

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**OCTOBER 1, 2025
6:00 PM**

**Jami Averwater
Vice-Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Public Comments.**
- 4. Approve minutes of the September 17, 2025 Planning Commission meeting.**
- 5. Public Hearings and Recommendations to Council:**
 - a. Annexation petition and plan of services [2025-505] for approximately 3.95 acres located along Blackman Road, Ritesh, Rajendra, and Rikesh Patel applicants. (Project Planner: Richard Donovan)**
 - b. Zoning application [2025-413] for approximately 2.06 acres located along Blackman Road to be zoned PCD (Shelton Plaza PCD) simultaneous with annexation, Ritesh Patel applicant. (Project Planner: Richard Donovan)**
 - c. Zoning application [2025-418] for approximately 0.29 acres located along East Burton Street and North Spring Street to be rezoned from RM-12 & CCO to OG-R & CCO, Brad Chambers applicant. (Project Planner: Holly Smyth)**
 - d. Zoning application [2025-420] for approximately 0.72 acres located along Bridge Avenue to be rezoned from RS-10 to PND and to amend the existing PND zoning (Transit Center PND #2021-413) for approximately 5.4 acres located along New Salem Highway and Bridge Avenue, WeGo Public Transit applicant. (Project Planner: Holly Smyth)**

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

OCTOBER 1, 2025

6. Staff Reports and Other Business:

- a.** Mandatory Referral [2025-714] to consider the dedication of easements for CUD and MTE on City-owned property located along Central Valley Road, Middle Tennessee Electric applicant. (Project Planner: Marc Shackelford-Rowell)

7. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

1:00 PM

CITY HALL

MEMBERS PRESENT

Ken Halliburton, Chair
Jami Averwater, Vice-Chair
Tristan Carroll
Reggis Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Maria Routon, Development Coordinator
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney
Greg McKnight, Exec. Dir of Dev. Services

1. Call to order.

Chair Ken Halliburton called the meeting to order.

2. Determination of a quorum.

Chair Ken Halliburton determined that a quorum was present.

3. Public Comments.

Chair Ken Halliburton announced that no one signed up to speak during the Public Comment portion of the agenda.

4. Approve minutes of the September 3, 2025 Planning Commission meeting.

Vice-Chair Jami Averwater made a motion to approve the minutes of the September 3, 2025 Planning Commission meeting; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

5. Consent Agenda:

Singer Park, Resubdivision of Lot 2 [2025-2073] final plat for 2 lots on 4.09 acres zoned L-I located along Northwest Broad Street, Michael Hazlett developer.

Bragg and Cantrell, Resubdivision of Lot 25 [2025-2070] final plat for 1 lot on 0.16 acres zoned CL located along Old Salem Road and Mill Street, Frank Russell developer.

Veterans Cove, Resubdivision of Lot 1 [2025-2072] final plat for 1 lot on 1.83 acres zoned PRD located along Soldiers Honor Drive and Westridge Drive, Alcorn Properties, LLC developer.

Cawthon Property, Resubdivision of Lot 1 [2025-2074] final plat for 2 lots on 5.31 acres zoned RS-10 located along Jones Boulevard and Oakhaven Court, Stem, LLC developer.

Providence Christian Academy Athletic Field [2025-3090] site plan for 132-space parking lot expansion on 1.39 acres zoned PND and RS-15 located along Dejarnette Lane and Walton Lane, Providence Christian Academy developer.

Kingdom Crest Station [2024-3084] amended site plan for three commercial buildings totaling 11,400 ft2 on 2.59 acres zoned CH located on the corner of Veterans Parkway and Jack Byrnes Drive, Bodnar Group developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

There being no further discussion, Mr. Tristan Carroll made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Vice-Chair Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

6. GDO:

On Motion

The Villages of Murfreesboro, Phase 2 [2025-3075 & 2025-6009] final design review and site plan review for 14 multi-family residential dwelling units at an existing assisted care living/senior living facility on 10 acres zoned MU, GDO-1, & GDO-2 located along Willowoak Trail and Wilkinson Pike, Goodworks Unlimited, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the final design review and site plan review subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Chase Bank (Clari Park, Lot 4) [2025-3079 & 2025-6008] final design review and site plan review for a 3,333 ft2 bank on 1.12 acres zoned CH and GDO-1 located along Medical Center Parkway, JP Morgan Chase Bank developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the final design review and site plan review subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote.

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

7. Plats and Plans:

Salem Landing, Section 3 [2025-1017] master plan amendment and preliminary plat for 203 lots on 69.1 acres zoned PRD located along Colleton Lane and Thompson Road, Salem Land Company, LLC developer. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

Mr. Chris McGuire (design engineer) was in attendance representing the application.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the master plan amendment and preliminary plat subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

8. New Business:

Zoning application [2025-418] for approximately 0.29 acres located along East Burton Street and North Spring Street to be rezoned from RM-12 & CCO to OG-R & CCO, Brad Chambers applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for October 1, 2025; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Zoning application [2025-420] for approximately 0.72 acres located along Bridge Avenue to be rezoned from RS-10 to PND and to amend the existing PND zoning (Transit Center PND #2021-413) for approximately 5.4 acres located along New Salem Highway and Bridge Avenue, WeGo Public Transit applicant. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for October 1, 2025; the motion was seconded by Vice-Chair Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Annexation petition and plan of services [2025-506] for approximately 32.1 acres located along Old Salem Road, Sherry Wade Metzler applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for November 5, 2025; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Zoning application [2024-419] for approximately 27.9 acres located along Old Salem Road to be zoned PRD (Old Salem PRD) simultaneous with annexation, Patterson Company, LLC applicant. Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

There being no further discussion, Mr. Shawn Wright made a motion to schedule a public hearing for November 5, 2025; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

9. Staff Reports and Other Business.

Consideration of 2026 Planning Commission Meeting Calendar.

Mr. Matthew Blomeley presented the 2026 Planning Commission meeting calendar for approval.

There being no further discussion, Mr. Shawn Wright made a motion to approve the 2026 Planning Commission meeting calendar; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

Consideration of 2026 Plan Review Calendar.

Mr. Matthew Blomeley presented the 2026 Planning Commission plan review calendar for approval.

There being no further discussion, Mr. Shawn Wright made a motion to approve the 2026 Planning Commission plan review calendar; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Monthly update from Director of Land Management and Planning.

Mr. Ben Newman provided an update on variety of topics, including staffing and the Cherry Lane corridor study.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 17, 2025

10. Adjourn.

There being no further business the meeting adjourned at 1:45 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 1, 2025
PROJECT PLANNER: RICHARD DONOVAN**

5.a. Annexation petition and plan of services [2025-505] for approximately 3.95 acres located along Blackman Road, Ritesh, Rajendra, and Rikesh Patel applicants.

Ritesh, Rajendra, and Rikesh Patel have submitted a petition requesting annexation of their property into the City of Murfreesboro. The annexation area consists of one, approximately 2.06-acre, parcel situated east of Blackman Road. The annexation area also includes approximately 1,260 linear feet of Blackman Road right-of-way from the subject parcel south toward its intersection with Manson Pike. The Rutherford County Highway Commission reviewed and consented to the annexation of this segment of Blackman Road right-of-way at its June 23, 2025, meeting. The parcel owned by the applicants includes one single-family detached structure. The total annexation study area is approximately 3.95 acres.

The annexation study area includes the following areas:

- Tax Map 078, Parcel 010.00 (2.06 acres)
- Blackman Road right-of-way (approx. 1.89 acres)

The applicant has submitted a companion zoning application to rezone the subject property to a PCD (Planned Commercial District; Shelton Plaza PCD) designation. This rezoning would permit the 2.06-acre parcel to be developed commercially with allowed uses similar to the Commercial Fringe (CF) district.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its northern and southern boundaries. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The developer will need to work with the neighboring property owner to the west to extend sanitary sewer to the subject property. The timeline for the gravity sewer to reach the proposed

development is currently unknown, and all main line extensions are the financial responsibility of the developer.

Staff Recommendation:

Staff is supportive of the annexation request for the following reasons:

1. The subject property is contiguous with the existing City Limits.
2. It is located within the Urban Growth Boundary and within the Service Infill Area.
3. Services can be extended to the subject property upon annexation.
4. It fills in a gap of Blackman Road right-of-way that is currently in the unincorporated County, which will create efficiencies and reduce confusion.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

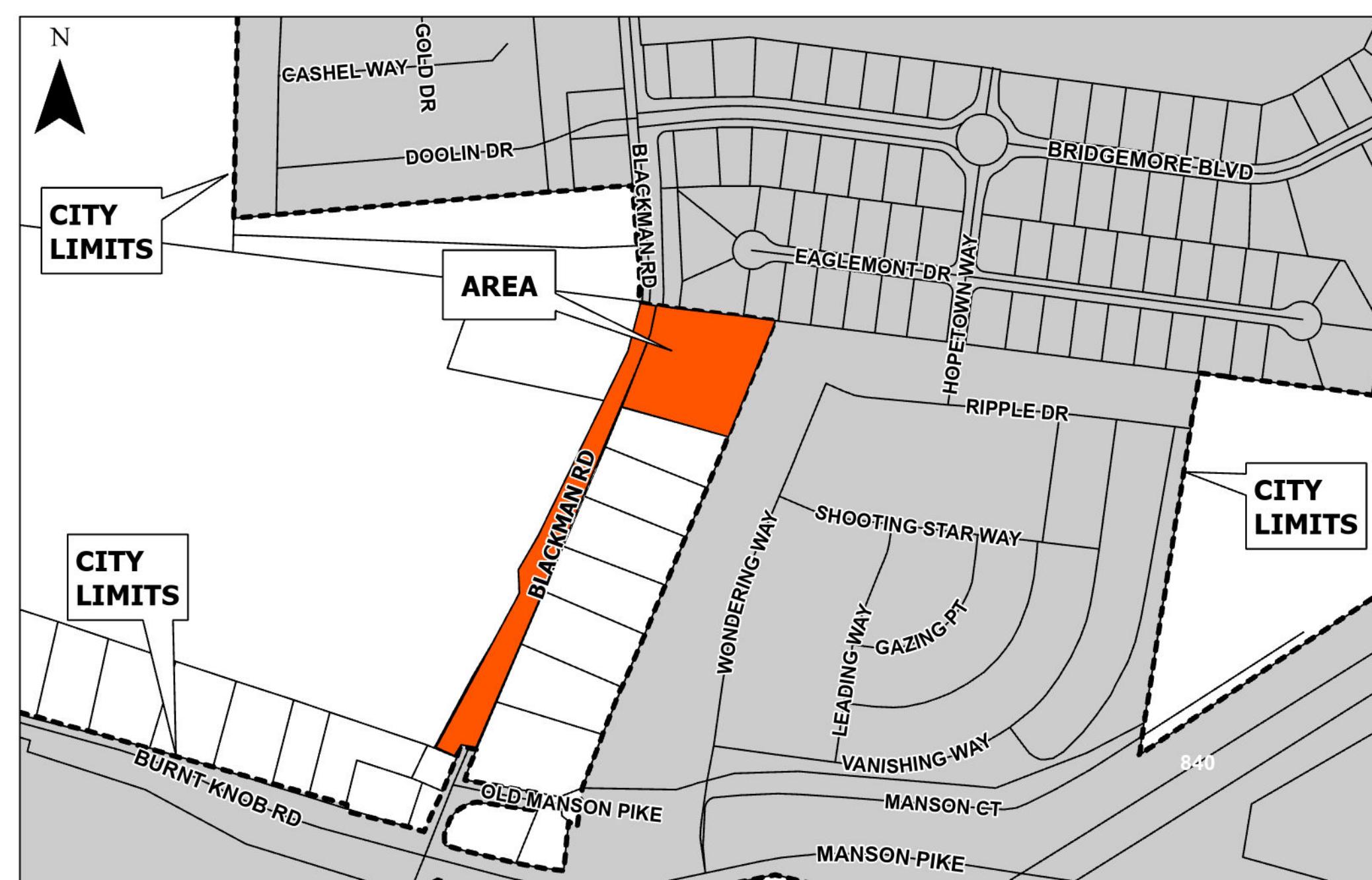
Attachments:

Ortho Map

Non-ortho maps

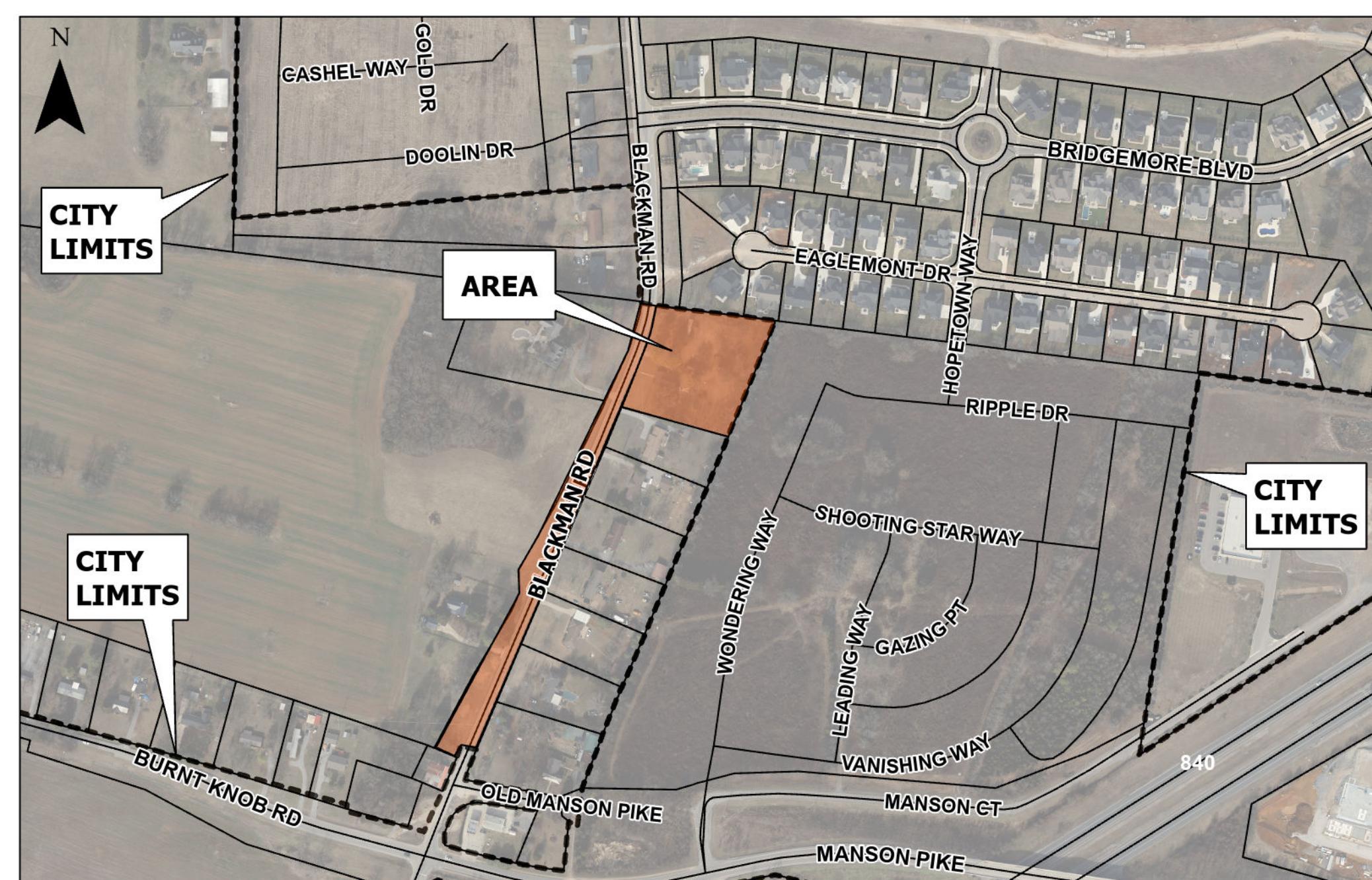
Annexation Petition

Plan of Services



Annexation request for property along Blackman Road

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation request for property along Blackman Road

Planning Department
 City of Murfreesboro
 111 West Vine St
 Murfreesboro, TN 37130
www.murfreesboron.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. RITESH PATEL

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Ritesh Patel

Status: Partner

Date: 6/12/2025

10500 5510 BRIDGEMORE BLVD MURFREESBORO, TN 37129

Mailing Address (if not address of property to be annexed)

2. RIKESH PATEL

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Rikesh Patel

Status: Partner

Date: 6/12/2025

3033 VICKWOOD DRIVE MURFREESBORO, TN 37128

Mailing Address (if not address of property to be annexed)

3. RAJENDRA PATEL

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Rajendra Patel

Status: Partner

Date: 6/12/2025

3033 VICKWOOD DRIVE MURFREESBORO, TN 37128

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____

Status: _____

Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

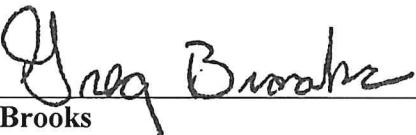
Legal Description is attached: Yes

Power of Attorney applies and is attached: Yes No

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that segment of Blackman Road from the north property line of 2631 Blackman Road to approximately the south property line of 2537 Blackman Road totaling approximately 1,260 linear feet ("County Right-of-Way"), such section being a portion of the prescriptive/platted right-of-way for Blackman Road shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on June 23, 2025 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 23 day of June 2025.



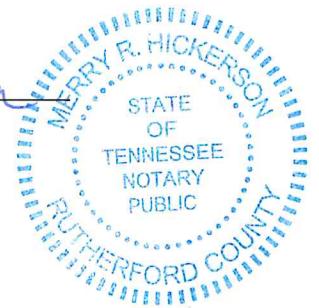
Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 23 day of June, 2025.

My Commission Expires: 4-15-2028



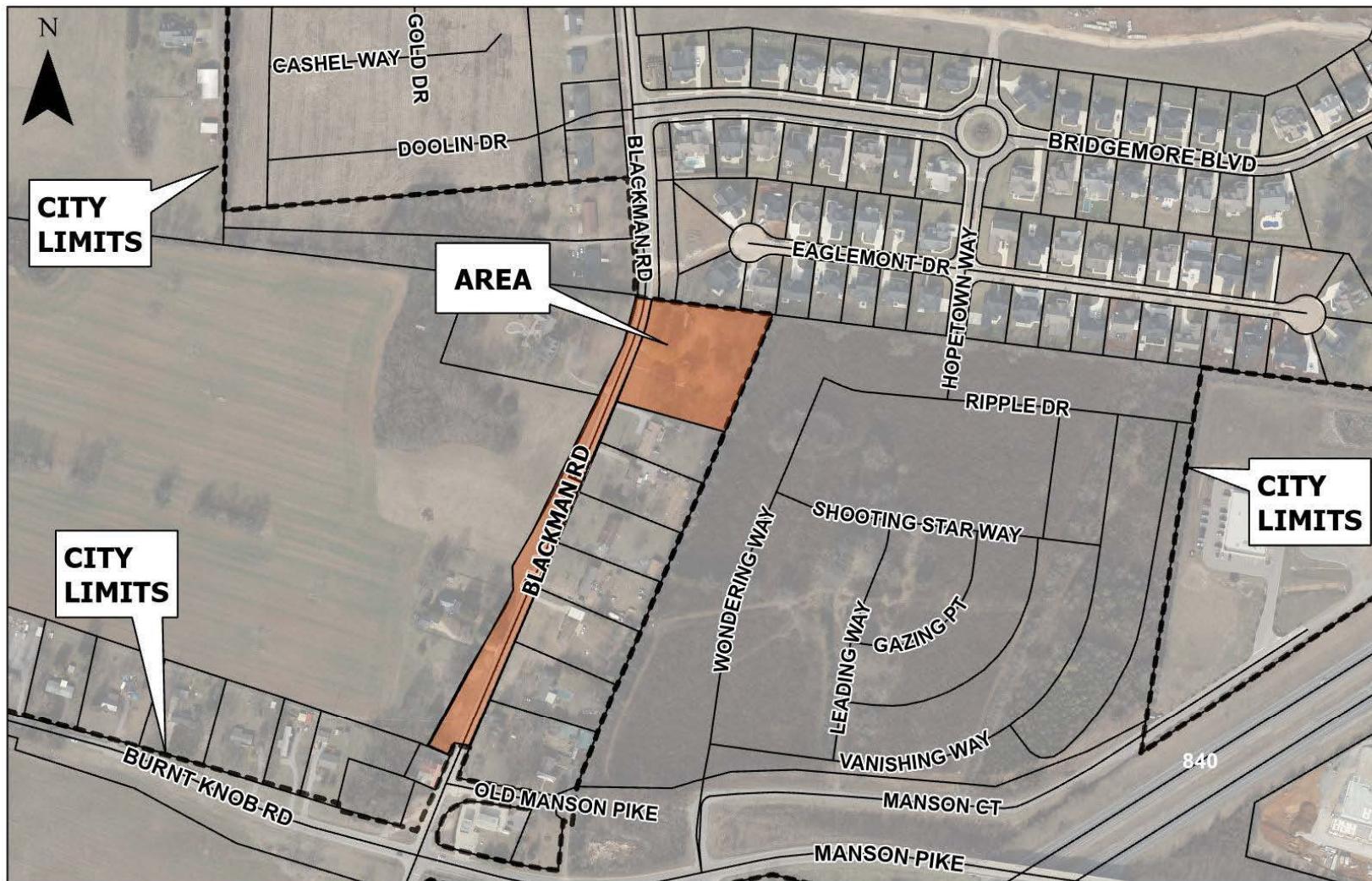
NOTARY PUBLIC



**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG BLACKMAN ROAD
INCLUDING PLAN OF SERVICES
(FILE 2025-505)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
October 1, 2025**



Annexation request for property along Blackman Road

0 235 470 940 1,410 1,880
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov

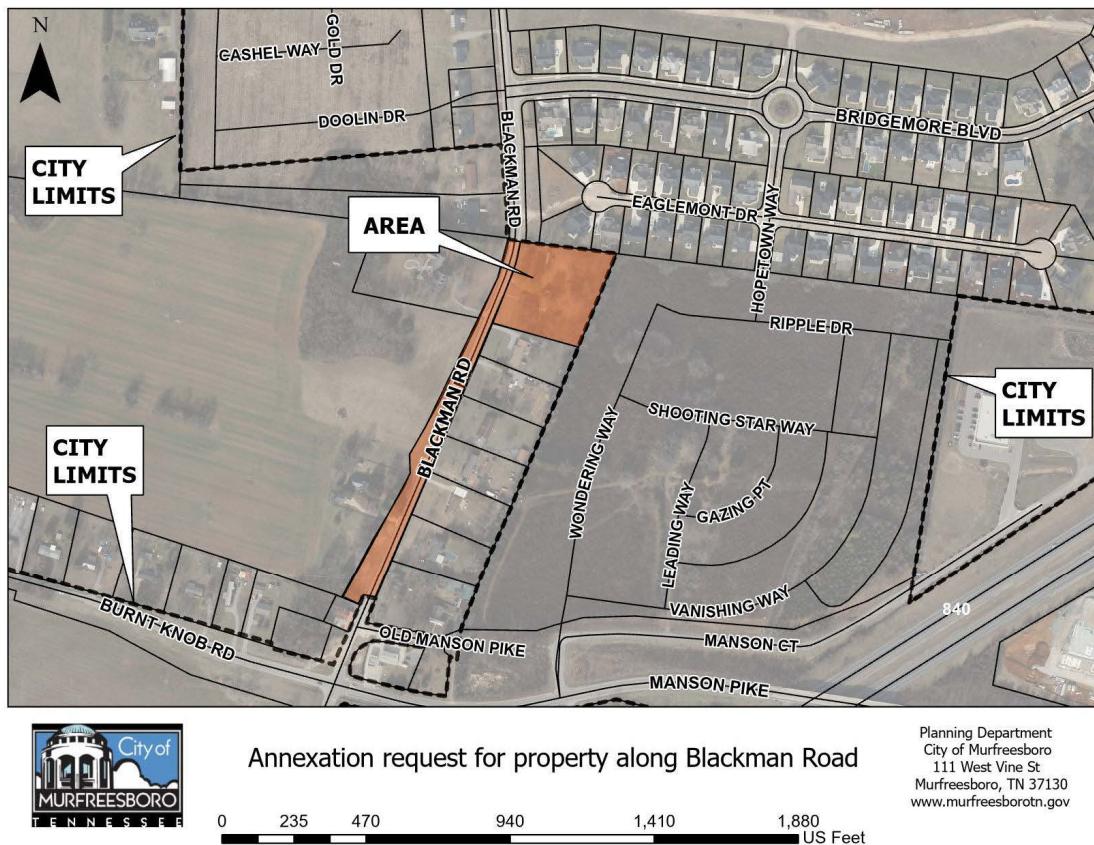
INTRODUCTION

OVERVIEW

Ritesh, Rajendra, and Rikesh Patel have submitted a petition requesting annexation of their property into the City of Murfreesboro. The property totals approximately 2.06 acres and is located on the east side of Blackman Road. It contains one single-family dwelling. The annexation area also includes approximately 1,260 linear feet of Blackman Road right-of-way (ROW). At its June 23, 2025 regular meeting, the Rutherford County Road Board voted to grant consent to the City to annex this segment of ROW. The total annexation study area is approximately 3.95 acres. The annexation study area includes the following properties:

- Tax Map 078, Parcel 010.00 (approx. 2.06 acres)
- Blackman Road right-of-way (approx. 1.89 acres)

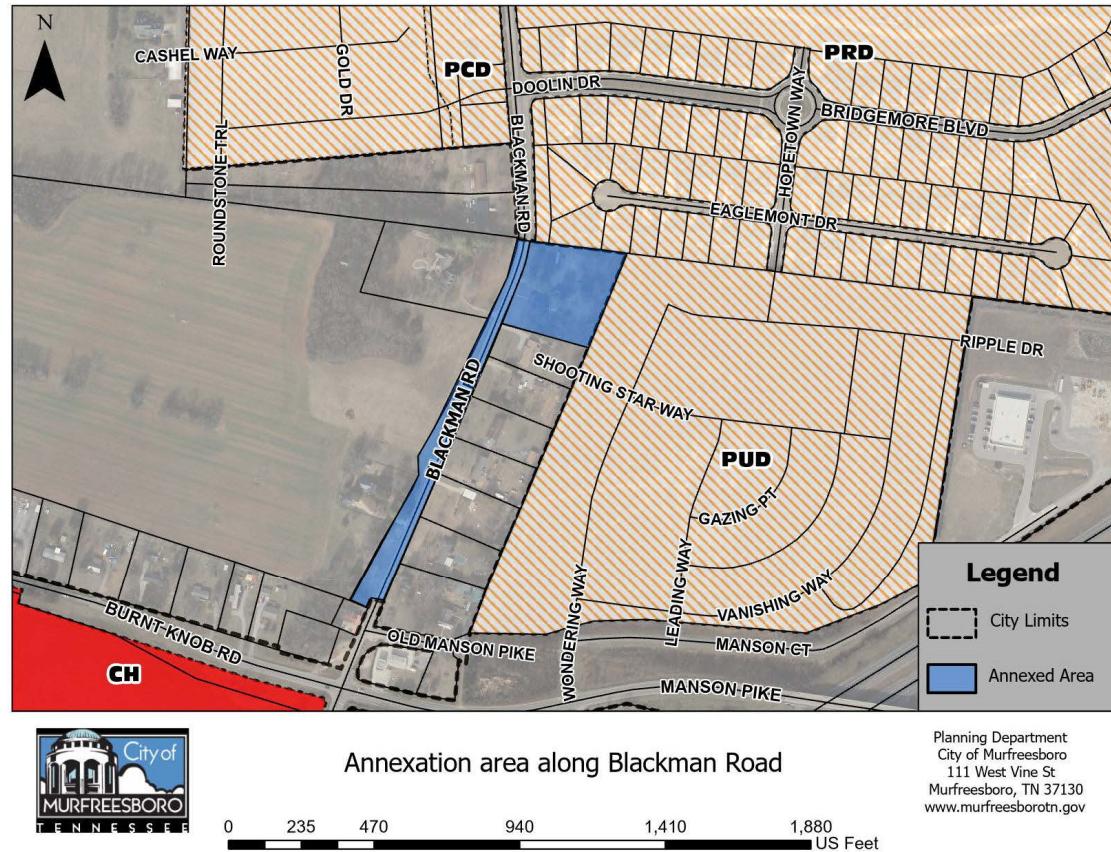
The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern, eastern, and southern boundaries, as depicted on the adjacent map.



