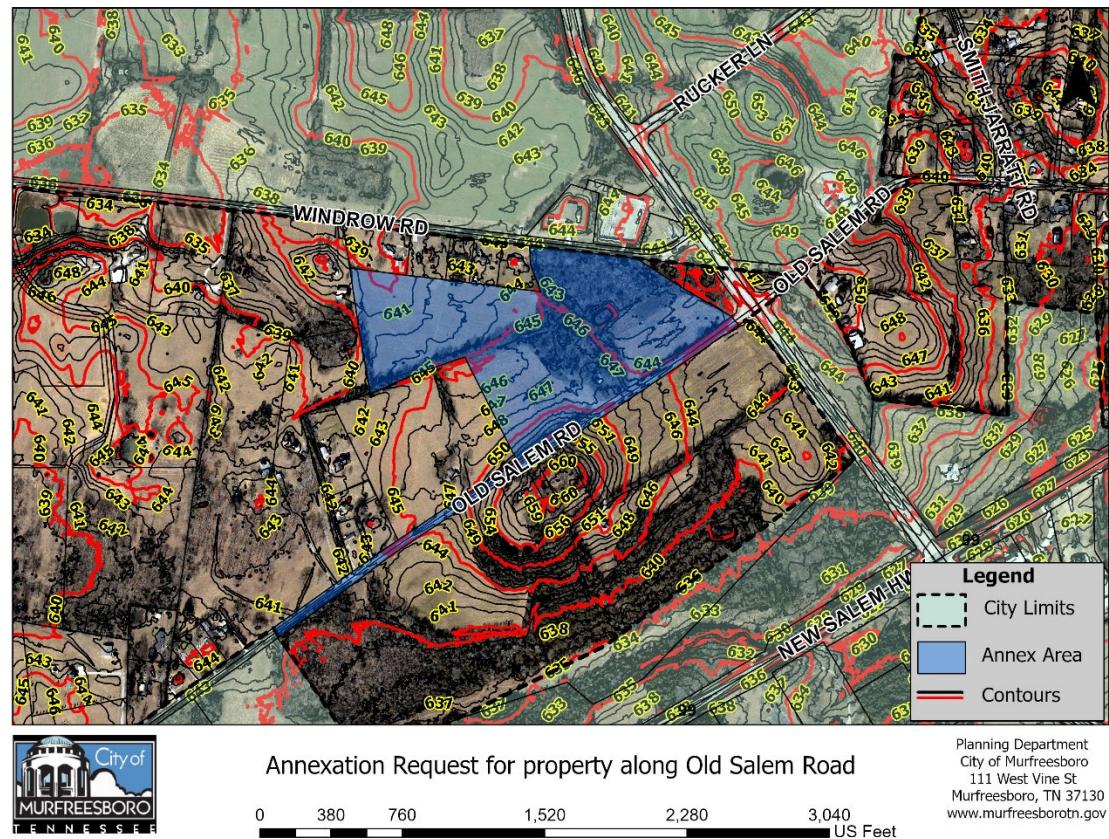
### **Regional Drainage Conditions**

The study area generally drains north to the Windrow Road right-of-way. Review of the 2010 flood ortho shows portions of the study area to hold water for 2 days after a rain event.

### **Stormwater Management and Utility Fees**

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area is currently vacant and will not generate revenue for the Stormwater Utility Fee.

The study area has a proposed zoning of PRD with 66 single-family detached homes and 32 single-family attached homes. Based on this development scenario, it is anticipated that the site will generate approximately \$3,822 in revenue per year into the Stormwater Utility Fund upon full build out.



## **PROPERTY AND DEVELOPMENT**

Old Salem Road and Windrow Road are on the City's Major Transportation Plan. ROW dedication and participation in roadway improvements will be required with development.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

## **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**5.b. Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Aubrey PRD, formerly known as Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant.**

Patterson Company, LLC, the applicant, is requesting zoning the subject property simultaneous with annexation to PRD (Planned Residential District – Old Salem PRD). The property has an abandoned detached single-family home on approximately 27.9 acres located along the north side of Old Salem Road west of Veterans Parkway, identified as Tax Map 115, Parcel 34.00.



**Adjacent Land Use and Zoning**

The surrounding properties are primarily residential and utility uses, with corresponding residential zoning classifications. To the north along Windrow Road, the property is zoned PUD (Marymont Springs PUD – Planned Unit District) and includes a CUD (Consolidated Utility District) pump station and an MTE (Middle Tennessee Electric) substation. Additional property to the north, located in unincorporated Rutherford County along the south side of Windrow Road, is zoned Medium Density Residential (RM) and developed with single-family detached

homes. To the northeast, vacant City-owned parcels are currently under consideration for annexation into the City. Properties to the south and west, also in unincorporated Rutherford County and primarily developed with single-family detached homes, are zoned Medium Density Residential (RM).

### **Old Salem PRD**

The proposed development will consist of 66 detached single-family homes on individual lots of record and 32 attached single-family dwellings within a horizontal property regime. Detached homes will be located on lots with a minimum size of 6,000 square feet and a minimum lot width of 50 feet, with setbacks of 35 feet to the garage and 25 feet to a non-garage front, 25 feet on secondary fronts, 5 feet on the side, and 20 feet at the rear. Attached dwellings will provide a minimum 20-foot front setback, 15-foot secondary front setback, 10 feet between buildings, and a 25-foot rear setback from the garage to the alley curb. All homes will be limited to two stories and 35 feet in height, with detached homes offering a minimum of 1,600 square feet and three bedrooms, and attached homes providing a minimum of 1,300 square feet and two bedrooms. Architectural standards will include covered front entries on detached homes, rear-entry garages for attached homes, and a consistent material palette of brick, stone, and fiber cement siding on all sides, with a minimum 24-inch brick or stone water table on all four sides and vinyl trim and soffits for both attached and detached homes. Parking will include driveways for detached homes accommodating four spaces each, and garages and driveways for attached homes, with a request to allow 42 garage spaces to count toward the parking requirement. A total of 40 guest spaces will be provided throughout the community in proximity to the tot lot, fitness trail, mail kiosk, and attached dwellings. Approximately 8.25 acres, or 30% of the site, will be preserved as open space, including stormwater management areas, wetlands, landscaped buffers, and recreational amenities. These amenities will include a tot lot, walking and fitness trail, and landscape buffers along Old Salem Road and the northern boundary. Four exceptions are proposed with this PRD compared to the RS-6 district standards for detached homes and the RS-A Type 2 standards for attached homes: a reduction in the secondary front setback for detached homes from 35 feet to 25 feet, a reduction in the front setback for attached homes from 35 feet to 20 feet, a reduction in the secondary front setback for attached homes from 35 feet to 15 feet, and a reduction in required parking for attached homes from 106 spaces to 64 spaces, with CCR restrictions ensuring garage use for parking. One exception is requested from the Street Specification to reduce the right-of-way with on-street parking from 42 ft to 33 ft. The on-street parking areas are required to be maintained by the HOA through language in the PRD.

#### **Lot Size and setbacks:**

- 66 detached single-family lots
  - with a minimum lot size of 6,000 square feet

- with a minimum lot width of 50 feet
- Setbacks
  - Front – 35 ft to garage and 25 ft to non-garage front
    - Secondary front – 25 ft
      - An exception is required for detached homes to reduce the secondary front setback from 35 ft. to 25 ft. when compared to the RS-6 zoning district.
  - Side – 5 ft
  - Rear – 20 ft
- 32 attached single-family dwellings
  - Will be HPR
  - Setbacks
    - Front – 20 ft
      - An exception is required for attached homes to reduce the front setback from 35 ft. to 20 ft. when compared to the RS-A type 2 zoning district.
    - Secondary front – 15 ft
      - An exception is required for attached homes to reduce the secondary front setback from 35 ft. to 15 ft. when compared to the RS-A type 2 zoning district.
    - Between buildings (side to side) – 10 ft
    - Rear setback of main building and garage to face of alley curb – 25'

#### Architecture and Building Materials:

- Example elevations have been provided in the pattern book for both attached and detached homes.
- Attached homes will:
  - Not exceed 35 ft in height;
  - Be 1 or 2 stories;
  - Have minimum one-car rear entry garages;
  - Contain a minimum of 2 bedrooms;
  - Will be a minimum 1,300 square-feet.
- Detached homes will:
  - Not exceed 35 ft in height;
  - Be 1 or 2 stories;
  - Have covered front entries;
  - Have optional back patios;
  - Have two-car front-entry garages;
  - Contain a minimum of 3 bedrooms;

- Will be a minimum 1,600 square-feet.
- Building Materials (attached and detached)
  - All sides minimum of 24-inch brick or stone water table
  - Front – Brick, Stone, and Fiber Cement Board
  - Side – Brick, Stone, and Fiber Cement Board
  - Rear – Brick, Stone, and Fiber Cement Board
  - Soffit & Trim – Vinyl

Parking:

- Single-family detached
  - Driveway
    - Will accommodate 4 parking spaces.
- Single-family attached
  - Driveway
    - 64 spaces provided
    - 106 spaces required
  - Requesting an exception to allow garage parking to count toward required parking spaces
    - Requesting 42 garage spaces count as required parking
    - Providing 64 garage spaces or 2 per unit
    - CCRs will be required to restrict use of garages so as not to preclude vehicular parking in the garages.
- Amenity and Guest Parking
  - Providing 40 total guest spaces
    - 3 spaces north of attached units with tot lot and fitness trail access
    - 5 spaces between 4 northern single-family attached buildings.
    - 10 spaces south of attached units with mail kiosk
    - 22 spaces along the frontage of the townhomes (single family attached)

Open Space and Amenities:

There will be 8.25 acres of open space (30%), including the stormwater management areas; amenities; preserved wetlands, landscape buffers along the northern property line and along Old Salem Road; mail kiosk; and associated parking. The landscaping and amenities will include the following:

- Landscape Buffer
  - 12-foot-wide landscape buffer along the northern boundary
    - Type C Buffer
  - 20- foot-wide landscape yard along Old Salem Road
    - Planted with Type A buffer plantings
- Tot lot

- Walking and fitness trail

**Exceptions:**

The PRD includes four exceptions from the Zoning Ordinance and one from the Street Specifications.

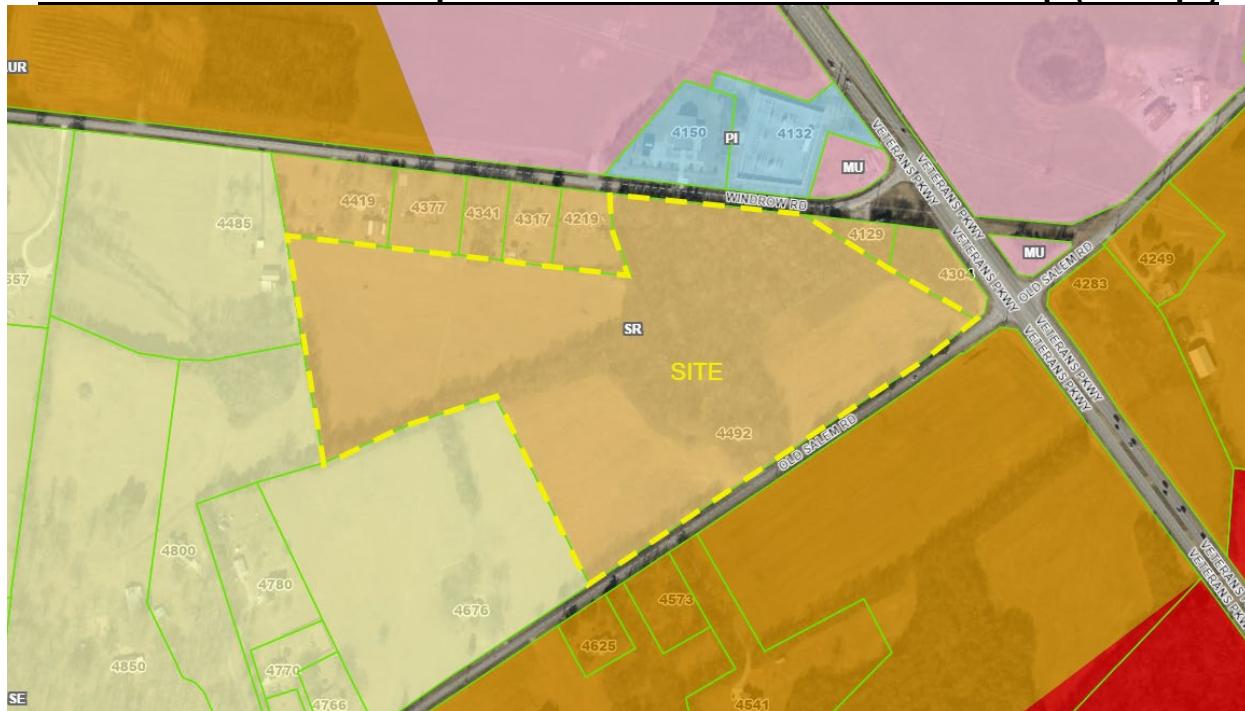
- The proposed secondary (corner) front setback for single-family detached dwellings is being requested to be reduced from 35 feet to 25 feet. A 10-foot reduction when compared to the RS-6 zoning district.
- The proposed front setback for single-family attached dwellings is being requested to be reduced from 35 feet to 20 feet. A 15-foot reduction when compared to the RS-A type 2 zoning district.
- The proposed secondary (corner) front setback for single-family attached dwellings is being requested to be reduced from 35 feet to 15 feet. A 20-foot reduction when compared to the RS-A type 2 zoning district.
- The required driveway parking is requested to be reduced in the single-family attached area from 106 spaces to 64 spaces. The PRD does state that the CCRs will restrict garages to parking and size specified in Section 26 of the Zoning Ordinance to accommodate the additional required parking.
- The right-of-way along the frontage of the attached homes is requested to be reduced from a 42 ft right-of-way to 33 ft right-of-way as required in the Street Specifications. This was at the request of the Public Infrastructure team to put parking on private property and the PRD states that maintenance of the on-street parking is the responsibility of the HOA. Sidewalks will be provided, in easements, along these streets.

**Future Land Use Map:**

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Suburban Residential' (SR), which is considered the most appropriate land use character, as indicated on the map below. The SR designation supports a density range of 1.0 to 4.0 dwelling units per acre. The Comprehensive Plan recommends RS-15, RS-12, RS-10, and PRD zoning for these districts, with minimum lot sizes between 10,000 and 15,000 square feet. However, PRD zoning allows for cluster development, where smaller lot sizes are permitted as long as the overall density limit is met, and the remaining land is preserved as common areas and open space. As proposed, Aubrey/Old Salem PRD has a density of 3.51 units per acre, which aligns with the Comprehensive Plan's recommendation. The PRD allows a minimum lot size of 6,000 square feet and attached homes, characteristics more consistent with the 'Auto Urban Residential' (AUR) land use designation. The Planning Commission will need to determine whether the zoning request is, in its view, consistent with the SR land use character, which is intended to permit cluster development in a PRD. While the cluster development language references smaller lot sizes, it does not

specifically address attached homes as a tool for achieving cluster development.

### **Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)**



#### **Staff recommendation:**

Staff is supportive of this rezoning request for the following reasons:

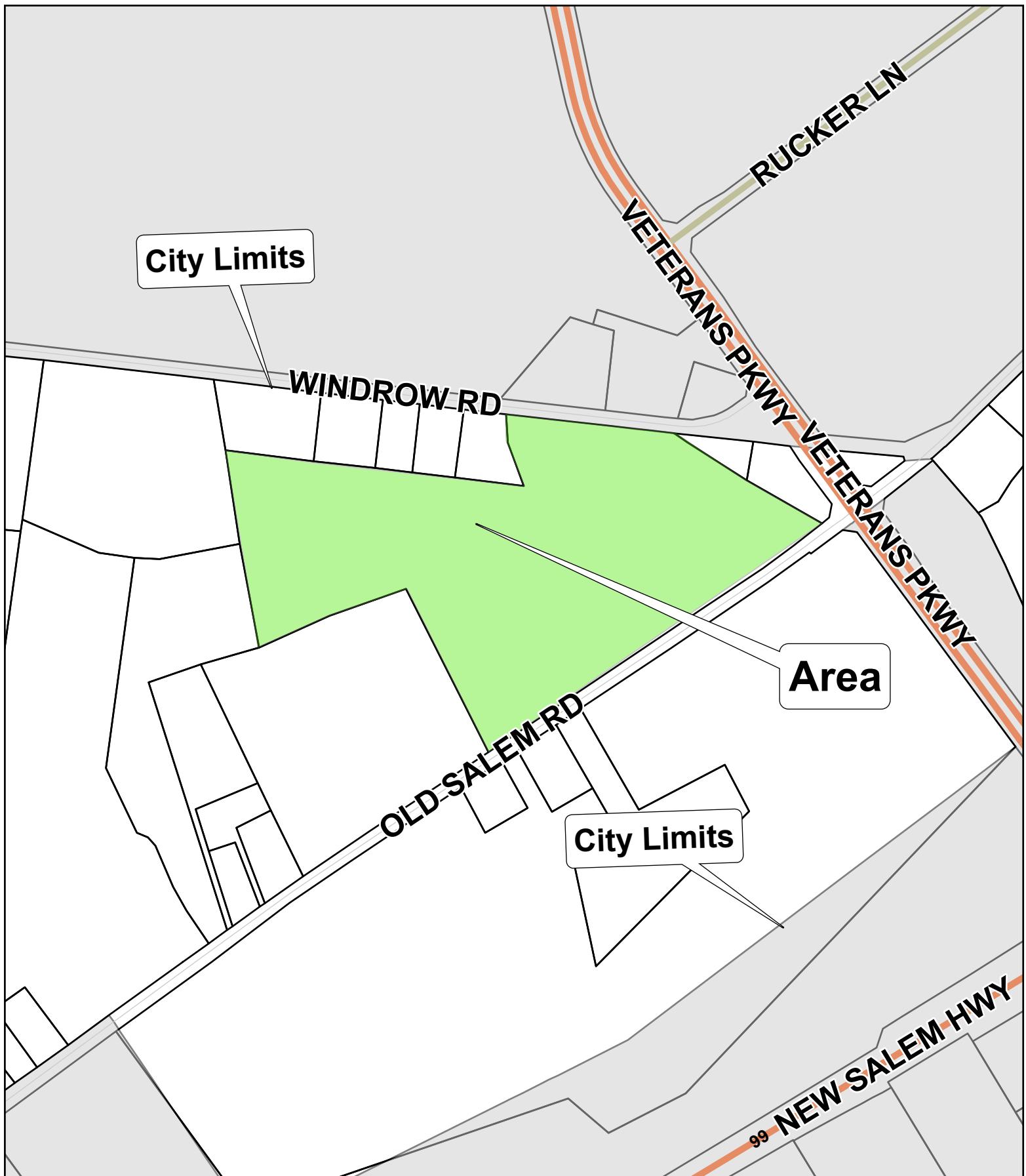
1. The rezoning request is consistent with the density recommendations of the Future Land Use Map designation of 'Suburban Residential' (SR) by providing a development with a net density of less than 4.0 units per acre.
2. The proposed Old Salem PRD is compatible with surrounding residential uses, offering detached and attached single-family homes that provide a transition to existing single-family residential uses in the area.
3. The PRD supports efficient use of underdeveloped land and provides a diverse mix of housing types, accommodating different household needs while contributing to the orderly growth of the area.

#### **Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

#### **Attachments:**

Ortho Map  
Non-ortho maps  
Pattern Book



**Zoning request for property along  
Old Salem Road and Windrow Road  
PRD (Old Salem PRD)  
simultaneous with annexation**

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



**Zoning request for property along  
Old Salem Road and Windrow Road  
PRD (Old Salem PRD)  
simultaneous with annexation**

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

# AUBREY

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) TO A PLANNED RESIDENTIAL DISTRICT (PRD)  
Murfreesboro, Tennessee



**SEC, Inc.**

SEC Project #23682



**PATTERSON**  
COMPANY

**Initial Submittal**  
August 14th, 2025

**Resubmitted**  
September 3rd, 2025 for the September 17, 2025  
Planning Commission Workshop

**Resubmitted**  
October 28th, 2025 for the November 5th, 2025  
Planning Commission Public Hearing

# SEC, Inc.



PATTERSON  
COMPANY

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com  
Web: www.sec-civil.com

850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129

Company Name: Patterson Company, LLC  
Attn: Jackson Nichols  
Phone: 615-812-9844  
Email: jnichols@buypatterson.com

1645 Westgate Circle  
Brentwood, TN 37027

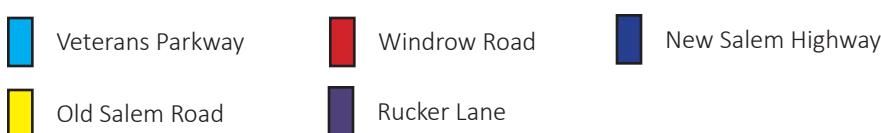
TABLE OF CONTENTS .....	02
PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE MAP .....	03
SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN .....	04
UTILITY MAP & HYDROLOGY AND TOPOGRAPHY .....	05
ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY .....	06-07
CONCEPTUAL SITE AND LANDSCAPE PLAN .....	08
DEVELOPMENT STANDARDS .....	09
CONCEPTUAL PHASING PLAN .....	10
LANDSCAPE STANDARDS .....	11
SINGLE FAMILY DETACHED LOTS ARCHITECTURAL CHARACTERISTICS .....	12-15
SINGLE FAMILY ATTACHED LOTS ARCHITECTURAL CHARACTERISTICS .....	16-19
INGRESS AND EGRESS .....	20-21
AMENITIES STANDARDS .....	22-23
ARTICLE 13 INFORMATION SUMMARY .....	24
REQUESTED EXCEPTIONS SUMMARY .....	25

© Copyright 2025, Site Engineering Consultants, Inc. (SEC, Inc.)

This document shall not be reproduced, modified, published, or used in any way or form of media/print  
without the expressed written consent of Site Engineering Consultants, Inc.



AERIAL PHOTOGRAPH



Not To Scale

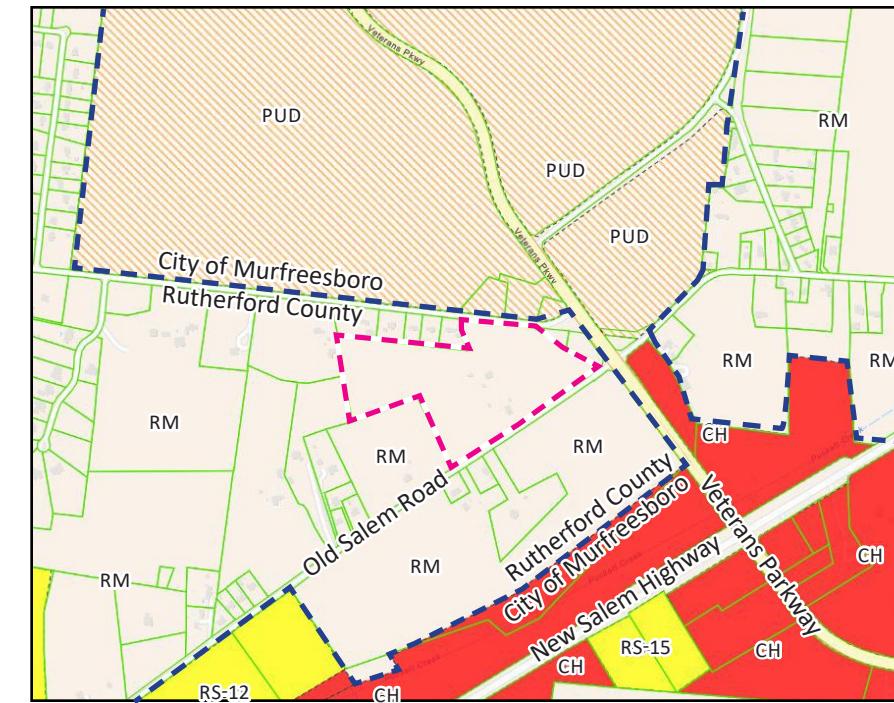


Patterson Company respectfully requests annexation and rezoning of the Sherry Wade Metzler property at 4492 Old Salem Road from Medium Density Residential - (RM) in Rutherford County to Planned Residential District (PRD) in the City of Murfreesboro to create AUBREY. The site is identified as Parcel 34.00 (27.50 acres) of Tax Map 115.

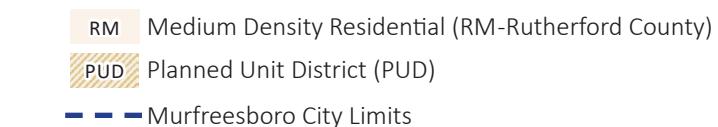
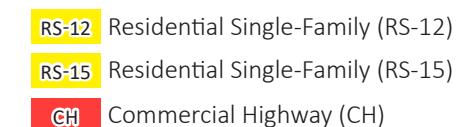
The PRD development will consist of 98 dwelling units on 27.50 acres for an overall density of 3.56 dwelling units per acres. AUBREY will consist of 66 single-family detached lots on approximately 24.96 acres for a density of 2.64 units/acre and 32 single-family attached townhomes on approximately 2.54 acres for a density of 12.59 units/acre.

The development's single-family detached homes will be a minimum of 1,600 sf. and contain a minimum of 2 bedrooms. Each home will have a two car front-entry garage. Minimum lot size will be 6,000 sf. The exterior elevations of the homes will be constructed with a mixture of masonry materials to add quality and character to the community.

The proposed single-family attached townhomes will be a minimum of 1,300 sf., and will have a minimum of 2 bedrooms. Each townhome unit will have a minimum two car rear-entry garage. The townhomes will have elevations constructed with a mixture of masonry materials to add quality and character to the community. The entrance onto Old Salem Road will incorporate signage constructed of materials and anchored by landscaping. H.O.A. will maintain all common areas and amenities.



ZONING MAP



2035 FLUM

Not To Scale



Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to the north is zoned PUD in the City of Murfreesboro. The land to the east, west and south is zoned RM in Rutherford County. The majority of the land surrounding this development is zoned for residential classifications with a portion of commercial land to the southeast along Old Salem Highway, zoned for Commercial Highway (CH).