SURROUNDING ZONING

The area being considered for annexation consists of one parcel totaling 2.06 acres and approximately 1,260 linear feet of Blackman Road right-of-way (ROW). The parcel has one single-family detached residential unit. The property is zoned RM (Medium-Density Residential) in the unincorporated county. The property owner has also requested a companion zoning application to zone the property to a PCD (Planned Commercial District; Shelton Plaza PCD) designation.

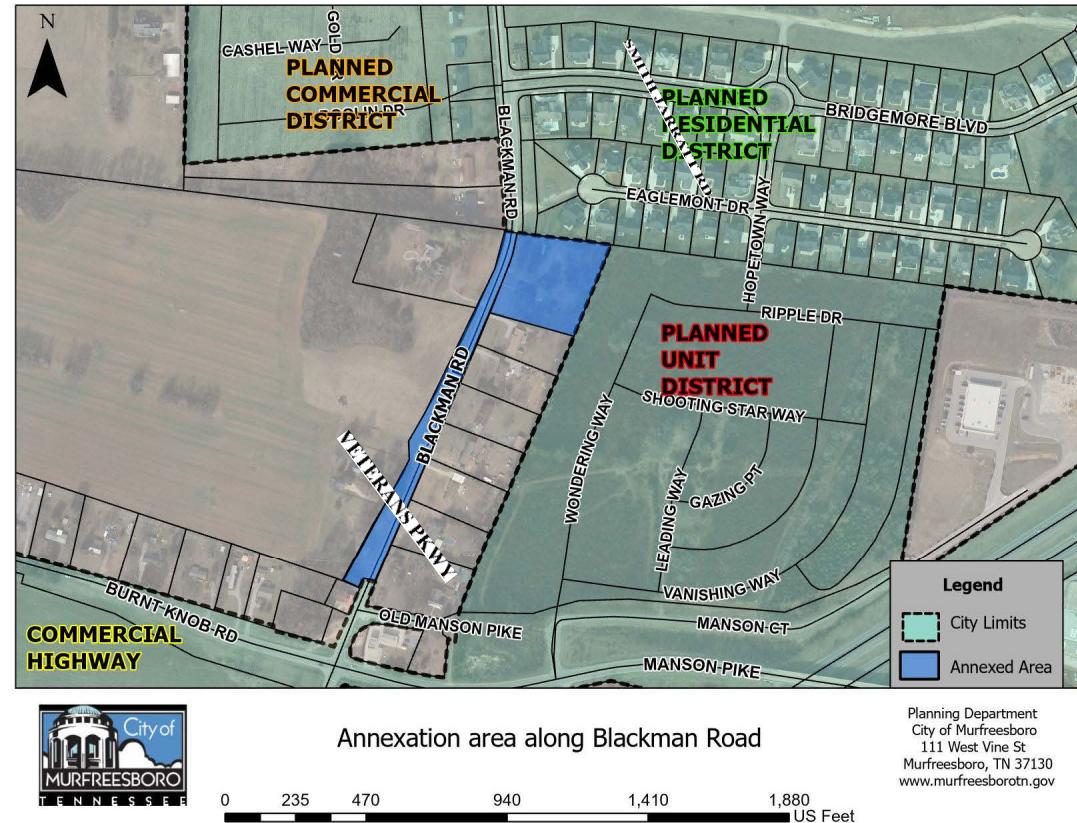
The surrounding properties consist primarily of residential zoning. To the north lies properties zoned PRD (Shelton Square) and The Villages PRD and PCD. To the east is zoned PUD (Shelton Grove) and to the south and west is zoned Medium-Density Residential (RM) within unincorporated Rutherford County.



SURROUNDING LAND USE

The area being considered for annexation consists of one parcel totaling 2.06 acres and approximately 1,260 linear feet of Blackman Road right-of-way (ROW). The parcel has one single-family detached residential unit.

The surrounding properties consist primarily of residential uses. To the north lies vacant land, along with single-family detached homes. To the east there is a single-family residential development under construction. To the south and west are detached single-family residences in the unincorporated County.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Rajendra N Patel	78-010.00	2.06	\$86,900	\$134,900	\$55,450	\$528.22

These figures are for the property in its current state and assessed at the residential rate of 25 percent. Assessment and appraisal is subject to change if and when redevelopment occurs.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 4.

ELECTRIC SERVICE

The study area, including the existing single-family residence, is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical facilities and capacity along Blackman Road to serve the property upon annexation.

STREET LIGHTING

Streetlights do not currently exist along Blackman Road right-of-way. If the City of Murfreesboro wishes to add streetlights along the Blackman Road public right-of-way, the Transportation Department would need to make the request to MTE, but at the present time, there are no plans to do so.

SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service for the existing house upon the effective date of annexation, as well as brush/debris removal every two to three weeks. In its current state, no additional equipment or manpower other than a solid waste cart for the subject parcel (\$69.66 each) will be needed to serve the study area. If the subject parcel redevelops with commercial uses, then the City will not provide solid waste services.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro attend Murfreesboro Elementary Schools and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the Overall Creek Elementary School zone, and it would become part of this school's zoned area if annexed. Any elementary school-aged children residing on the property will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have minimal impact on the school system, since it currently contains only one dwelling unit. If redeveloped as commercial, it would have no impact on the school system.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes approximately 1,260 linear feet of Blackman Road right-of-way. Intersection improvements at Blackman Road, Burnt Knob Road, and Manson Pike are currently being constructed by the City including additional lanes and a signal. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro including all routine maintenance. Based on an estimated 15-year re-pavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$2,200 for this roadway. As a substandard street, any development along Blackman Road will need to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards. Blackman Road within the study area is on the City's Major Transportation Plan to be upgraded to a 5-lane section. Any new connections must be approved by the City Engineer.

No additional public roadways are included in the study area. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTATION

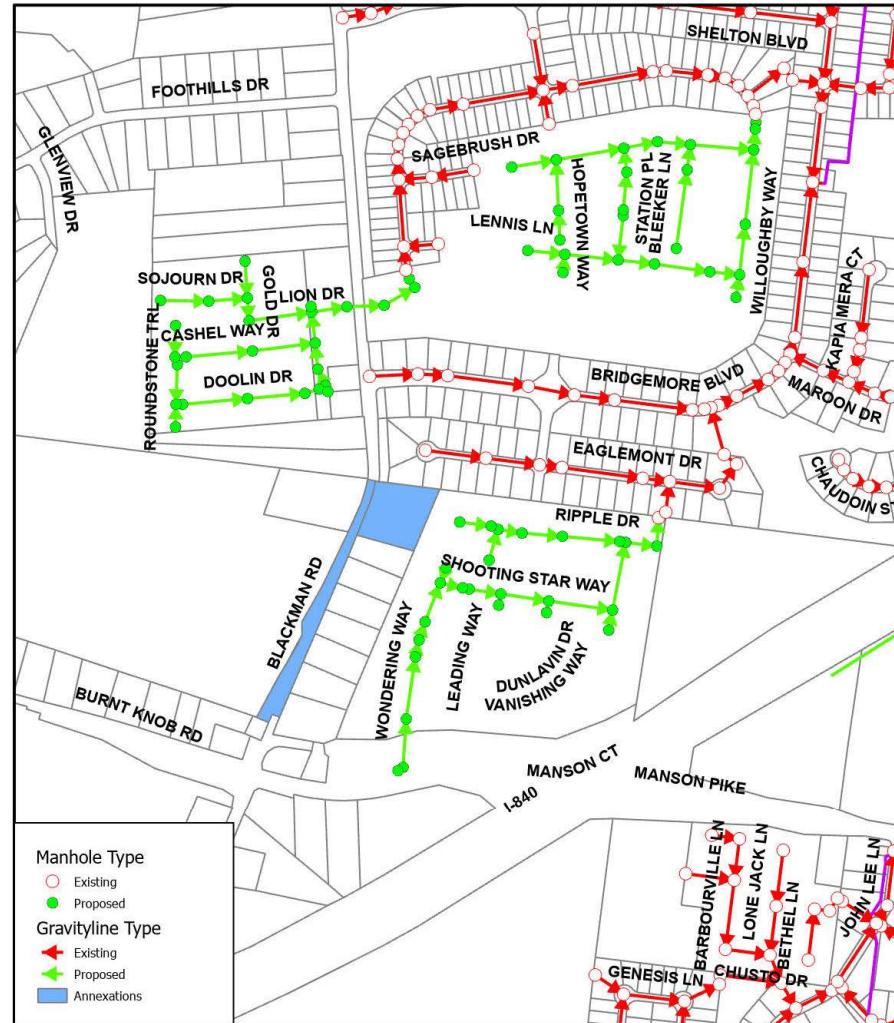
The study area is served by Blackman Road. The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Blackman road to be operation at a Level of Service D in the study area. The 2040 Level of Service Model indicates that Blackman Road operates at a Level of Service F without the proposed improvements in the 2040 plan.

SANITARY SEWER SERVICE

Currently sanitary sewer is not available to the subject property. The existing home will continue to use its existing septic system for waste disposal. Any proposed development would connect to gravity sewer through either the Shelton Grove development to the east or to the north at the intersection of Bridgemore Blvd and Blackman Road. Shelton Grove is currently in the plans review process and has not been approved for construction. The timeline that the Shelton Grove gravity sewer will reach the proposed development is unknown.

This property is within the Overall Creek and Shelton Square Sanitary Sewer Assessment Districts and upon development will be charged \$1,000 and \$500 per single-family unit equivalent (sfu) respectively in addition to the standard connection fee of \$2,550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.



MURFREESBORO WATER RESOURCES DEPARTMENT

Annexation Request for Blackman Road



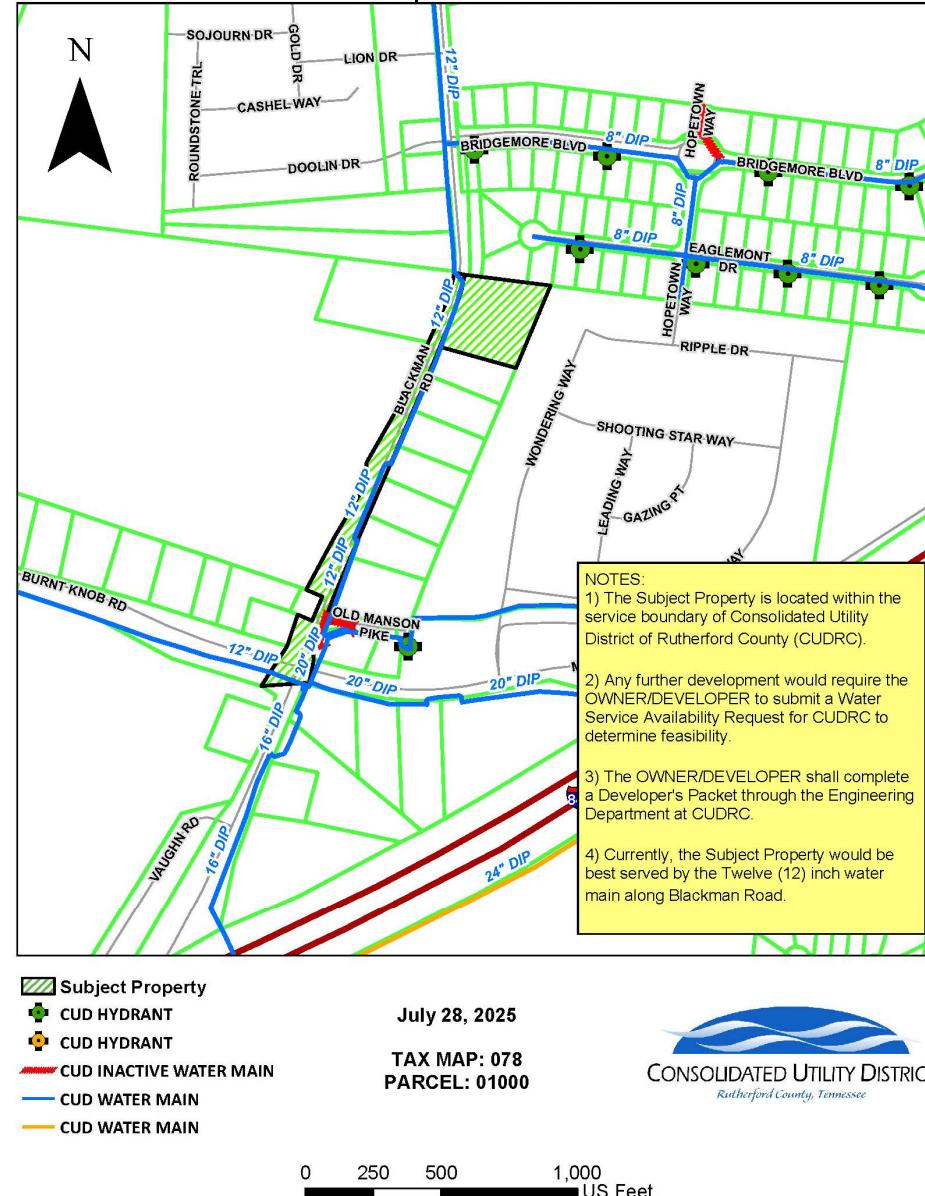
kcar 8/5/2025
Annexation

WATER SERVICE

The study area lies within the Consolidated Utility District of Rutherford County's (CUDRC) service area. The study area and existing house are served by CUD water through the twelve (12)-inch water main along Blackman Road.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

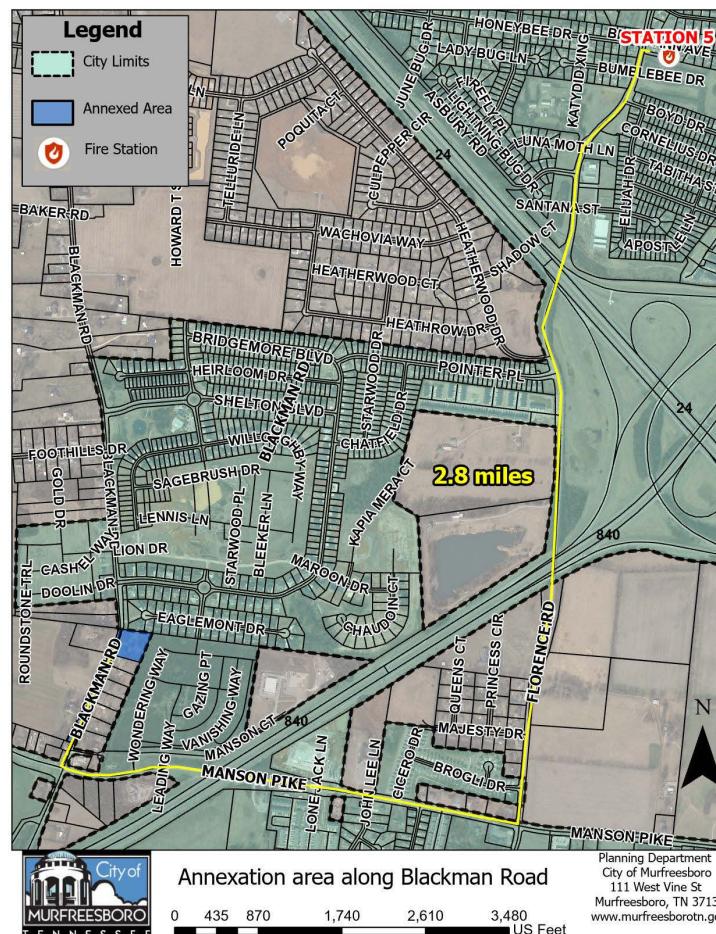
Annexation Request for 2704 Blackman Road & 1,260' of Blackman Road Right of Way
Tax Map 078 Parcel 01000



FIRE AND EMERGENCY SERVICE

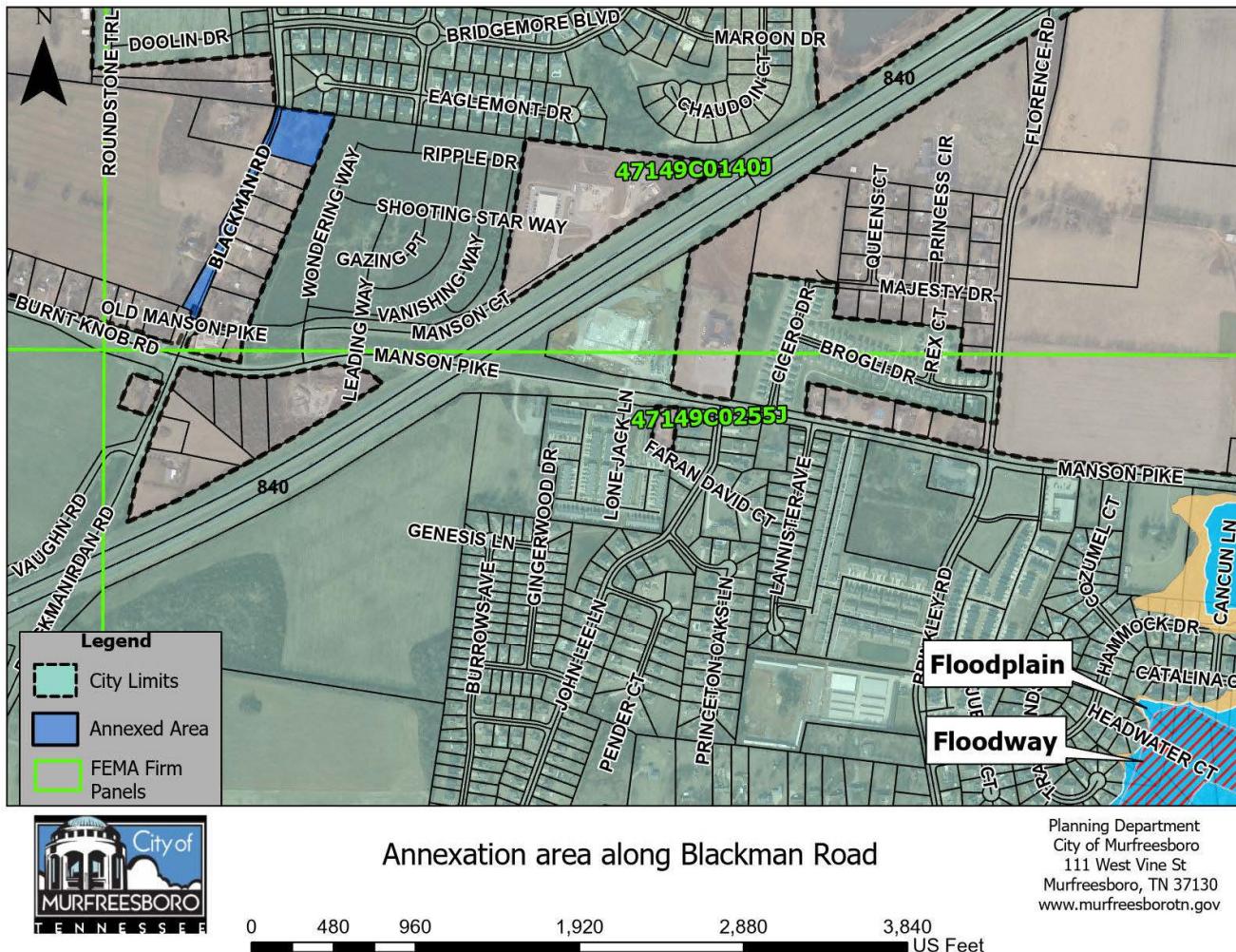
The study area includes a single-family dwelling, and the Murfreesboro Fire and Rescue Department (MFRD) will be able to provide fire protection and emergency services to the home and the study area immediately upon annexation at no additional cost.

Currently the study area is located 2.8 miles from Fire Station #5 (3006 Florence Road). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the right-of-way of Blackman Road. The annualized operation and maintenance cost for this system is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

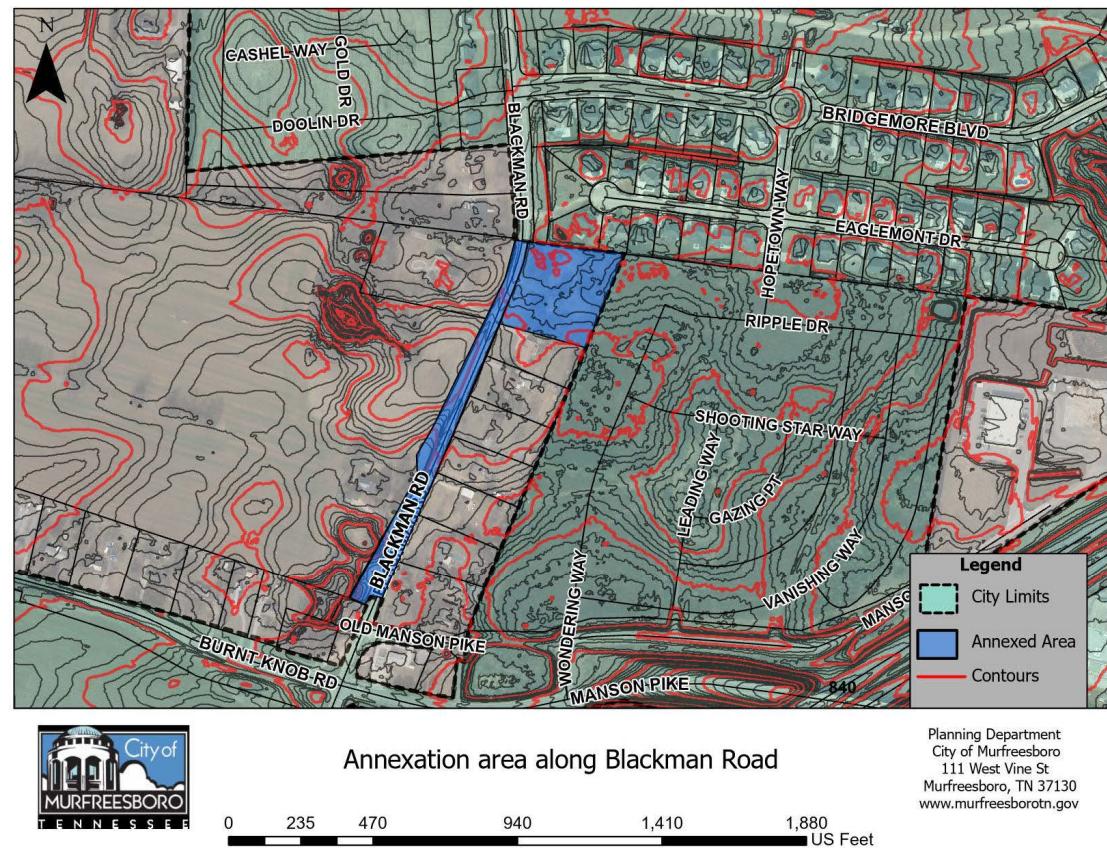
The northern portion of the subject parcel drains to closed depressions located within the study area. The southwest portion of the parcel drains toward the Blackman Road right-of-way. The southeast portion of the parcel drains onto the adjacent property.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area currently has one single-family residence and will

generate approximately \$39 per year in revenue for the Stormwater Utility Fee.

The study area has a proposed zoning of PCD. Based on this development scenario, it is anticipated that the site will generate approximately \$450 in revenue per year into the Stormwater Utility Fund upon full build-out.



PROPERTY AND DEVELOPMENT

Blackman Road is on the City's Major Transportation Plan. ROW dedication and participation in roadway improvements will be required with development.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 1, 2025
PROJECT PLANNER: RICHARD DONOVAN**

- 5.b. Zoning application [2025-413] for approximately 2.06 acres located along Blackman Road to be zoned PCD (Shelton Plaza PCD) simultaneous with annexation, Ritesh Patel applicant.**

Ritesh Patel, the applicant, is requesting zoning the subject property to PCD (Planned Commercial District – Shelton Plaza) simultaneous with annexation. The property is approximately 2.06 acres in size, is located on the east side of Blackman Road just to the north of its intersection with Manson Pike and Burnt Knob Road, and is identified as Tax Map 78, Parcel 10.00. It is currently developed with a single-family detached home addressed as 2704 Blackman Road.



Adjacent Land Use and Zoning

The surrounding properties consist of primarily of residential uses zoning. To the north lies single-family detached residential properties zoned PRD (Shelton Square) and The Villages PRD and PCD that includes single-family detached residential lots and commercial outparcels. To the east is Shelton Grove, a

subdivision containing both attached and detached single-family residences. It is zoned PUD (Shelton Grove) and is currently under development. To the south and west are single-family detached residences zoned Medium-Density Residential (RM) within unincorporated Rutherford County.

Shelton Plaza PCD

The Shelton Plaza Planned Commercial Development (PCD) proposes a 14,000-square-foot single-story brick-and-stone multi-tenant building on a 2.06-acre site. The building will be designed for two tenants, with 63 parking spaces being developed with the commercial center. The dumpster enclosure is located at the southern end of the building, behind the front façade, with gates facing Blackman Road. The Planning Commission expressed some concern regarding the visibility of the dumpster from the street. Access will be from Blackman Road, a two-lane minor arterial planned for expansion to four lanes, with cross-access provided to the adjacent southern property for a future connection. Allowed uses include a variety of retail, service, office, and institutional uses, while all drive-thrus and fuel sales are prohibited. The applicant is currently targeting a daycare center and dentist office as tenants. The site concept features a fenced playground (for a potential daycare tenant), a stormwater detention pond, and street side landscaping and buffering along the remaining property lines, including Type "C" and Type "A" buffers. Open space will make up 39% of the site, with 0.79 acres of usable open space.

Lot Size and setbacks:

The lot is intended to remain a single lot of 2.06 acres and the setbacks for Shelton Plaza PCD are:

- Front: 42 feet
- Side: 10 feet
- Rear: 20 feet
- Maximum Height: 45 feet

These match the comparable CF zoning standards.

Allowed Uses:

The applicant is proposing permitted uses primarily derived from the Commercial Fringe (CF) zoning district. All proposed uses are permitted by right, and any uses that would require a special use permit under CF zoning have been excluded from the Planned Commercial Development (PCD). Additionally, not all by-right uses from the CH district have been included in the PCD. Several uses have been intentionally omitted from the list of permitted uses, including but not limited to:

- All Drive-thrus
- Gasoline and Fuel sales
- Retail Shop: Tobacco, Vape, Dispensary
- Tattoo Parlor

- Liquor Store
- School, Public or Private, Grades K - 12

The permitted uses include:

COMMERCIAL

Amusements, Commercial Indoor
 Animal Grooming Facility
 Antique Mall
 Antique Shop <3,000 sq. ft.
 Art or Photo Studio or Gallery
 Bakery, Retail
 Bank, Branch Office
 Barber or Beauty Shop
 Beer, Packaged
 Book or Card Shop
 Business School
 Business and Communication Service
 Catering Establishment
 Clothing Store
 Commercial Center
 Convenience Sales and Service, maximum 5,000 sq. ft. floor area
 Delicatessen
 Department or Discount Store
 Dry Cleaning
 Dry Cleaning Pick-Up Station
 Financial Service
 Fitness/ Health Club Facility < 5,000 SF
 Fitness studio/ personal instruction ≤5,000 SF
 Flower or Plant Store
 Ice Kiosk, Automated
 Interior Decorator
 Janitorial Service
 Karate, Instruction
 Keys, Locksmith

Laboratories, Medical
 Laboratories, Testing
 Laundries, Self-Service
 Movie Theater
 Music or Dancing Academy
 Offices
 Optical Dispensaries
 Personal Service Establishment
 Pet Funeral Home
 Pet Shops
 Pharmacies
 Restaurant and Carry-Out Restaurant
 Restaurant, Specialty
 Restaurant, Specialty -Limited
 Retail Shop, other than enumerated elsewhere
 Specialty Shop
 Veterinary Office
 Veterinary Clinic
 Video Rental

INSTITUTIONS

Adult Day Care Center
 Day-Care Center
 Museum
 Park

Philanthropic Institution
 Public Building
 Recreation Field
 Senior Citizens Center

TRANSPORTATION AND PUBLIC UTILITIES

Post Office or Postal Facility

Architecture and Building Materials:

The Shelton Plaza PCD building will be a single-story structure featuring a combination of brick and stone finishes on all sides, complemented by enhanced

metal trim accents. Telecommunication equipment and air conditioning units will be located at the rear of the building. The building's articulation, void areas, and overall design meet all applicable City Design Standards.

Parking and Access:

Primary access to the site will be from Blackman Road, with a cross-access easement provided to the property to the south. This easement could be utilized if the neighboring property is developed in the future.

All parking will be constructed with the construction of the building at a ratio of 1 space per 222 square feet. A total of 63 spaces will be provided for the 14,000 square foot commercial center. The proposed 1 per 222 square feet is slightly better than the 1 per 225 square feet, which is the standard for commercial centers

In addition, staff has requested that the applicant commit to designing—but not constructing—improvements identified in the Major Transportation Plan. Specifically, the applicant would design the required five-lane section of Blackman Road between the existing improved section to the north and the City's planned intersection improvements at Manson Pike and Burnt Knob Road to the south. Following the initial Planning Commission meeting, this provision has been formally incorporated into the pattern book and has received the applicant's agreement.

Buffering and Landscaping:

Shelton Plaza PCD will include landscape buffers along the north, east, and south property lines to screen neighboring homes, with a Type "C" buffer on the north and east sides and a Type "A" buffer on the south side when Phase 1 parking is built. Layered landscaping with evenly spaced trees will screen the parking lot from Blackman Road, along with streetscape plantings and foundation plantings around the building.

Exceptions:

The current pattern book does not identify any exceptions from the Zoning Ordinance or Subdivision Regulations, and staff concurs with this assessment.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Business Park' (BP), which is considered the most appropriate land use character, as indicated on the map below. The BP development style is intended to primarily generate activity from office, medical, and technology/research uses. The BP designation intended characteristics include 20–30% required open space, extensive perimeter landscaping, and enhanced entry/street designs. Development is often governed by private

covenants exceeding City standards, aiming to create an attractive investment environment. Operations occur indoors with no outdoor storage, and growth is encouraged in unified, clustered corridors rather than isolated parcels. Sites generally range from 50–250 acres, with square or rectangular shapes preferred for flexibility. Adequate acreage supports future expansion, and shovel-ready infrastructure reduces costs, risks, and time to market. The Comprehensive Plan recommends OG, OG-R, CM, PCD, and PND as compatible zoning districts. The proposed PCD, while modeled after the CF zoning district, also meets the criteria of the BP designation by permitting office and medical uses and allowing for the potential development of neighborhood services with a retail or service orientation.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

1. The rezoning request aligns with the Future Land Use Map designation of 'Business Park' (PB) by incorporating medical, office, and limited retail and service uses.
2. The proposed PCD zoning provides additional opportunities to provide commercial services to one of the fastest growing areas of the City. This will also reduce vehicle trips on the street network by bringing services closer to where people live.
3. The plan includes landscape buffering to help mitigate any negative impacts

on the residential properties to the east.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

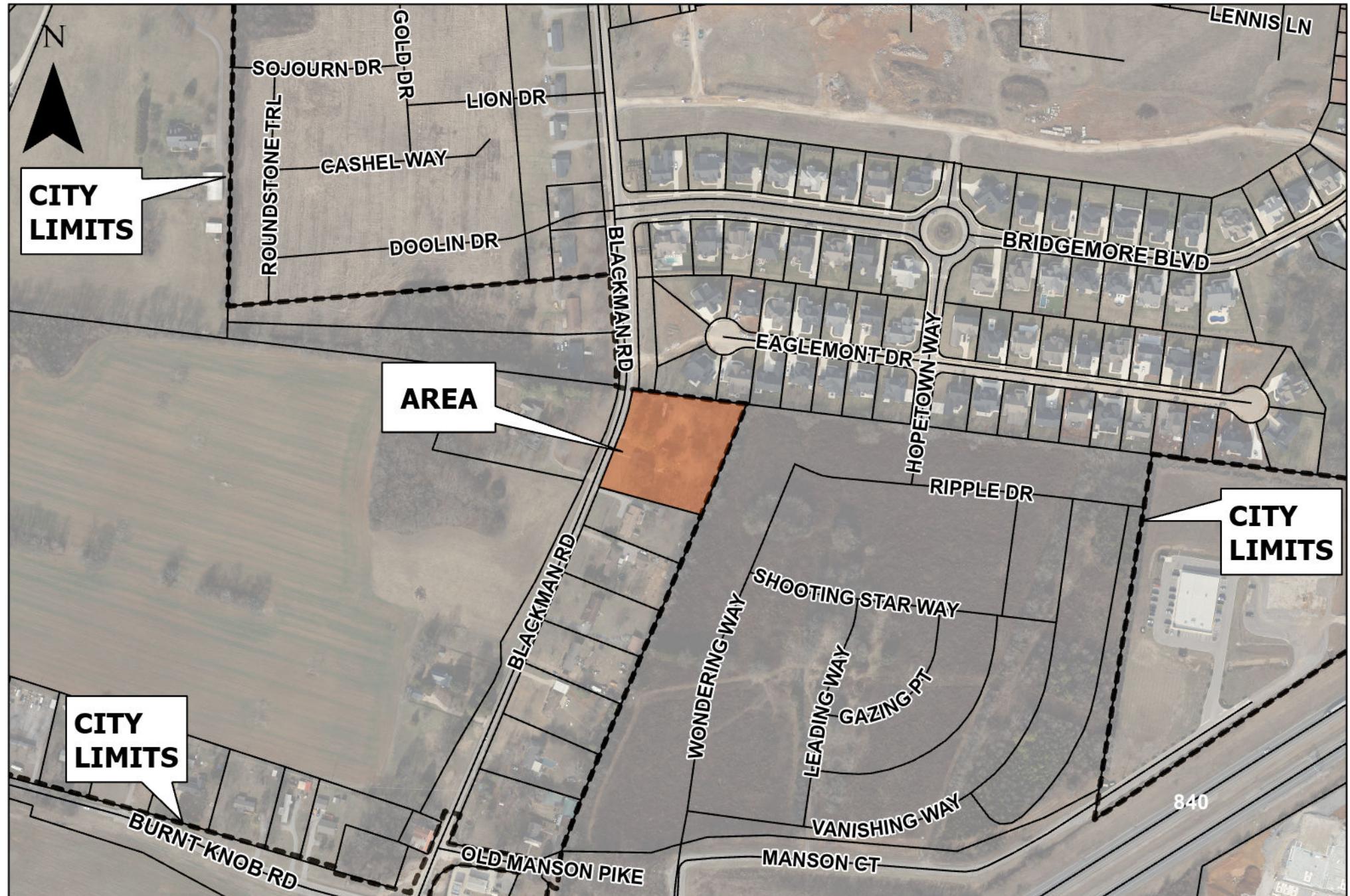
Attachments:

Ortho Map
Non-ortho maps
Pattern Book



Zoning Request for property along Blackman Road
PCD (Blackman Road Commercial PCD) simultaneous with annexation

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Zoning Request for property along Blackman Road
PCD (Blackman Road Commercial PCD) simultaneous with annexation

0 250 500 1,000 1,500 2,000 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

SHELTON PLAZA

Request for Rezoning to
Planned Commercial
Development (PCD).

SUBMITTED SEPTEMBER 23,
2025, FOR PLANNING
COMMISSION PUBLIC
HEARING.

Plans Prepared By:

HS HUDDLESTON - STEELE
ENGINEERING, INC.

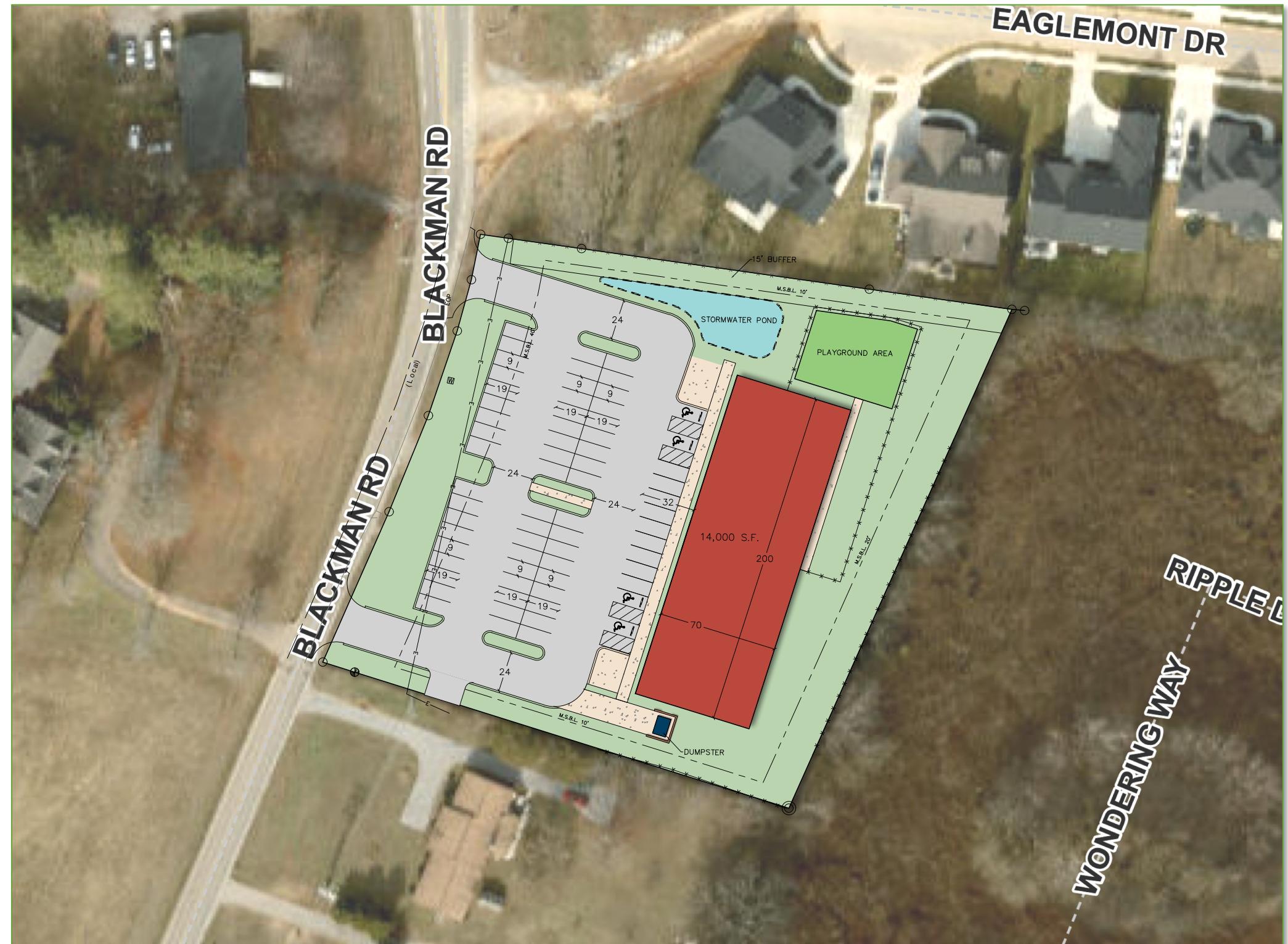


TABLE OF CONTENTS

	PAGE
➤ PROJECT SUMMARY AND DEVELOPMENT TEAM	2
➤ ZONING AND FUTURE LAND USE	3
➤ EXISTING WATER AND SEWER	4
➤ ROADWAY MAP	5
➤ SOILS AND TOPOGRAPHY	6
➤ STORMWATER AND EASEMENT	7
➤ AERIAL MAP	8
➤ EXISTING CONDITION PHOTOS	9-11
➤ SITE PLAN	12
➤ ARCHITECTURAL PLAN	13
➤ CONCEPTUAL LANDSCAPE PLAN	14
➤ DEVELOPMENT STANDARDS	15-16
➤ TRAFFIC STUDY	17

PROJECT SUMMARY

Shelton Plaza is a proposed 2.06-acre commercial center located in the Blackman Community. The developer, Ritesh Patel, desires to build a 14,000-square-foot masonry building that will provide a location for needed neighborhood services in an area that is currently underserved. He is proud to be a lifelong resident of Murfreesboro, TN. He is a graduate of Riverdale High School and the University of Tennessee, Knoxville. Since 2017, he has been actively involved in the real estate management and development industry. His family has been rooted in the hospitality industry for over 30 years, including more than two decades of business experience here in Murfreesboro. Together, he has successfully managed and developed a variety of properties across the Southeast and Northern regions of the United States. His portfolio includes affiliations with major franchises such as Hilton, Marriott, IHG, La Quinta, and Best Western, in addition to various retail shopping centers. He has experience in commercial development, including hotel construction, retail shopping centers, and residential properties. Ritesh is passionate about contributing to the continued growth and success of Murfreesboro through thoughtful and strategic property development that enhances the community and supports local economic growth. The subject property, located at 2704 Blackman Road, presents a great opportunity for an attractive commercial center that is well-suited to blend into the surrounding area's fabric.

SITE LOCATION



GENERAL SITE INFORMATION

ADDRESS	2704 Blackman Rd, Murfreesboro, TN, 37219				
TAX MAP	078	GROUP	-	PARCEL NUMBER	010.00
R. BOOK	2433	PAGE	3990	LOT SIZE (ACRES)	2.06±
ZONING	RM (County)	REZONE TO	PCD	NO. OF UNITS OR LOTS	1 Unit

DEVELOPMENT TEAM

OWNER/ DEVELOPER

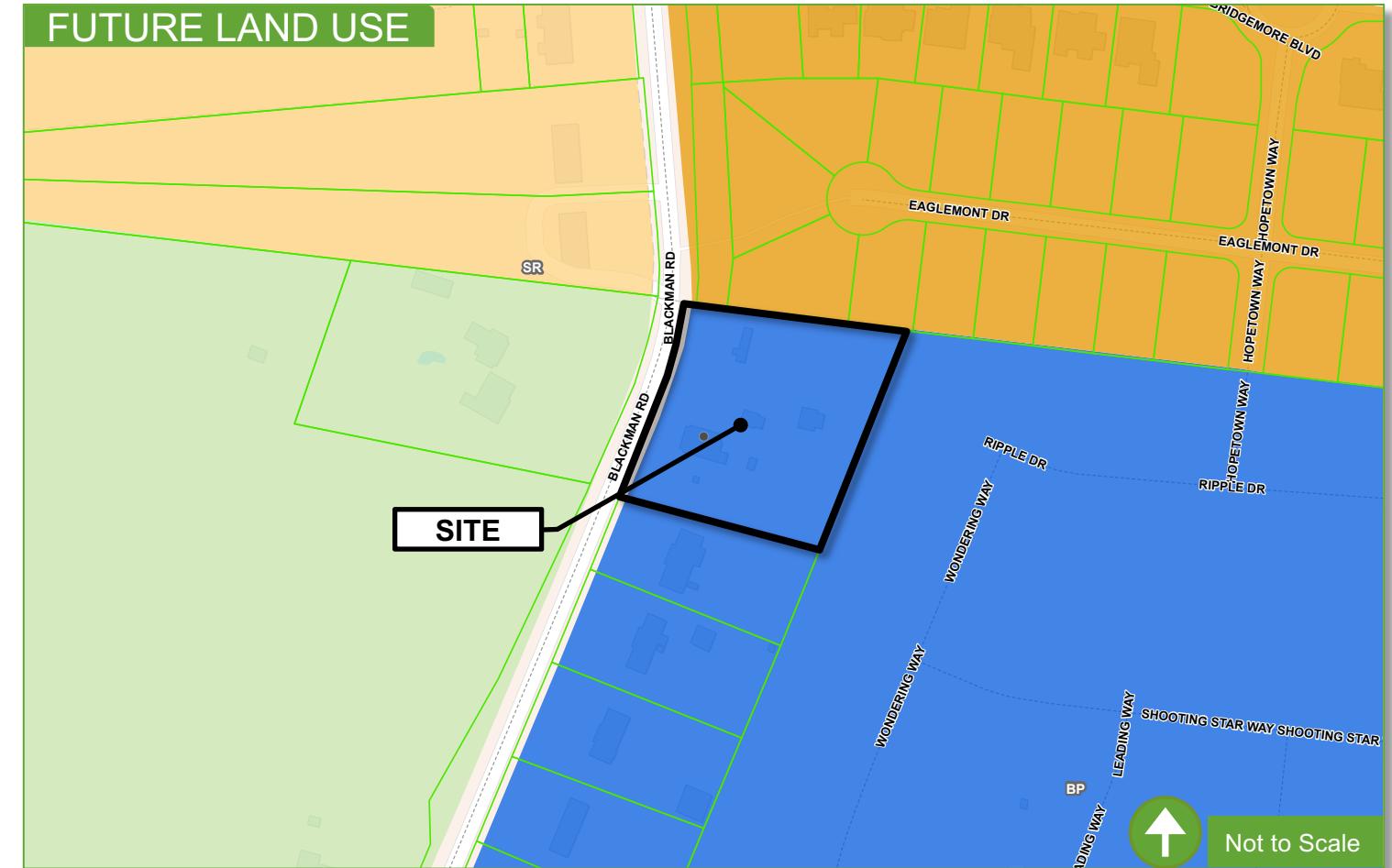
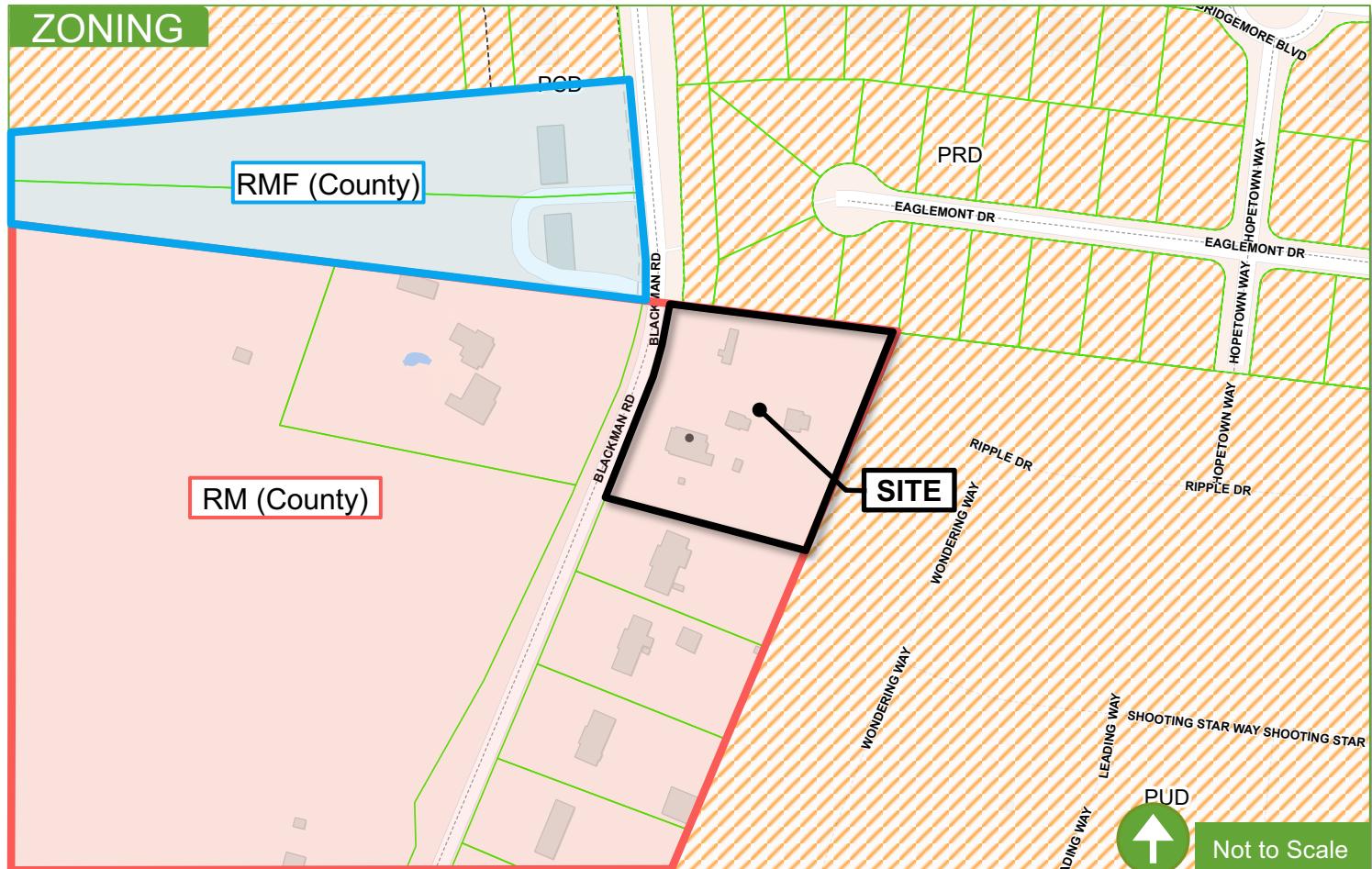
OWNER:	Ritesh Patel		
ADDRESS		PHONE	[REDACTED]
		EMAIL	[REDACTED]