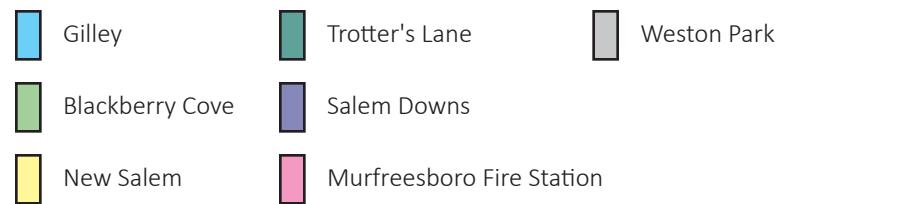
The proposed Murfreesboro Future Land Use Map Amendment designates this site as Suburban Residential (SR). The SR category suggests small acreages, large lot estates or clustered small lots that surround a common open space, characterized by enhanced open space and amenity packages focusing on pedestrian, bicycle and greenway facilities. The SR land use is defined by single-family detached homes featuring larger front yards/setbacks, and with a density range of 1.0 to 4.0 units/acre and compatible zoning districts of RS-15, RS-12, RS-10, PRD, and Public Institutional Land uses.

The proposed development aligns with several FLUM recommendations, including density, open space, accommodating amenity package, allowable percentage of single-family attached units and their coverage, enhanced landscape at entrances and two connection points to Old Salem road. Through appropriate density, thoughtful open spaces, and amenities such as a tot lot and fitness trails, the project creates a welcoming environment to a wide spectrum of Middle Tennessee's population.



SUBDIVISION MAP

Not To Scale



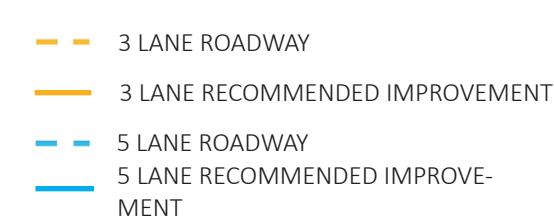
AUBREY is surrounded by a mixture of residential subdivisions and agricultural properties. Majority of subdivisions are located to the west of the site which include Blackberry Cove, New Salem, Trotter's Lane, Salem Downs and the Gilley Property. These subdivisions consist of one to two story single-family detached homes with garages on lot sizes of approximately 100' x 250' or roughly 25,000 sqft. There primary point of ingress/egress to the development in along Windrow road.

Weston Park Subdivision located to the east consists of two story single-family detached homes with garages on lots sizes of approximately 55' x 110' or roughly 6,000 sqft. and includes townhomes. The exterior elevations consist of primarily vinyl siding with brick along the front elevation on the first floor for most units. There is a primary point of ingress/egress to the development from Veterans Parkway and New Salem Highway.

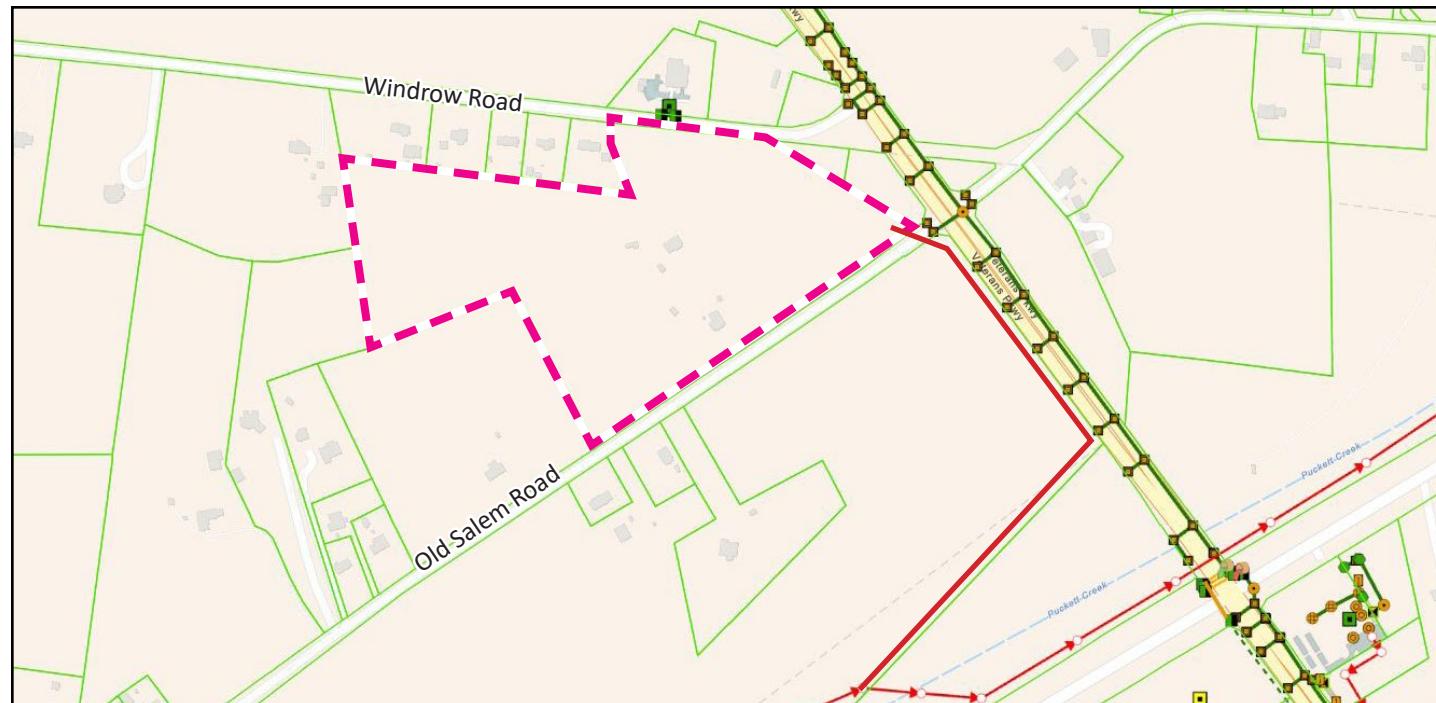


2040 MAJOR TRANSPORTATION PLAN

Not To Scale



The southern portion of this property has/will have access to the existing public right-of-way of Old Salem road through two entrances. This section of Old Salem road is on the City of Murfreesboro's 2040 Major Transportation Plan and is recommended to be improved from a two lane roadway to a three lane roadway.



UTILITY MAP



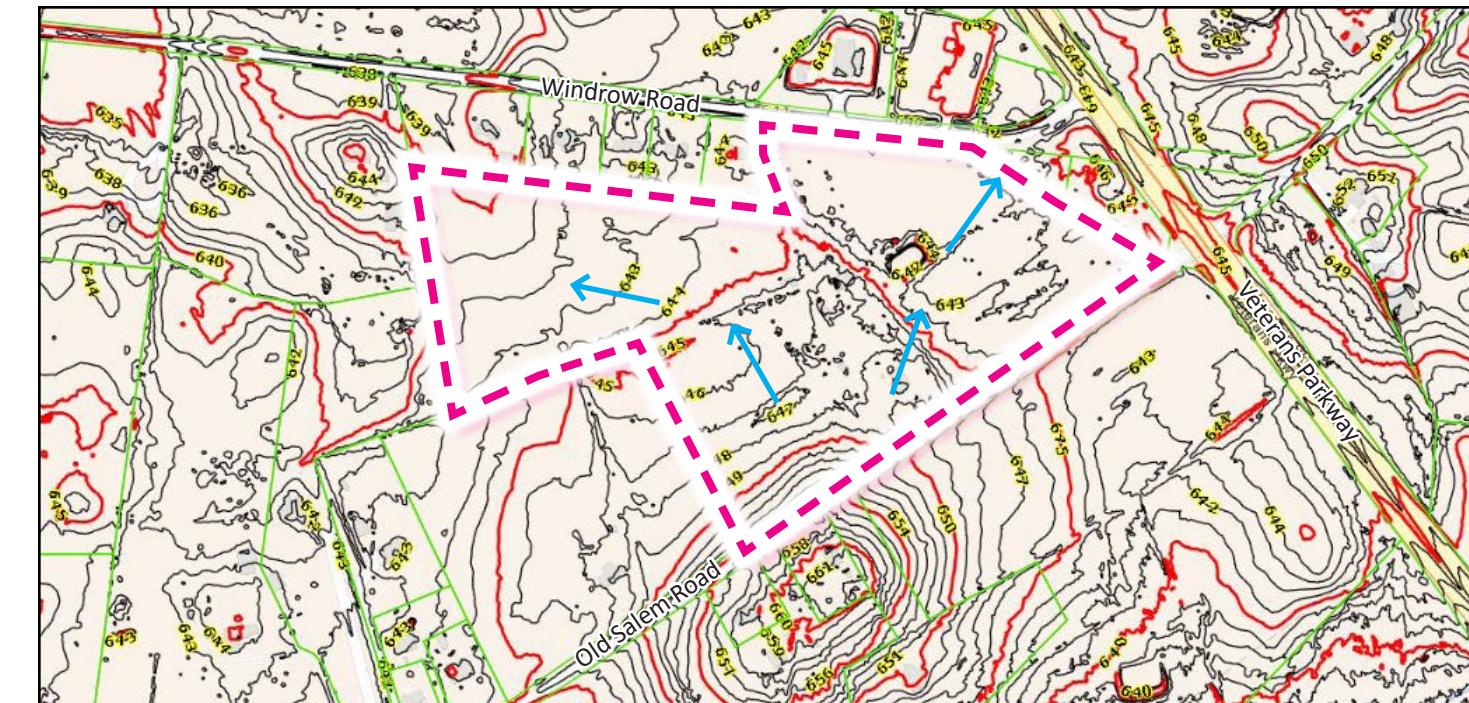
Water service will be provided by the Consolidated Utility District. There is an existing 30 inch ductile iron water main along Veterans Parkway with a 12 inch water main connection for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 15" iron ductile gravity sewer line along New Salem Highway. This sewer line will extend through the southeast side of the Matthew Jarratt property (Parcel 28.00 of Tax Map 115) and continues along Veteran Parkway. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. Existing 15" line shall be up-sized pending the MWRD hydraulic study. The proposed development will fall within its sewer allocation with the proposed zoning changes.



Electric service will be provided by Middle Tennessee Electric. Service will be extended from Old Salem road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.

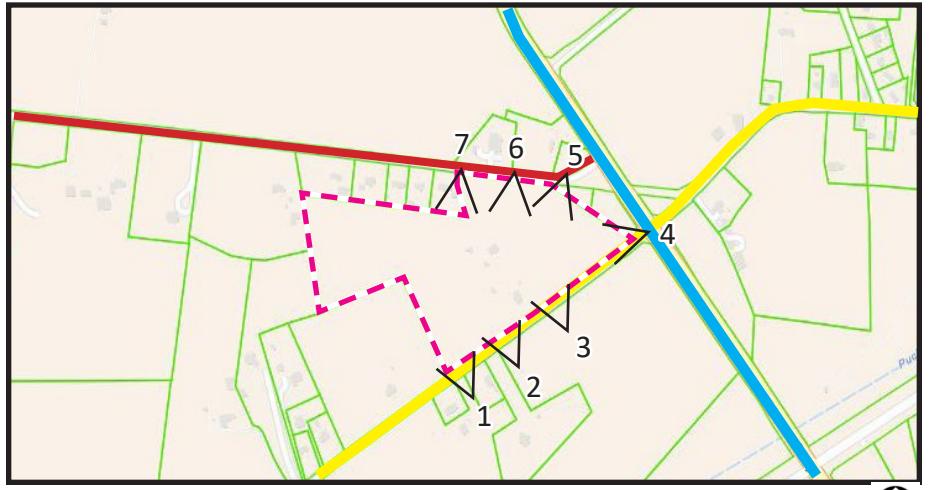


HYDROLOGY AND TOPOGRAPHY



The topographic map above shows the site's topographic high point generally at the southern corner of the property. From this high point, the property drains towards the northeast and the northwest. Stormwater that exists within the site travels north before ultimately draining into Overall Creek.

No portions of this property are within a designated floodway or floodplain per FEMA Flood Panel 47149C0265H eff. 1/5/2007.



View of Existing Field Looking North from Old Salem Road



View of Existing Field Looking North from Old Salem Road



View of Existing Treeline Looking North from Old Salem Road



View of Existing Field Looking Northwest from Old Salem Road & Veterans Parkway



View of Existing Treeline Looking South From Old Windrow Road & Veterans Parkway



View of Existing Treeline Looking South From Old Windrow



View of Existing Treeline Looking South From Old Windrow

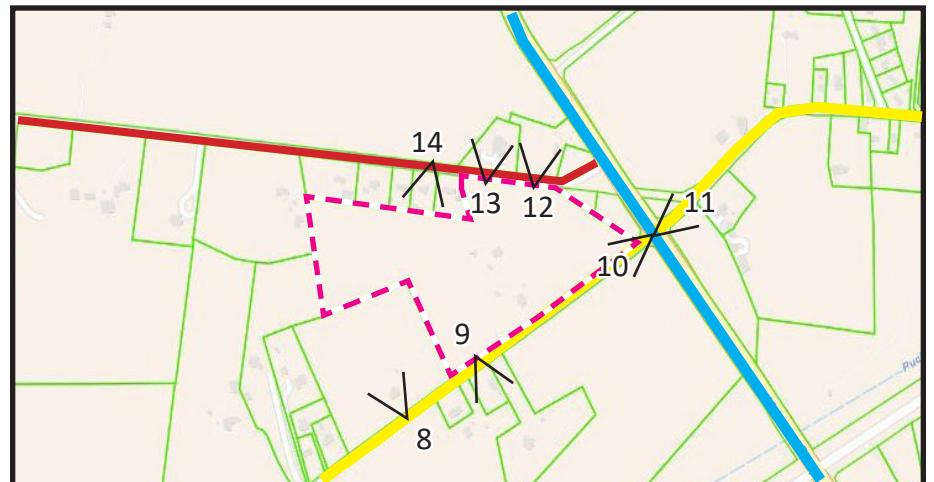


PHOTO DIRECTION MAP

Not To Scale

- █ Veterans Parkway
- █ Old Salem Road
- █ Windrow Road
- █ Site Boundary



View of Adjacent Residential Home Looking North From Old Salem Road



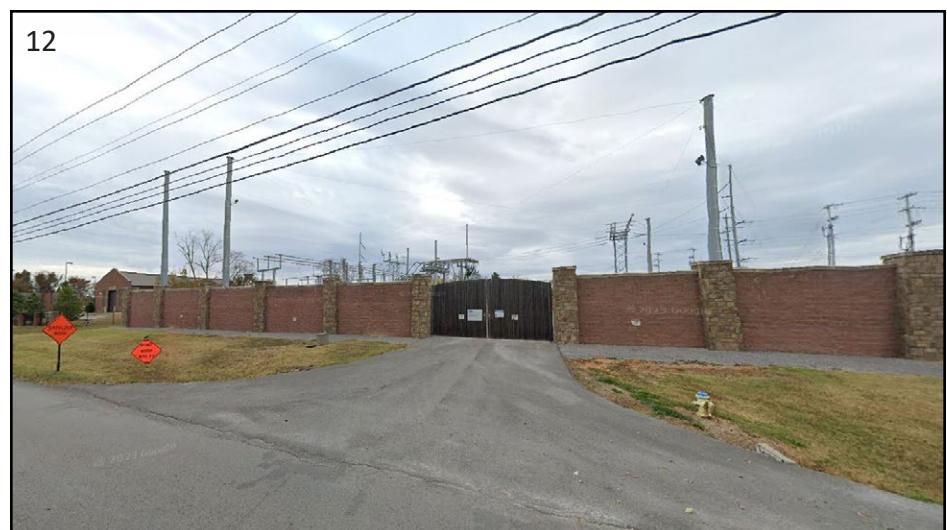
View of Adjacent Residential Home Looking South From Old Salem Road



View of Old Salem Road Looking West from Veterans Parkway



View of Old Salem Road Looking East from Veterans Parkway



View of Existing MTE Power Station Looking North From Windrow Road



View of Existing Pump Station Looking North From Windrow Road



View of Adjacent Residential Home Looking South From Windrow Road

## OVERALL SITE DATA:

Total Land Area:	±27.50 Acres
Total Single-Family Detached Units:	66 Units (67%)
Total Single-Family Attached Units:	32 Units (33%)
Total Number of Units:	98 Units
Density: 98 Units/27.50 Acres =	±3.56 Units/Acre

Required Open Space:	±5.50 Acres (20%)
Min. Provided Open Space:	±8.25 Acres (30%)
Required Formal Open Space(2.54 x5%):	±0.13 Acres (5%)
Provided Formal Open Space:	±0.13 Acres (5%)

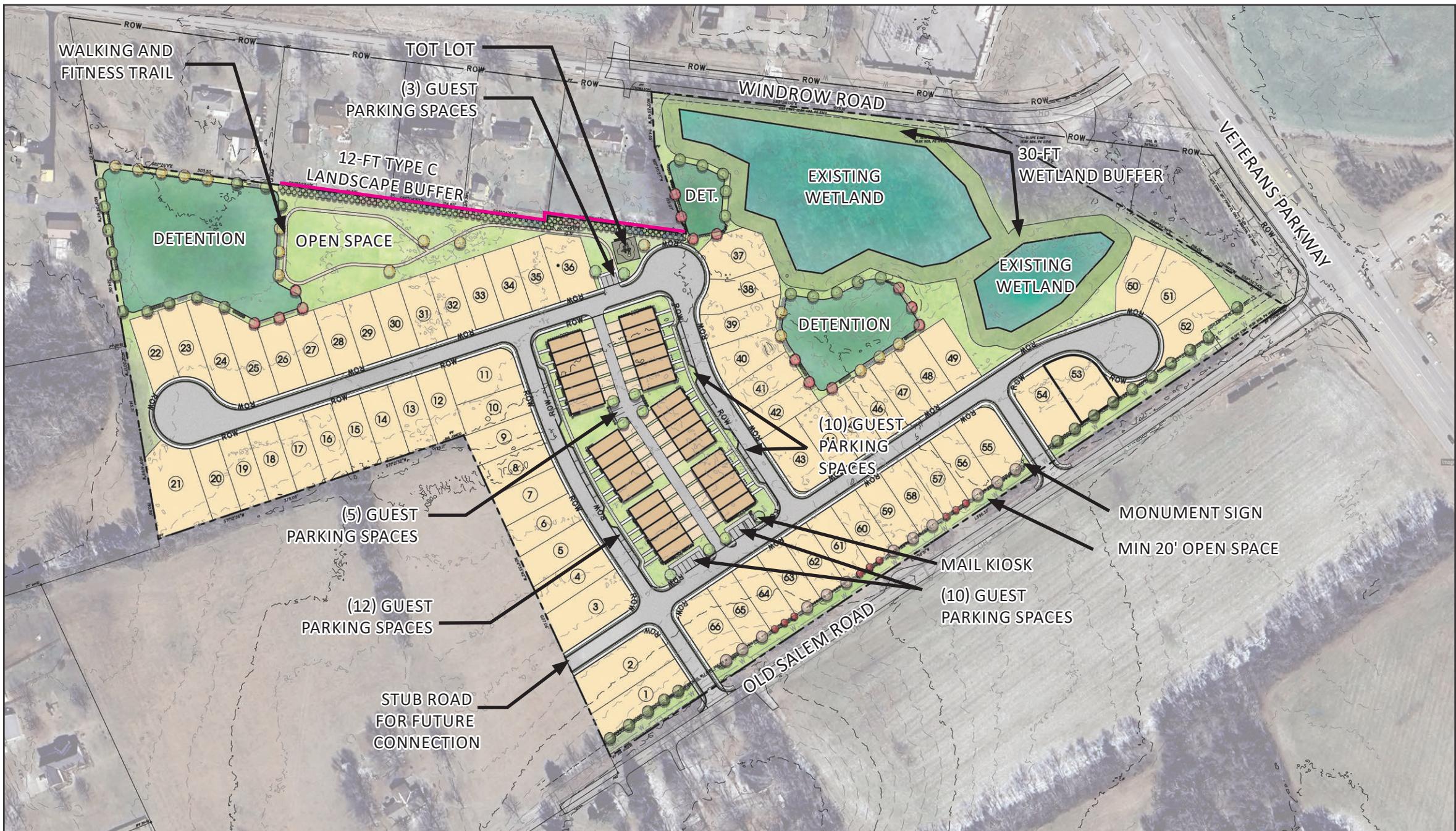
Provided Detention:	±2.28 Acres (8%)
Length of New Roadway:	±3,215 Linear Feet
Length of New Alley:	±458 Linear Feet

### Single-Family Detached Lots Parking Requirements

Req'd Parking (66 x 4 Spaces/Units):	264 Spaces
Provided Garage Spaces (2-Car Garage/Unit):	132 Spaces
Provided Driveway Spaces:	264 Spaces
Total Parking Provided =	396 Spaces
Difference =	+132 Spaces

### Townhome Parking Requirements

Number of Bedrooms Per Unit:	3 Bedrooms
Req'd Parking (32 x 3.3 Spaces/Units):	106 Spaces
Provided Garage Spaces (2-Car Garage/Unit):	64 Spaces
Provided Driveway Spaces (2-Spaces/Unit):	64 Spaces
Provided Guest Parking Spaces:	40 Spaces
Total Parking Provided =	168 Spaces
Difference =	+62 Spaces



## **Overall Development Standards For AUBREY:**

- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the single-family attached and detached homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Each Townhome unit will be for purchase and sold via a Horizontal Property Regime.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned district if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned district.
- No home occupation shall be allowed to receive clients on site. This restriction shall remain in perpetuity, regardless of any amendments to the Murfreesboro Zoning Ordinance.
- The eastern entrance off of Old Salem Road will have signage constructed of materials and anchored by landscaping. Signage shall adhere to the Murfreesboro signage ordinances.
- Builders shall install sod and landscaping along all front and sides which face onto a private or public roadway.
- Driveways shall be a minimum of 16' wide.
- All above ground utilities and mechanical equipment (i.e. HVAC and transformers) to be screened via landscape or fencing
- All on-site utilities will be underground.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by the H.O.A. Board per the By-Laws
- HOA will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an H.O.A.
- Guest parking areas for the development shall be private and maintained by the H.O.A.
- Streets will be public with the Townhomes utilizing a private alley.
- ROWs that have Townhomes fronting onto them will utilize a modified 33' wide ROW to separate the proposed on-street parking. These on-street parking areas shall also be maintained by the HOA. See page 21 for typical street sections.
- Sidewalks will be provided on both sides of all public streets throughout the development to create a pedestrian friendly community.
- Sidewalks along the on-street parking in the typical 33' ROW shall be recorded in an easement.
- A 12-ft wide Type 'C' Landscape Buffer shall be installed along a portion of the northern perimeter of the development as shown, and shall be maintained by the H.O.A.
- Mail service will be provided via centralized mail kiosks.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- Decorative street lights will be coordinated with MTE at site plan level.