PLANNING

COMPANY	Huddleston-Steele Engineering Inc.	ATTN	Clyde Rountree, RLA
ADDRESS		PHONE	[REDACTED]

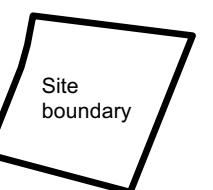
ENGINEERING

COMPANY	Huddleston-Steele Engineering Inc.	ATTN	Bill Huddleston
ADDRESS		PHONE	[REDACTED]



Legend

Residential Multi Family **RMF** Planned Unit Development **PUD** Medium Density Residential **RM**
 Planned Residential Development **PRD** Planned Commercial Development **PCD**



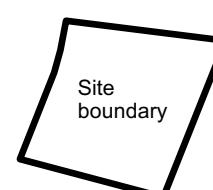
Map Summary

The property is currently zoned Medium Density Residential (RM) in the Rutherford County GIS map and may need to be annexed. The request submitted is for a rezoning to a Planned Commercial Development under amended conditions. The property's eastern boundary is zoned Planned Urban Development, while the properties directly to the South and west are zoned RM (County). The property to the north is zoned PRD (Planned Residential Development).

Legend

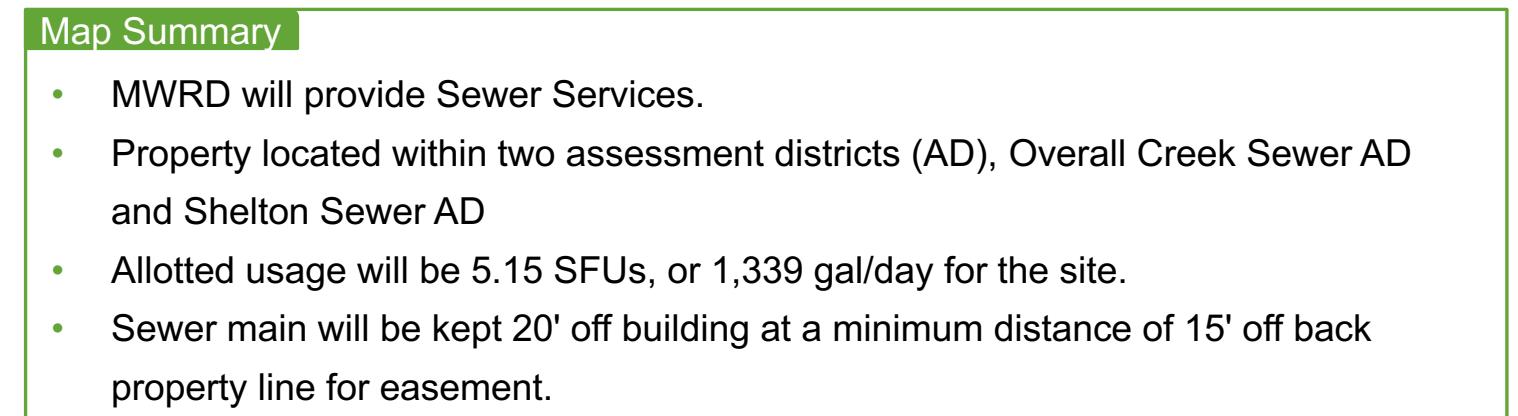
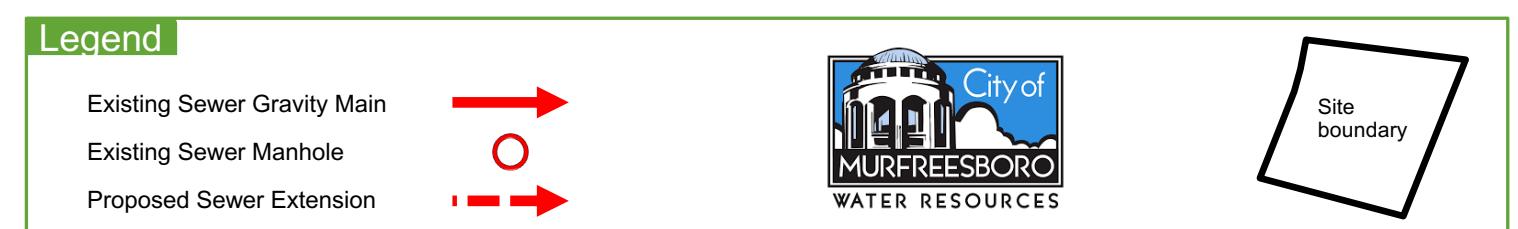
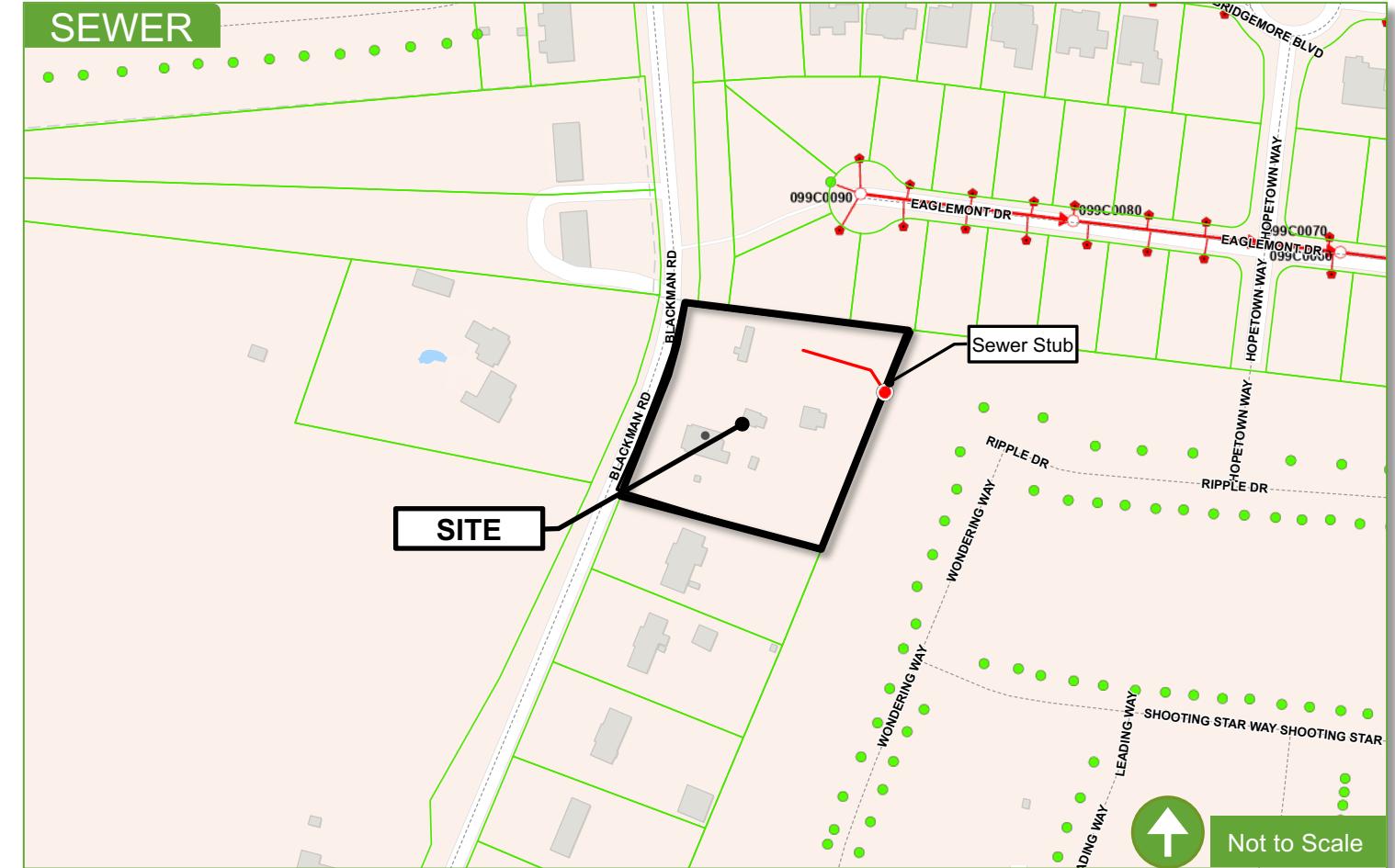
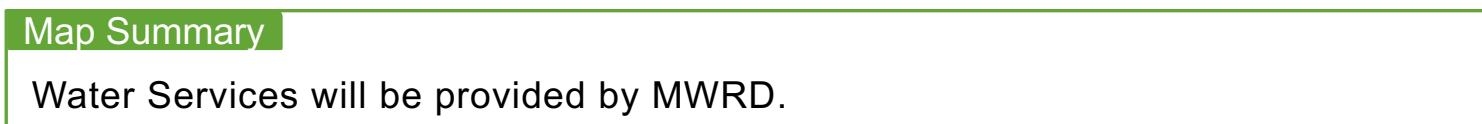
Suburban Residential SR Future Study Area FSA Auto-Urban Residential AUF

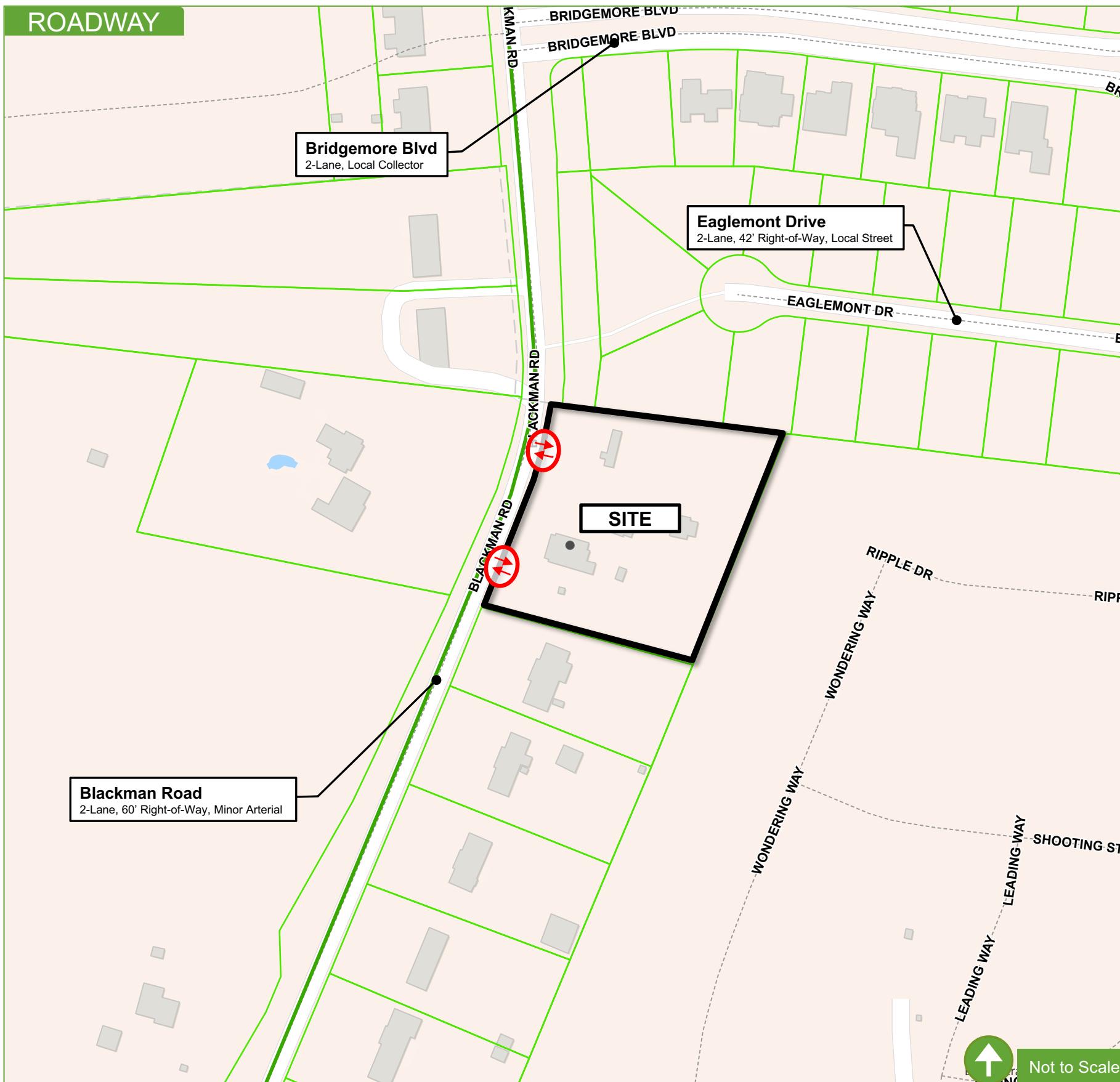
Business Park BP BP



Map Summary

The Murfreesboro Future Land Use plan designates the project site as a Business (Office) Park (BP) Character. These suburban parks feature open spaces and may include offices, medical facilities, and limited commercial uses. A minimum of 20-30% open space is required, with extensive landscaping and special design treatments. The development will focus on indoor operations without outdoor storage. Sites should be clustered to promote growth, with sizes ranging from 50 to 250 acres and preferred square or rectangular shapes. "Shovel-ready" sites with existing infrastructure are essential for efficient development.





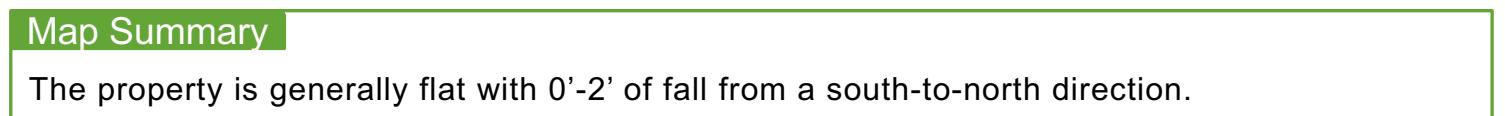
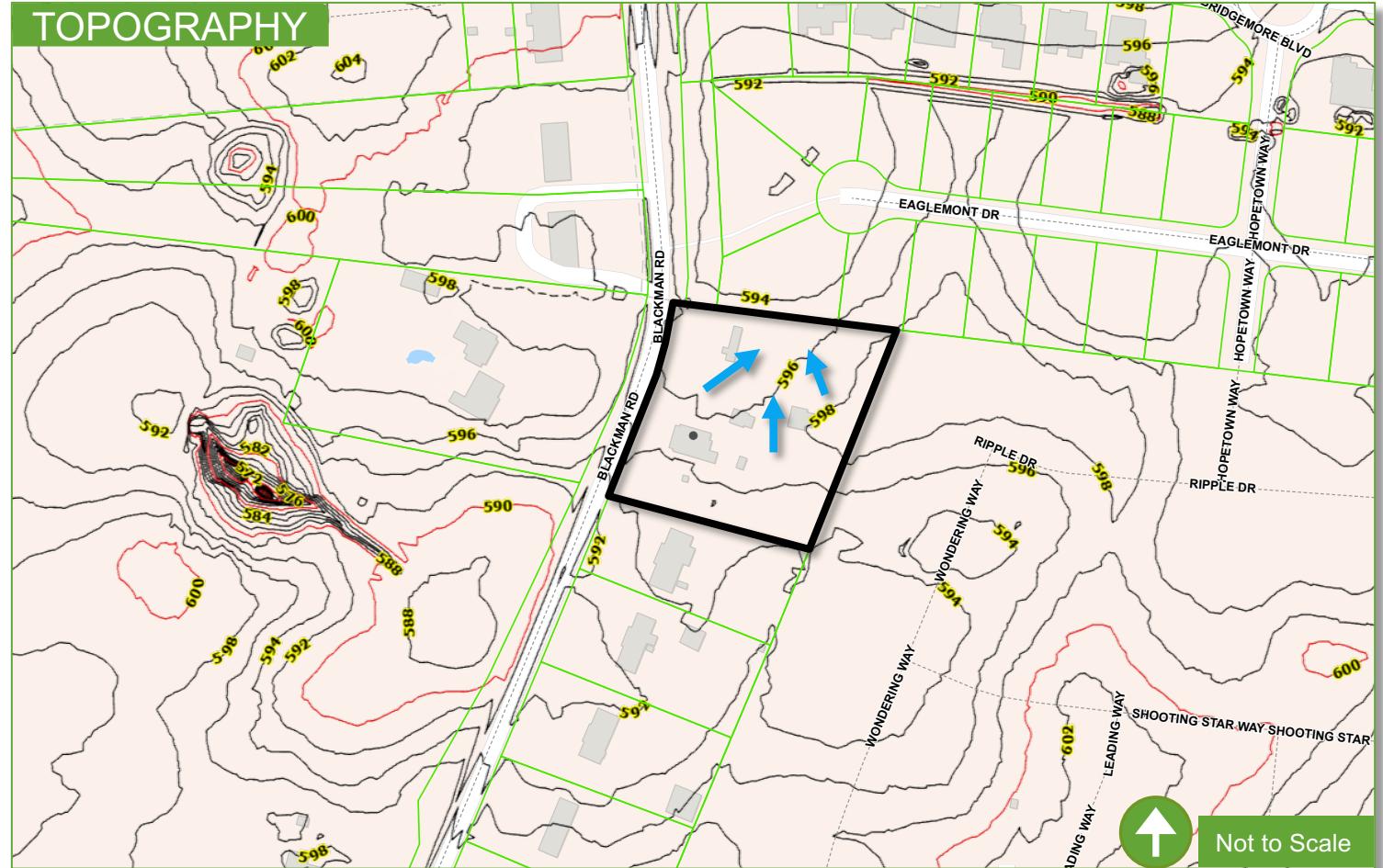
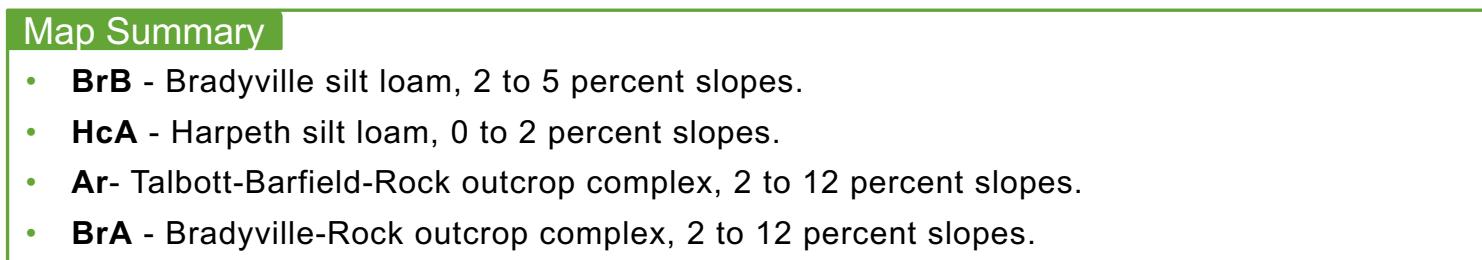
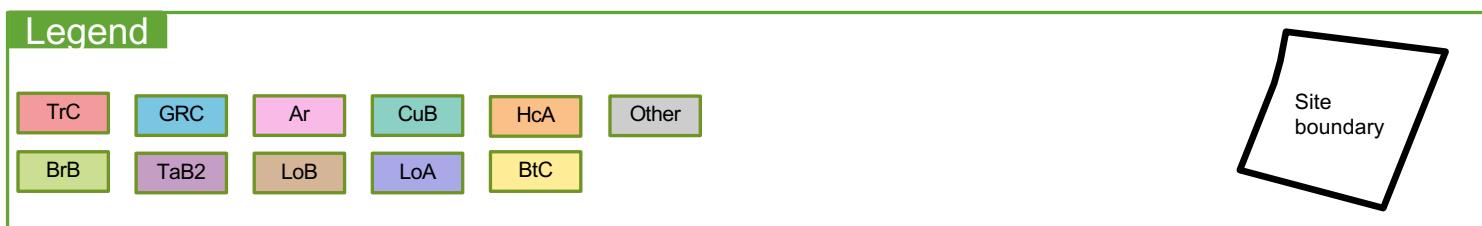
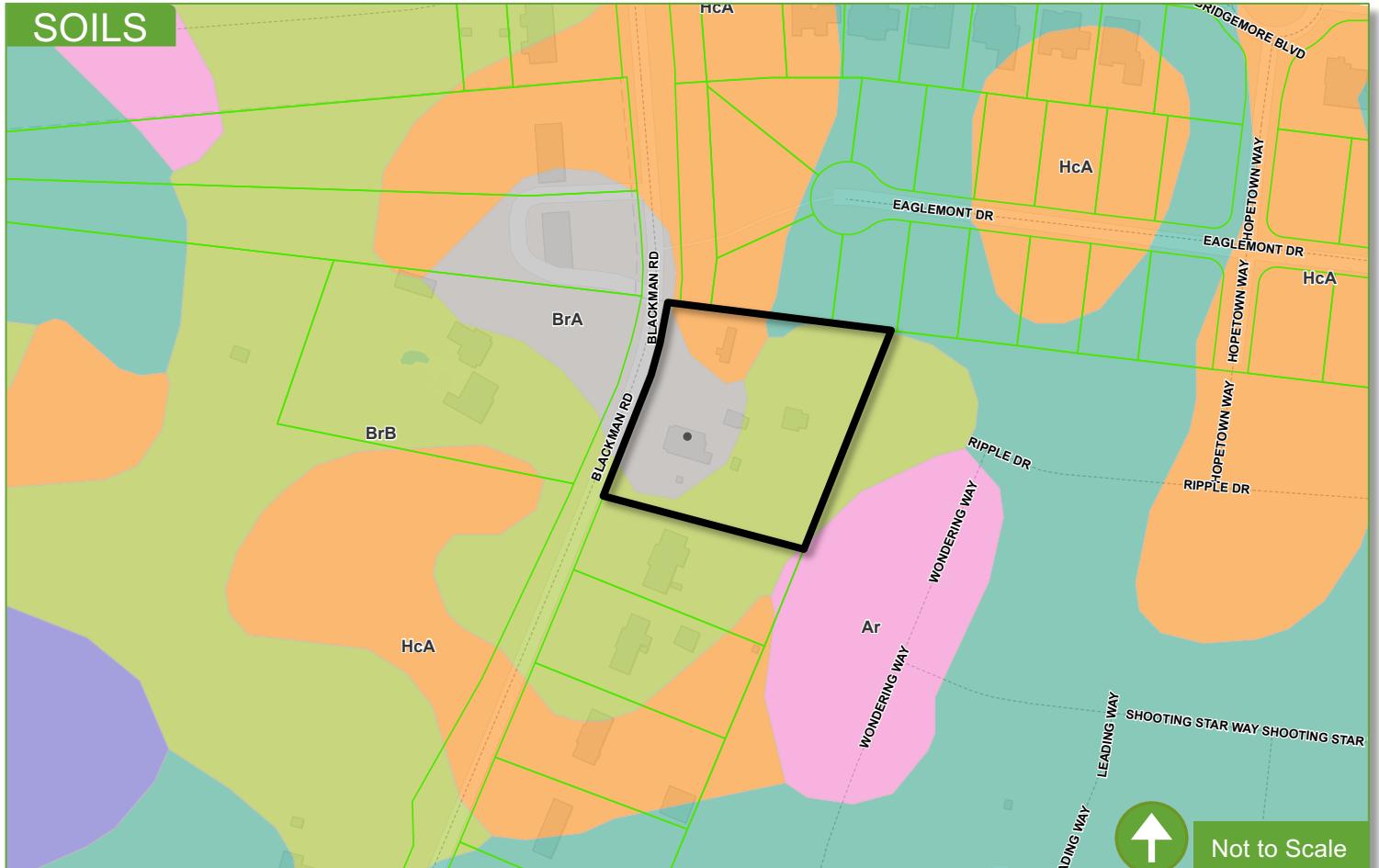
Map Summary

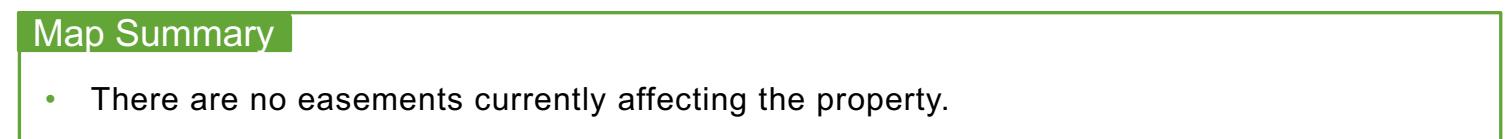
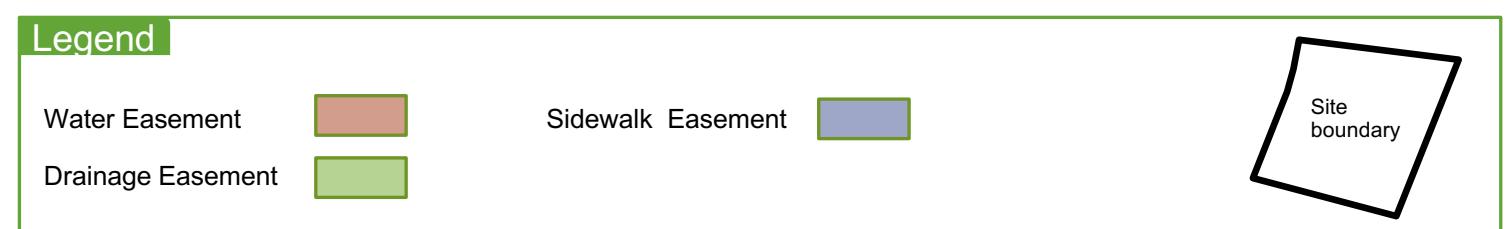
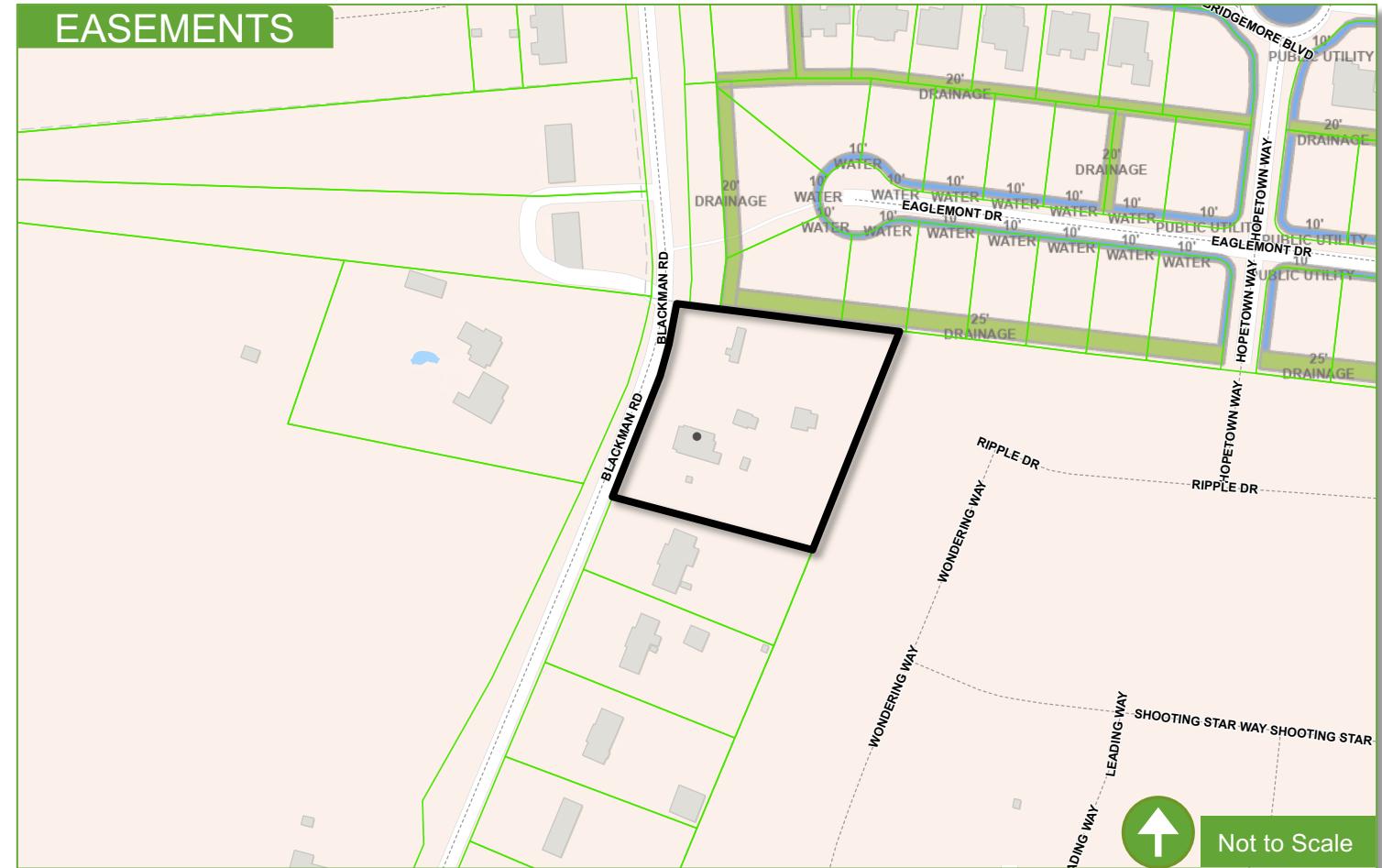
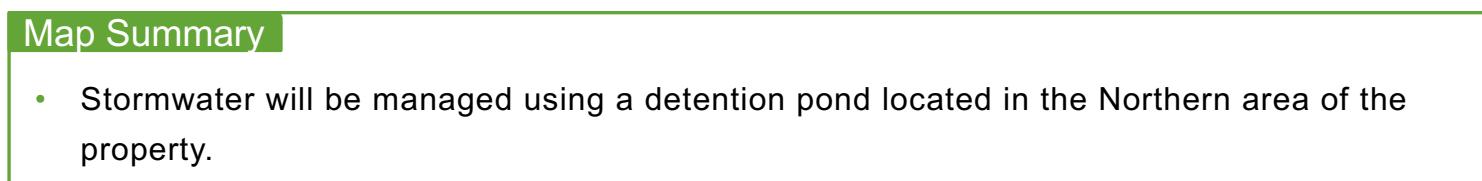
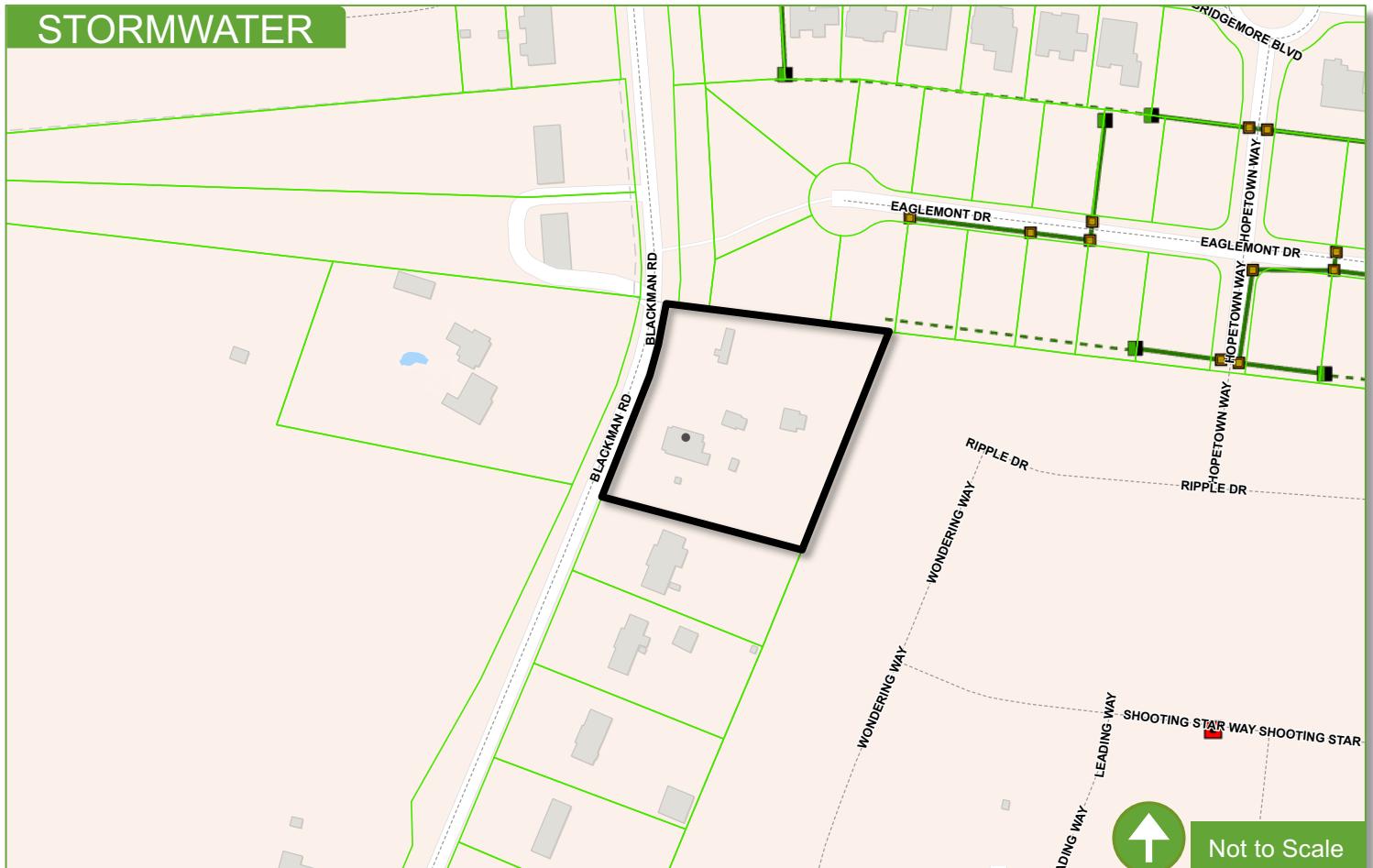
- Primary access to the site will be via Blackman Road, which is a 2-lane minor arterial with a 60' R.O.W.
- Plans are being developed to expand Blackman Road to a 5-lane major arterial.
- The property would not be impacted by the Burnt Knob Road/Blackman Road intersection improvements, as confirmed in the Trip Generation Memorandum previously provided.
- The developer is aware that additional right-of-way may be required due to future road expansion and commits to making all necessary accommodations.
- The developer is to provide a cross-access easement to the property located south of the subject property.

Legend

Community Collector		Residential Collector		Access Point	
Major Arterial		Local Collector			
Minor Arterial					

Site boundary



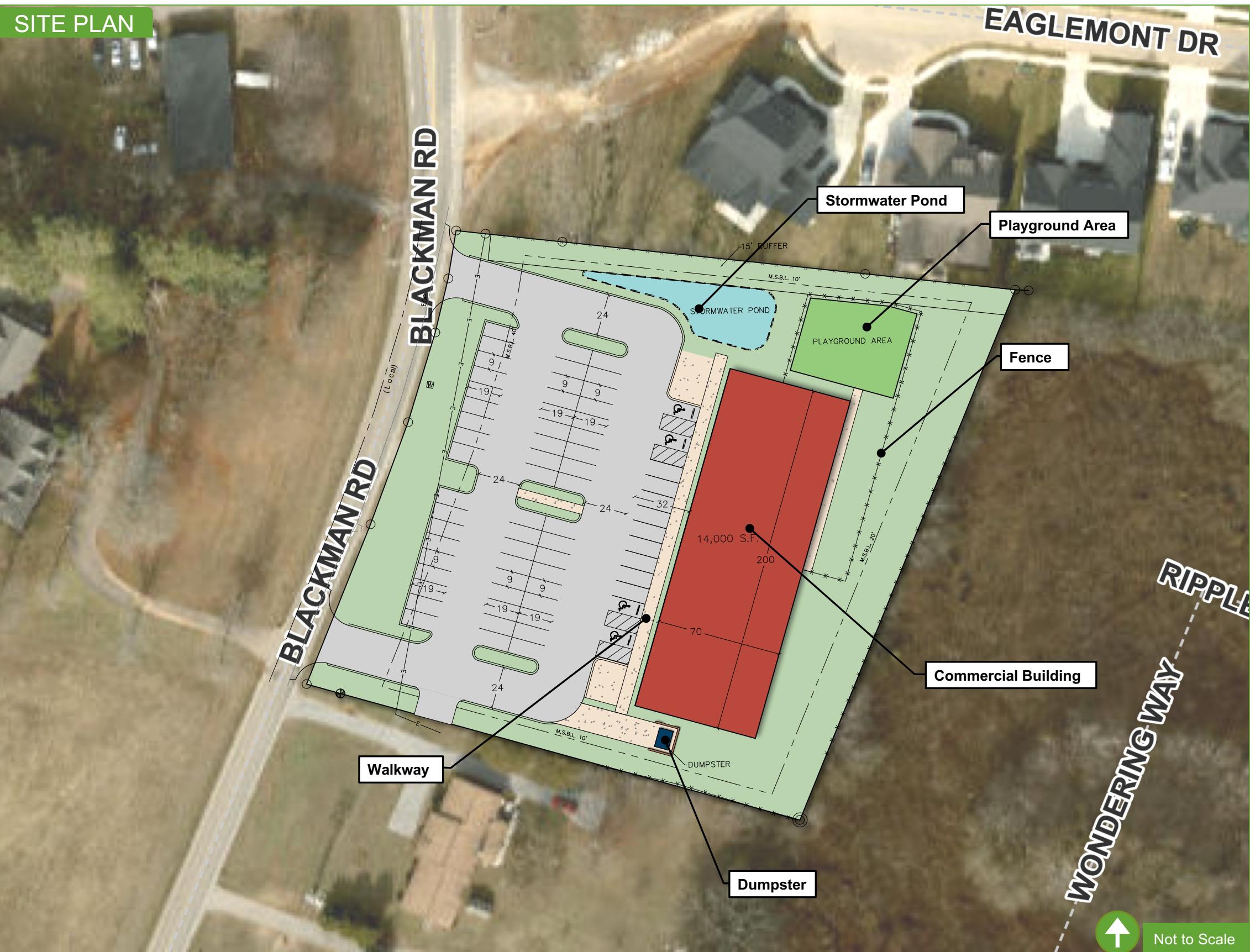


AERIAL**Map Summary**

The subject property is located north of Interstate 840 and north of the Blackman road improvements. Located north of the Shelton Square subdivision. The property to the east is a single-family home on large acreage. To the south is a single-family home on .70 acres. To the East is the Shelton Grove PUD.





SITE PLAN**SITE DATA**

Total SF	89,733 +/- sf
Total Acreage	2.06± acres
Building SF	14,000 sf
PARKING	
Total Parking	63 spaces
PARKING RATIO	
Parking Ratio	1 per 222 sf
SETBACK	
Front	42 ft
Side	10 ft
Rear	20 ft

Parking Summary

A developer plans to build a 14,000-square-foot, single-story commercial building. The project, developed in one phase, will provide 63 parking spaces. The space is designed for two tenants. Cross access will be established to the southern property, and additional right-of-way will be set aside for future Blackman Road expansion.

Not to Scale

Building Front Elevation

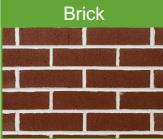


Developmental Standards

- The structure will have a combination of brick and stone.
- Telecommunication equipment will be located at the rear of the building.
- AC units will be located at the rear of the building.
- A private hauler will provide solid waste disposal service.
- A monument signage is currently being proposed for development.
- All sides of the buildings must be within 150' reach for the Fire Dept.

Building Elevation Materials

Front Elevation:	Brick & Stone
Side Elevations:	Brick & Stone
Rear Elevations:	Brick & Stone
Alternate Materials:	Enhanced trim Package (metal)



*Different colors, cuts and patterns will be allowed

OPEN SPACE PLAN



Map Summary

- There will be a fenced-in playground area for childcare purposes.
- The North and east sides of the property will have a Type "C" buffer. The south side will receive a Type "A" buffer when the parking is constructed, with screening landscaping.

OPEN SPACE REQUIREMENTS	
Overall Acreage	2.06 +/- AC
Common Open Space Required	0.31 +/- AC (15% of gross acreage)
Common Open Space Provided	1.74 +/- AC (85% of gross acreage)
Usable Open Space Required	0.62 +/- AC (30% of gross acreage)
Usable Open Space Provided	0.79 +/- AC.

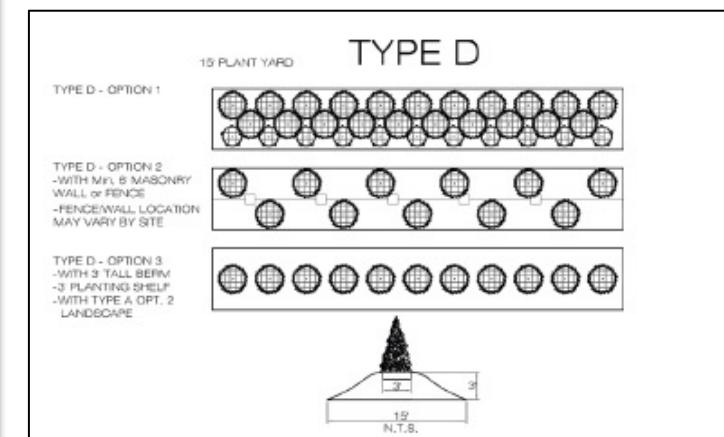
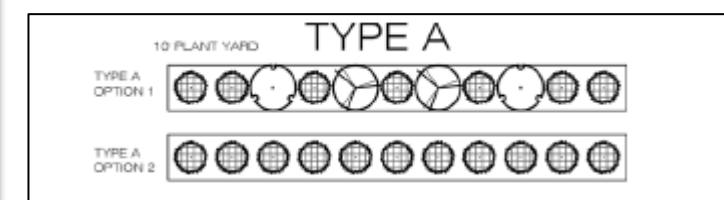
CONCEPTUAL LANDSCAPE



Map Summary

- The developer will provide landscape buffers between the subject property and existing homes on the north, east, and southern property lines.
 - Layered landscaping with evenly spaced trees will be provided to screen the parking lot from Blackman Road.
 - Landscaping will screen the property from Blackman Road. Foundation planting will be provided.
 - A recorded Hold Harmless agreement will be required for the playground equipment inside the sewer easement

Buffer Tree Example



The logo for Huddleston-Steele Engineering, Inc. It features a stylized 'HS' monogram in a bold, blocky font. To the right of the monogram, the company name 'HUDDLESTON-STEELE' is written in a bold, sans-serif font. Below that, 'ENGINEERING, INC.' is written in a slightly smaller, bold, sans-serif font. The entire logo is enclosed in a thin black rectangular border.

LAND USE PARAMETERS AND BUILDING SETBACKS			
ZONING (COMPARABLE VS PROPOSED)	COMPARABLE (CF)	PROPOSED	DIFFERENCE
MINIMUM EXTERNAL SETBACK REQUIREMENTS			
MINIMUM FRONT SETBACK (FT.)	42	42	-
MINIMUM SIDE SETBACK (FT.)	10	10	-
MINIMUM REAR SETBACK (FT.)	20	20	-
MAX HEIGHT (FT.)	45	45	-

Setback Information

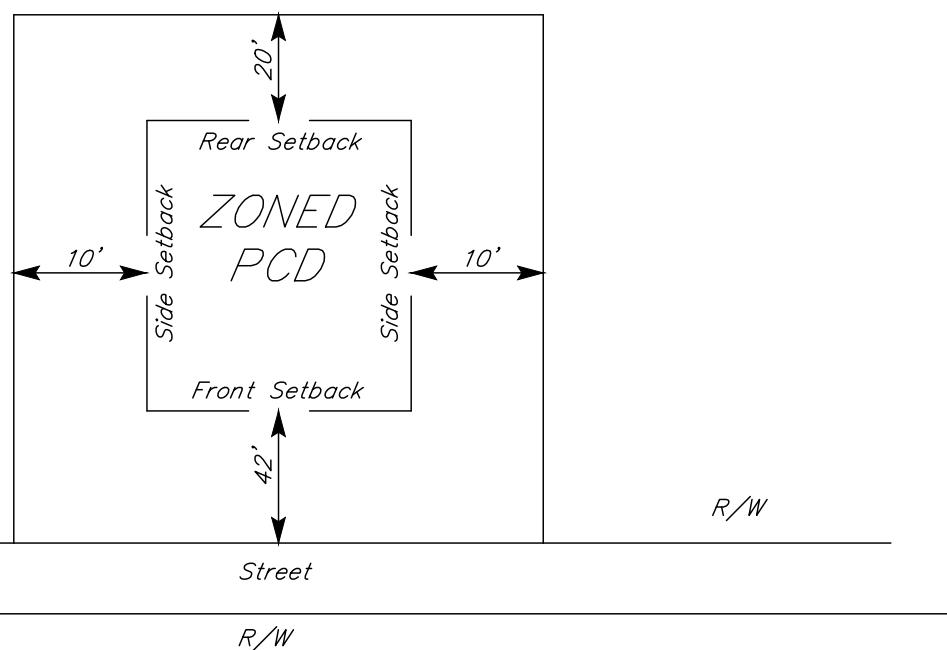
ZONING: PCD

CF = Professional Office/ Childcare

FRONT SETBACK: 42'

SIDE SETBACK: 10'

REAR SETBACK: 20'



TYPICAL BUILDING SETBACK DETAIL

N.T.S.