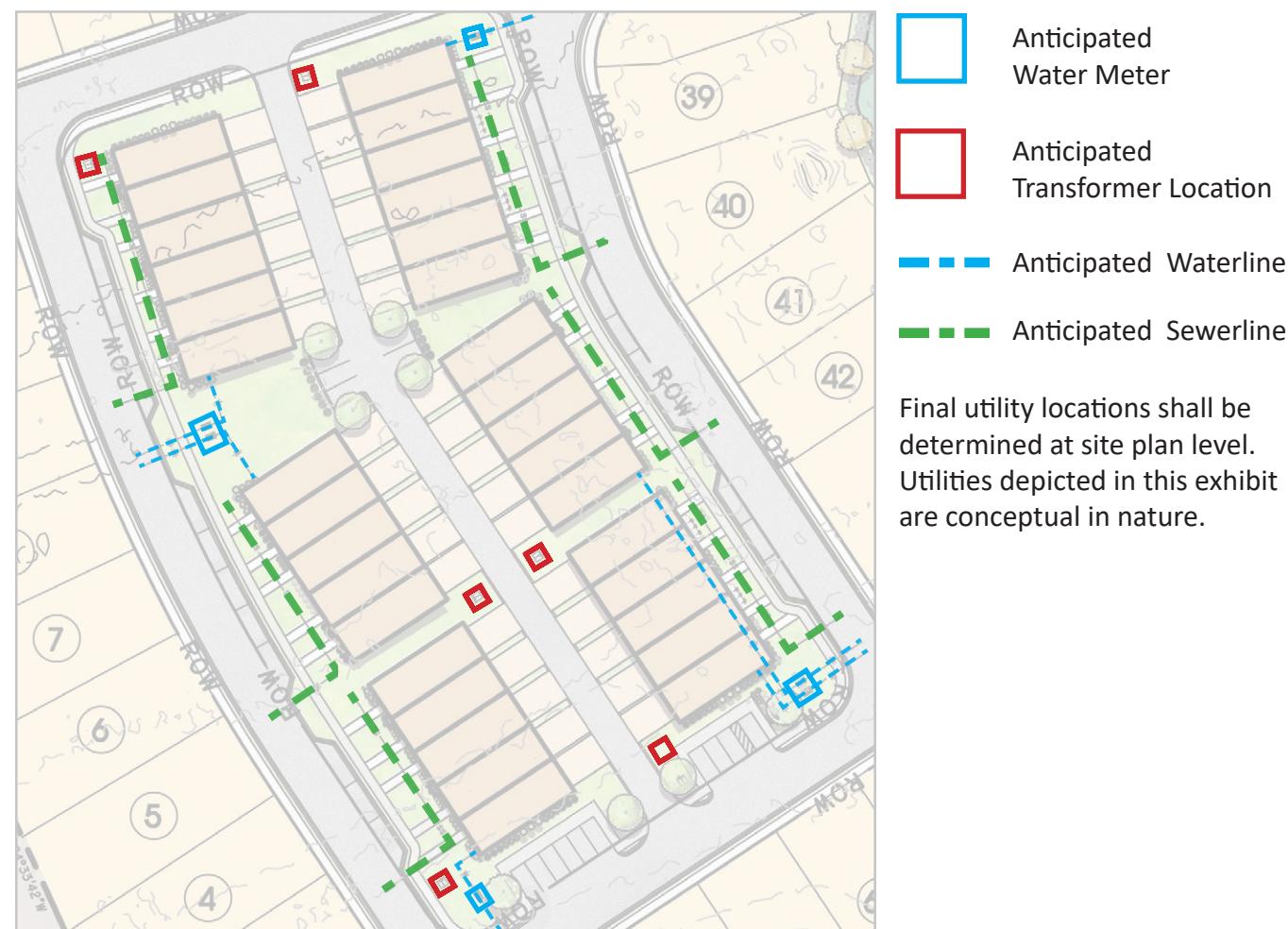
EXAMPLE OF ENTRANCE SIGN

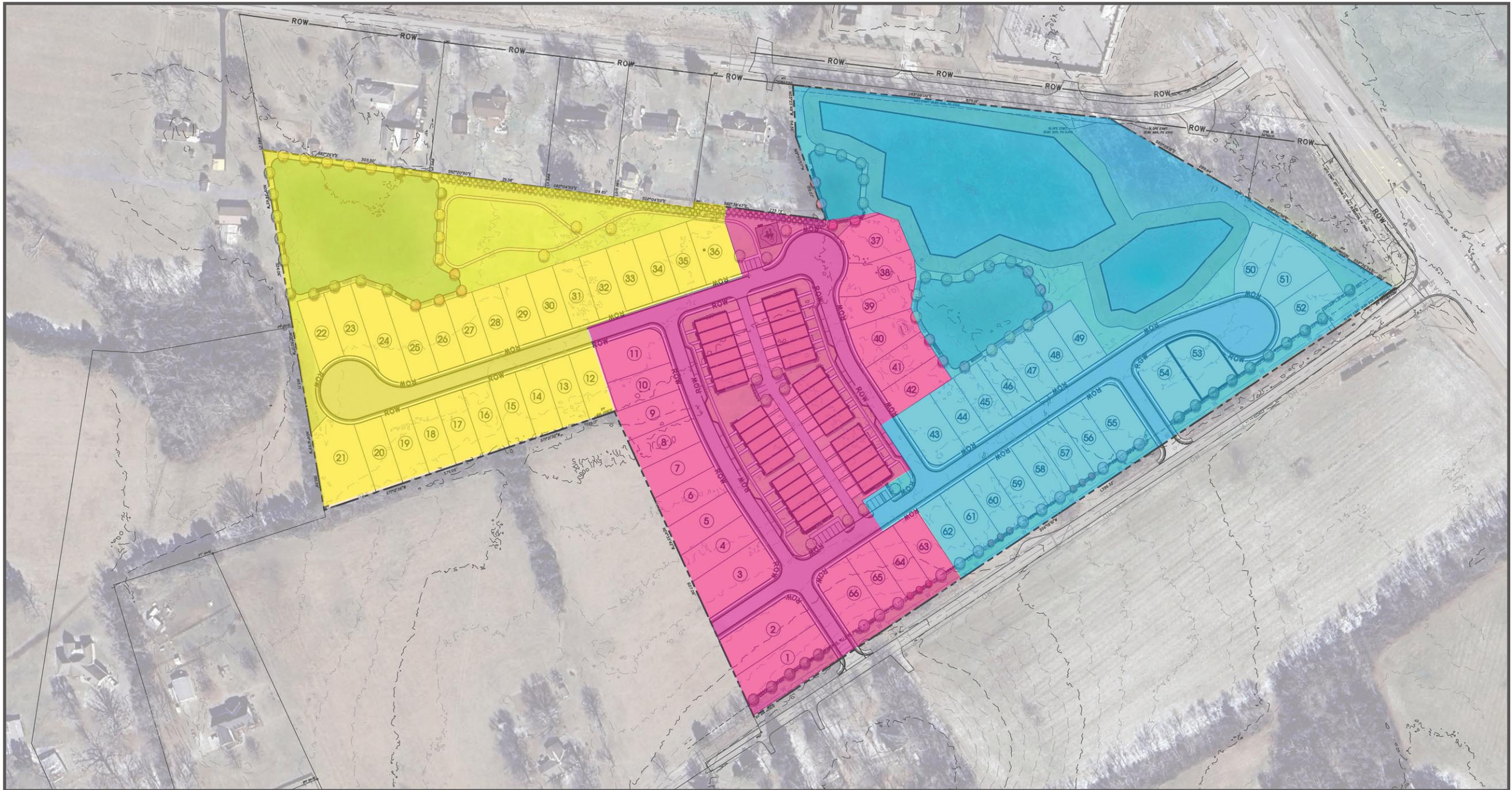


EXAMPLE OF CENTRALIZED MAIL KIOSK



EXAMPLES OF ROADWAY LIGHTING

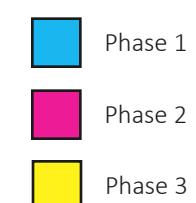


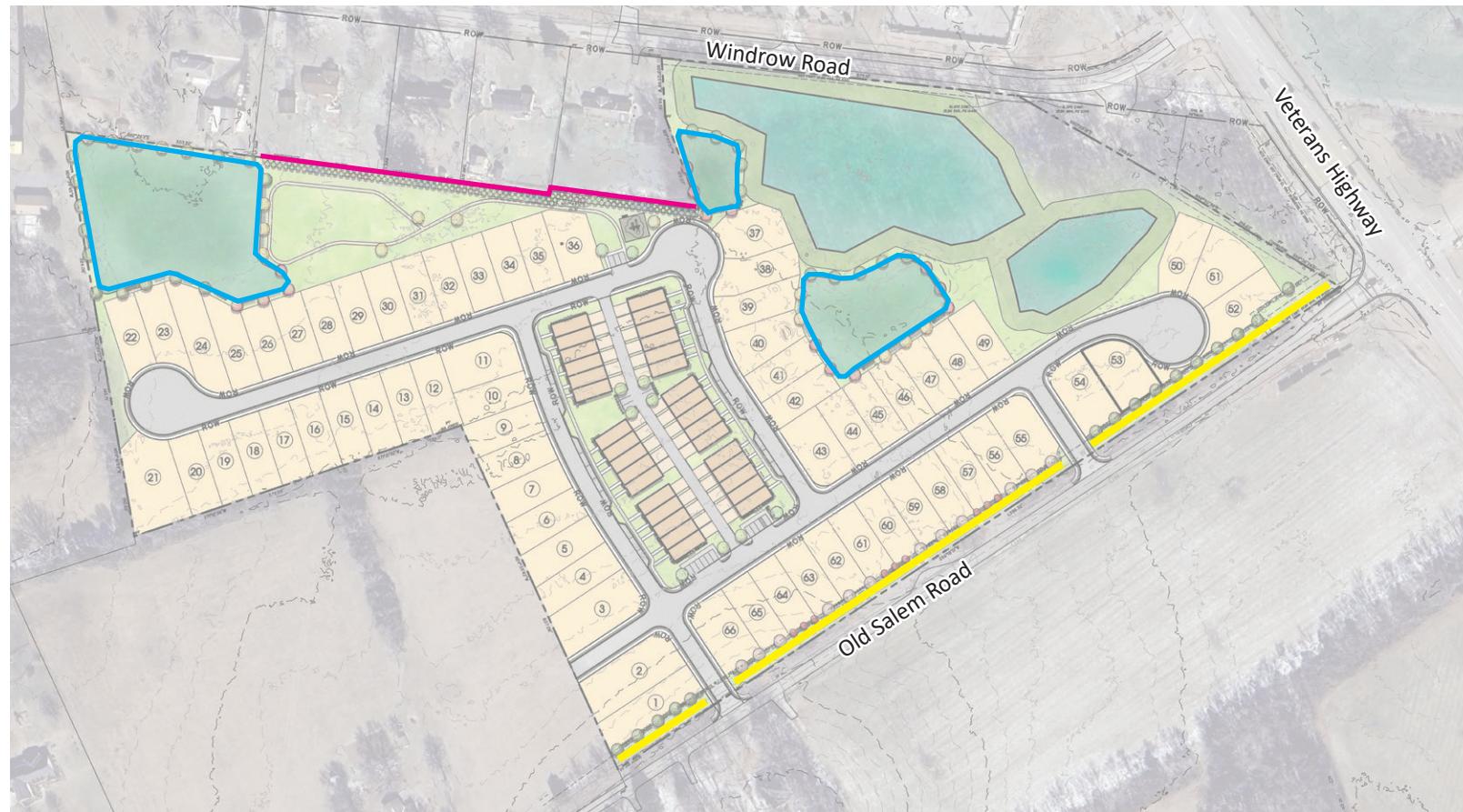


#### **AUBREY Phasing Standards:**

- Construction of Phase 1 is anticipated to begin following their permitting.
- Phase 1 will include all roadway improvements proposed for this site.
- The remaining phases will be market driven and dependent upon the absorption of the units in the previous phase.
- Centralize mail kiosk(s) for the development must be constructed and operational prior to the first home receiving their certificate of occupancy.
- Phase 1 Amenities to be installed with the development of within the phases they are designed in
- Phase 3 Amenities to be completed by 50% C/O of Phase 3 Homes.

PHASES	UNITS	ACRES
PHASE 1	19	11.33
PHASE 2	54	8.46
PHASE 3	25	7.71
<b>TOTAL</b>	<b>98</b>	<b>27.50</b>





12-FT WIDE TYPE 'C' LANDSCAPE BUFFER

STORMWATER BEAUTIFICATION

LANDSCAPE/ OPEN SPACE AREA

Not To Scale

EXAMPLE OF ENHANCED PLANTING



EXAMPLE OF LANDSCAPED BUFFER

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

#### **Residential Landscaping Characteristics:**

- A 12-ft wide Type 'C' Landscape Buffer shall be installed along a portion of the northern development.
- A minimum 7.5 feet of landscape area between parking lots/areas and all property lines.
- Public rights-of-way shall be screened from off-street parking lots/areas by use of landscaping and/or berthing.
- Low level screening shrubs shall be installed where parking headlights interfere with R.O.W. or adjacent residential units to mitigate vehicular headlights.
- The front and side of all homes/townhomes that face a public/private roadway shall have a minimum 3-ft wide landscape bed along those foundations.
- Landscaping plant material at time of planting shall be in conformance with the City of Murfreesboro's landscaping ordinance.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within open space of the development.
- The landscape/open space area along Old Salem Road shall, at a minimum, utilize the same plantings as seen in a Type 'A' Option-1 Landscape Buffer.

### **Single-Family Detached Homes Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All homes will have at least 3 bedrooms
- All homes units will have eaves
- All homes will have an option for a patio area at the rear of the unit
- All homes will have a 2-car front-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- All homes will be comprised of alternating unit style and unit color.
- Homes shall have covered front-entries.
- All homes will have a minimum 24" high water table on all four sides.

### **Building Materials:**

Front Elevations: All Masonry (Brick, Stone, Cement Board Siding)  
 Side & Rear Elevations: All Masonry (Brick, Stone, Cement Board Siding)  
 All Elevations: Vinyl Only Permitted in Trim & Soffit Areas  
 Water table: Brick or Stone



Example of Brick  
 (Different colors, cuts, patterns will be allowed)



Example of Board and Batten  
 (Different colors will be allowed)



Example of Stone Veneer  
 (Different colors, cuts, patterns will be allowed)



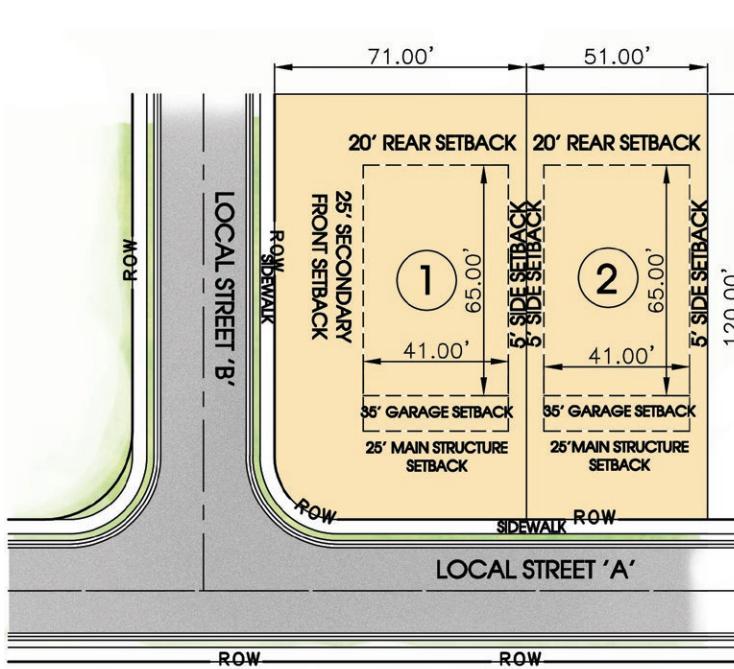
Example of Fiber Cement Board  
 (Different colors will be allowed)



Example of Asphalt Shingles  
 (Different colors will be allowed)



Example of Metal Seam Roof  
 (Different colors will be allowed)



### **Setbacks Proposed in PRD compared to RS-6 Zoning**

#### **Single-Family Detached Homes Minimum Building Setbacks (Internal)**

Front Setback to Garage: 35-ft vs. 35-ft Front Setback  
 Front Setback to Main Structure: 25-ft vs. 25-ft Front Setback  
 Secondary Front Setback\*\*: 25ft vs. 35-ft Front Setback  
 Side Setback: 5-ft vs. 5-ft Side Setback  
 Rear Setback: 20-ft vs. 20-ft Rear Setback

Minimum Lot Width at ROW: 51'

Minimum Lot Width at ROW at Cul-de-sacs: 40'

\*Covered porches/stoops/patios shall be permitted to encroach a maximum of 5-ft into front and rear setbacks.

\*\*Secondary Front Setback shall refer to any front setback where a driveway or garage does not directly front onto the roadway

Red text denotes exceptions from the comparative zoning district.



Front Elevation Example



Harpeth - Front Elevation Example



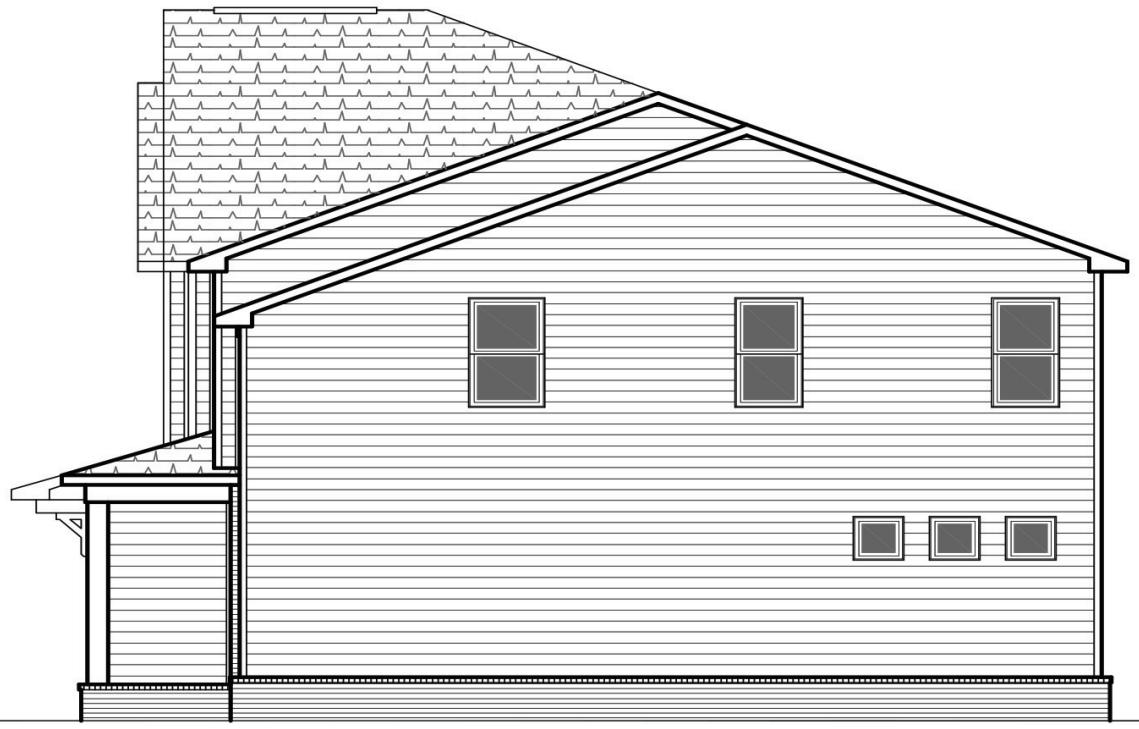
Front Elevation Example



Holston - Front Elevation Example



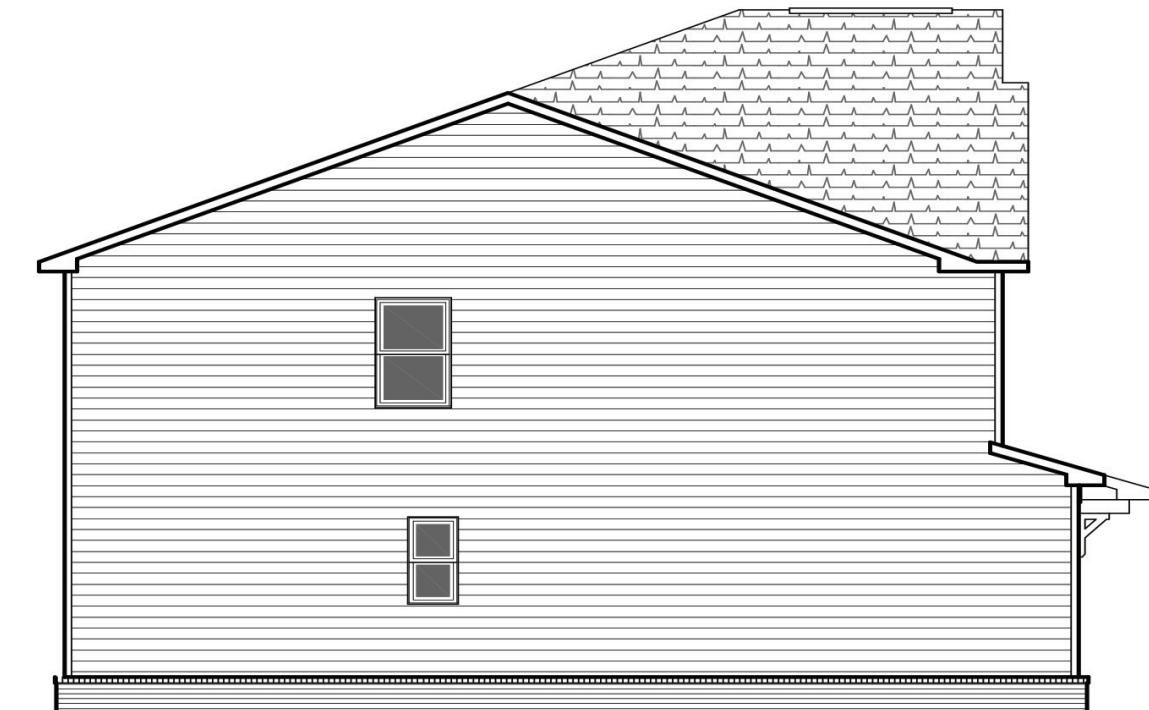
Powell - Front Elevation



Powell - Right Elevation



Powell - Rear Elevation



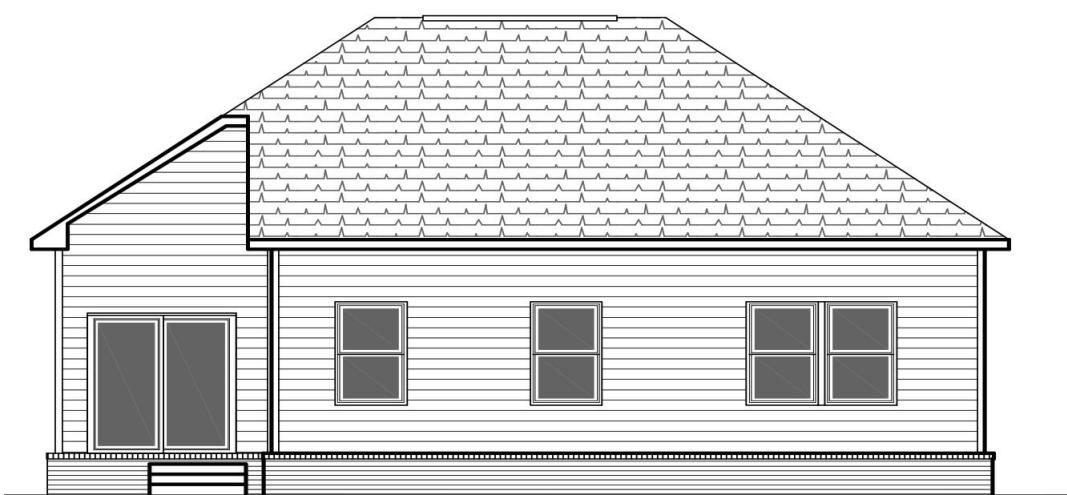
Powell - Left Elevation



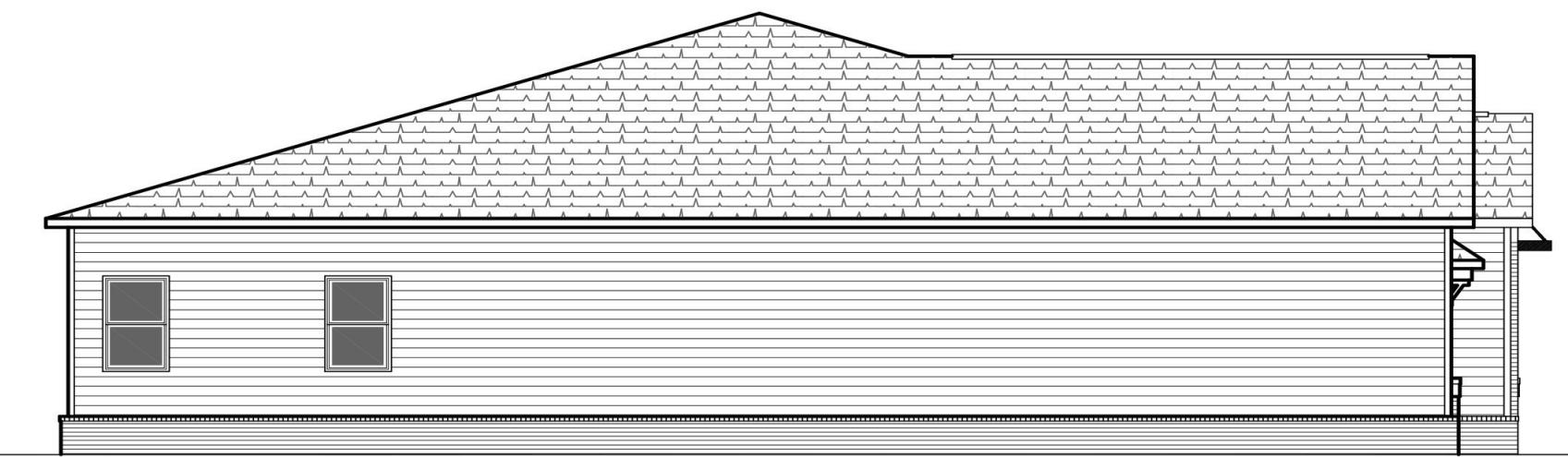
Ocoee - Front Elevation



Ocoee - Right Elevation



Ocoee - Rear Elevation



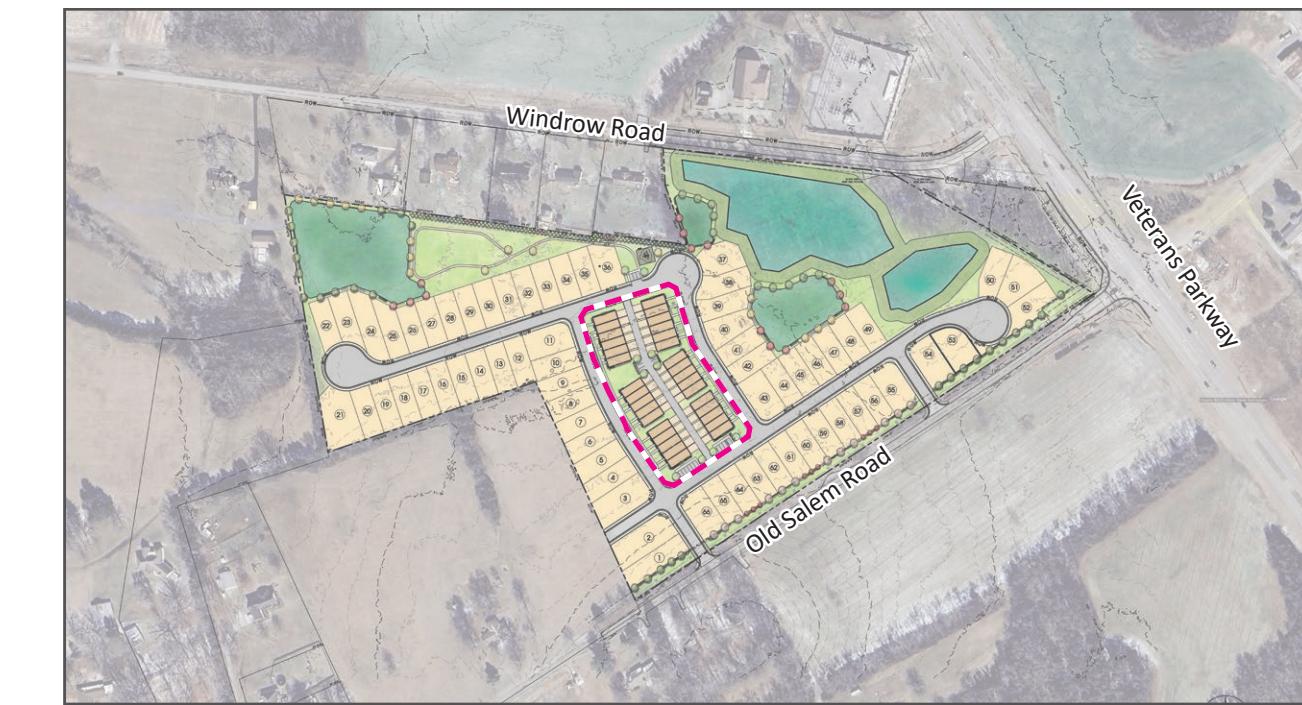
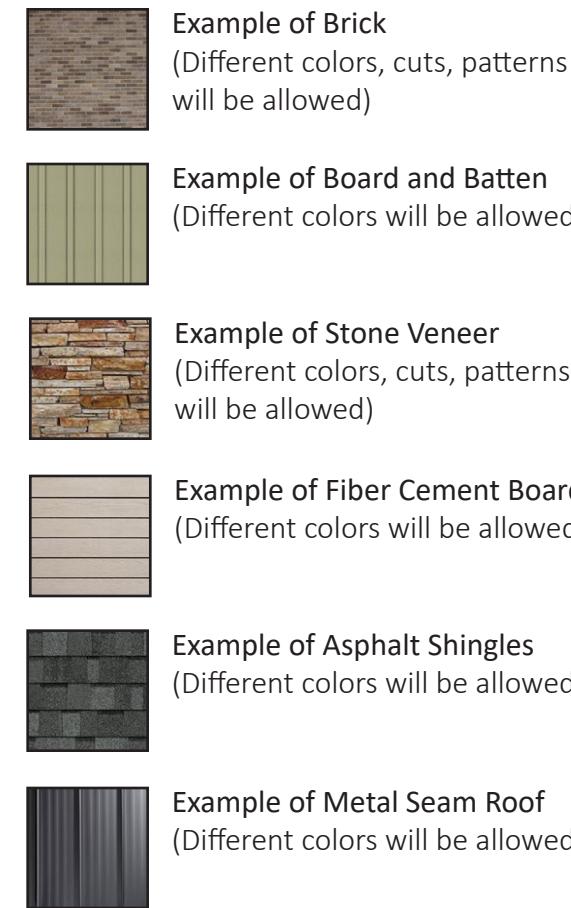
Ocoee - Left Elevation

## **Single-Family Attached Homes Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height
- Homes will be 1-2 stories
- All homes will have a minimum of 2 bedrooms
- All homes will have eaves
- All homes will have a 2-car rear-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance Standards.
- All homes will be comprised of alternating unit style and unit color.
- All homes will have a minimum 24" high water table on all four sides.
- CCR's will require trash bins be kept in the garage or on rear of building on non-street side.
- Garage spaces shall be restricted to vehicular storage only and not for the parking or storage of boats, recreational vehicles, trailers, equipment, household items, or any other items if such parking or storage would preclude the parking of the requisite number of vehicles garage spaces except via an exception. CCR shall restrict garages to parking, and they must measure a minimum of 19 ft- 4 inches wide by 20 ft. deep.