PROPOSED ALLOWABLE USES
COMMERCIAL
Amusements, Commercial Indoor
Animal Grooming Facility
Antique Mall
Antique Shop <3,000 sq. ft.
Art or Photo Studio or Gallery
Bakery, Retail
Bank, Branch Office
Barber or Beauty Shop
Beer, Packaged
Book or Card Shop
Business School
Business and Communication Service
Catering Establishment
Clothing Store
Commercial Center
Convenience Sales and Service, maximum 5,000 sq. ft. floor area
Delicatessen
Department or Discount Store
Dry Cleaning
Dry Cleaning Pick-Up Station
Financial Service
Fitness/ Health Club Facility < 5,000 SF
Fitness studio/ personal instruction ≤5,000 SF
Flower or Plant Store
Ice Kiosk, Automated
Interior Decorator
Janitorial Service
Karate, Instruction
Keys, Locksmith
Laboratories, Medical
Laboratories, Testing
Laundries, Self-Service
Movie Theater
Music or Dancing Academy
Offices
Optical Dispensaries
Personal Service Establishment
Pet Funeral Home
Pet Shops
Pharmacies

PROPOSED ALLOWABLE USES
COMMERCIAL
Restaurant and Carry-Out Restaurant
Restaurant, Specialty
Restaurant, Specialty -Limited
Retail Shop, other than enumerated elsewhere
Specialty Shop
Veterinary Office
Veterinary Clinic
Video Rental
INSTITUTIONS
Adult Day Care Center
Day-Care Center
Museum
Park
Philanthropic Institution
Public Building ¹³
Recreation Field ¹³
Senior Citizens Center
TRANSPORTATION AND PUBLIC UTILITIES
Post Office or Postal Facility

Prohibited Uses - Commercial

- All Drive-Throughs
- Gasoline and Fuel Sales
- Retail Shop: Tobacco, Vape, Dispensary
- Tattoo Parlor
- Liquor Store
- School, Public or Private, Grades K-12

City of Murfreesboro General Applicability Section 13b for Planned Development

1. Identification of existing utilities, easement, roadways, rail lines and public right-of-way crossings and adjacent to the subject property; [Shown in pattern book on pages 3-8](#).
2. A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; [Shown in pattern book on pages 9-10](#).
3. A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structure on-site and within two hundred feet of the subject property and the identification of the use thereof; [Shown in pattern book on Page9](#).
4. A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; [Shown in pattern book on Page 11](#).
5. A tabulation of the maximum number of dwelling units proposed including the number of units with two or less bedrooms and the number of units with more than two bedrooms; [Not Applicable in this situation](#).
6. A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (floor area ratio), the L.S.R. (livability space ratio), and the O.S.R. (open space ratio); [Not applicable in this situation](#).
7. A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article; [Shown in pattern book pages](#).
8. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; (cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage; and, (dd) a breakdown by phase for subsections [5] and [6] above; [Development will be constructed in single phase](#).
9. Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted; [Not applicable in this situation](#).
10. A statement setting forth in detail either (1) the exceptions which are required from the zoning and Subdivision Regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed;
 - **EXCEPTION 1:**
11. The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article; [The project is not within any overlays](#).
12. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time; [Not applicable in this situation](#).
13. The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated; [Shown in pattern book on page 2](#).
14. Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. [Shown in pattern book on pages](#).
15. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign; [Shown in pattern book on page](#).

TRIP GENERATION MEMORANDUM

The trip generation potential for the proposed development was determined by utilizing trip generation equations in the Institute of Transportation Engineers' Trip Generation – 10th Edition (2017). Table 1 shows the project uses and trip generation calculations developed for these analyses.

Table 1
Trip Generation Equations
Commercial PCD
2704 Blackman Road
Murfreesboro, Tennessee

Use	Magnitude (X)	Daily Trips (T)	AM Peak Hour Trips (T)	PM Peak Hour Trips (T)
Medical – Dental Office Building	X = 4 (4,000 SF)	T = 38.42 (X)-87.62 T = 66 50% Enter/50% Exit 33 Enter/33 Exit	Ln (T)=0.89 Ln (X)+1.31 T = 13 78% Enter/22% Exit 10 Enter/3 Exit	T = 3.39(X)+2.02 T = 16 28% Enter/72% Exit 5 Enter/11 Exit
Day Care Center	X = 10 (10,000 SF)	T = 47.62 (X) T = 475 50% Enter/50% Exit 237 Enter/238 Exit	T = 11.00 (X) T = 110 53% Enter/47% Exit 58 Enter/52 Exit	T = 11.12 (X) T = 111 47% Enter/53% Exit 52 Enter/59 Exit
TOTAL		T = 541 270 Enter/271 Exit	T = 123 68 Enter/55 Exit	T = 127 57 Enter/70 Exit

The site layout for this project has been designed to allow for right-of-way dedication necessary for Blackman Road. The developer will provide normal fees in lieu of construction and/or improvements that are customary when developing along a substandard road.

It is worth noting that this property is north of the City's Burnt Knob Road/Manson Pike at Blackman Road Intersection Improvements.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS
OCTOBER 1, 2025
PROJECT PLANNER: HOLLY SMYTH**

5.c. Zoning application [2025-418] for approximately 0.29 acres located along East Burton Street and North Spring Street to be rezoned from RM-12 & CCO to OG-R & CCO, Brad Chambers applicant.

The subject area is a 0.29-acre parcel identified as 113, 115, and 117 East Burton Street (also known as Tax Map 091K, Group F, Parcel 014.00). The existing parcel is currently zoned RM-12 (Residential Multi-Family District) and CCO (City Core Overlay District). The subject parcel has been vacant since 2019. A site plan for this property was approved several years ago for a new 3-story, three-unit townhome development. Under the current RM-12 zoning, the only commercial uses could be certain limited home-based businesses. The owner would like to have the potential ability to use the ground floor area for other commercial uses that would be allowed within the OG-R (General Office – Residential District) zone. Because the site is located within 750' of a public parking structure within the CCO, a 75% parking reduction is already allowed by right for commercial uses.

The study area is bordered by RM-12-zoned properties to the north and west, OG-R on the south side of East Burton Street, and RS-8 (Single-Family Residential District) and RM-12 along the east side of North Spring Street. The actual uses of these surrounding properties are mostly single-family dwellings that have been divided into multiple dwelling units.

Future Land Use Map

According to the *Murfreesboro 2035 Comprehensive Plan Future Land Use Map* May 2023 update, the “North Highland and Historic Bottoms Area Plans are located within the City Core Overlay District and establish appropriate future land use patterns within the downtown area and shall be utilized to shape land use policies and proposed development within the City Core Overlay areas”. As such, the GIS land use map does not give any land use designations to these areas and instead incorporates the separate “Character Area” layers from those respective sub-area plans to be used to guide future land use decisions for the area.

The below future land use map excerpt shows the 2023 future land uses, the North Highland character areas, and the Main Street Revitalization Plan layers turned on to better understand the long-term vision for the area. This subject site is part of the future expanded downtown area because it is designated as “*Downtown/Central Business District*” within the North Highland Plan. The two applicable pages for this character area have been incorporated into this staff report for your reference. Envisioned uses include retail, restaurant, entertainment, office, residential, institutional, and civic uses in 2- to 6-story buildings in similar formats to the existing downtown core. There are no suggested zoning districts within the North Highland plan; however, most of the existing properties within this particular “character area” are zoned CBD, CH (Highway Commercial District), OG-R, or planned development with a smaller spattering of RM-12, RS-8, and H-I zones.

Based on the above listed policies, staff recommended the owner seek a zone change to OG-R to be consistent with the above discussed policies and to allow the mix of uses he desired.

Future Land Use Map Excerpt



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons.

- 1) The OG-R zoning is consistent with the North Highland Avenue Planning Study's "Downtown/ Central Business District" character designation.
- 2) The requested zoning is consistent with the adjacent OG-R zoning in the area.
- 3) The OG-R designation will better accommodate a vertical mix of uses, consistent with an urban setting.

Action Needed

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation for the Murfreesboro City Council.

Attachments:

Excerpts from the North Highland Avenue Planning Study

Ortho Zone Map

No-ortho Zone Map



Downtown / Central Business District Map

Downtown / Central Business Overview:

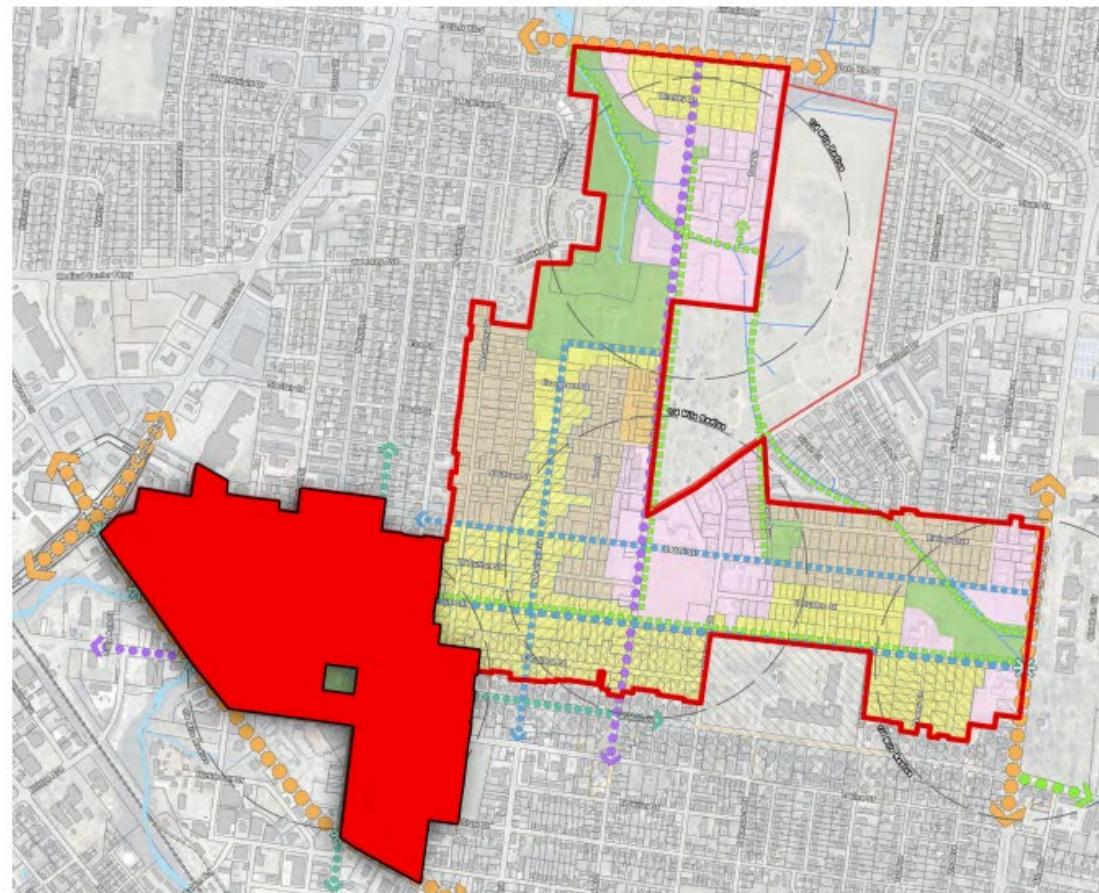
The downtown area in Murfreesboro has its focus on the square and the historic courthouse surrounded by mostly two-story buildings. The area has a historic feeling and a personal scale. However, the size of the existing downtown area is small in scale relative to the population of Murfreesboro. The ground floor use around the square is predominantly office space.

It would be beneficial to expand the area classified as downtown on current zoning maps. This includes expanding the downtown "feeling" to the northwest of the square and across N.W. Broad Street. It would also be good to capture more opportunities for a mixture of retail and restaurant establishments and residential housing opportunities in the expanded downtown area. Capturing residential development is important in providing a spectrum of housing opportunities that respond to the age and economic needs of Murfreesboro residents. Residential development also helps to drive the success of downtown retail and restaurant businesses.

The expanded downtown district needs to become a stronger destination point for visitors and tourists. The district could benefit from a stronger connection to MTSU and should seek to capture the current market demand for urban living and urban amenities.

As highlighted in the Murfreesboro 2035 Comprehensive Plan, growth should "Encourage infill development and redevelopment, which maximizes existing infrastructure, maintains the existing character of neighborhoods, and preserves a compact community form." The infill and redevelopment opportunities in the expanded downtown district serve to meet this goal.

Specific recommendations that have been discussed for achieving some of the redevelopment goals for the Downtown Central Business District include a possible tax increment financing district, flexibility in code requirements to help reinvestment in older buildings around the square (where possible) and creation of an Art and Entertainment district.





Downtown / Central Business District Images



Streetscape:

- Wide Sidewalks (6-12 ft. min.) along public streets
- Street Trees (Appropriate Compact Urban Species)
- Formal On-Street Parking outdoor cafes, plazas, pocket parks, and street amenities encouraged
- Pedestrian scaled street lighting required

Character Setbacks:

- Mixed-use and commercial buildings are placed close to sidewalk
- Residential buildings have shallow setbacks
- Institutional buildings have setbacks appropriate to purpose
- Structured parking placed close to sidewalk with active uses at street level

Use:

- Retail/Restaurant/Entertainment
- Office
- Residential (Multi-family, Single-family Attached)
- Institutional/Civic
- Structured Parking

Building Design:

- Greater emphasis on building design and materials
- Encourage materials consistent with existing downtown character
- Require a high percentage of door and window area on front facades

Landscaping & Screening:

- Allow for greater amount of impervious surface permitted
- Service areas, garage collection and utility boxes and connections provided at the rear of buildings
- Greater emphasis on hardscape details
- Less emphasis on foundation plantings
- Encourage a high level of detail in public spaces (Plazas, Pocket Parks, Streetscapes)

Height:

- 2 Story encouraged
- 4 stories maximum without residential use
- 6 stories maximum with density bonus for including residential

Parking & Access:

- Parking located behind or below buildings
- Access primarily from secondary streets and/or alleys
- Central parking garages utilized



**Zoning request for property along
East Burton Street and North Spring Street
RM-12 and CCO to OG-R and CCO**

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



RM-12

E BELL ST

Area

RM-12

RM-12

N SPRING ST

E BURTON ST

OG-R

RS-8

OG-R

RS-8

**Zoning request for property along
East Burton Street and North Spring Street
RM-12 and CCO to OG-R and CCO**



Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS - OCTOBER 1, 2025
PROJECT PLANNER: HOLLY SMYTH**

- 5.d. Zoning application [2025-420] for approximately 0.72 acres located along Bridge Avenue to be rezoned from RS-10 to PND and to amend the existing PND zoning (Transit Center PND: #2021-413) for approximately 5.4 acres located along New Salem Highway and Bridge Avenue, WeGo Public Transit applicant.**

The first element of this zoning request pertains to the 0.72-acre parcel identified as 725 Bridge Avenue (also known as Tax Map 102B, Group B, Parcel 020.00), which was previously developed with a church. The existing parcel is now vacant and is zoned RS-10 (Single-Family Residential District). The WeGo transit group has been working with the City Transportation Department for a few years on being allowed to utilize the City's adjacent transit center for their buses during the City's open hours and construct a park and ride parking lot adjacent to the transit center. During the City's construction of the transit facility, in-field adjustments were made during construction to account for tie-ins to this adjacent site. This parcel is proposed to be rezoned from RS-10 to PND (Planning Institutional District).

Because the City's Zoning Ordinance does not allow stand-alone parking lots within the City, staff has recommended that the applicant amend the City's Transit Center PND zoning to include the adjacent Park and Ride facility. This will allow for the zoning to be tailored to the specific institutional use being proposed that is tied to the overall use of the transit center with both properties being able to be separately owned. The City's Transit Center is on approximately 5.4 acres fronting on New Salem Highway, and the PND zoning on this 5.4 acres is proposed to be amended. If approved, the total area zoned as a part of the Transit Center PND would be 6.12 acres.

At this time, the critical pages of the program book discussed below have been updated and may still need minor tweaks. The remainder of the program book pages are being modified with updated text and photo information to include both sites that will be finalized prior to City Council public hearings. Site Plan application #2025-3108 has been submitted for the WeGo site for Planning Commission consideration at their October 15, 2025 meeting contingent upon City Council adoption of the zone change.

Adjacent Zoning and Land Uses

Surrounding zoning is CH (Highway Commercial District) to the east and northeast, H-I (Heavy Industrial District) to the south, CF (Commercial Fringe District) to the east, RM-16 (Multi-Family Residential District) to the east across New Salem Highway, and RS-10 across Bridge Avenue to the north. The surrounding land uses include an HVAC contractor to the east, single-family dwellings to the north along both sides of Bridge Avenue, a church directly to the west, various industrial uses to the south, and the City's public safety training center to the east across New Salem Highway.

Proposed PND

The proposed park and ride development will complement the City of Murfreesboro Public Transit Center which contains the City's passenger transit station, bus shelters, public restrooms, an administrative building, and a bus maintenance building. The passenger transit station is located along the interior of the bus loop, with a central building that was enclosed and open covered seating/waiting area, ticket sales, and restrooms. Canopies are installed along the bus loading/unloading areas to mitigate exposure to the elements. A stub sidewalk was constructed with the City's site to allow for easy tie-in for pedestrians from the anticipated park and ride facility. The park and ride facility will only contain parking areas, landscaping, lighting, security cameras, and sidewalks with no buildings.

The key pages in the program book that focus on the new park and ride facility are the following:

- Page 12 contains the overall conceptual Site & Landscape Plan
- Page 31 regarding pedestrian, vehicular, and bus circulation
- Page 32 regarding landscaping
- Pages 33-34 regarding exceptions, which include
 - Removing interior perimeter planting yard and screening requirements between the two parcels in exchange for larger planting yards along Bridge Avenue
 - Removing the maximum 0.5 footcandles limit at the shared internal property lines.
 - Allowing the open space calculations to be tabulated as one combined area rather than each parcel separately.

Transportation Improvements & Circulation

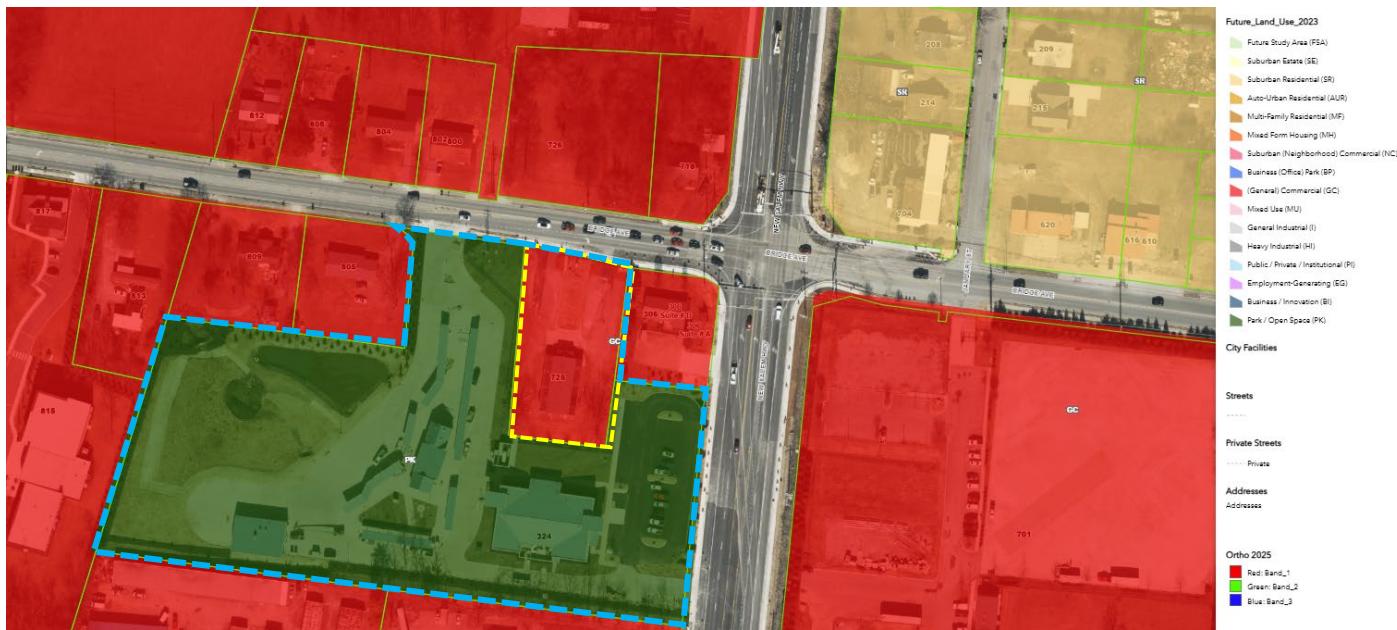
When the WeGo project site was occupied by the church, there were two (2) points of access to Bridge Avenue (designated as a "Commercial Collector" street) with full ingress/egress. With the newest improvements to New Salem Highway by TDOT, (designated as a "Major Arterial" street) only one (1) point of access will likely be allowed due to the new right-turn lane abutting the site.

Bridge Avenue is currently built as a two-lane roadway with a center turn lane, and a new eastbound right-turn lane. The New Salem Highway widening project from a 3-lane roadway to a 5-lane roadway, from Middle Tennessee Boulevard/West Molloy Lane to Highway 96/Old Fort Parkway, was just completed in 2025.

Future Land Use Map

The future land use map contained in the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that the 0.72-acre parcel in question develop with a *General Commercial* character (see excerpt from the future land use map below). This classification is an auto-urban use that has a dominance of buildings and surface parking relative to landscaped or unimproved areas. This character type is most commonly associated with a highway-oriented commercial or business strip. Auto-Urban/General Commercial uses include high-intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Significant portions of development sites devoted to vehicular access drives, circulation routes, surface parking, and loading/delivery areas, making pavement the most prominent visual feature. Buildings are typically set back toward the rear of a site to accommodate expansive parking areas in front, closest to passing traffic.

Future Land Use Map Excerpt



The comprehensive plan calls out CH, GDO, and PCD as existing zoning districts that are compatible with this designation. Floor Area Ratio between 0.35 to 0.50 are anticipated with up to two stories. In Staff's opinion, the proposed rezone of the park and ride side and amendment to the existing Transit Center PND is consistent with the Comprehensive Plan's *General Commercial (GC)* land use character because they are Planned Development zoning, the use benefits the entire community at the cross roads of a major intersection, the park and ride is a complementary use adjacent transit center facility, and both uses are compatible to surrounding neighborhoods GC designation.

Staff recommendation:

Staff is supportive of this rezoning request for the following reasons.

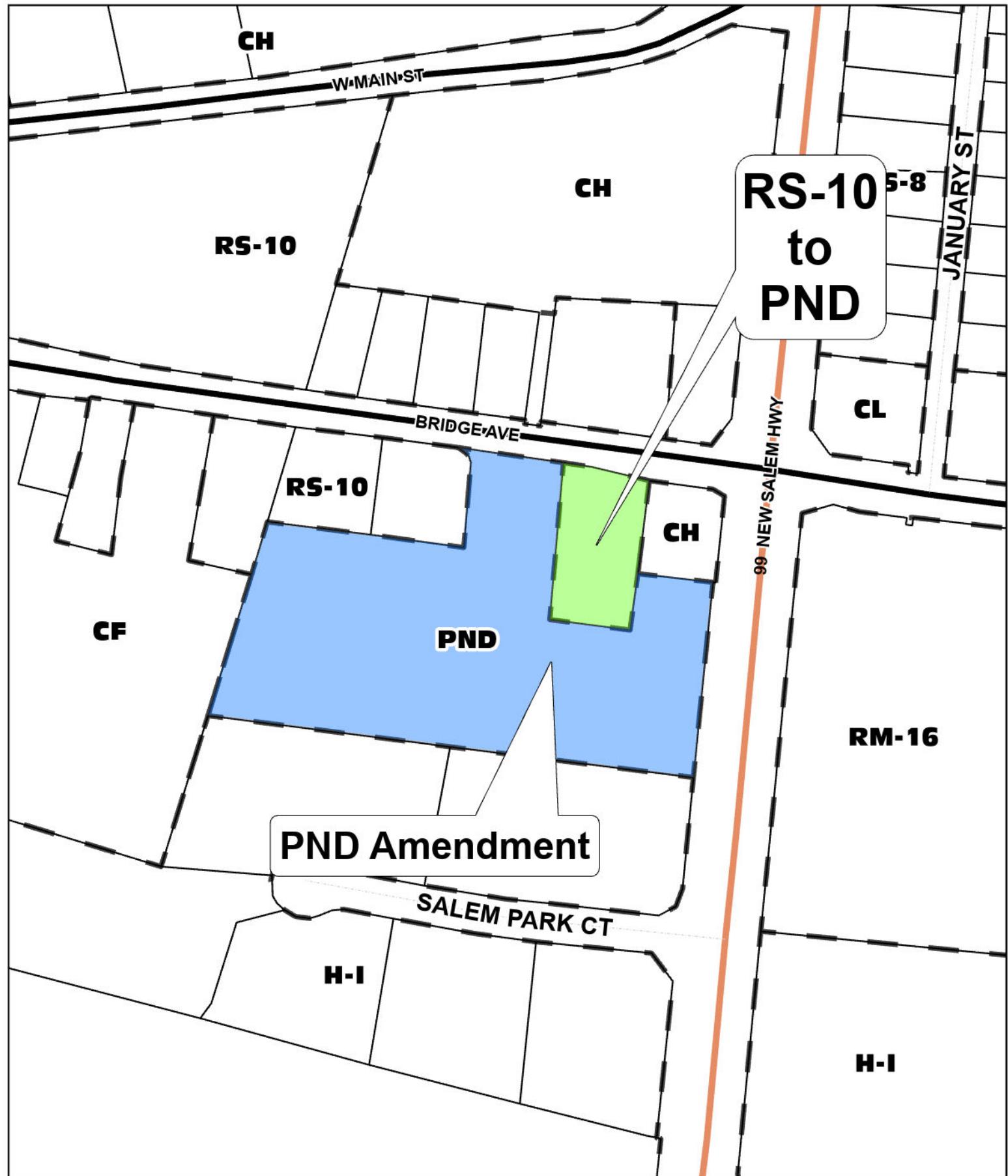
- 1) The PND ties the park and ride use to the adjacent Transit Center, which enhances commuter viability on WeGo transit between Murfreesboro and Nashville, as the WeGo transit service will be utilizing the City's bus hub.
- 2) By including park and ride in the Transit Center PND, the 2 uses are better integrated with each other.
- 3) The PND program book and site layout accounts for the best implementation of Crime Prevention Through Environmental Design (CPTED) policies.
- 4) The proposed use provides a needed service to the community.
- 5) It is compatible with the surrounding land uses.
- 6) It is consistent with the recommendations of the comprehensive plan to be a planned development.