### **Building Materials:**

Front Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
Side & Rear Elevations:	All Masonry (Brick, Stone, Cement Board Siding)
All Elevations:	Vinyl Only Permitted in Trim & Soffit Areas
Water Table:	Brick or Stone



### **Setbacks Proposed in PRD compared to RS-A Type 2 Zoning**

#### **Single-Family Attached Homes Minimum Building Setbacks (Internal)**

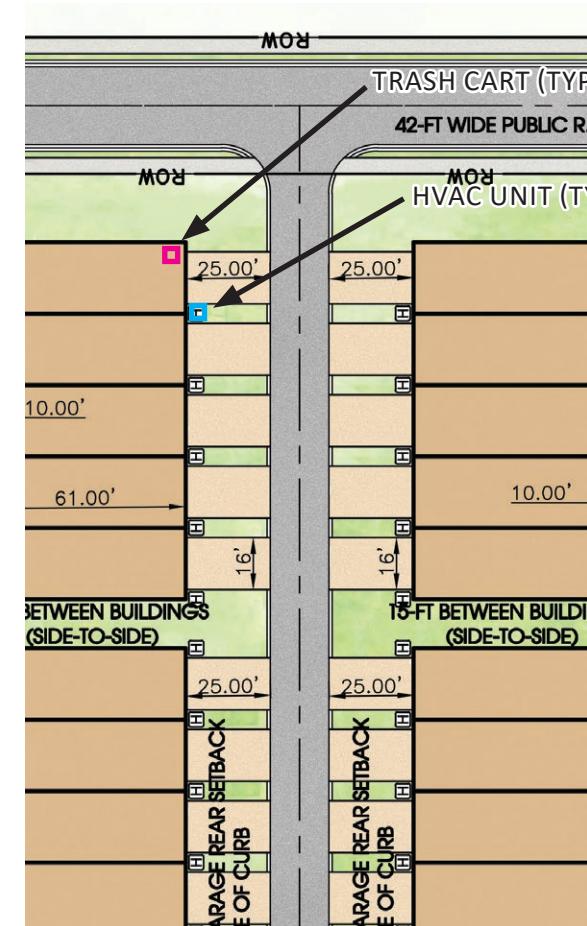
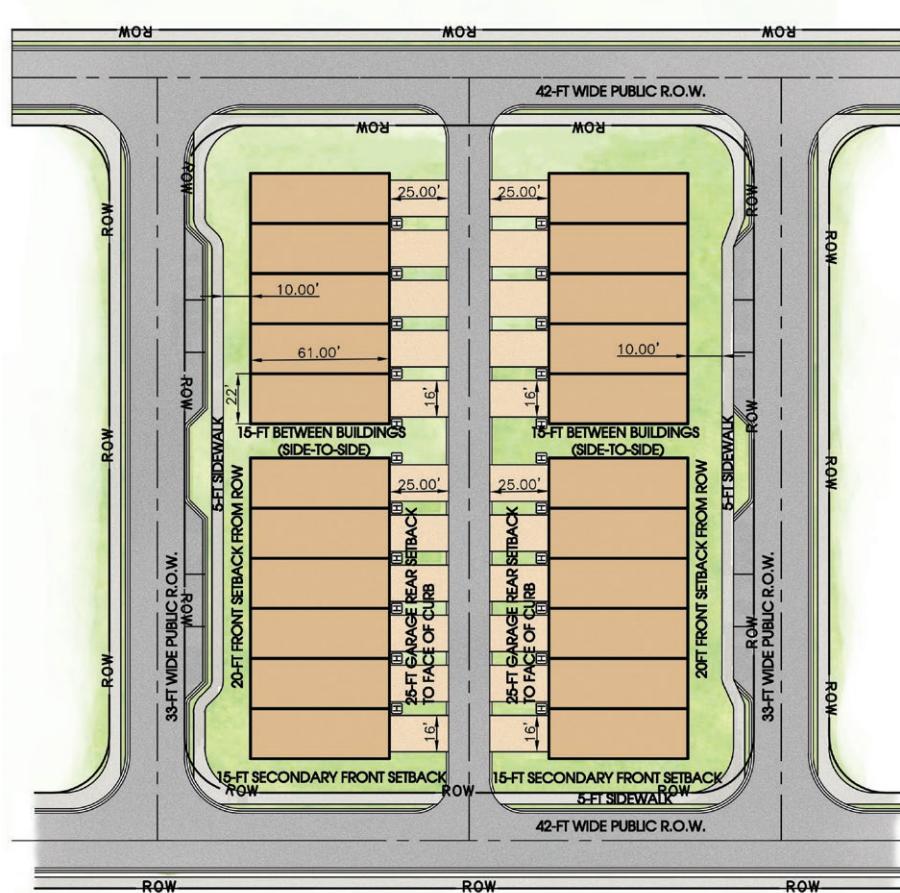
Garage Rear Setback to Face of Curb:	25-ft	vs.	20-ft
ROW to the Front of the Home:	*20-ft	vs.	35-ft Front Setback
Secondary Front to ROW (Corner):	*15-ft	vs.	35-ft Front Setback
Side to Side Between Buildings:	15-ft		
Back of sidewalk to Side of Home:	5-ft		
Back of Sidewalk to the Front of Home:	*10-ft		

(Stoops/Covered Entries may encroach up to 5' in this area)

\*Covered porches, stoops, and canopies shall be permitted to encroach a maximum of 5-ft into front, secondary front, and rear setbacks.

\*\*Secondary Front Setback shall refer to any front setback where the townhomes front door does not directly front onto the roadway

Red text denotes exceptions from the comparative zoning district.

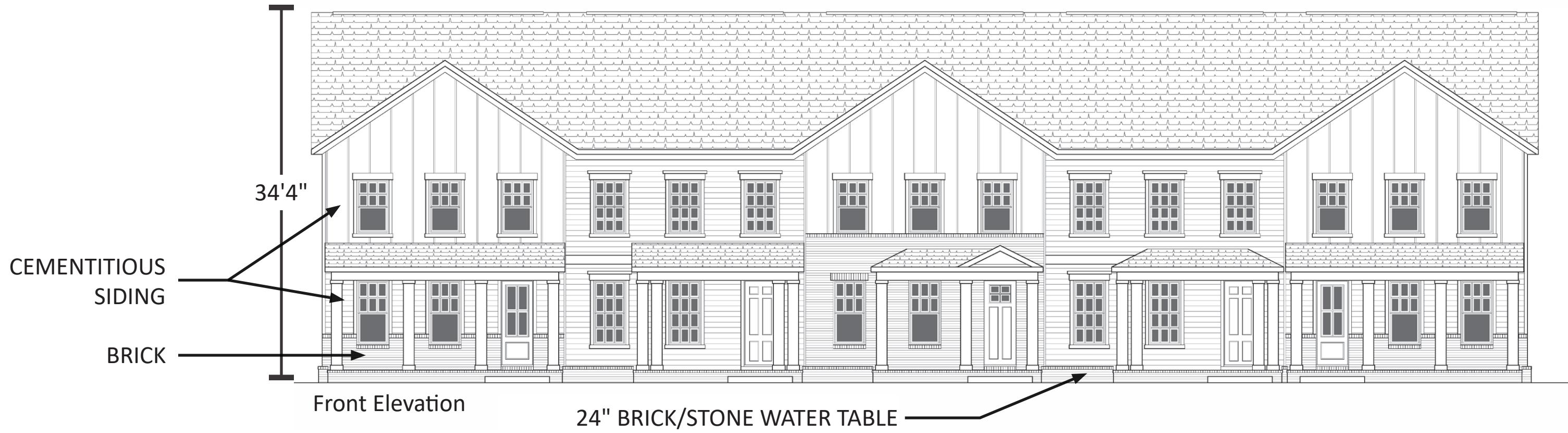


\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building. Final architecture shall be provided at the site plan level and will meet design guidelines.



Rendered example of Townhome Front Elevation.

*Bob Jorgo*





Left Elevation



Right Elevation



Example of rear Elevation

\*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.  
Final architecture shall be provided at the site plan level and will meet design guidelines.

[PROPOSED PLANNED RESIDENTIAL DISTRICT](#)  
[SINGLE-FAMILY ATTACHED ARCHITECTURAL CHARACTERISTICS](#)

Old Salem Road is a local roadway where the majority of vehicular trips generated by this development will impact and is currently built as a two-lane roadway. Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), Old Salem Road is slated to be improved from a two-lane roadway to a three-lane roadway.

The entrances are proposed to incorporate two travel lanes; one lane into the site and one lane out of the site. The concept plan has included a potential future connection to the western properties.

The illustration to the right shows the proposed entrances to the development from Old Salem Road and the future connection.

A Traffic Impact Study has been conducted and it concluded that a dedicated right turn-lane be installed on east bound Old Salem Road at the intersection of Veterans Parkway. This improvement is warranted based on existing conditions today.

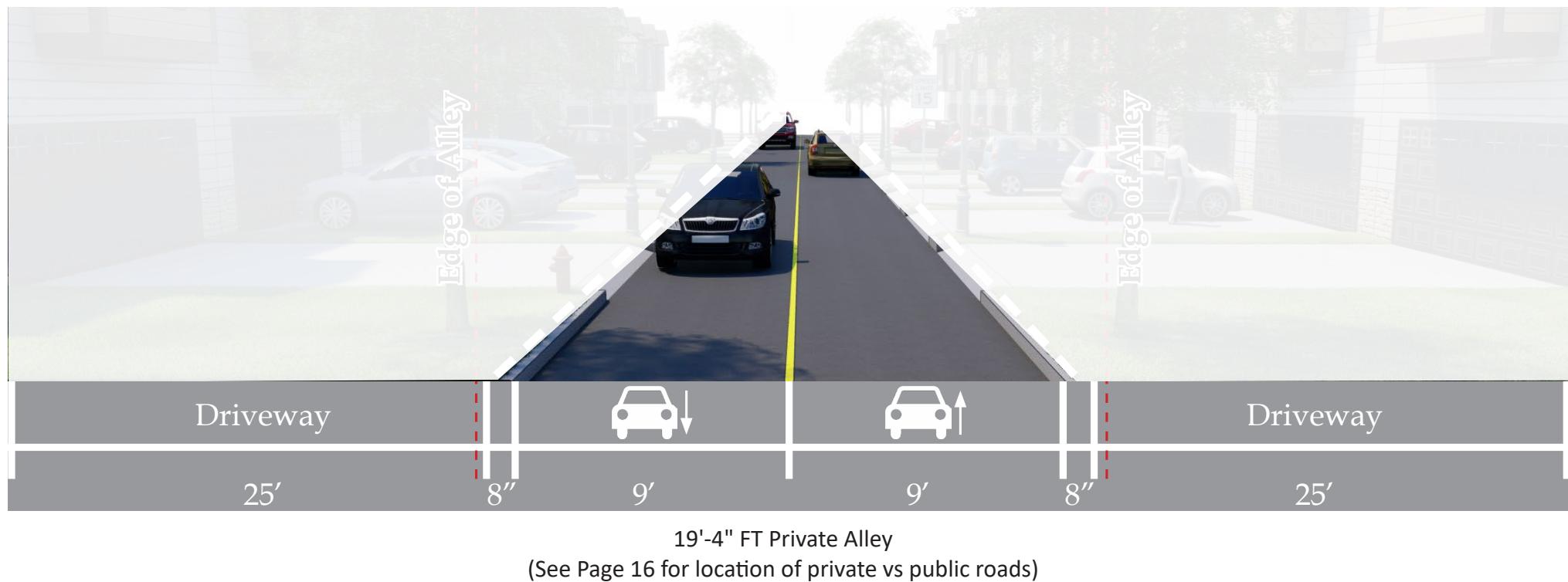
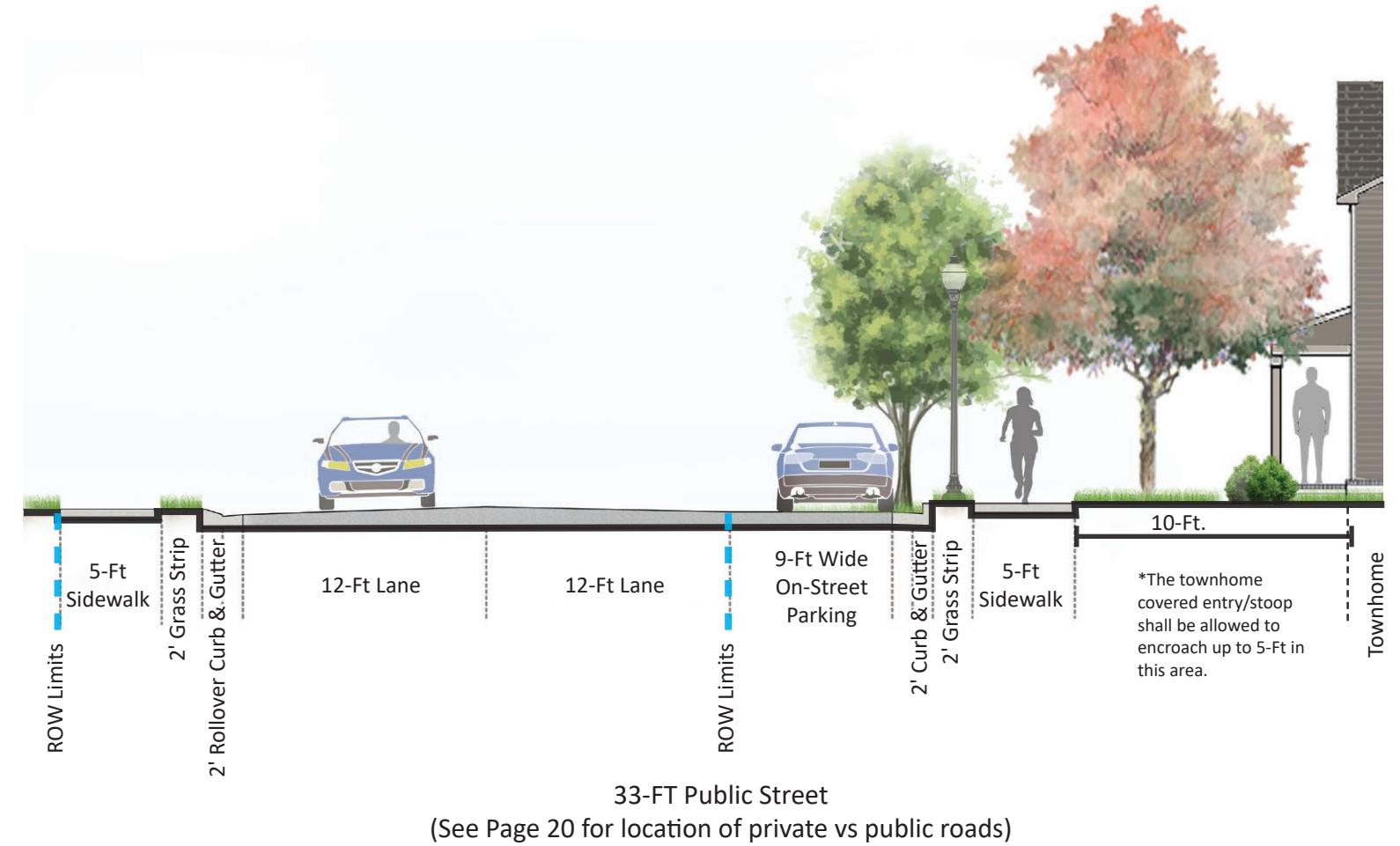
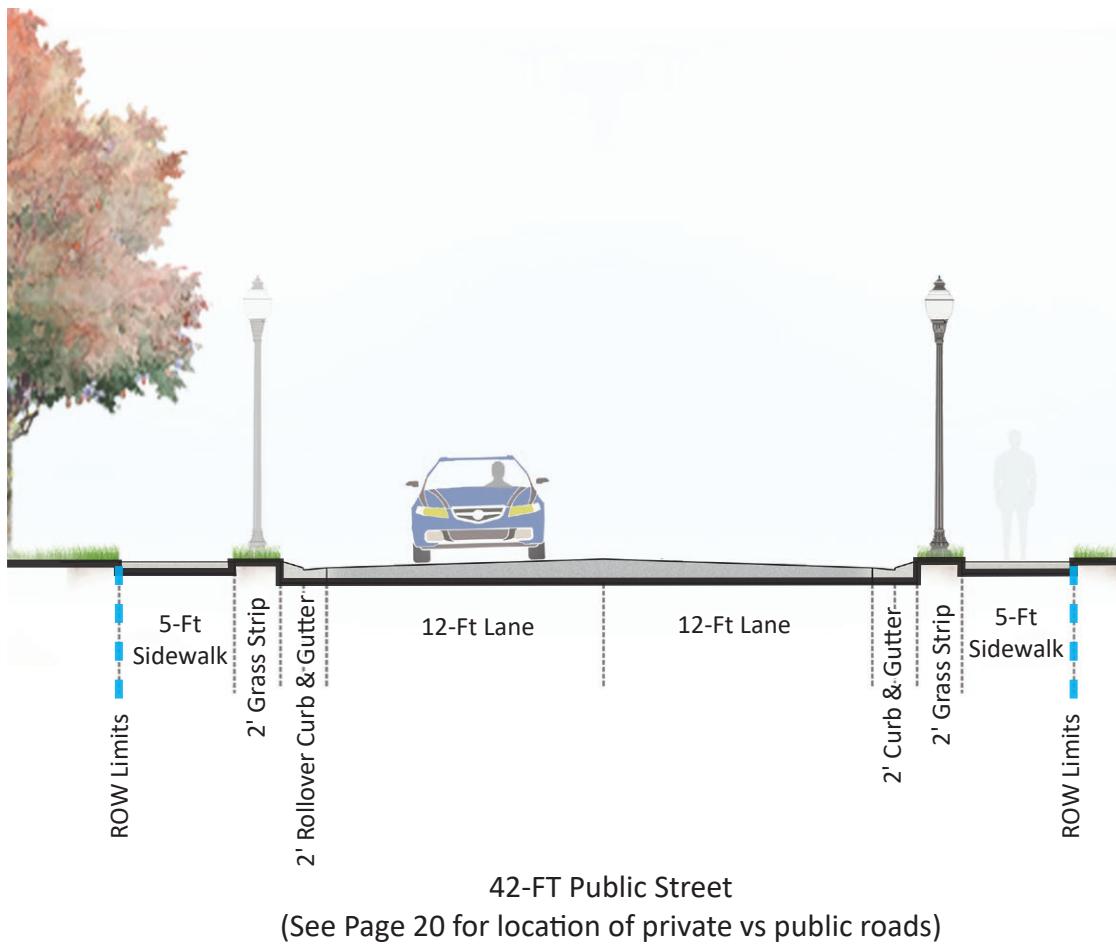
The traffic study also indicated that the entrances / exits into the development shall consist of two lanes each. One for entering the development and one for exiting.

All streets within the development will be either private alley with a typical 19'-4" cross-section or public streets with a typical 42-ft or 33-ft cross-section with on-street parking. The 33-ft cross section shall be held to the following standards.

- The right-of-way should be narrowed to so that the parking is located on private property. The HOA will be responsible for maintaining the parking.
- The sidewalk must be provided within an easement to maintain public access.
- All street specifications, including corner clearance requirements, must be met for both parking spaces and drives per these written standards.

This project will be providing the following roadway improvements: Old Salem Road shall be improved from a two-lane roadway to a three-lane roadway starting from the left turn lane into the western entrance of the development and providing a continuous center turn lane up to Veterans Parkway.

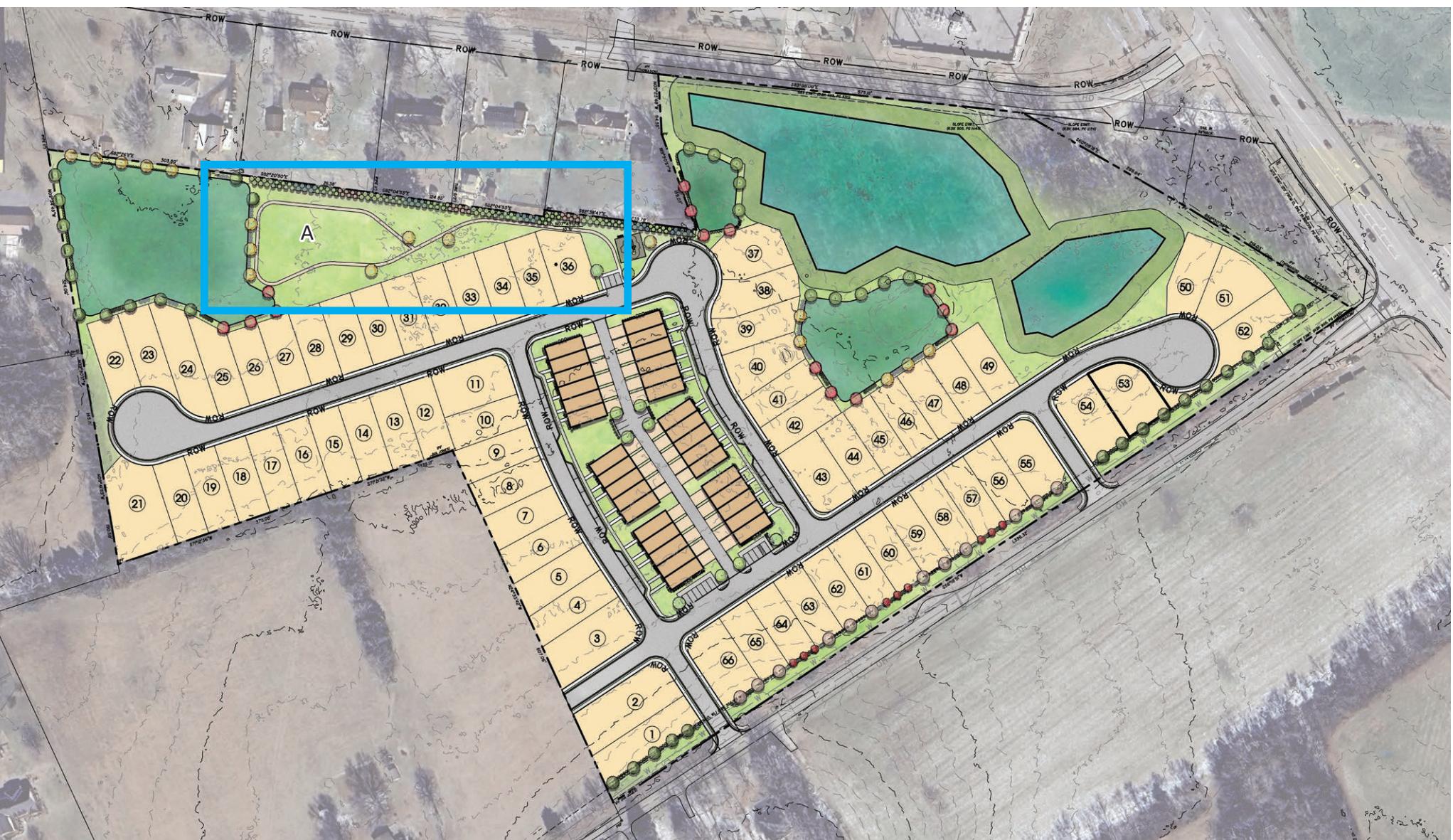




With this request, AUBREY will be dedicating over 8 acres (30% of the site) to open space. The open space areas will be comprised of usable open space and detention areas. Usable open space areas spread around the overall development will offer a walking/fitness trails and a Tot lot. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well.

#### **AUBREY Amenities:**

- The playground shall have a minimum capacity of 20 children.
- The playground shall provide a play-timber boarder filled with playground mulch per the manufactures specifications for fall heights.
- A minimum of two benches and a trash receptacle shall be provided within close proximity to the playground.
- The walking trail shall be concrete and a minimum of 5' wide.
- A minimum of three fitness stations shall be provided along the trial.
- Phase 2 Amenities to be installed with the development of Phase 2.
- Phase 3 Amenities to be completed by 50% C/O of Phase 3 Homes.



Not To Scale

LOCATION MAP - AMENITIES

- A Walking Trails
- B Tot Lot



LOCATION MAP - ACTIVE AMENITIES AREA

Not To Scale

**A** Walking Trail

**B** Fitness Circuit

**C** Tot Lot



Example of Concrete Walking Trail



Example of Fitness Circuit



Example of Fitness Circuit



Example of Tot Lot

**1.)** A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** Exhibits shown on Pages 3- 7 provide the requested materials.

**2.)** A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits shown on Pages 3- 7 provide the requested materials.

**3.)** A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits shown on Pages 3- 7 provide the requested materials.

**4.)** A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** Exhibits shown on Pages 8-11 provide the requested materials

**5.)** A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** Exhibits shown on Pages 8-11 provide the requested materials

**6.)** A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

**Response:** See Data Table below

<b>TOTAL SITE AREA</b>	646,866 s.f.	14.85 AC (100.00%)
<b>WETLANDS AREA TO REMAIN</b>	62,984 s.f.	1.45 AC (9.76%)
<b>DEVELOPABLE RESIDENTIAL SITE AREA</b>	583,704 s.f.	13.40 AC (90.24%)
<b>TOTAL MAXIMUM FLOOR AREA</b>	125,800 s.f.	2.89 AC (19.45%)
<b>TOTAL LOT AREA</b>	646,866 s.f.	14.85 AC (100.00%)
<b>TOTAL BUILDING COVERAGE</b>	138,725 s.f.	3.18 AC (21.45%)
<b>TOTAL DRIVE/ PARKING AREA</b>	102,948 s.f.	2.36 AC (15.91%)
<b>TOTAL RIGHT-OF-WAY</b>	0 s.f.	0.00 AC (0.00%)
<b>TOTAL LIVABLE SPACE</b>	547,753 s.f.	12.57 AC (84.65%)
<b>TOTAL OPEN SPACE</b>	191,228 s.f.	4.39 AC (32.76%)
<b>FLOOR AREA RATIO (F.A.R.)</b>	0.19	
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	0.63	
<b>OPEN SPACE RATIO (O.S.R.)</b>	0.79	

**7.)** A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

**8.)** If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

*(aa) the approximate date when construction of the project can be expected to begin;*

**Response:** The project is anticipated to be developed in 7 phases. Phasing information is described on Page 12.

**9.)** Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Pages 11 and 28-31.

**10.)** A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** See Requested Exceptions Pages 24-25

**11.)** The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0265H eff. 01/05/2007.

**12.)** The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 4 & 26-27 discusses the Major Thoroughfare Plan.

**13.)** The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. Developer/ applicant is Ole South Home Builders. contact info for both is provided on cover.

**14.)** Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Page 13-25 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

**15.)** If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Examples of entrance signage are located on Page 9 and a description is on Pages 3 & 9.

AUBREY (SINGLE FAMILY DETACHED):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-6	Proposed PRD (SFD)	Difference
Residential Density			
Maximum Gross Density	7.2 Units / Acre	3.56 Units / Acre	-3.64 Units / Acre
Minimum Lot Area	6,000 sqft	6,000 sqft	+0 sqft
Minimum Lot Width	50'	51'	+1'
Minimum Setback Requirements			
Minimum Front Setback to Garage	35'	35'	0'
Minimum Front Setback to Main Structure	25'	25'	0'
Minimum Secondary Front Setback	35'	25'	-10'
Minimum Side Setback	5'	5'	0'
Minimum Rear Setback	20'	20'	0'
Land Use Intensity Ratios			
MAX F.A.R.	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	3%	3%	0%
Max Height	35'	35'	0'

AUBREY (SINGLE FAMILY ATTACHED REAR LOADED):

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	RS-A Type 2	Proposed PRD (SFA-RL)	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	12 Units / Acre	3.56 Units / Acre	-8.44 Units / Acre
Minimum Lot Area	2,000 sf	N/A	N/A
Minimum Lot Width	20'	N/A	N/A
Minimum Setback Requirements			
Minimum Garage Rear Setback to Face of Curb	20'	25'	+5'
Minimum Main Building Rear Setback to Face of Curb	20'	25'	+5'
Minimum Main Building Front to Back of Sidewalk	35'	20'	-15'
Minimum Main Building Secondary Front to R.O.W. (Corner)	35'	15'	-20'
Minimum Distance Between Buildings (Side to Side)	10'	10'	0'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	N/A	N/A
Minimum Livable Space Ratio	0.5	N/A	N/A
Minimum Open Space Ratio	0.25	N/A	N/A
Minimum Open Space Requirement	20%	20%	0%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

**REQUESTED EXCEPTIONS:**

- Requesting an exception to the secondary front setback on corner lots to be reduced by 10-ft from 35-ft to 25-ft.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: RICHARD DONOVAN**

**5.c. Zoning application [2025-422] for approximately 9.6 acres located north of Ashers Fork Drive to be rezoned from RS-6 to RS-A2, O'Brien Loyd Venture applicant.**

O'Brien Loyd Venture, the applicant, is requesting zoning the subject property from RS-6 (Single-Family Residential District, 6,000 ft<sup>2</sup> minimum lot size) to RS-A2 (Single-Family Residential Attached District, Suburban Townhouse). The approximately 9.6-acre vacant property is located south of New Salem Highway and north of Ashers Fork Drive, identified as part of Tax Map 114, Parcel 014.00.



**Adjacent Land Use and Zoning**

The surrounding properties include a mix of residential and commercial uses, with corresponding residential and commercial zoning districts. To the north, along New

Salem Highway, is vacant land zoned CF (Commercial Fringe District), which is a part of the subject parcel not included in the rezoning request. To the east are single-family detached homes zoned Medium Density Residential (RM) located in unincorporated Rutherford County. To the south is vacant land planned for development as part of the Waites Creek Crossing Subdivision, zoned RS-6, with additional sections of Waites Creek Crossing further south zoned RS-A1 and developed with both single-family attached (two-unit) and single-family detached residences. To the west is Creekside at Three Rivers Assisted Living, zoned PCD (Planned Commercial District), as well as vacant land zoned CH (Highway Commercial District).

#### **RS-A TYPE 2, SINGLE-FAMILY ATTACHED:**

Type 2: Suburban Townhouse. Type 2 includes single-family attached developments characterized by multi-unit townhouse structures with lots of least two thousand square feet per dwelling unit. Because Type 2 developments require broad building setbacks and dedicated open space, these developments are appropriate for suburban areas.

Other uses such as single-family detached dwellings, churches, and specified services associated with or compatible with the residential uses allowed in this district are also permitted, some of which are subject to site plan review and approval or the issuance of a special use permit therefore.

The applicant is requesting a bulk zoning of RS-A2 for the subject property. The RS-A2 district permits by right single-family detached and single-family attached townhomes (suburban type) on individual lots or through an HPR (horizontal property regime). The district also permits a variety of other housing types and institutional uses by special use permit.

#### **Future Land Use Map:**

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Auto Urban Residential' (AUR), which is considered the most appropriate land use character, as indicated on the map below. The AUR designation supports a density range of 4.0 to 12.0 dwelling units per acre. The Comprehensive Plan recommends RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, R-D, PRD, and PUD as compatible zoning districts. The AUR designation also supports attached residential development on lots of 4.1 acres or greater with the following criteria:

- Maximum 20% of overall acreage consists of attached residential units
- Maximum 40% of overall number of units is attached residential units
- Transition of heights and setbacks, requiring an increase in setback when attached units are taller than detached housing.

The applicant has indicated an expected yield of approximately 59 attached single-family units and 21 detached single-family units within the area north of Ashers Fork Drive. As proposed, the standards of the Auto Urban Residential (AUR) character area for supporting attached residential development would not be met for the area of the Waite's Creek Crossing development north of Ashers Fork Drive, as 55.2% of the acreage and 73.8% of the units are dedicated to attached housing. The proposed unit mix would result in an overall density of 4.6 units per acre.

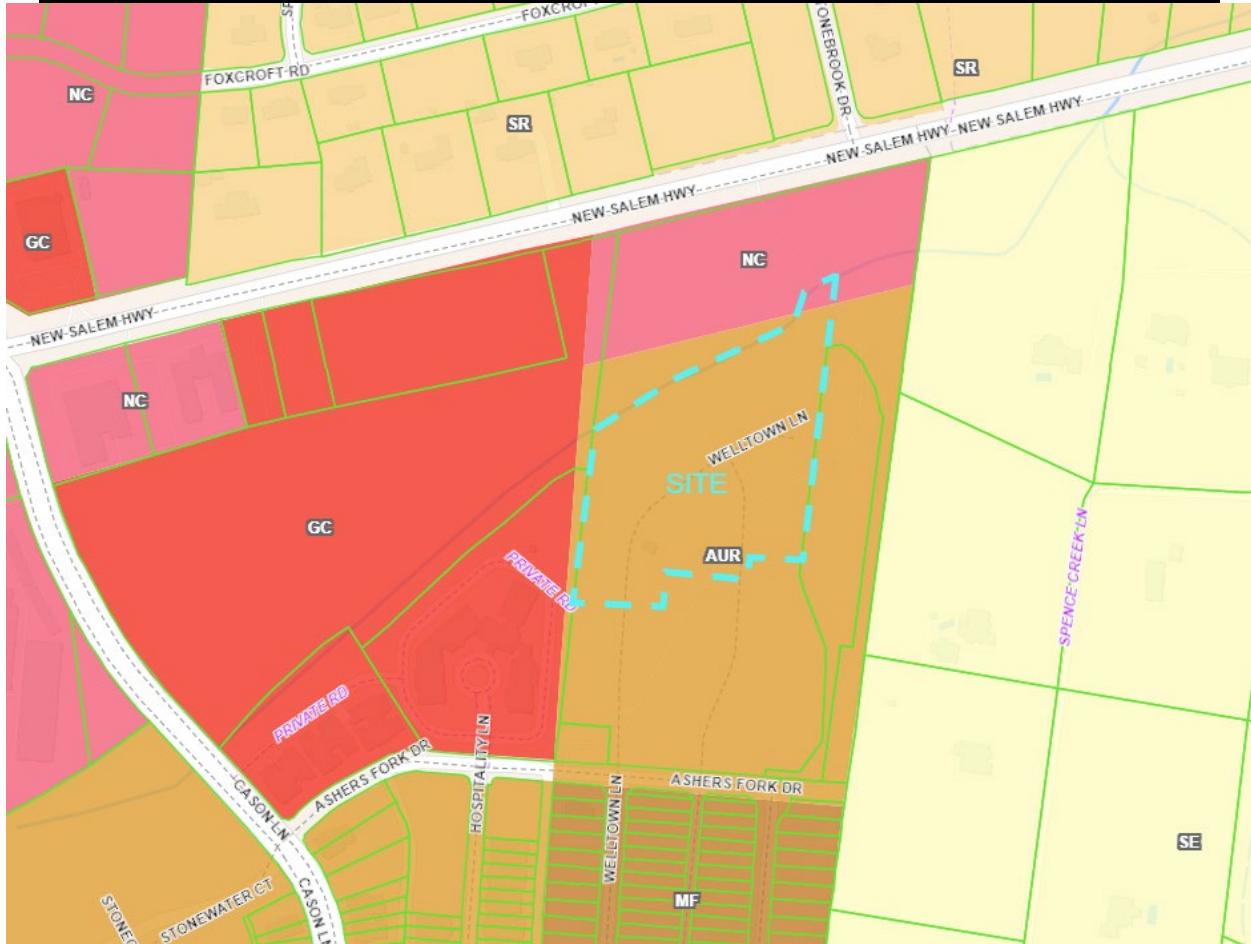
When considering the entire Waite's Creek Crossing development, the project area includes portions designated as AUR and MF (Multi-Family) under the Land Use Plan. Of the total acreage, 29.2% is allocated to attached single-family units, representing 42.2% of the total unit count. These figures exceed the AUR designation thresholds of 20% for acreage and 40%, respectively, for total unit count for attached single-family development, though only by less than 10% for acreage and approximately 2% for total unit count.

The table below illustrates how the attached-unit criteria are measured across three contexts: the entire development, the AUR-designated portion (a portion of the site is designated for multi-family), and the area north of Ashers Fork Drive. It is important to note that while the proposed unit mix does not meet the additional attached-residential criteria, it does fall within or below the supported density range of 4.0 to 12.0 units per acre.

	Waite's Creek Crossing Total Development		Waite's Creek Crossing with AUR designation		Waite's Creek Crossing north of Asher Fork Dr.	
	Acreage	Units	Acreage	Units	Acreage	Units
Detached SF Units	45.45	174	31.5	88	7.8	21
Attached SF Units	18.75	127	9.6	59	9.6	59
Total SF Units	64.2	301	41.1	147	17.4	80
Attached Unit Percentage	29.2%	42.2%	23.4%	40.1%	55.2%	73.8%
Units per Acre	4.7		3.6		4.6	

The Planning Commission will need to evaluate this request further to determine whether a deviation from attached unit criteria is appropriate when the supported density range is met.

## Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



### **Staff recommendation:**

Staff is supportive of this rezoning request for the following reasons:

1. The rezoning request is consistent with the Future Land Use Map designation of 'Auto Urban Residential' (AUR) by supporting a density of 4.6 units per acre for the portion of the development north of Ashers Fork Drive, which falls within the AUR-recommended range and accommodates a mix of single-family attached and detached homes.
2. The proposed RS-A2 district is compatible with surrounding residential and commercial uses, providing a logical transition between nearby single-family detached homes, planned subdivisions, and higher-intensity commercial areas along New Salem Highway.
3. The subject property is currently vacant and located within an area of active residential development, making it well-suited to provide diverse and potentially more affordable housing options that complement ongoing growth in the New Salem Highway corridor.

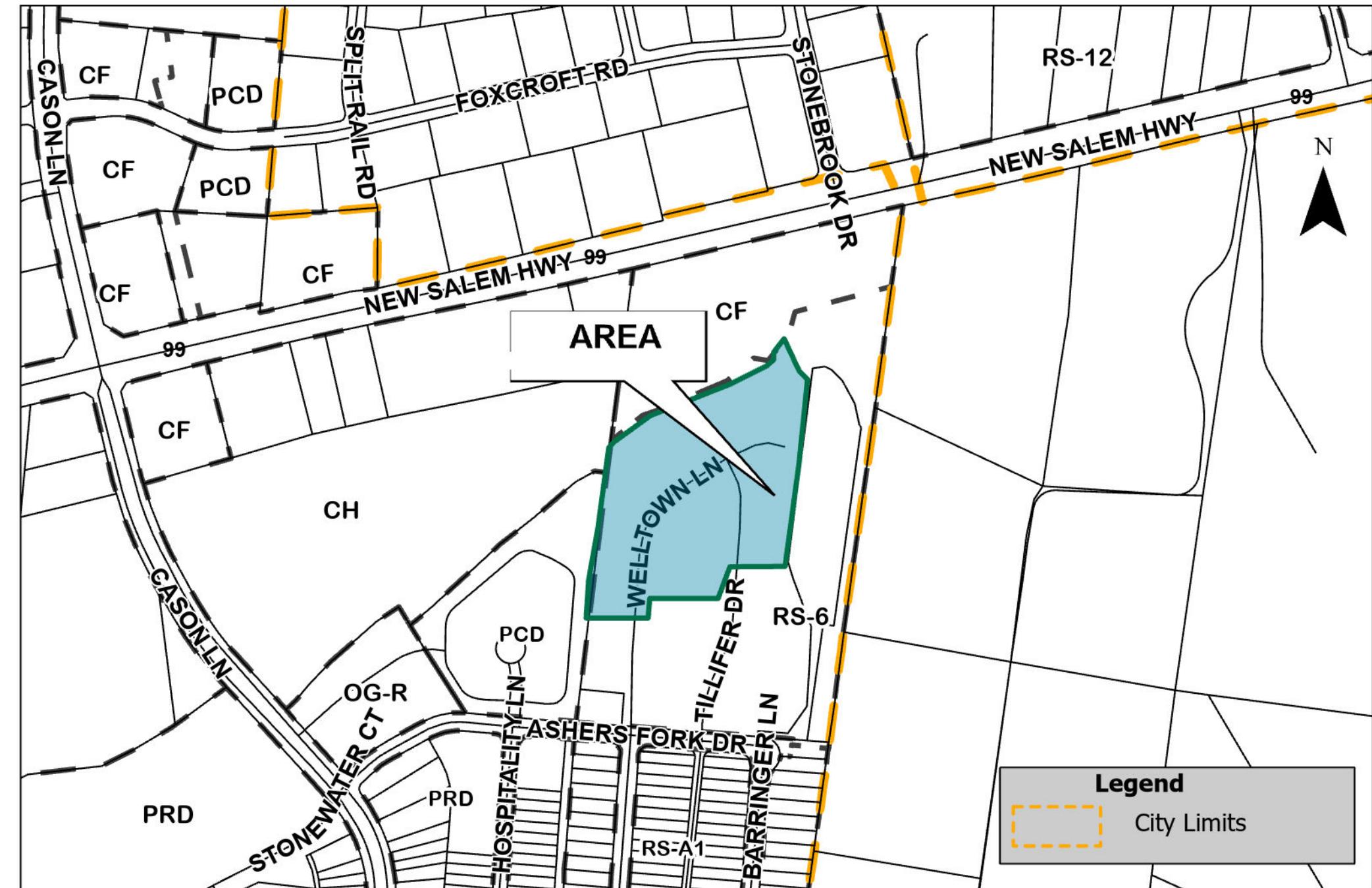
**Action Needed:**

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

**Attachments:**

Ortho Map

Non-ortho maps



Rezoning request for property along Ashers Fork Drive  
from RS-6 to RS-A2

0 240 480 960 1,440 1,920  
US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesboron.gov](http://www.murfreesboron.gov)





Rezoning request for property along Ashers Fork Drive  
from RS-6 to RS-A2

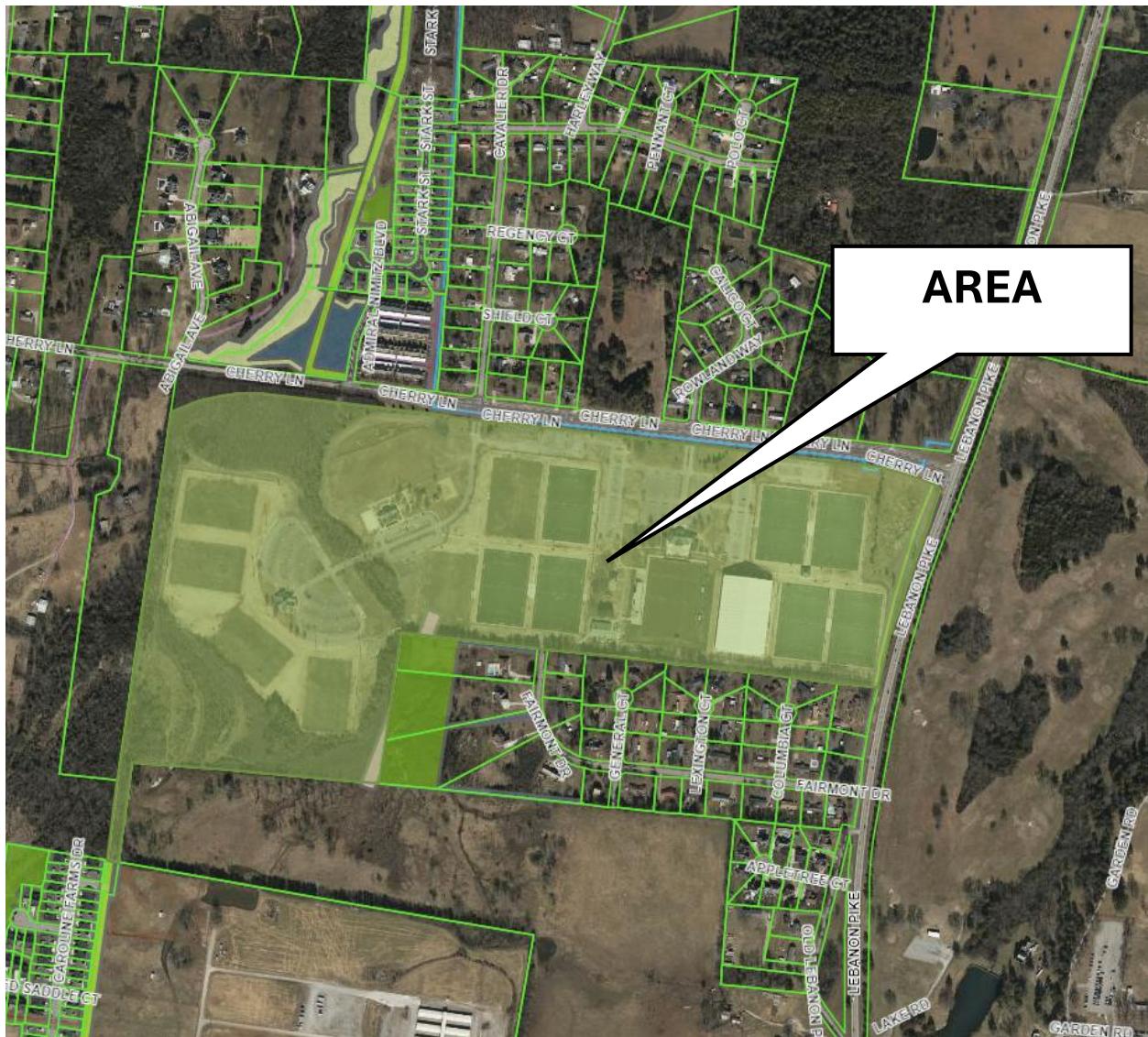
0 240 480 960 1,440 1,920  
US Feet

Planning Department  
City of Murfreesboro  
111 West Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: MARC SHACKELFORD-ROWELL**

**6. a. Mandatory Referral [2025-715] to consider the abandonment and relocation of a sanitary sewer easement on City-owned property located along Cherry Lane, SEC, Inc. applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the abandonment and relocation of an existing sanitary sewer easement for SEC, Inc. on City-owned property along Cherry Lane. The reason for the abandonment is that the existing 30' easement does not align with the new sewer main design and is less than the minimum 40' easement width now required by the Murfreesboro Water Resources Department (MWRD) for a sewer main installed at the proposed depth. A 40' easement for the new sewer main shall be dedicated after the sewer main line is installed.

The proposed upgrades will allow MWRD to ensure they can deliver services to the proposed Cherry Lane Townhomes development located on the north side of Cherry Lane across from the Siegel Soccer Park.

An exhibit showing the location of the proposed easement abandonment is included in the agenda materials, as well as a letter from SEC, Inc. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. If approved by City Council, the applicant will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare the legal instrument(s) to formally abandon the existing easement and dedicate the proposed easement. The legal instrument(s) will be subject to final review and approval of the Legal Department.
2. The applicant will also be responsible for recording the legal instrument(s), including payment of the recording fee.



## City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

### Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00  
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

#### Property Information:

Tax Map/Group/Parcel:	58/20.00	Address (if applicable):	515 Cherry Lane
Street Name (if abandonment of ROW): N/A			
Type of Mandatory Referral: Sewer Easement Abandonment			

#### Applicant Information:

Name of Applicant:		Aws Ahmed		
Company Name (if applicable):		SEC, Inc.		
Street Address or PO Box:			850 Middle Tennessee Blvd.	
City:		Murfreesboro		
State:	TN	Zip Code:	37129	
Email Address:		[REDACTED]		
Phone Number:				615-890-7901

#### Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)

A handwritten signature in red ink that reads "Aws L. Ahmed".

10-14-2025

Applicant Signature

Date



Site Engineering Consultants  
850 Middle Tennessee Blvd  
Murfreesboro, TN 37129  
(615)890-7901  
[www.sec-civil.com](http://www.sec-civil.com)

October 14, 2025

Matthew T. Blomeley, AICP  
City of Murfreesboro Planning Dept.  
111 West Vine Street  
Murfreesboro, TN 37130

RE: Cherry Lane Townhomes Offsite Sewer Main Extension  
Easement Abandonment Mandatory Referral  
SEC Project No. 23692

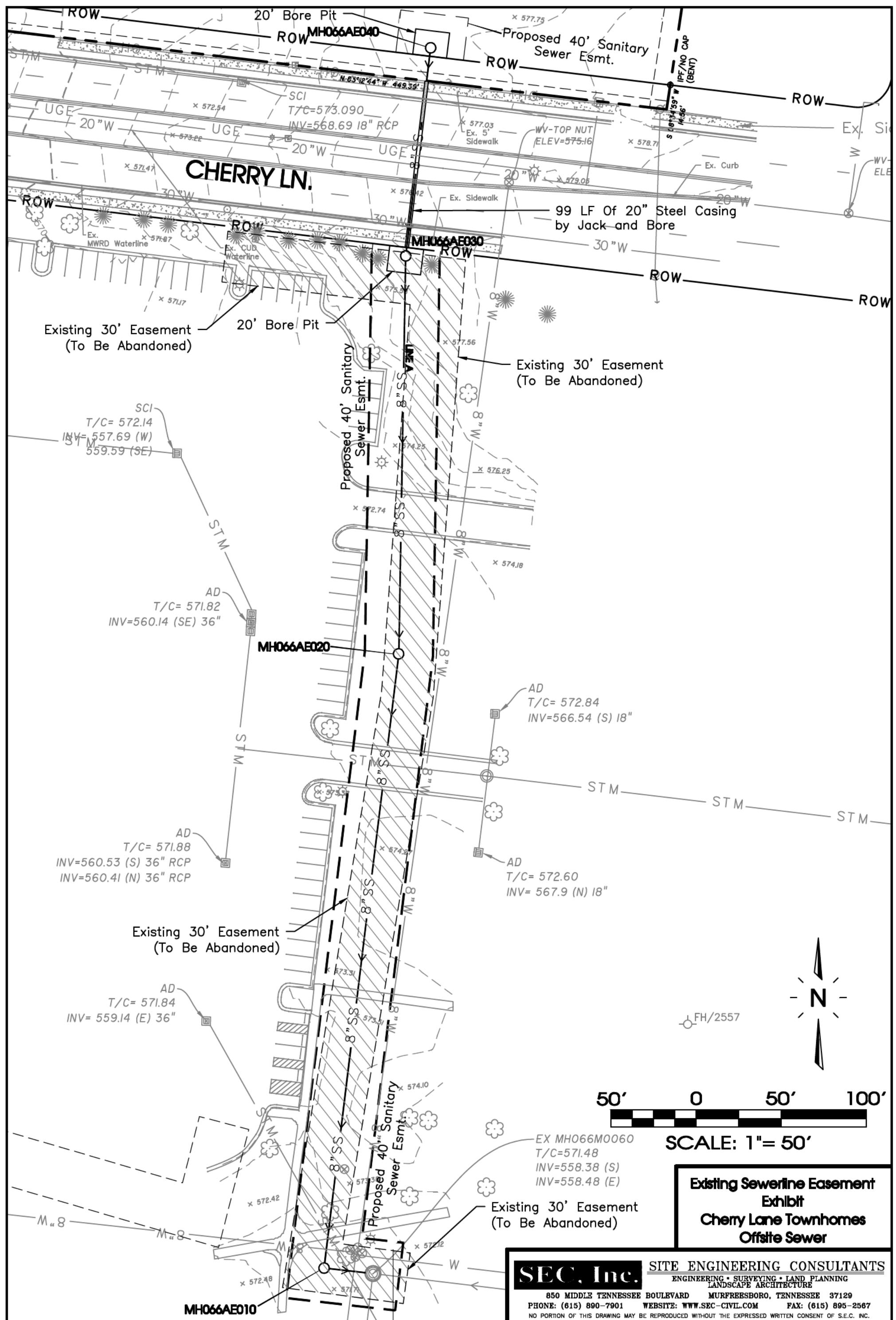
Dear Matthew,

Please find the attached application and supplemental documents to support the mandatory referral request to abandon the existing sewer easement at the Richard Seigel Soccer Complex property. The reason for the abandonment is that the existing 30' easement does not align with the new sewer main design and is less than the minimum 40' easement width required by MWRD. A 40' easement for the new sewer main shall be dedicated after the sewer main line is installed.