Action Needed

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission should conduct a public hearing and then formulate a recommendation for the Murfreesboro City Council.

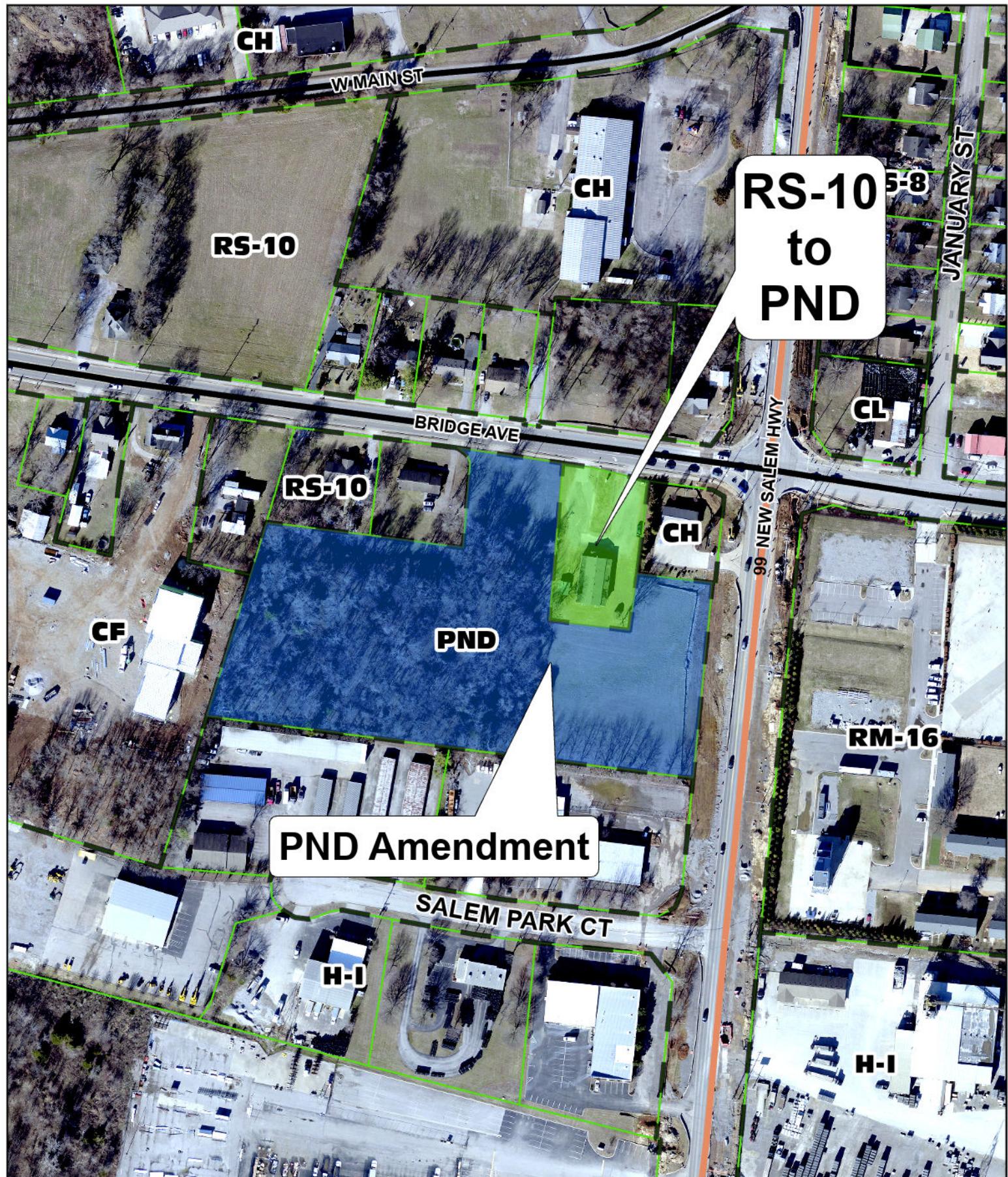
Attachments:

Ortho Zone Map
No-ortho Zone
Updated Program Book



**Zoning request for property along
Bridge Avenue & New Salem Highway
RS-10 to PND**

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Zoning request for property along
Bridge Avenue & New Salem Highway
RS-10 to PND**

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Murfreesboro, TN 37130
www.murfreesborotn.gov



TRANSIT CENTER

REQUEST FOR REZONING TO A PLANNED INSTITUTIONAL DEVELOPMENT (PND)
Murfreesboro, Tennessee

Initial Submittal
May 13, 2021

Resubmittal
June 11, 2021 for June 16, 2021
Planning Commission Workshop Meeting

Resubmittal
July 7, 2021 for July 14, 2021
Planning Commission Public Hearing

Resubmittal #4
August 20, 2021 for the September 2, 2021
City Council Public Hearing

Resubmittal #5
August 24, 2021 for the September 2, 2021
City Council Public Hearing

Amendment - #2025-420 - Submitted
September 22, 2025 for the October 1, 2025
Planning Commission Public Hearing

Amendment - #2025-420 - ReSubmitted
September 25, 2025 for the October 1, 2025
Planning Commission Public Hearing

SEC, Inc.

SEC Project #13122

HDR

 **hedstrom**
LANDSCAPE ARCHITECTURE

SEC, Inc.

Company Name:

Profession: Planning.Engineering.Landscape Architecture

Attn:

[REDACTED]

Company Name:

Profession: Applicant

Attn:

[REDACTED]



TENNESSEE



Company Name:

Profession: Architect,

Attn:

[REDACTED]

[REDACTED]

Company Name:

[REDACTED]

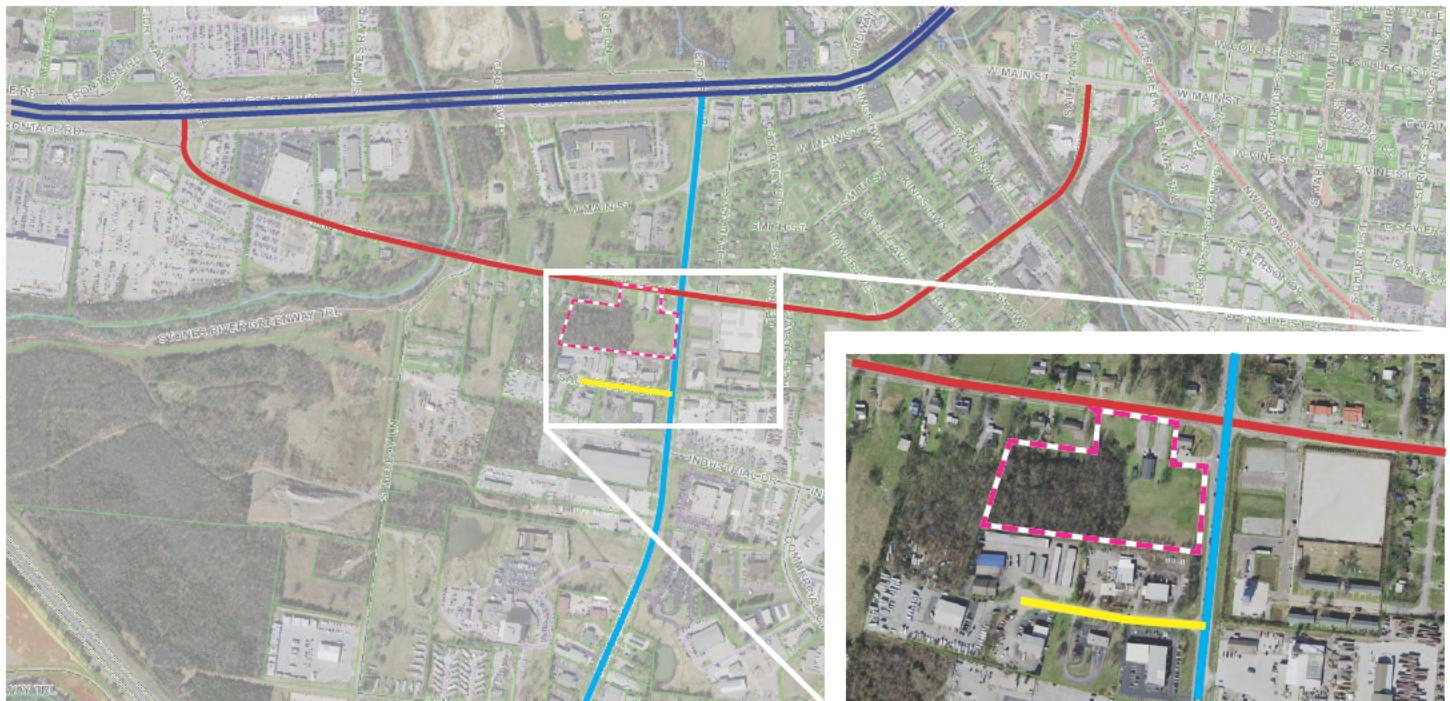
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TABLE OF CONTENTS	03
PROJECT SYNOPSIS.....	04
MAJOR THOROUGHFARE PLAN / GREENWAYS, BLUEWAYS & BIKEWAYS PLAN.....	05
SUBDIVISION MAP.....	06
ZONING MAP	07
UTILITY MAP	08
HYDROLOGY AND TOPOGRAPHY	09
ON-SITE PHOTOS	10
OFF-SITE & ADDITIONAL PHOTOS	11
CONCEPTUAL SITE AND LANDSCAPE PLAN	12
DEVELOPMENT STANDARDS.....	13
ARCHITECTURAL CHARACTERISTICS.....	14-29
INGRESS AND EGRESS	30
CIRCULATION DIAGRAM	31
PLANT MATERIAL SAMPLES.....	32
LANDSCAPE CHARACTERISTICS.....	33
MURFREESBORO ZONING ORDINANCE SECTION 13(D)(2)(B).....	34-35

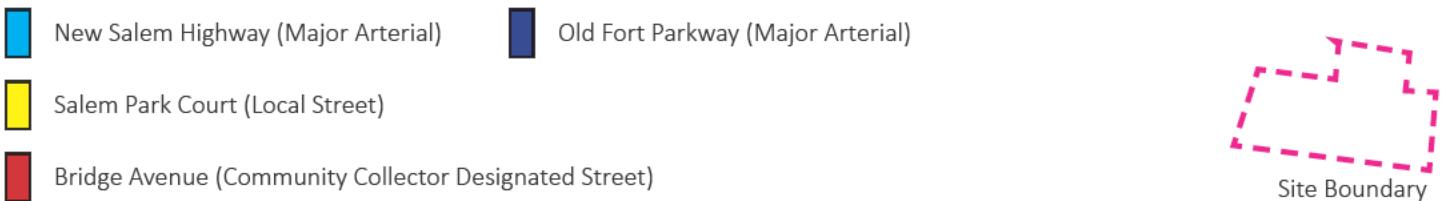
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AERIAL PHOTOGRAPH

Not To Scale 



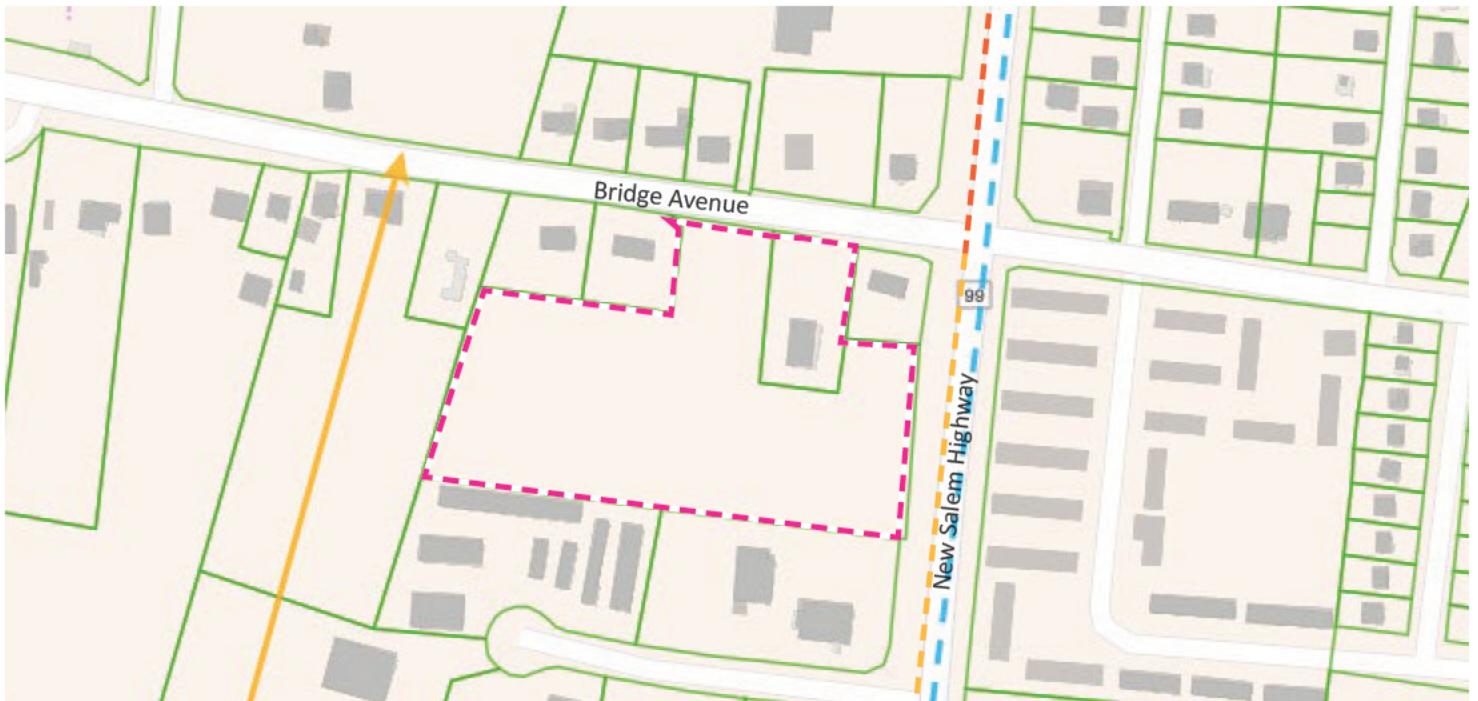
The City of Murfreesboro respectfully requests rezoning of the Donald Sonner Property and the Church of Christ property from Single Family Residential (RS-10) to a Planned Institutional Development (PND). The properties are located near the southwest quadrant of the Bridge Avenue and New Salem Highway intersection. The site is identified as Parcels 21.01 and 20.00 of Tax Map 102B and is deeded for approximately 6.15 acres.

Original Request:

The request for rezoning to PND is to create the City of Murfreesboro Transit Center. The proposed development shall consist of a public transit center, the City of Murfreesboro Transportation Administrative Building, and bus maintenance/washing building. The public transit center, located along the interior of the bus loop, is comprised of a covered seating/waiting area, ticket sales, and restrooms. Canopies shall be installed along the bus loading/unloading areas to mitigate exposure to the elements. Building elevations shall be a mix of brick, metal panels, and stone banding. Administration Building 1, Passenger Transit Station Building 2, and Bus Maintenance Building 3 have 3-foot planting beds along the foundation, except at doorways and walkways so as to not impede the vehicular or pedestrian circulation on the site. The New Salem Highway entrance shall incorporate signage constructed of masonry materials and anchored by landscaping. All open spaces will be maintained by the City of Murfreesboro/Owner.

Amendment #2025-420 Request:

The City of Murfreesboro respectfully requests an amendment to the previously approved Transit Center PND to incorporate the Church of Christ property along Bridge Avenue. The inclusion of this additional land will accommodate parking needs for a dedicated "Park & Ride" area that will be serviced by WeGo, the regional public transportation network providing bus service between Murfreesboro and Nashville.



MAJOR THOROUGHFARE PLAN

Not To Scale 

- New Salem Highway Committed for 5-Lane Roadway
- Molloy Lane Re-alignment (Future) for 3-Lane Roadway
- - - Future Bike Lane (BL-18)
- - - Future Bike Route (BR-16)



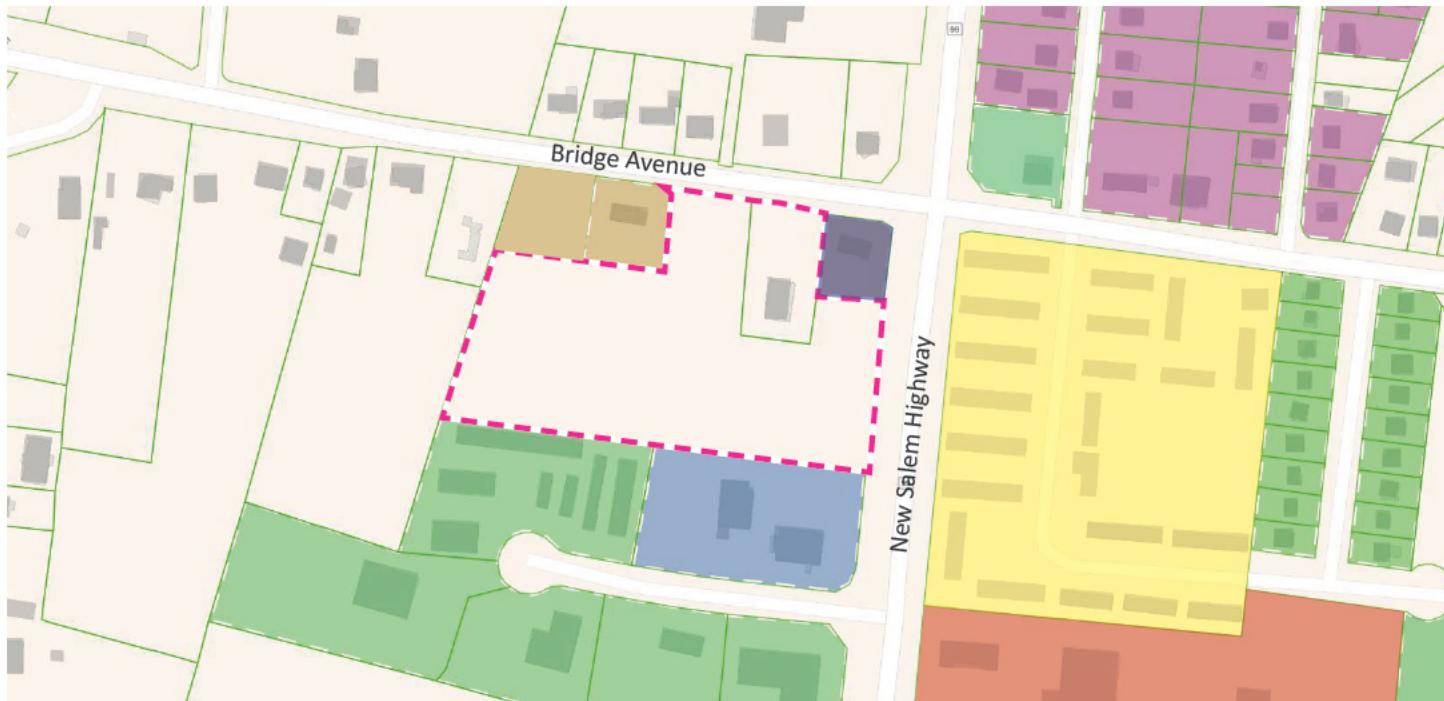
The property has/will have access to the existing public rights-of-way of Bridge Avenue and New Salem Highway. Both Bridge Avenue and New Salem Highway are currently built as two-lane roadways with a center turn lane. New Salem Highway is slated to be widened to a 5-lane roadway as outlined in the City of Murfreesboro's 2040 Major Thoroughfare Plan.

Molloy Lane is located to the west of the development, and is slated to be re-aligned at some point in the future. Although not a committed roadway project, the realignment will shift Molloy Lane to the east and closer to the project. Molloy Lane will provide connectivity between Bridge Avenue and the planned overpass over Interstate 24 west to River Rock Boulevard.

GREENWAY, BLUEWAY, AND BIKEWAY PLAN

The Murfreesboro Greenway, Blueway, and Bikeway Master Plan shows Bike Route 16 (BR-16) along New Salem Highway. This bike path is proposed to start from the Urban Growth Boundary, terminate at Bridge Avenue, and is approximately 6.45 miles in length. Additionally, the Master Plan shows Bike Lane 18 (BL-18) along New Salem Highway. This bike lane is proposed to start from Bridge Avenue, terminate at Old Fort Parkway, and is approximately 0.28 miles in length. The proposed site plan will provide sidewalks along all existing R.O.W. to accommodate for these improvements.





SUBDIVISION MAP

Not To Scale 

 West Meadows	 Dave's Tires	 Bridge Avenue Church of Christ	 Titan Bail Bonds
 Salem Park	 Patterson	 Murfreesboro Police Training Facility	
 Cablevision	 Franklin Road Addition	 Alley-Cassetty Brick and Block	



Site Boundary

The Murfreesboro Transit Center is surrounded by a mixture of residential properties, commercial businesses, and industrial uses. West Meadows and the other surrounding residential properties are single-story structures with a mixture of brick and vinyl siding exteriors without garages. The Bridge Avenue Church of Christ is located northeast of the property along Bridge Avenue. The church has primarily red brick veneer and a gravel parking lot and drive. Titan Bail Bonds is on the corner of Bridge Avenue and New Salem Highway, and is a single-story structure with a white brick veneer. Salem Park and Comcast are commercial/light industrial properties to the south of the development that support various automotive and business uses. The Doug Young Public Safety Training Facility is located to the east of the development across New Salem Highway.



ZONING MAP

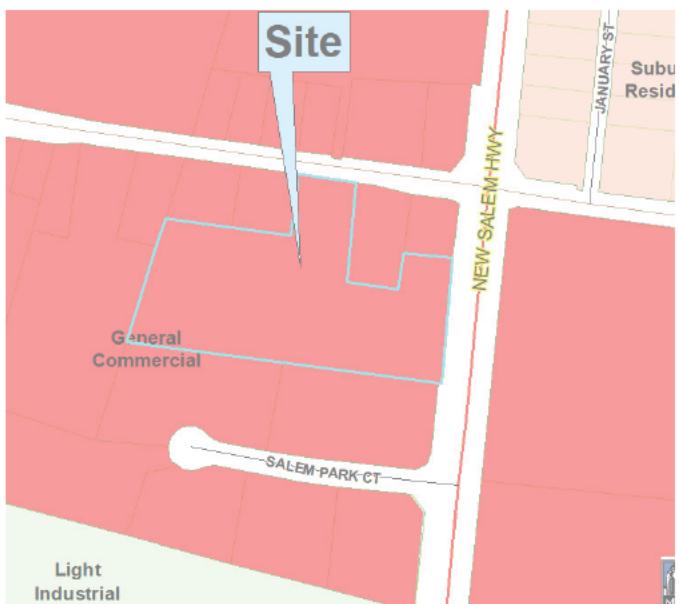
Not To Scale

RS-4	Residential Single-Family (RS-4)	CH	Commercial Highway (CH)
RS-8	Residential Single-Family (RS-8)	CL	Commercial Local (CL)
RS-10	Residential Single-Family (RS-10)	H-I	Heavy Industrial (H-I)
RM-12	Residential Multi-Family (RM-12)		
RM-16	Residential Multi-Family (RM-16)		

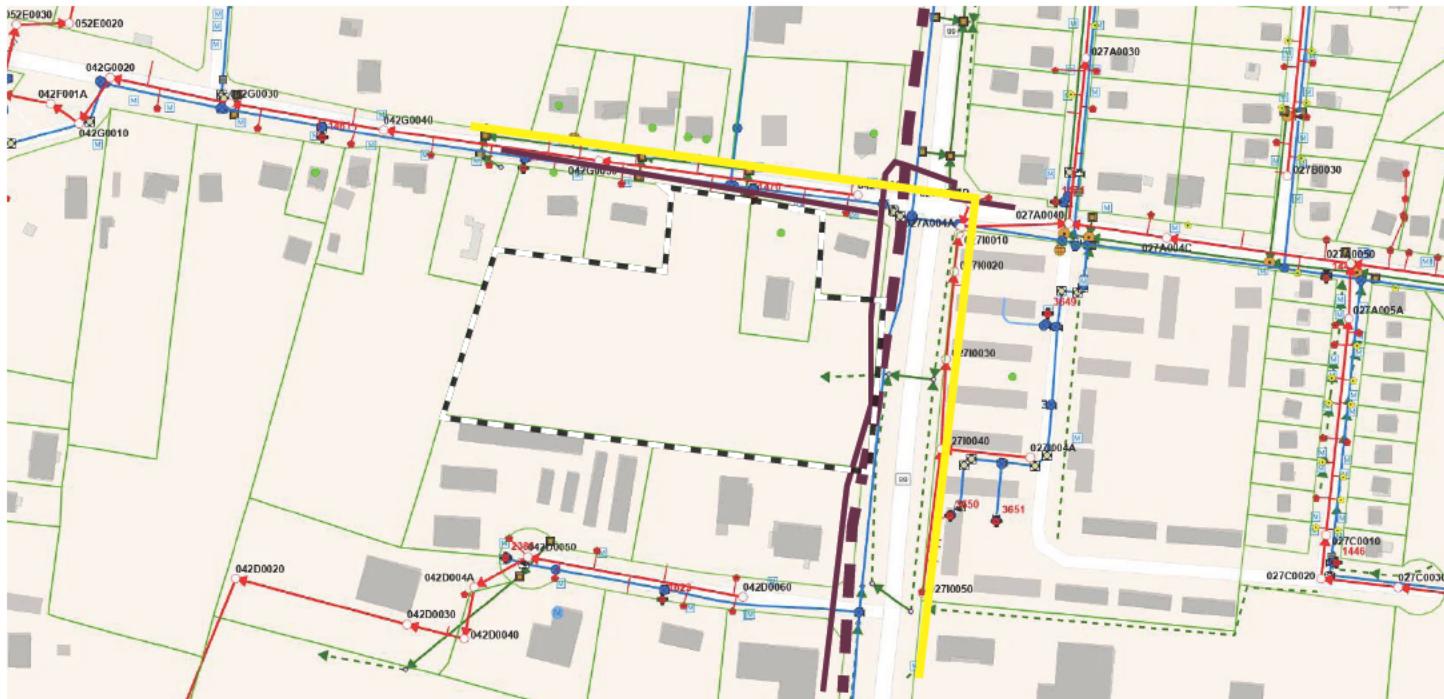


Site Boundary

The surrounding area consists of a mixture of zoning types and uses. The land to the east across New Salem Highway is zoned RM-16 for the Doug Young Public Training Facility and is owned by the City of Murfreesboro. The land to the south of the property is zoned H-I. The land to the north and the west of the property are zoned RS-10. The property to the northeast of the property is zoned CH.