Should you need any clarification concerning the request, please feel free to contact me at 615-890-7901 or [REDACTED]

Sincerely,

Aws Ahmed, P.E.  
SEC, Inc.



SEC, Inc.

**SEC, Inc.** SITE ENGINEERING CONSULTANTS  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE  
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 WEBSITE: [WWW.SEC-CIVIL.COM](http://WWW.SEC-CIVIL.COM) FAX: (615) 895-2567  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

# WATER RESOURCES BOARD COMMUNICATION

Meeting Date: 10/28/2025

---

**Item Title:** Sewer Easement Abandonment–Siegel Soccer Park

**Department:** Engineering

**Presented by:** Valerie Smith

**Requested Action:**

Ordinance	<input type="checkbox"/>
Resolution	<input type="checkbox"/>
Motion	<input checked="" type="checkbox"/>
Direction	<input type="checkbox"/>
Information	<input type="checkbox"/>

---

## Summary

The developer requests for portions of the existing sewer easement to be abandoned and for the City to dedicate additional easement based on the new design of the sewer extension.

## Staff Recommendation

Approval of abandoning the orange highlighted portions of the existing sewer easement.

## Background Information

SEC, on behalf of the Developer is requesting the abandonment of the existing sanitary sewer easement. The newly requested easement, shown as the heavy black dashed line, encompasses the majority of the existing easement except for those portions shown on the attached exhibit highlighted in orange. The original sewer design changed just enough that the easement needed to be adjusted. This sewer main extension will serve the proposed Cherry Lane Townhomes north of Cherry Lane.

This request will also be taken to Planning Commission as a mandatory referral upon Board approval.

## Fiscal Impact

None.

## Attachments

Abandonment Request & Exhibit



Site Engineering Consultants  
850 Middle Tennessee Blvd  
Murfreesboro, TN 37129  
(615)890-7901  
[www.sec-civil.com](http://www.sec-civil.com)

October 7, 2025

Planning/Engineering Department  
City of Murfreesboro  
111 W Vine St  
Murfreesboro, TN 37130

RE: Cherry Lane Townhomes  
Sewer Easement Abandonment  
SEC Project No. 23692

To Whom It May Concern,

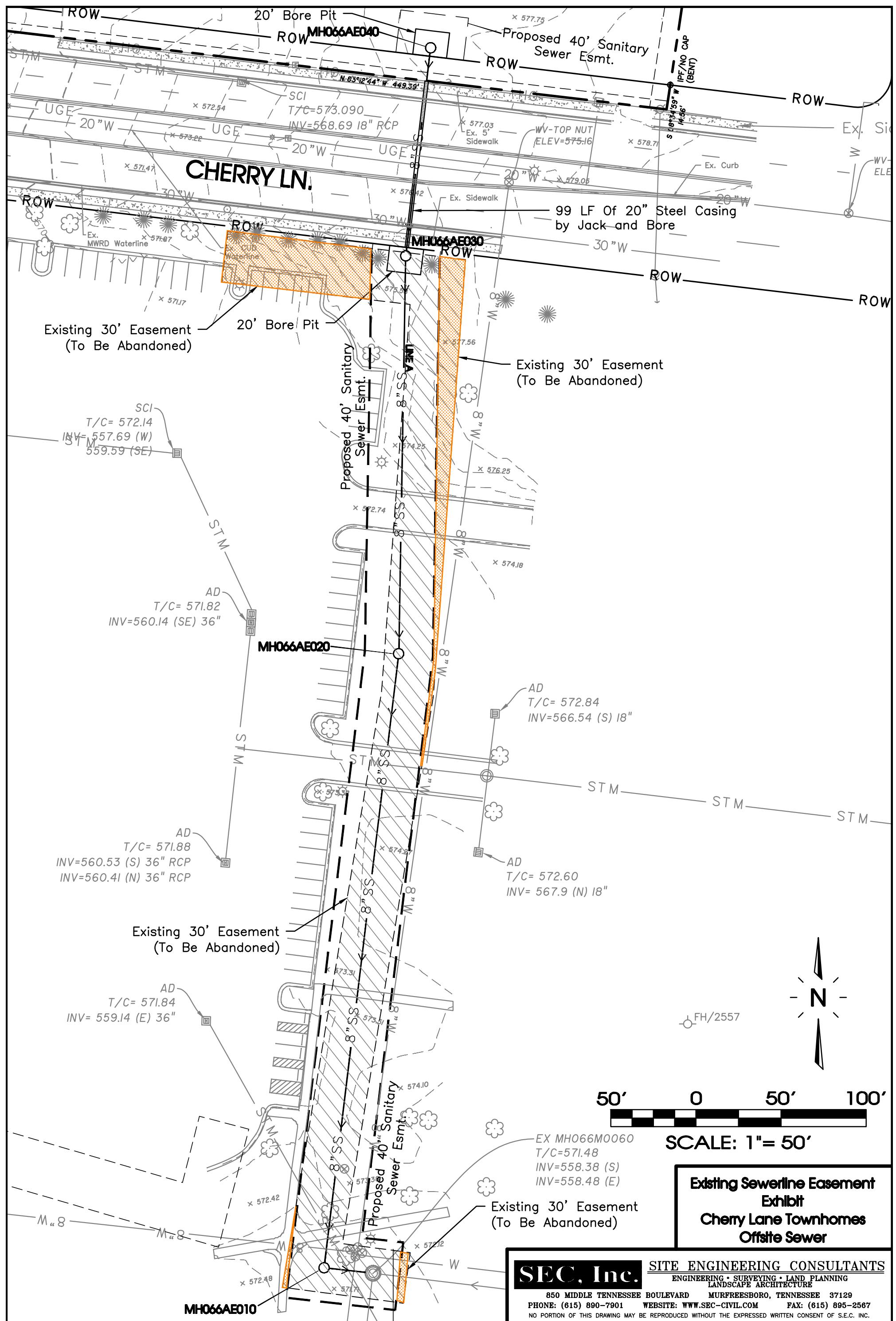
On behalf of Harney Homes, LLC, SEC, Inc. would like to submit a request for the abandonment of the existing sewer easement recorded in Record Book 1880, pages 3960-3962. Due to design changes for the Cherry Lane Townhomes project, the proposed sewer main extension on the Richard Seigel Soccer Complex property no longer aligns with the existing easement. Also, the existing easement is 30' wide but due to the depth of the proposed sewer, MWRD requires that the easement be at least 40' wide. The proposed easement will be recorded after construction of the sewer is completed.

Accompanying this Letter of Request is an exhibit of the area including the existing easement to be abandoned, the proposed sewer main extension, and the proposed 40' sewer easement.

If you should have any questions or if I may be of further assistance, I can be contacted at 615-890-7901. My email address is [REDACTED]

Sincerely,

Aws L. Ahmed, P.E.  
SEC, Inc.



# SEC, Inc.

**SITE ENGINEERING CONSULTANTS**  
ENGINEERING • SURVEYING • LAND PLANNING  
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129  
PHONE: (615) 890-7901 WEBSITE: [WWW.SEC-CIVIL.COM](http://WWW.SEC-CIVIL.COM) FAX: (615) 895-2567  
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: BRAD BARBEE**

**6.b. In-N-Out Burger Overflow Queueing and Parking [2025-3124] initial and final design review and site plan review for a temporary (120 days maximum) overflow queueing area, a temporary overflow parking area, and a temporary staging area on two properties zoned CH and GDO-1 located along Willowoak Trail and Robert Rose Drive, In-N-Out Burger developer.**

This is the initial site plan review for the In-N-Out temporary overflow stacking, parking, and staging areas. Area 1 is located at the intersection of Willowoak Drive and Robert Rose Drive. Area 2 is located at the intersection of Willowoak Drive and Wilkinson Pike.

In-N-Out Burger has made application to construct two temporary overflow stacking, parking, and staging areas as an effort to minimize the impact to public rights of ways and adjacent properties during the opening of their new Murfreesboro location.

The opening for In-N-Out Burger is anticipated to generate exceptionally high traffic volumes that exceed typical daily conditions for the surrounding roadway network. Similar openings at other locations have demonstrated a strong customer response, resulting in long vehicle queues forming along primary-access drives and extending onto adjacent public streets.

During the initial days of operation, particularly on opening day—traffic congestion is expected along major approach routes and key intersections near the site. The drive-thru lane typically experiences extended wait times, causing vehicle stacking that can impact on-site circulation and spill over into nearby right-of-ways.

The construction of these two temporary areas is a key component of the overall traffic management plan for In-N-Out Burger. Off-site stacking arrangements play a critical role in mitigating traffic congestion and ensuring safe, orderly vehicle circulation during the opening phase of high-demand establishments such as In-N-Out Burger. By providing designated queueing space for vehicles outside of the immediate site boundaries, these arrangements help prevent overflow conditions that can otherwise block access drives, impede through traffic, and disrupt adjacent intersections.



## **Staff Comments**

### **Development Services – Planning**

Brad Barbee, 615.893.6441, [bbarbee@murfreesborotn.gov](mailto:bbarbee@murfreesborotn.gov)

- 1) The improvements described in this document must be removed within 120 days of the opening of business for the In-N-Out located at 2508 Medical Center Parkway. An additional 60 days extension is available, if necessary. Any extension must be approved by the Murfreesboro Planning Director.
- 2) Add all Standard Notes to the site plan. Please see the Murfreesboro Zoning Ordinance page 48.
- 3) Add the lighting plan to the civil submittal.
- 4) Add the point of contact for both Planning and Engineering to the civil submittal cover sheet.
- 5) Show and label all easements on the site plan.
- 6) Add a scale to the site plan.
- 7) Add the zoning classification(s) of adjoining land; overlay districts such as airport zones, flood zones, battlefield protection districts, gateway design overlay districts, and historic districts; a table of the required minimum setbacks as per Chart 2 of this article including the footnotes contained therein; the proposed use for the subject property.
- 8) No signage is included as a part of this review.

### **Development Services – Engineering**

Katie Noel, 615.893.6441, [knoel@murfreesborotn.gov](mailto:knoel@murfreesborotn.gov)

- 1) EPSC plans must be included in the civil set. For sites over 5 acres in size, 3 phases must be included.
- 2) For area 2, limits of construction and all EPSC measures should be contained within the property except for the entrance drives.

### **Development Services – Landscaping**

Brad Barbee, 615.893.6441, [bbarbee@murfreesborotn.gov](mailto:bbarbee@murfreesborotn.gov)

- 1) No Comments

### **Building and Codes Department**

Brian Hardison, 615.893.3750, [bhardison@murfreesborotn.gov](mailto:bhardison@murfreesborotn.gov)

- 1) No Comments

### **Signage (Building and Codes)**

Teresa Stevens, 615.893.3750 [tstevens@murfreesborotn.gov](mailto:tstevens@murfreesborotn.gov)

- 1) No Comments

### **Consolidated Utility District**

William Steele, 615.225.3311, [wsteele@cudrc.com](mailto:wsteele@cudrc.com)

- 1) *Approval has been received from this utility provider.*

**Middle Tennessee Electric Membership Corporation**

Ben Martin, 615.494.1621, [murfreesborocity.engineering@mte.com](mailto:murfreesborocity.engineering@mte.com)

- 1) *Approval has been received from this utility provider.*

**Murfreesboro Fire and Rescue Department**

Brian Lowe, 615.893.1422, [blowe@murfreesborotn.gov](mailto:blowe@murfreesborotn.gov)

- 1) No Comments.

**Murfreesboro Water Resources Department**

Anita Heck, 615.890.0862, [aheck@murfreesborotn.gov](mailto:aheck@murfreesborotn.gov)

- 1) *Approval has been received from this utility provider.*

## **Informational and Procedural Comments**

### **Development Services – Planning**

Brad Barbee 615.893.6441, [bbarbee@murfreesborotn.gov](mailto:bbarbee@murfreesborotn.gov)

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.
- 4) *Please be advised that plans approved after July 1, 2023, are subject to the City's Impact Fee Ordinance. If further information is needed, please contact the Planning Department.*

### **Development Services – Engineering**

Katie Noel, 615.893.6441, [knoel@murfreesborotn.gov](mailto:knoel@murfreesborotn.gov)

- 1) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 2) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

### **Development Services – Landscaping**

Brad Barbee, 615.893.6441, [bbarbee@murfreesborotn.gov](mailto:bbarbee@murfreesborotn.gov)

- 1) No Comments

### **Building and Codes Department**

Brian Hardison, 615.893.3750, [bhardison@murfreesborotn.gov](mailto:bhardison@murfreesborotn.gov)

- 1) No Comments

### **Signage (Building and Codes)**

Teresa Stevens, 615.893.3750, [tstevens@murfreesborotn.gov](mailto:tstevens@murfreesborotn.gov)

- 1) The Planning Commission does not approve signage. Any signage that is shown on exterior building elevations, renderings, or site plans are not approved when those plans are reviewed as a function of the site plan and plat review processes.
- 2) Sign permits and reviews are a separate approval process, please reach out to Sign Administrator, Teresa Stevens at [tstevens@murfreesborotn.gov](mailto:tstevens@murfreesborotn.gov) for additional information.

- 3) Sign reviews can include temporary signs, attached signs, and ground signs. Strip lighting that is placed under an eave and outline lighting placed on the exterior of a building or canopy may be considered signs and require a separate review as well.
- 4) For proposed flagpole(s), the flagpole(s) shall be located on the site plan along with the maximum proposed pole height, the maximum proposed flag square footage, and the foundation design. The setback requirements for the flagpole(s) are established in the Sign Ordinance.
- 5) Any ground sign or freestanding wall sign (monument sign) to be located within a public utility or drainage easement shall have a completed and recorded City of Murfreesboro revocable license agreement with easement holders.
- 6) Any site and building signage installed prior to issuance of Certificate of Occupancy must have a sign permit issued. Any signs installed without a sign permit will delay your Certificate of Occupancy.
- 7) Proposed site signage to be installed shall be shown on utility and site plans. Proposed building signage shall be shown on elevation drawings.

**Consolidated Utility District**

William Steele, 615.225.3311, [wsteele@cudrc.com](mailto:wsteele@cudrc.com)

- 1) No Comments

**Middle Tennessee Electric Membership Corporation**

Ben Martin, 615.494.1621, [murfreesborocity.engineering@mte.com](mailto:murfreesborocity.engineering@mte.com)

- 1) No Comments

**Murfreesboro Fire and Rescue Department**

Brian Lowe, 615.893.1422, [blowe@murfreesborotn.gov](mailto:blowe@murfreesborotn.gov)

- 1) No Comments

**Murfreesboro Water Resources Department**

Anita Heck, 615.890.0862, [aheck@murfreesborotn.gov](mailto:aheck@murfreesborotn.gov)

- 1) No Comments.



# CLARI PARK LOT 9 (IN-N-OUT)

RESUBDIVISION OF LOTS 3, 4, 5, AND 6 SECTION 1  
MURFREESBORO, RUTHERFORD COUNTY, TENNESSEE

## OVERFLOW AREA PLAN

10/15/2025

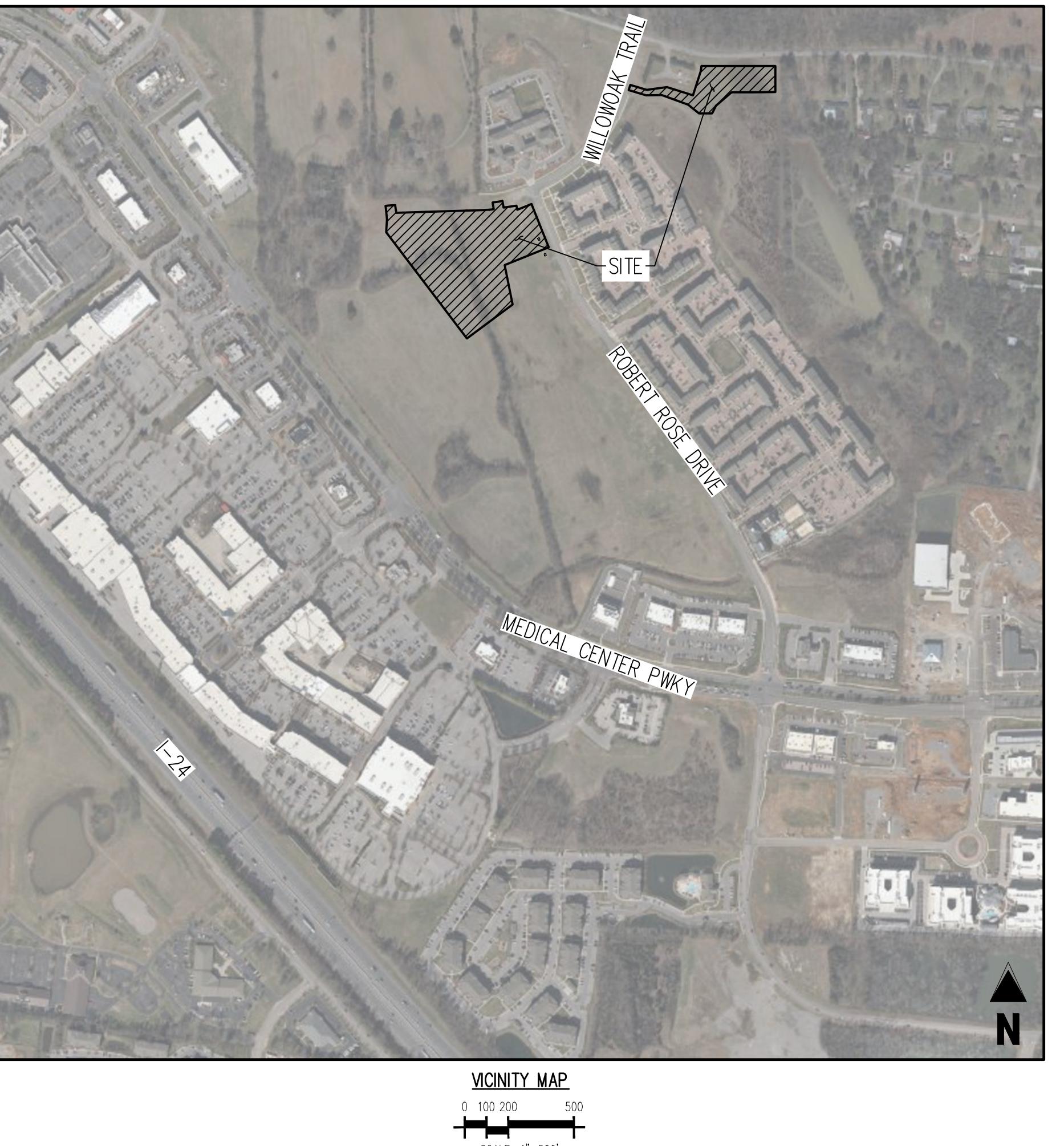
**PROJECT CONTACTS:**

**DEVELOPER/APPLICANT**

IN-N-OUT BURGERS  
13520 HAMBURGER LANE  
BALDWIN PARK, CA 91706  
TEL: (626) 813-8275  
CONTACT: JEFF BRYANT  
EMAIL: JBYRANT@INNOUT.COM

**ENGINEER/CONSULTANT**

GALLOWAY & COMPANY, INC.  
5500 GREENWOOD PLAZA BLVD, SUITE 200  
GREENWOOD VILLAGE, CO 80111  
TEL: (303) 770-8884  
FAX: (303) 770-3636  
CONTACT: PHIL DALRYMPLE, P.E.  
EMAIL: PHILDALRYMPLE@GALLOWAYUS.COM



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	OVERFLOW AREA PLAN - COVER SHEET
2	OVERFLOW AREA LOT 1 - EPSC PLAN
3	OVERFLOW AREA 2 - EPSC PLAN
4	OVERFLOW AREA PLAN - EPSC DETAILS

PARCEL 092 09406  
OVERFLOW AREA EROSION CONTROL

WILLOOAK TRAIL  
MURFREESBORO, TN 37129

**LIST OF ABBREVIATIONS**

SH - SHEET  
Δ - DEFLECTION ANGLE  
L - LENGTH  
R - RADIUS  
CB - CHORD BEARING  
C - CHORD LENGTH  
N - NORTH/NORTHING  
W - WEST  
E - EAST/EASTING  
S - SOUTH/SOUTHING  
DET - DETAIL  
EX - EXISTING  
W/ - WITH  
PC - POINT OF CURVATURE/PORTLAND CEMENT  
WWF - WIRE WIRE FABRIC  
VERT - VERTICAL  
OC - ON CENTER  
FDC - FIRE DEPARTMENT CONNECTION  
CT - COURT  
DR - DRIVE  
TR - TRAIL  
REC - RECORD NUMBER  
dia - DIAMETER  
pt - POINT OF TANGENCY  
min - MINIMUM  
max - MAXIMUM  
HDPE - HIGH DENSITY POLYETHYLENE  
ref - REFERENCE  
arch - ARCHITECTURAL  
tbr - TO BE REMOVED  
pr - PROPOSED  
pue - PUBLIC UTILITY EASEMENT

THESE PLANS REFLECT CIVIL IMPROVEMENTS ONLY TO ADDRESS TEMPORARY  
PAVEMENT INSTALLATION, GRADING, AND EROSION CONTROL FOR TEMPORARY  
OVERSTACK AREAS. TRAFFIC CONTROL PLANS INCLUDING STRIPING,  
WAYFINDING SIGNAGE AND OPERATIONAL DETAILS ARE BEING COORDINATED  
SEPARATELY WITH THE CITY DUE TO THE DYNAMIC NATURE OF THE PLANS.

**LEGAL DESCRIPTION**

BEING PARCEL 94.06, MAP 092, AS OF RECORD BOOK 2133, PAGE 1088 & 1098, R.O.R.C.T.

**BASIS OF BEARING**

BEARINGS, ELEVATIONS, AND COORDINATES SHOWN ARE BASED ON TENNESSEE STATE PLANE  
NAD83. (NAVD88)

**BENCHMARK**

ONSITE BENCHMARKS:

BENCHMARK #1:  
MAG NAIL IN ASPHALT, ELEVATION = 586.50

BENCHMARK #2:  
MAG NAIL IN BACK OF CURB, ELEVATION = 586.57

**CAUTION - NOTICE TO CONTRACTOR**

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED  
BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE  
EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN  
APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S  
RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES,  
PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT,  
PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE  
ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.  
Call before you dig.

2. WHERE A PROPOSED UTILITY GROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S  
RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING  
UTILITY, EITHER THROUGH POTHoling OR ALTERNATIVE METHOD. REPORT INFORMATION TO  
THE ENGINEER PRIOR TO CONSTRUCTION.

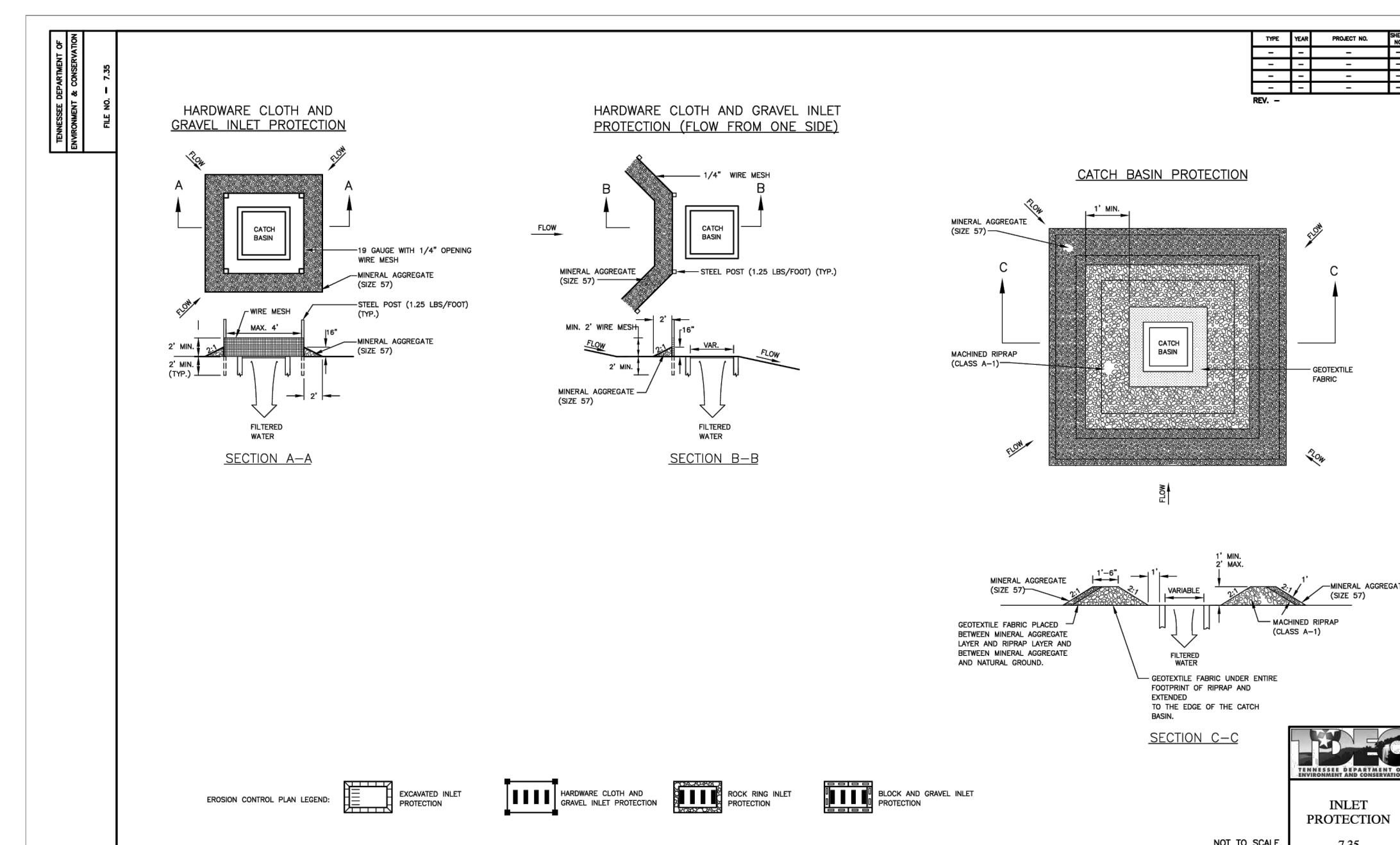
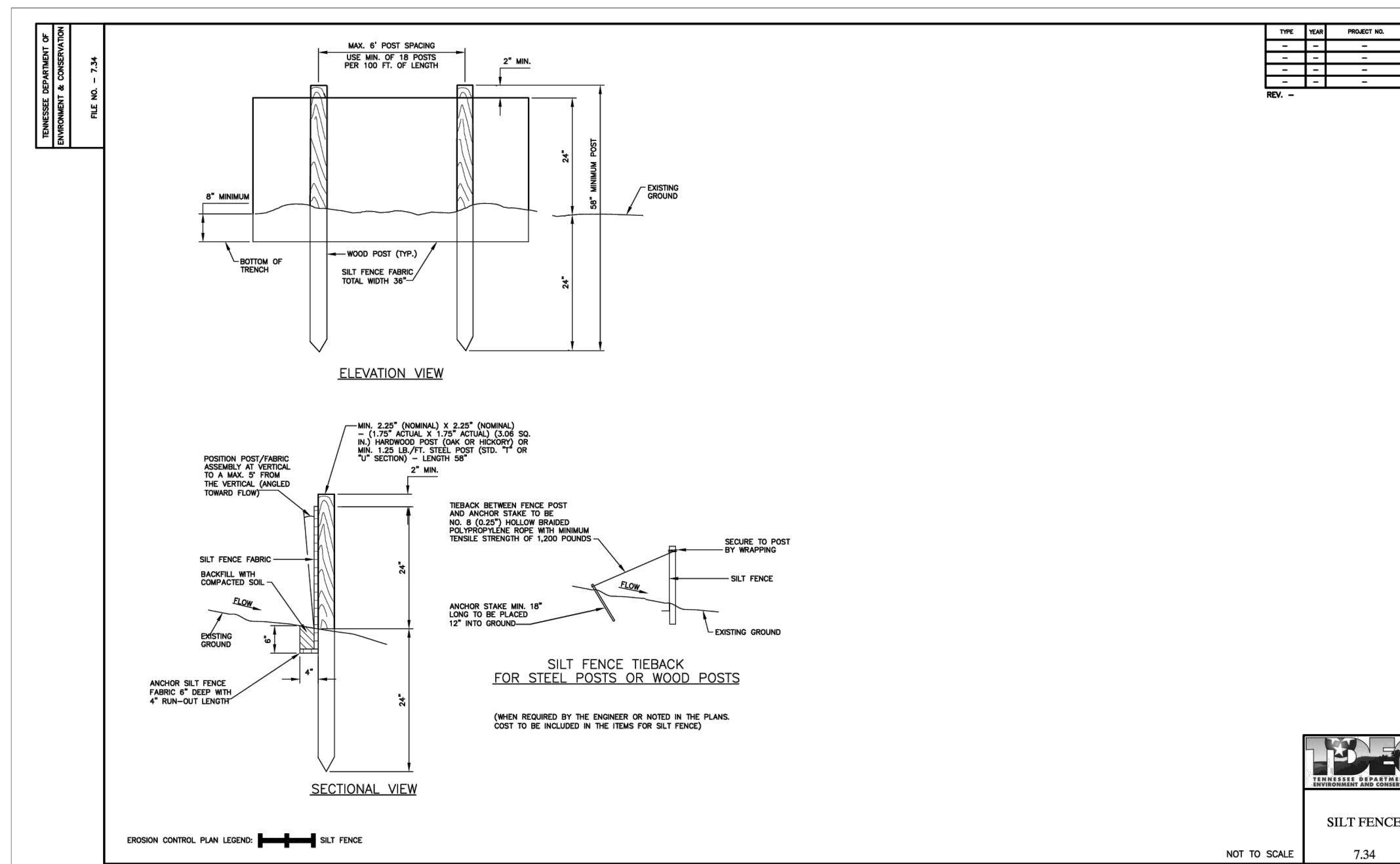
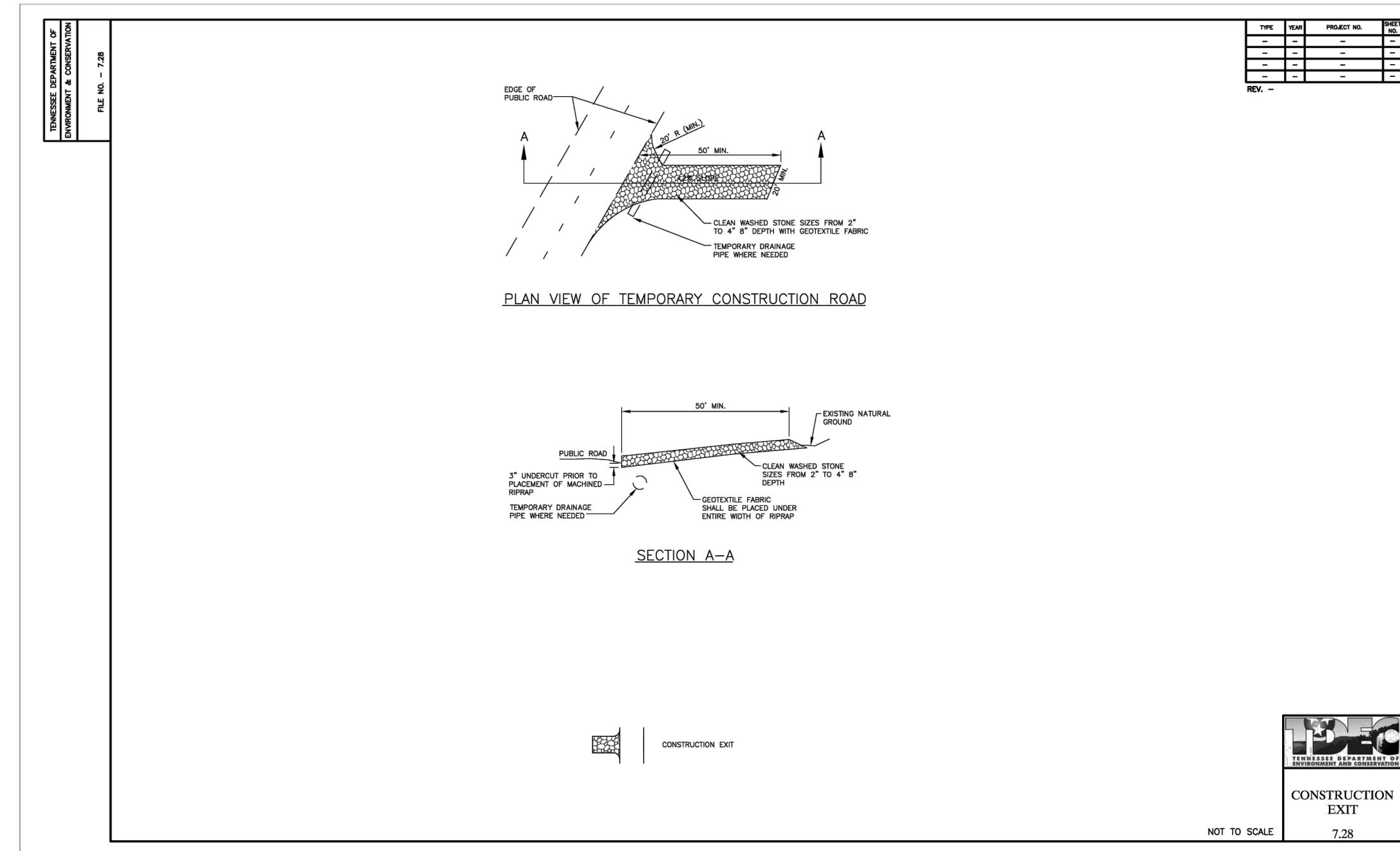
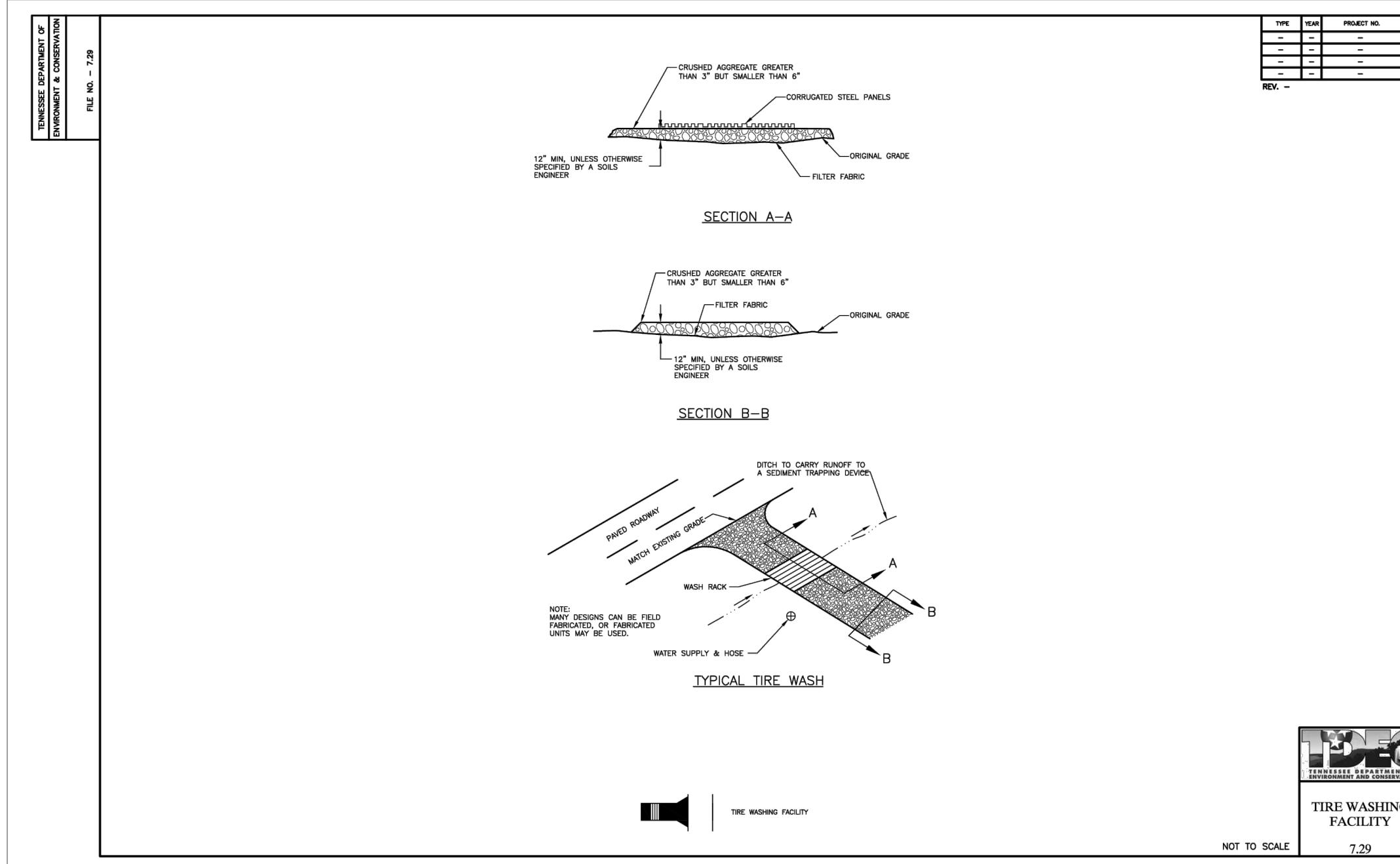




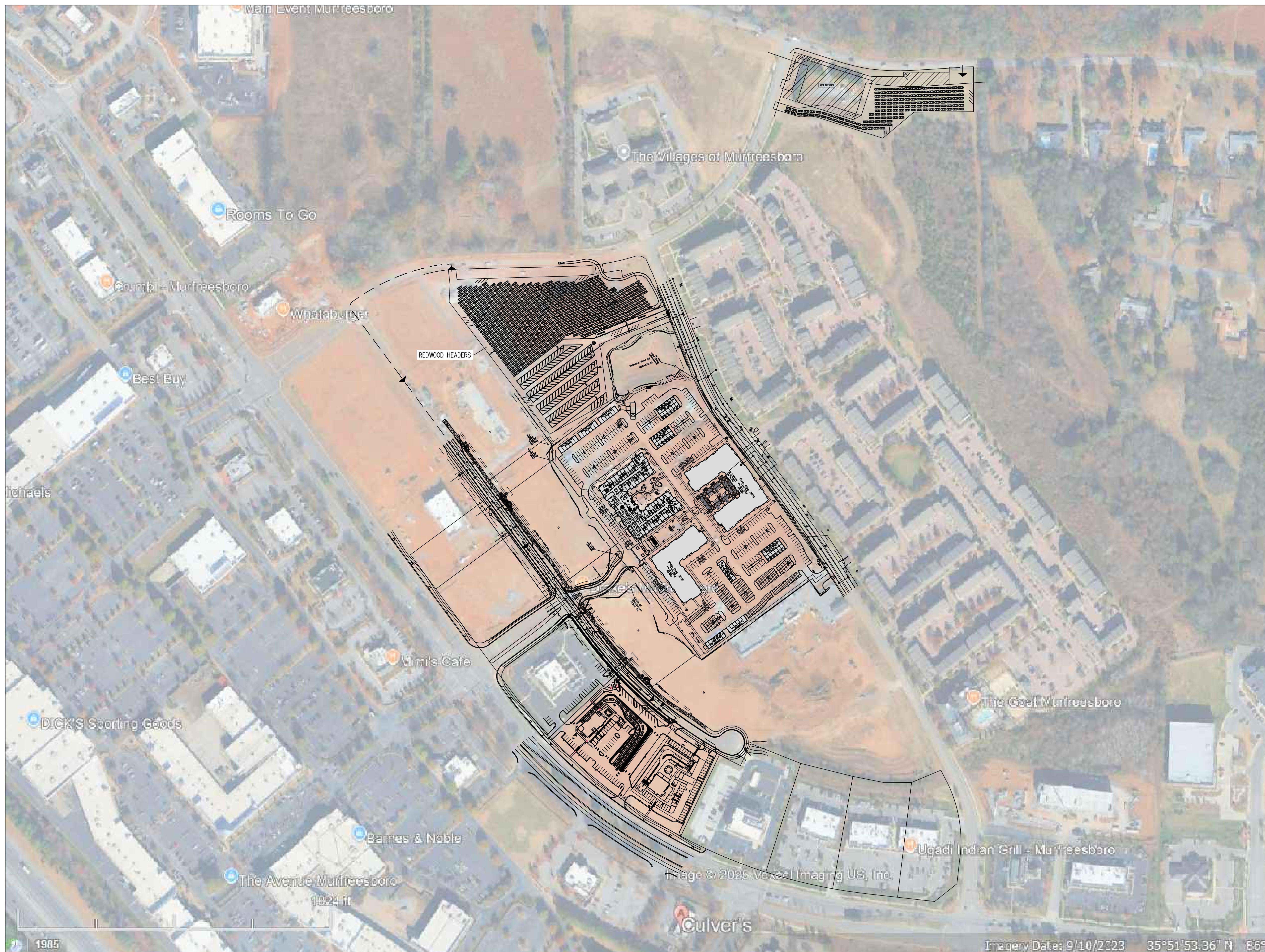


PARCEL 092 09406  
OVERFLOW AREA EROSION CONTROL

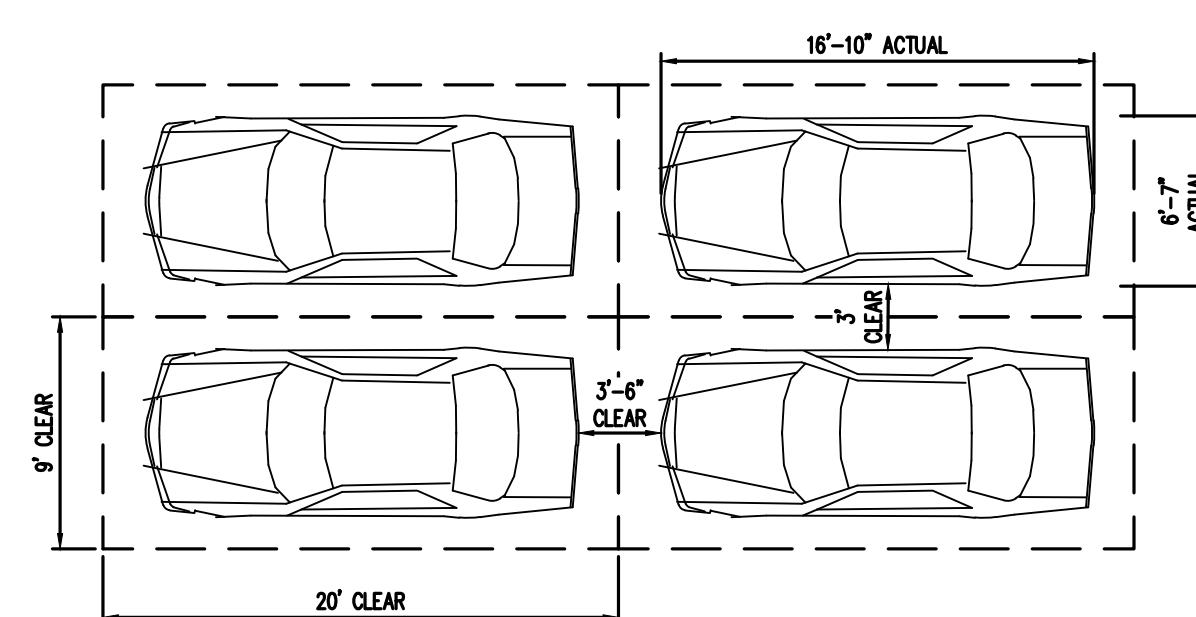
MURFREESBORO, TN 37129



Project No:	INO000057.20
Drawn By:	BSM
Checked By:	PJD
Date:	10/15/2025



### CAR SPACING EXHIBIT

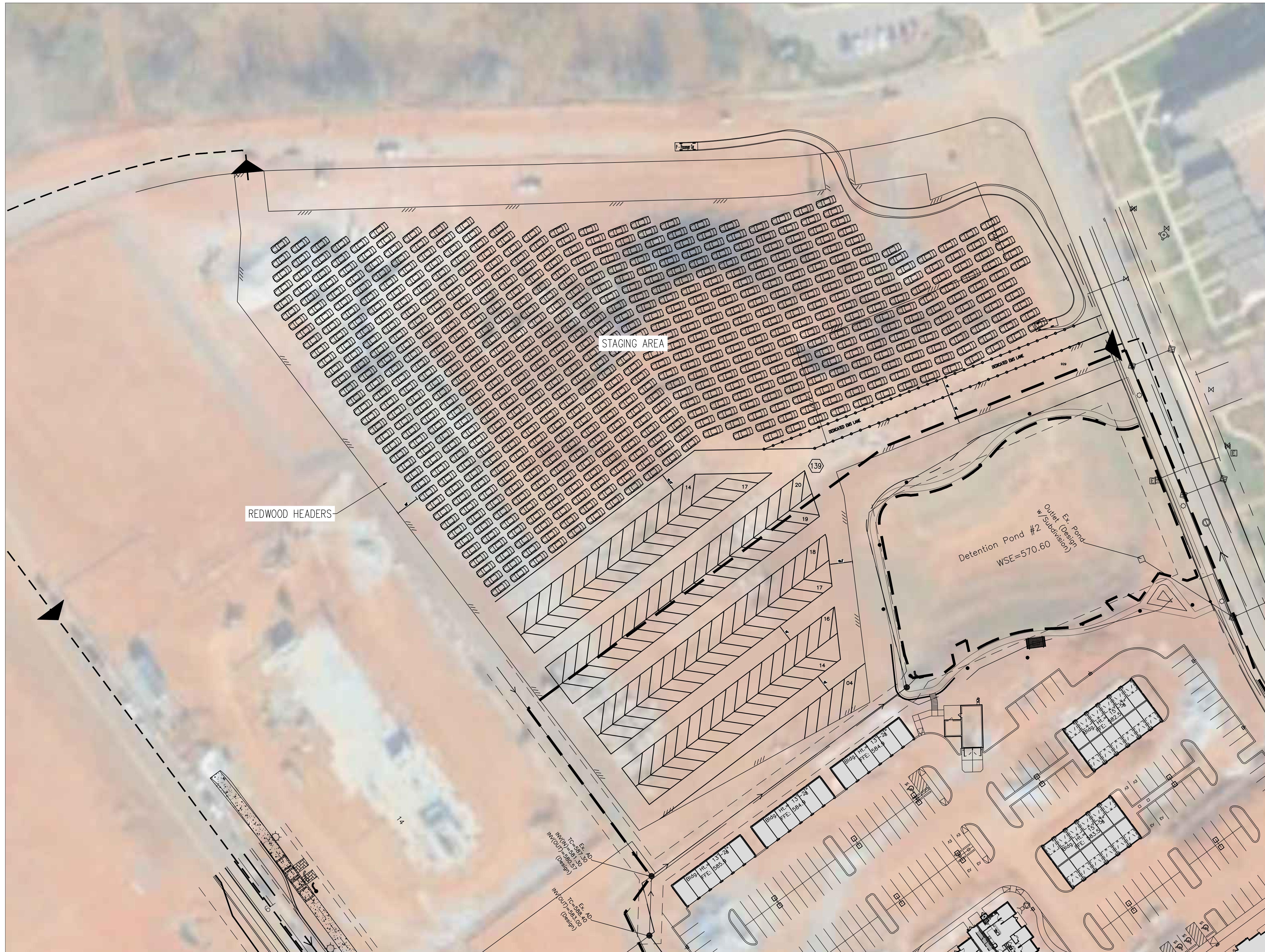


REVISIONS

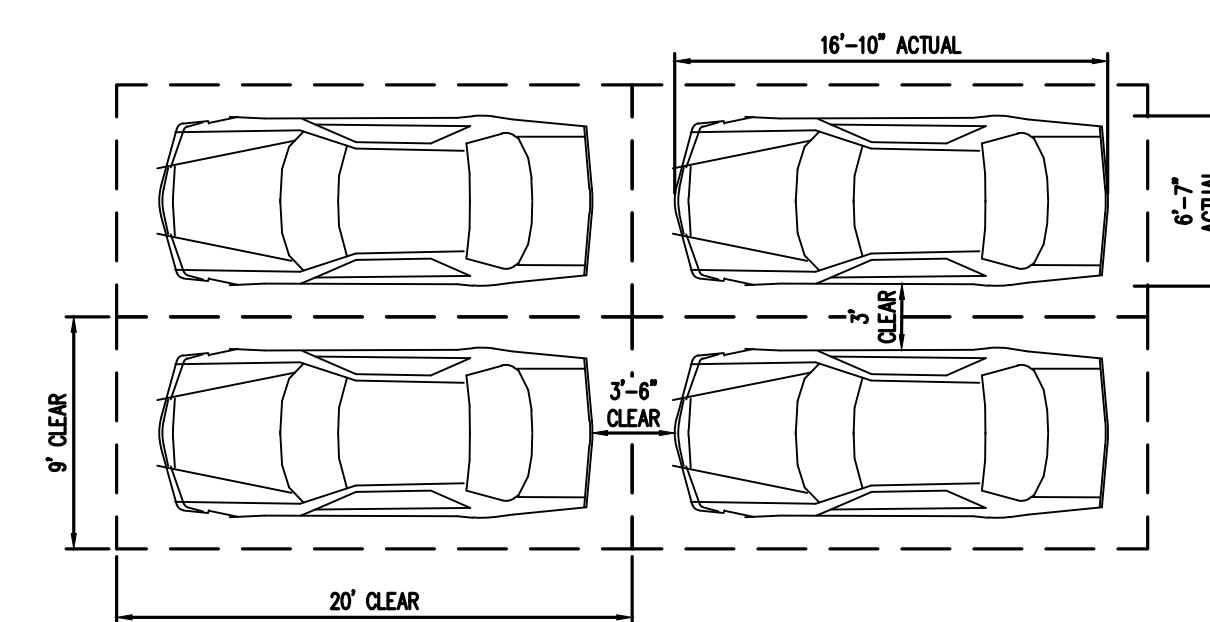
- △
- △
- △
- △
- △

**IN-N-OUT BURGER**  
2508 MEDICAL CENTER PKWY  
MURFREESBORO, TN

**OVERSTACK OPTION 7**  
**752 TOTAL CARS**  
**139 TOTAL PARKING STALLS**



**CAR SPACING EXHIBIT**



REVISIONS

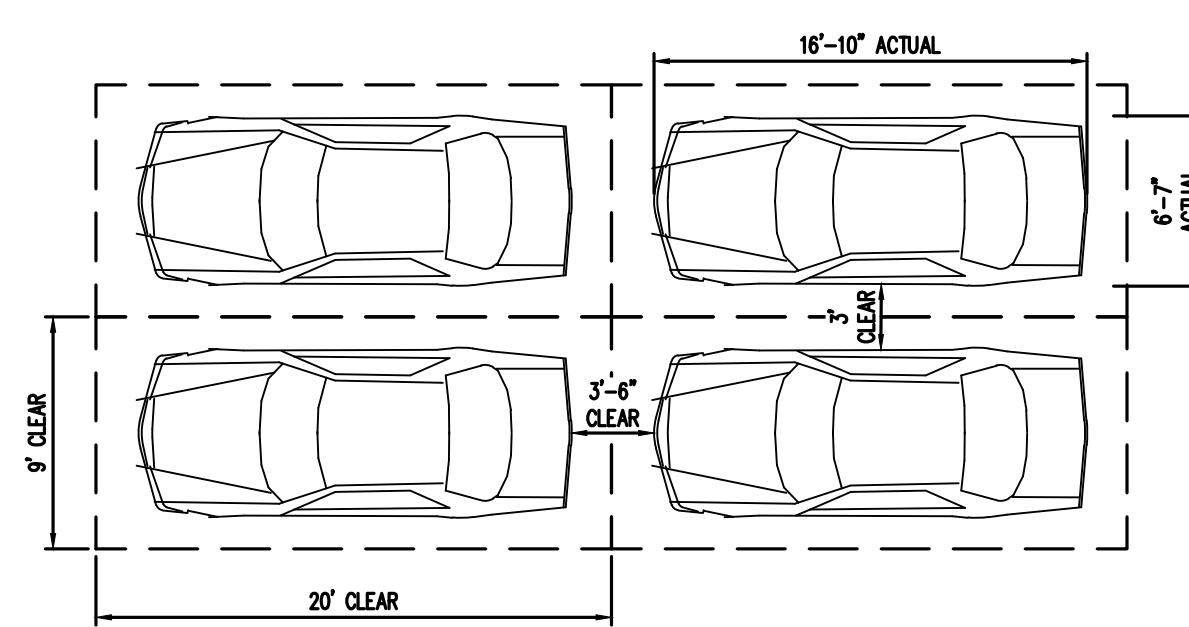
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

**IN-N-OUT BURGER**  
2508 MEDICAL CENTER PKWY  
MURFREESBORO, TN

**OVERSTACK OPTION 7**  
**595 CARS**  
**139 PARKING STALLS**



#### CAR SPACING EXHIBIT



REVISIONS

- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_
- △ \_\_\_\_\_

**IN-N-OUT BURGER**  
2508 MEDICAL CENTER PKWY  
MURFREESBORO, TN

**OVERSTACK OPTION 7**  
**157 CARS**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
NOVEMBER 5, 2025  
PROJECT PLANNER: MATTHEW BLOOMELEY**

**6.c. Consider naming the new “Cherry Lane Extension” west of I-840 to “Stonesbattle Parkway”.**

Section 5.2 of the Subdivision Regulations states that “The Planning Commission shall have final authority over street names.” It also states that “The proposed name of a subdivision, or street within the subdivision, shall not duplicate or closely approximate phonetically, the name of any other subdivision or street within the limits of the City of Murfreesboro or the jurisdictional area of Rutherford County.”

The City’s 2040 Major Transportation Plan (MTP) was adopted in 2017. One of its goals was to promote additional connectivity through existing physical impediments, such as waterways, interstates, and railroads. The MTP identifies the extension of Cherry Lane as an important such link. The current Cherry Lane runs from Lebanon Pike west to Leanna Road. With this road project, it will dip southward east of Leanna Road and traverse westward to a new interchange with I-840. From I-840, it will continue westward toward Northwest Broad Street and eventually to I-24. The project is broken down into phases, with the phases east of I-840 being constructed first. It is anticipated that that phases west of I-840 will begin construction in approximately 5-6 years with completion in approximately 8-10 years.

The Masonbrooke Subdivision on the east side of Florence Road has been under construction for the last several years. A segment of the “Cherry Lane Extension” bisects Masonbrooke running east to west. The Masonbrooke developer was required to construct a 3-lane cross-section of this roadway as a function of the subdivision development and also to dedicate sufficient right-of-way for its eventual widening to five lanes.

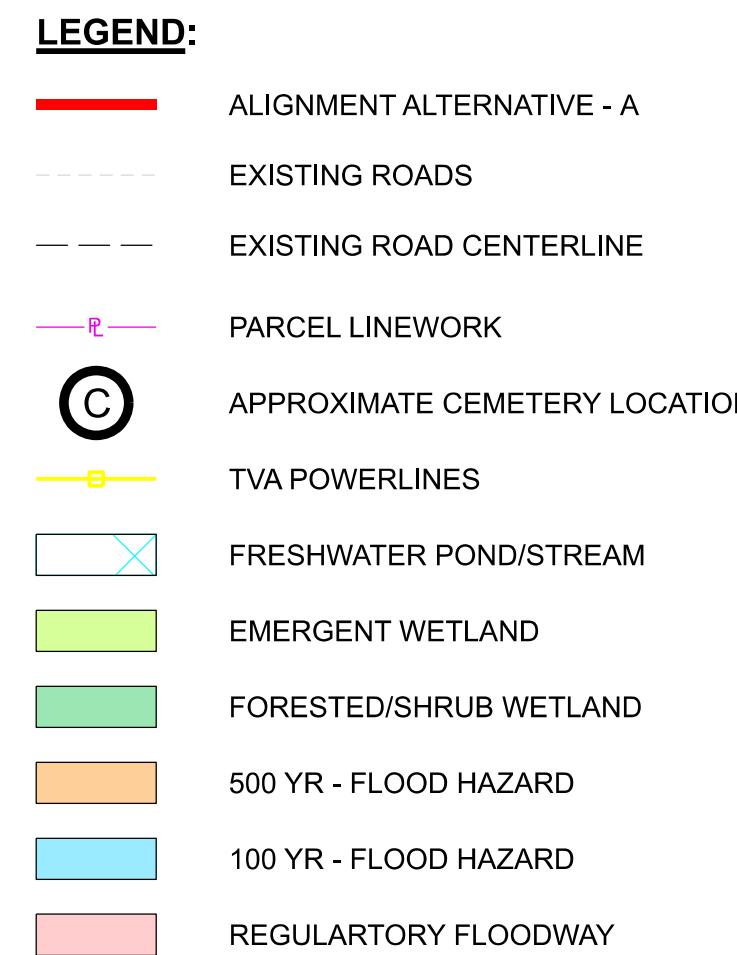
With it being approximately 8-10 years before this roadway segment will connect to the remaining Cherry Lane to the east, Staff thought it would be appropriate for the segment of this roadway west of I-840 to have a different street name. Otherwise, it would be a disconnected segment of Cherry Lane for an extended period of time, potentially resulting in confusion for motorists and service providers, including emergency service providers. By giving it a different street name, this roadway segment in Masonbrooke could stand on its own for an indefinite period of time without being confused with Cherry Lane. Changing the street name at I-840, as proposed, is not unprecedented, as it would be similar to Medical Center Parkway changing to Fortress Boulevard at I-24.

The Planning Staff researched numerous street names in consultation with Rutherford County E-911, and the City Manager's office has been in contact with City Council members regarding potential street names. It was determined that the street name "Stonesbattle Parkway" would be nominated for Planning Commission consideration for this roadway west of I-840. Rutherford County E-911 has vetted this proposed street name and has indicated that it does not conflict with or duplicate any existing street names in Rutherford County or in any of its municipalities.

The developer of Masonbrooke is nearing completion of infrastructure construction and hopes to record the final plat soon, so that vertical construction can begin on single-family homes. When the final plat went before the Planning Commission in July, the street name "Cherry Lane" was shown on the plat in the agenda packet. However, Staff has identified a need for a different street name to be used and recommends "Stonesbattle Parkway" in commemoration of the Battle of Stones River. The developer has been notified that an alternative street name will be considered by the Planning Commission.

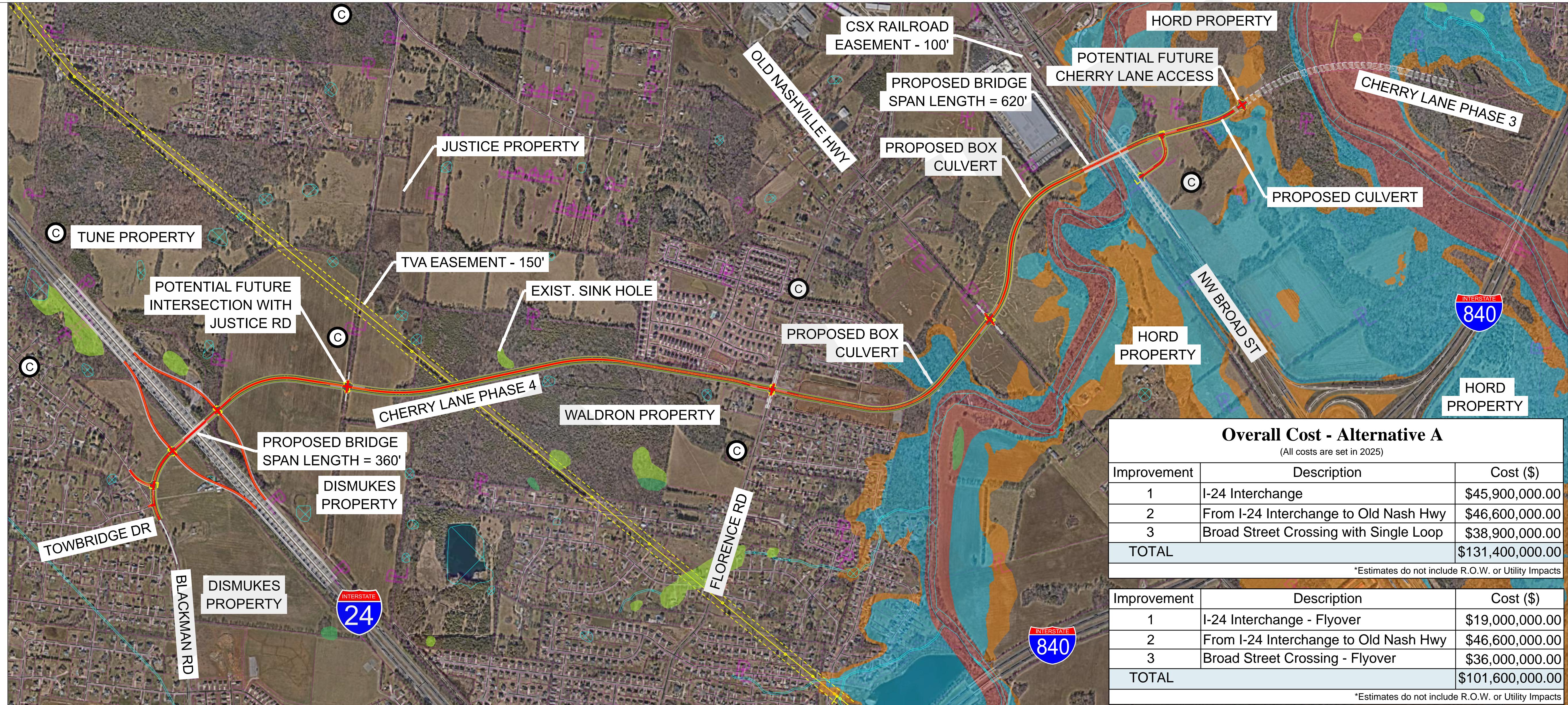
**Action Needed:**

The Planning Commission will need to discuss this matter and then consider its approval. This will allow the developer to update the final plat with the new street name prior to recording it.



DESIGN CRITERIA:

CLASSIFICATION: MAJOR ARTERIAL  
DESIGN SPEED: 45 MPH  
DESIGN VEHICLE: WB-50



Overall Cost - Alternative A

(All costs are set in 2025)

Improvement	Description	Cost (\$)
1	I-24 Interchange	\$45,900,000.00
2	From I-24 Interchange to Old Nash Hwy	\$46,600,000.00
3	Broad Street Crossing with Single Loop	\$38,900,000.00
<b>TOTAL</b>		<b>\$131,400,000.00</b>

\*Estimates do not include R.O.W. or Utility Impacts

Improvement	Description	Cost (\$)
1	I-24 Interchange - Flyover	\$19,000,000.00
2	From I-24 Interchange to Old Nash Hwy	\$46,600,000.00
3	Broad Street Crossing - Flyover	\$36,000,000.00
<b>TOTAL</b>		<b>\$101,600,000.00</b>

\*Estimates do not include R.O.W. or Utility Impacts

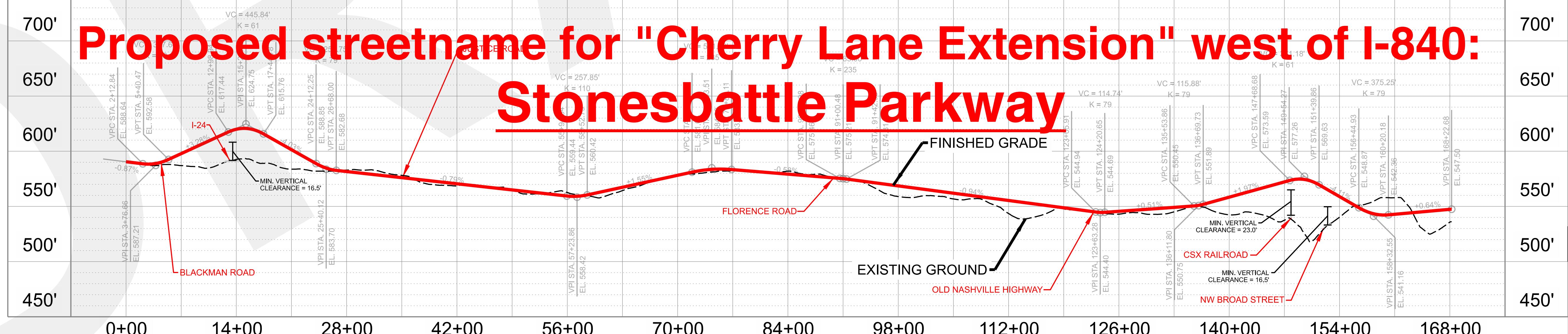
Preliminary

07/22/2025

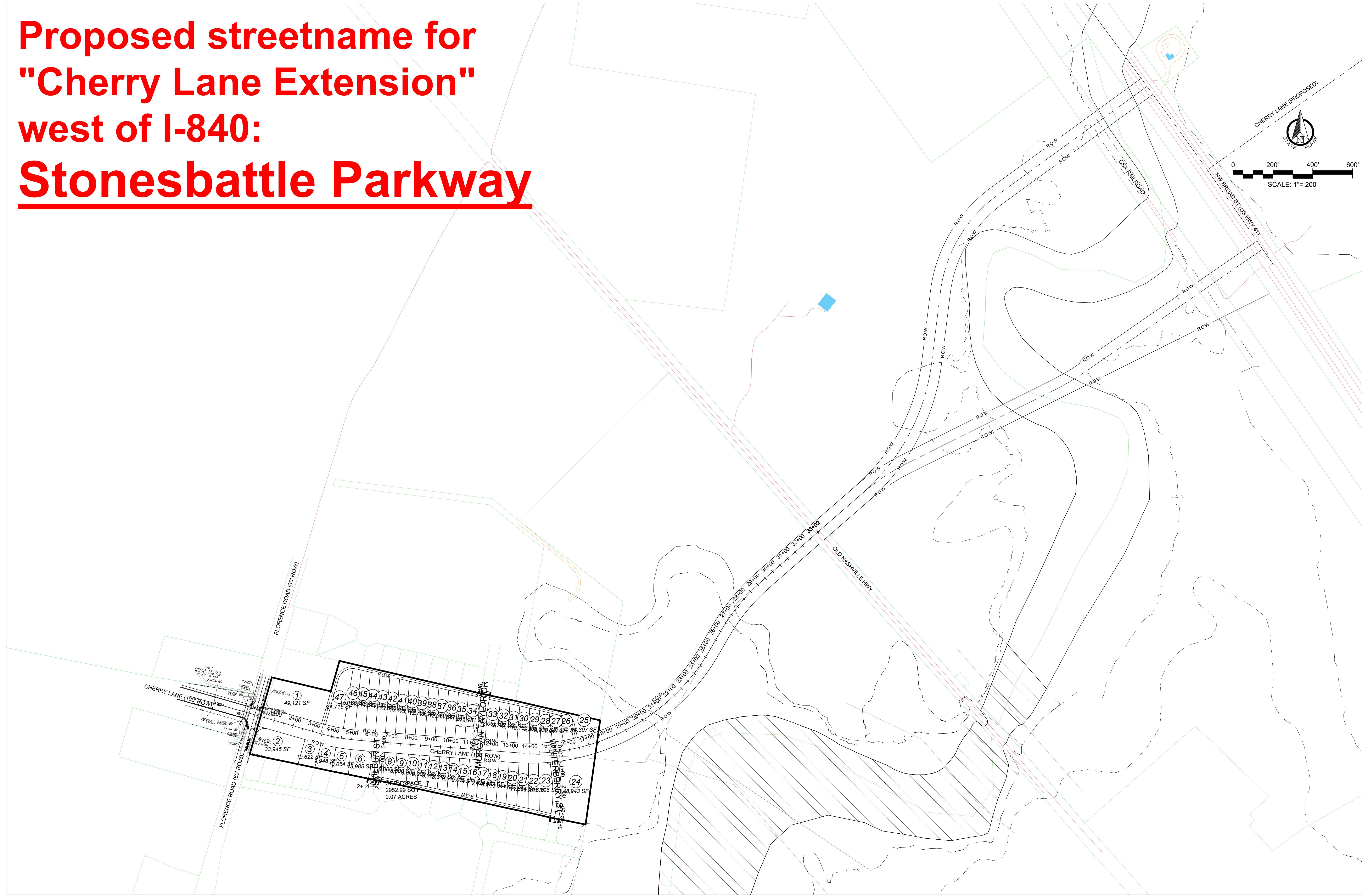
NOTE:

National Wetland Inventory shapes displayed were developed using biological definition of wetlands and may not be consistent with wetland boundaries established according to the federal regulatory definition of wetlands under the Clean Water Act. The data does not account for changes in the landscape that may have occurred after mapping (see metadata). The Wetlands Map data should not be interpreted as indicating the presence, absence, or extent of wetlands that may be covered under one or more federal, state, Tribal, or local laws. If you are planning to conduct activities that could affect waters or wetlands, we recommend that you contact your local USACE regulatory office to ensure compliance with applicable federal wetland regulations.

Proposed streetname for "Cherry Lane Extension" west of I-840:  
**Stonesbattle Parkway**

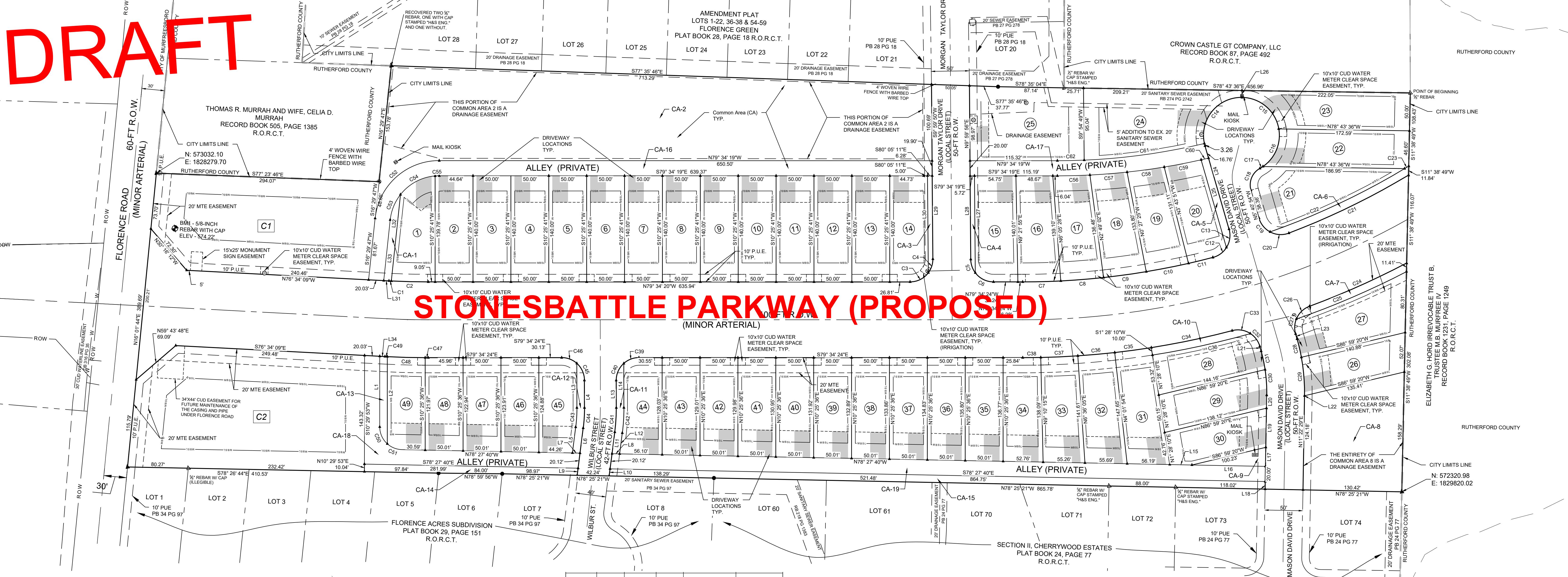


# Proposed streetname for "Cherry Lane Extension" west of I-840: **Stonesbattle Parkway**



# DRAFT

## STONESBATTLE PARKWAY (PROPOSED)



Parcel Line Table

Line #	Length	Direction
L1	93.24	N10° 25' 30.98"E
L2	115.08	N10° 25' 30.98"E
L3	58.55	N10° 20' 07.95"E
L4	36.19	S10° 20' 07.95"W
L5	34.41	N17° 40' 51.28"E
L6	33.33	S17° 40' 51.28"W
L7	10.06	N78° 27' 40.46"W
L8	10.06	N78° 27' 40.46"W
L9	9.40	S17° 40' 51.28"W
L10	9.43	N17° 40' 51.28"E
L11	28.81	N17° 40' 51.28"E
L12	27.74	N17° 40' 51.28"E
L13	36.03	N10° 20' 07.95"E
L14	58.39	N10° 20' 07.95"E
L15	29.32	N78° 27' 40.46"W
L16	97.07	N78° 27' 40.46"W
L17	25.18	S11° 24' 02.48"W
L18	9.96	S11° 24' 02.48"W
L19	51.62	S11° 24' 02.48"W
L20	17.18	S11° 24' 02.48"W
L21	4.23	S5° 54' 54.13"E
L22	0.21	N11° 22' 29.42"E
L23	6.74	N5° 40' 54.13"W
L25	120.43	S5° 40' 54.13"E
L26	9.28	S11° 16' 23.77"W
L27	128.05	N9° 54' 48.55"E
L28	110.21	N9° 59' 55.79"E
L29	109.88	S9° 59' 49.74"W
L30	128.00	S9° 54' 48.55"W
L31	6.87	N78° 34' 09.06"W

Parcel Line Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	3.14	990.00	0.18	N76° 34' 09"E	3.14
C2	48.77	990.00	2.82	N78° 09' 44"W	48.76
C3	27.84	29.99	53.18	S73° 45' 23"W	26.85
C4	19.46	29.99	37.19	S28° 34' 24"W	19.12
C5	19.15	30.00	36.58	N8° 17' 27"W	18.83
C6	27.75	30.00	52.99	N53° 04' 36"W	26.77
C7	50.33	990.00	2.91	N81° 01' 36"W	50.33
C8	56.70	990.00	3.28	N84° 07' 25"W	56.69
C9	56.78	990.00	3.29	N87° 24' 26"W	56.77
C10	56.86	990.00	3.29	S89° 18' 16"W	56.85
C11	33.06	990.00	1.91	S86° 42' 09"W	33.06
C12	22.47	30.00	42.91	S63° 57' 41"W	21.94
C13	25.23	30.00	48.19	S18° 24' 47"W	24.49
C14	90.08	50.00	103.22	S49° 39' 48"W	78.38
C15	69.20	50.00	79.30	N39° 04' 32"W	63.81
C16	56.92	50.00	65.22	N11° 11' 13"E	53.89
C17	4.73	50.00	5.42	N30° 28'E	4.73
C18	33.55	25.00	76.90	N32° 46' 04"E	31.09
C19	23.99	30.00	45.82	N28° 35' 32"W	23.36
C20	25.57	30.00	48.84	N75° 55' 27"W	24.81
C21	175.71	990.00	10.17	S74° 33' 33"W	175.48
C22	196.40	980.00	11.48	S75° 13' 23"W	196.08
C23	6.43	980.00	0.38	S69° 17' 38"W	6.43
C24	140.45	1090.00	7.38	N76° 24' 58"E	140.35
C25	158.38	1100.00	8.25	N77° 08' 13"E	158.24
C26	24.93	30.00	47.62	N56° 18' 00"E	24.22
C27	19.99	30.00	38.17	N13° 24' 19"E	19.62
C28	25.08	255.00	5.63	N2° 51' 52"W	25.07

COMMON AREA TABLE

PARCEL NAME	AREA (SF)	AREA (AC)	TYPE
CA-1	1,038	0.02	LANDSCAPED
CA-2	82,623	1.90	LANDSCAPED
CA-3	757	0.02	LANDSCAPED
CA-4	711	0.02	LANDSCAPED
CA-5	1,133	0.03	LANDSCAPED
CA-6	1,937	0.04	LANDSCAPED
CA-7	1,537	0.04	LANDSCAPED
CA-8	18,466	0.42	LANDSCAPED
CA-9	1,222	0.03	LANDSCAPED
CA-10	1,248	0.03	LANDSCAPED
CA-11	1,126	0.03	LANDSCAPED
CA-12	1,117	0.03	LANDSCAPED
CA-13	1,085	0.02	LANDSCAPED
CA-14	2,723	0.06	LANDSCAPED
CA-15	8,363	0.19	LANDSCAPED
CA-16	16,831	0.39	ALLEY
CA-17	6,275	0.14	ALLEY
CA-18	8,319	0.19	ALLEY
CA-19	17,273	0.40	ALLEY

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C30	33.88	205.00	9.47	S6° 39' 57"W	33.84
C31	27.24	205.00	7.61	S1° 52' 31"E	27.22
C32	21.47	30.00	41.00	S26° 08' 53"E	21.01
C33	24.93	30.00	47.61	S70° 27' 06"E	24.22
C34	109.02	1090.00	5.73	N88° 36' 15"E	109.88
C35	48.74	1090.00	2.56	S87° 14' 58"E	48.74
C36	48.88	1090.00	2.57	S84° 41' 00"E	48.88
C37	48.88	1090.00	2.57	S82° 06' 50"E	48.88
C38	23.89	1090.00	1.26	S80° 12' 04"E	23.89
C39	21.94	30.00	41.90	N79° 28' 33"E	21.45
C40	25.23	30.00	48.19	N34° 25' 49"E	24.49
C41	32.18	251.00	7.35	N14° 00' 30"E	32.16
C42	33.46	261.00	7.35	N14° 00' 30"E	33.44
C43	25.51	199.00	7.35	N14° 00' 30"E	25.49
C44	26.79	209.00	7.35	S14° 00' 30"W	26.78
C45	25.23	30.00	48.19	S13° 45' 33"E	24.49
C46	21.84	30.00	41.72	S58° 42' 48"E	21.36
C47	4.04	1090.00	0.21	S79° 28' 02"E	4.04
C48	50.02	1090.00	2.63	S78° 02' 46"E	50.02
C49	3.09	1090.00	0.16	S76° 39' 01"E	3.09
C50	25.23	30.00	48.19	N13° 40' 10"W	24.49
C51	21.31	30.00	40.70	N58° 06' 46"W	20.86
C52	124.52	85.00	83.93	S58° 27' 44"W	113.68
C53	36.53	65.00	32.20	N32° 35' 54"E	36.06
C54	53.32	65.00	47.00	N72° 12' 01"E	51.84
C55	5.36	65.00	4.73	S81° 56' 10"E	5.36
C56	42.93	860.00	2.86	S81° 00' 07"E	42.92
C57	49.21	860.00	3.28	S84° 04' 16"E	49.20
C58	49.44	860.00	3.29	S87° 21' 25"E	49.43
C59	49.67	860.00	3.31	N89° 20' 29"E	49.66
C60	10.01	860.00	0.67	N87° 21' 12"E	10.01
C61	160.38	840.00	10.94	N87° 27' 17"W	160.13
C62	35.38	840.00	2.41	N80° 46' 43"W	35.38

SITE INFORMATION:

PROJECT NAME: MASONBROOK SUBDIVISION