The Murfreesboro 2035 Comprehensive Plan characterizes this area to be Auto-Urban (General) Commercial Character (GC). This land use type correlates strongly with the proposed transit center. The uses affiliated with this future land use consists of expansive drives and parking areas, automobile service areas, hotel/motels, and big box stores. The proposed development's uses aligns with the needs of the General Commercial Character of the area. The recommended zoning type for these uses include Commercial Highway (CH) and Planned Unit Developments (PUD).



UTILITY MAP

Not To Scale

	WATER		ELECTRIC
	SEWER		GAS DISTRIBUTION LINE
	STORMWATER		GAS PRESSURIZED LINE
			Site Boundary



Water service will be provided by the Murfreesboro Water Resource Department. There is an existing 8-inch ductile iron water line along Bridge Avenue, and a 16-inch ductile iron water line along New Salem Highway for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resource Department. Sanitary sewer service can connect to an existing 8-inch PVC gravity line within the R.O.W. of Bridge Avenue, as well as an existing 10-inch PVC gravity line within the R.O.W. of New Salem Highway. The developer shall be responsible for extending the sewer into this property.

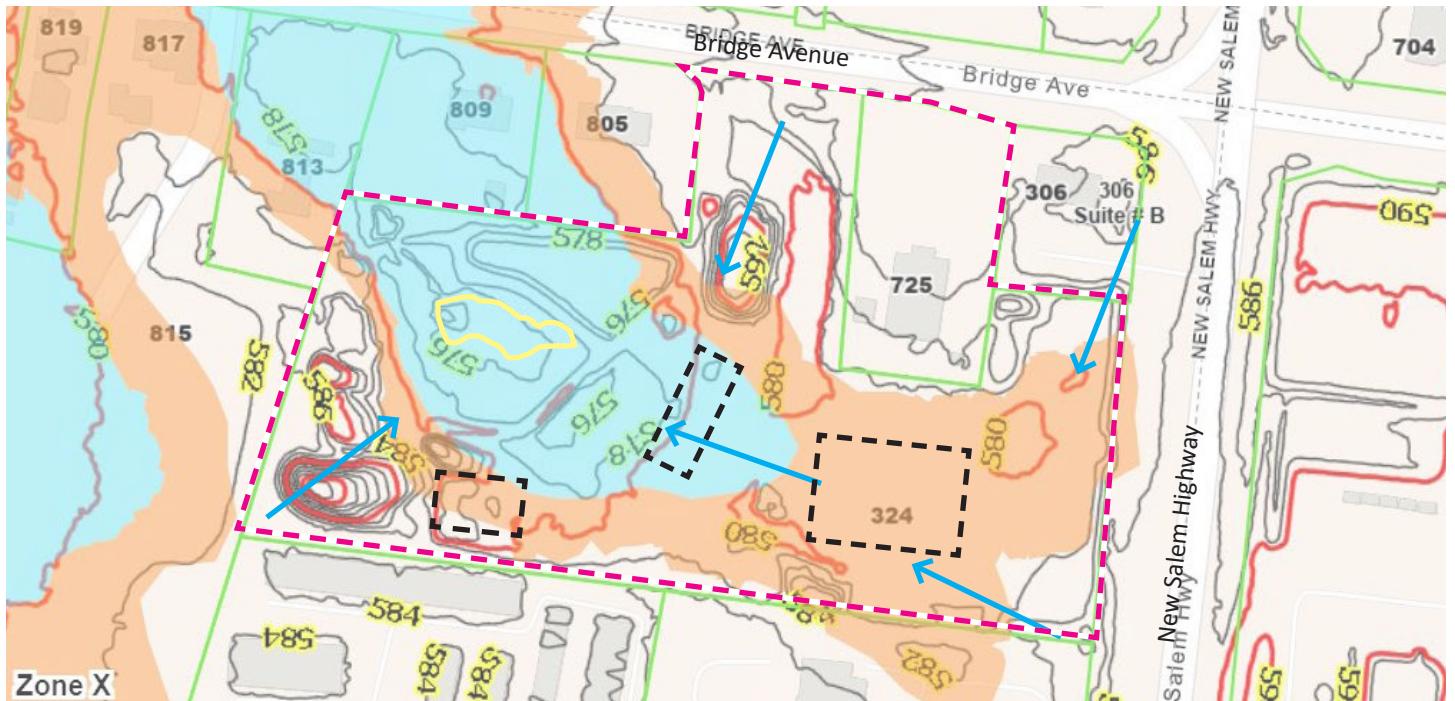


Electric service will be provided by the Middle Tennessee Electric. Electric services shall be extended from Bridge Avenue and/or New Salem Highway. The developer shall be responsible for extending the electric lines into the site, and all on-site electric shall be underground.



Gas service will be provided by ATMOS Energy. Gas services shall be extended from Bridge Avenue and/or New Salem Highway. The developer shall be responsible for extending the gas lines into the site.

*There are no existing utility easements on site.



HYDROLOGY AND TOPOGRAPHY

Not To Scale

- Legend for the Flood Hazard Map:

 - WATER FLOW DIRECTION: Blue arrow pointing right.
 - INTERMEDIATE CONTOURS: Gray line.
 - INDEX CONTOURS: Red line.
 - 100 YEAR FLOOD PLAIN: Blue rectangle.
 - 500 YEAR FLOOD PLAIN: Orange rectangle.
 - Proposed Buildings: Dashed black rectangle.
 - Potential Sinkhole: Yellow line.
 - Site Boundary: Dashed magenta line.

The topographic map above shows the site's topographic high point generally at the north, east, and southern property lines. From these high points, the property drains towards the center of the property and then off towards the northwest and under Bridge Avenue back to the Stone River to the west. There is also a sinkhole located on the western portion of the property. A large portion of the property lies within the 100 and 500-year floodplain per FEMA Flood Panel 47149C0260J eff. 5/9/2023. Plan shall comply with the City of Murfreesboro Floodplain Ordinance.

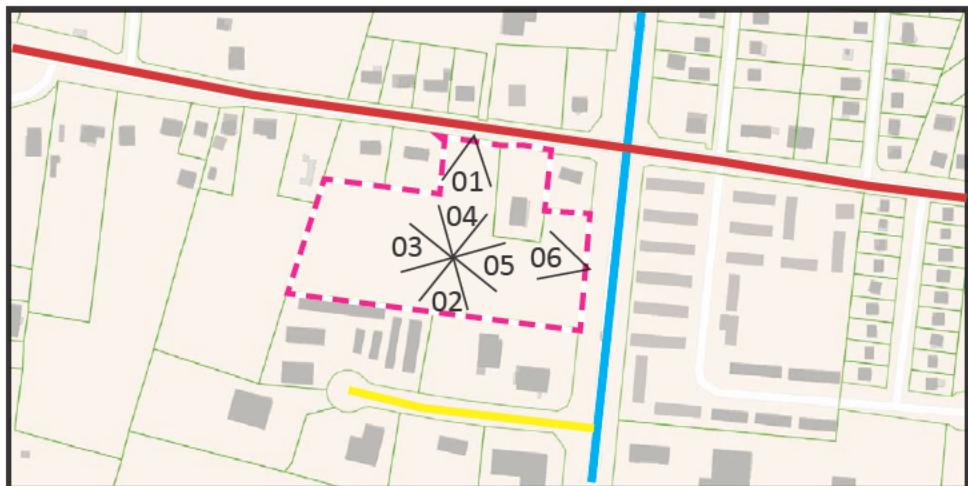


PHOTO DIRECTION MAP

Not To Scale

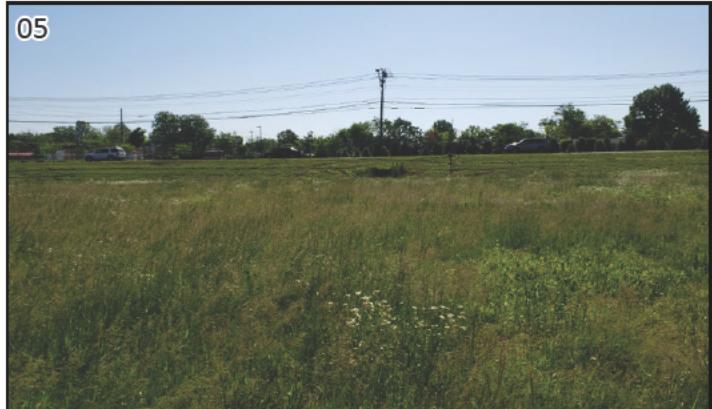
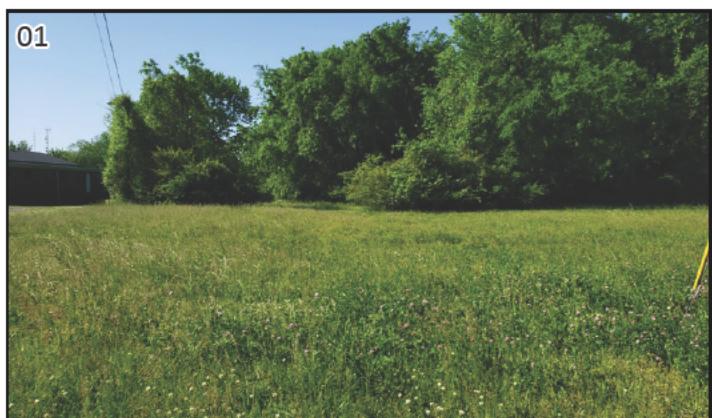
New Salem Highway

Salem Park Court

Bridge Avenue



Site Boundary



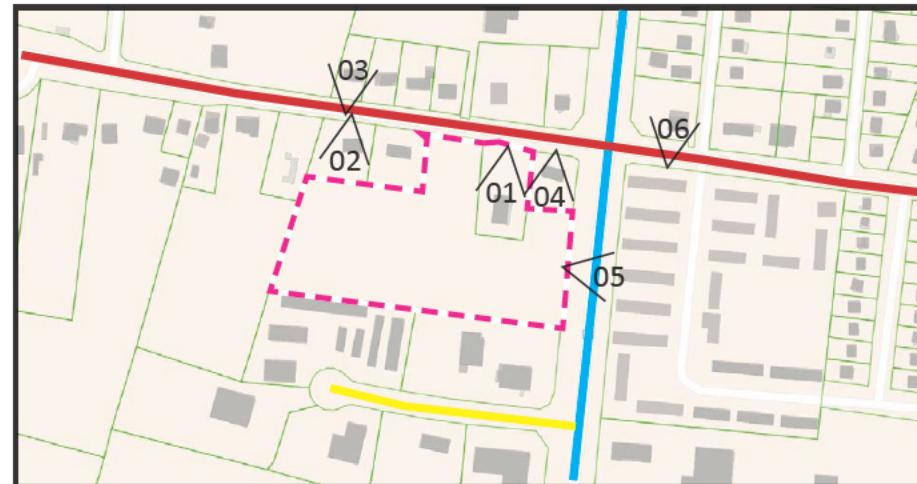


PHOTO DIRECTION MAP

Not To Scale

- █ New Salem Highway
- █ Salem Park Court
- █ Bridge Avenue



Site Boundary



01



02



PHOTO DIRECTION MAP

Not To Scale

- █ New Salem Highway
- █ Salem Park Court
- █ Bridge Avenue



Site Boundary



01



02



03



04



03



04



05



06



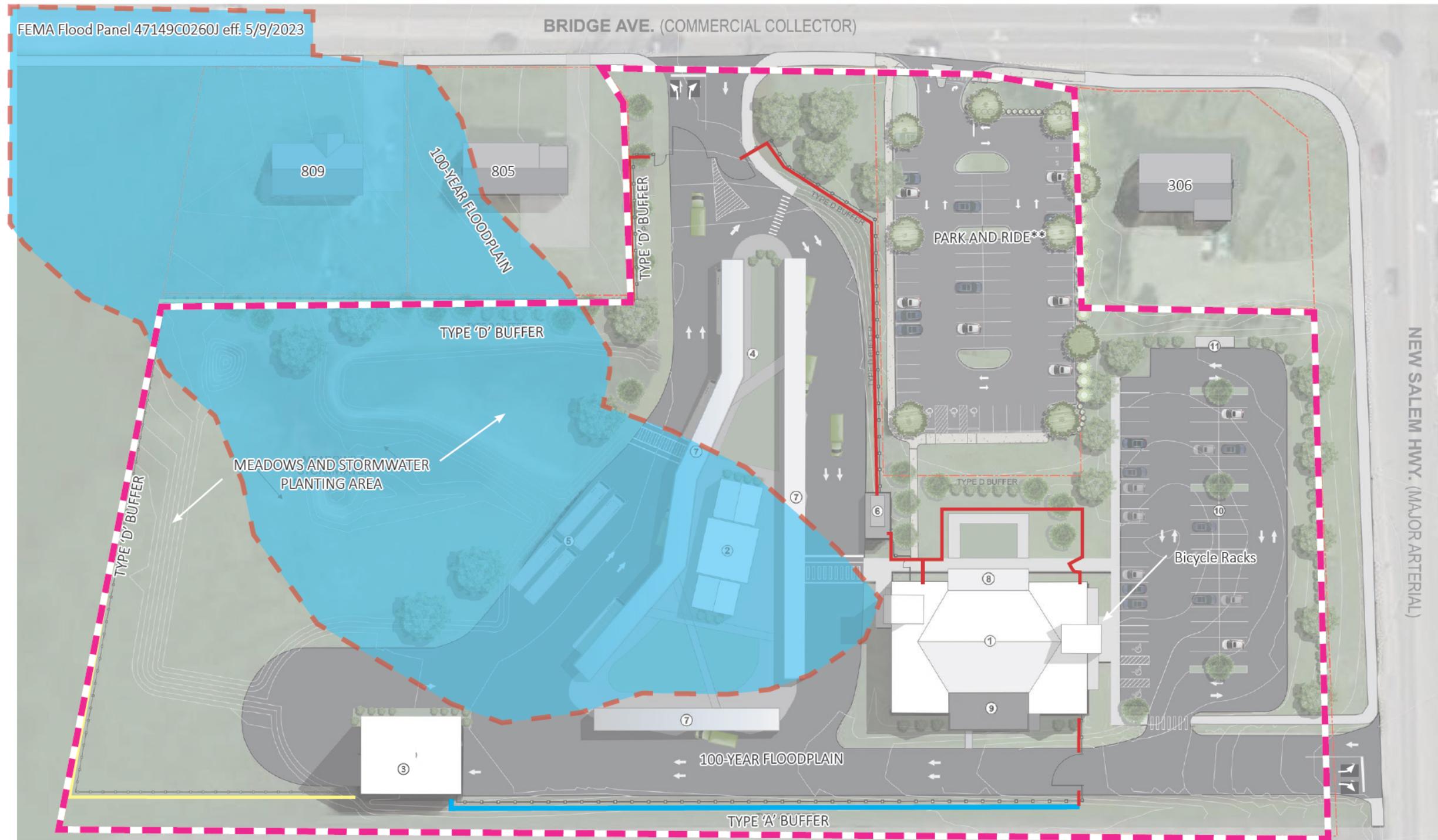
05



06

Total Land Area: ±6.15 Acres
 Total Open Space: ±2.67 Acres (43%)

- 1 ADMINISTRATIVE/OPERATIONS (BUILDING 1)
- 2 PASSENGER TRANSIT STATION (BUILDING 2)
- 3 BUS MAINTENANCE (BUILDING 3)
- 4 BUS BERTH ISLAND (12 BUS POSITIONS)
- 5 SPARE BUS PARKING
- 6 EMERGENCY GENERATOR
- 7 CANOPIES
- 8 COVERED EMPLOYEE PATIO
- 9 SCREENED MECHANICAL YARD
- 10 EMPLOYEE/VISITOR PARKING
- 11 SOLID WASTE ENCLOSURE (BINS)
- 12 WE GO BUS PARKING



*Landscaping shown is strictly conceptual. Landscaping shown is meant to convey the general appearance of the planting design and materials to be used. Final landscaping will be provided with at site plan level.

** "Park and Ride" parking lot design and parking count shall be finalized at site plan level. Parking lot shall follow City of Murfreesboro design standards.

NOT TO SCALE



Allowable Uses:

The property is currently zoned Residential Single-Family (RS-10). The request for rezoning to a Planned Institutional District (PND) is to allow for Transportation Services and Bus Terminal. This specific land use is not currently an allowable land use in RS-10 zoning, but is allowed in CH zoning and all industrial zonings. Additional standards for this site have been outlined below and on the following pages of this booklet. The proposed site will provide for adequate parking, circulation, solid waste management, stormwater management and landscaping.

Development Standards:

- Building heights shall not exceed 35-feet in height.
- All parking shall be located at minimum of 10-feet from the R.O.W. along Bridge Avenue and New Salem Highway, and a minimum of 15-feet from property lines adjacent to residential properties for buffers.
- All parking areas shall be screened from public right-of-way by landscaping and/or berms.
- Pedestrian connections to the development shall be provided via sidewalks to Bridge Avenue and New Salem Highway.
- Solid waste enclosures are anticipated to be constructed of masonry materials consistent with building architecture. Walls are anticipated to be at least 8-feet tall, with opaque gates, and enhanced with landscaping. Solid waste collection service will be provided by a city cart service.
- The buildings shall have a well defined architectural base by use of different materials, colors, and patterns, or a combination of these techniques. Building foundations shall be accented with landscaping.
- All decorative fencing on site will be constructed of Aluminum, with the exception of a small section adjacent to the church for dust and noise buffer.
- Monument signage shall be incorporated at the New Salem Highway entrance.
- Monument signage shall be built with materials consistent with the development architecture, and enhanced with landscaping.
- Building and monument signage shall adhere to the standards outlined in the City of Murfreesboro Sign Ordinance.
- All mechanical equipment, (i.e. hvac and transformers) shall be screened with landscape or fencing. If mechanical equipment is located on the roof, then they shall be screened from view, via parapet wall or aesthetically pleasing architectural element.
- All on-site utilities shall be underground.
- On-site lighting shall comply with the City of Murfreesboro standards to mitigate light pollution and to improve safety for patrons and employees. Photometric plan will be provided with site plan to confirm compliance with zoning ordinance.
- Parking will comply with the City of Murfreesboro Zoning Ordinance.
- All parking and vehicular use areas shall have curbing.



Example of Possible Entrance Sign

*Material to match building



Example of City Waste Cart Enclosure

*Material to match building



Example of 6-ft Aluminum Swing Gate



Example of 6-ft Decorative Black Aluminum Fence



Example of 6-ft Black Decorative Aluminum Gate



Example of 6-ft Decorative White Vinyl Fence



Example of 6-ft Black Anti-Climb Fence

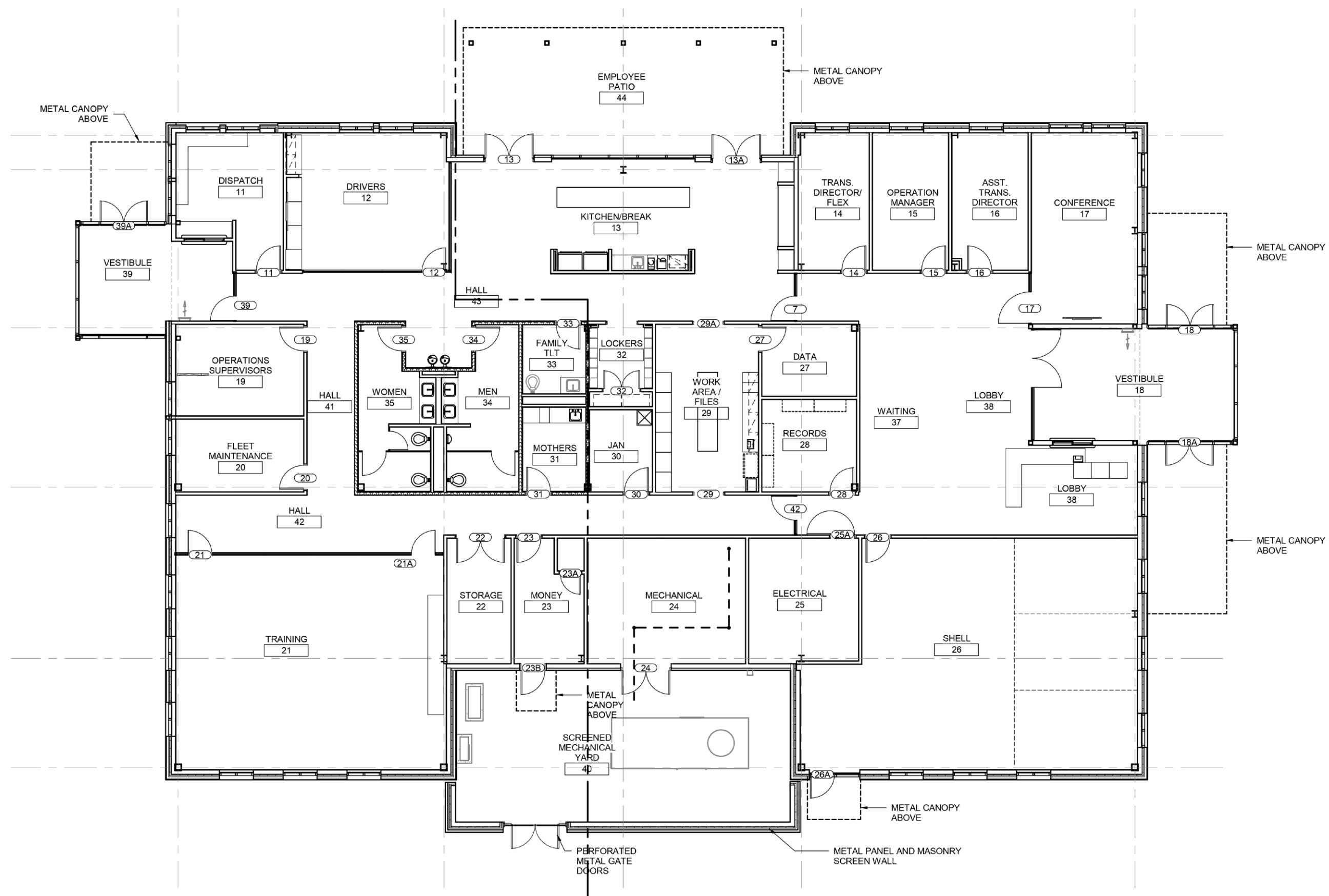


Example of Light Pole



Example of Decorative Lighting

*Light Pole and Decorative Light Poles shown are conceptual and do not represent the final product to be used on the site. Final product will be provided with photometric plan at the site plan level.



ADMINISTRATION (BUILDING 1) FLOOR PLAN (9,720 SF)

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



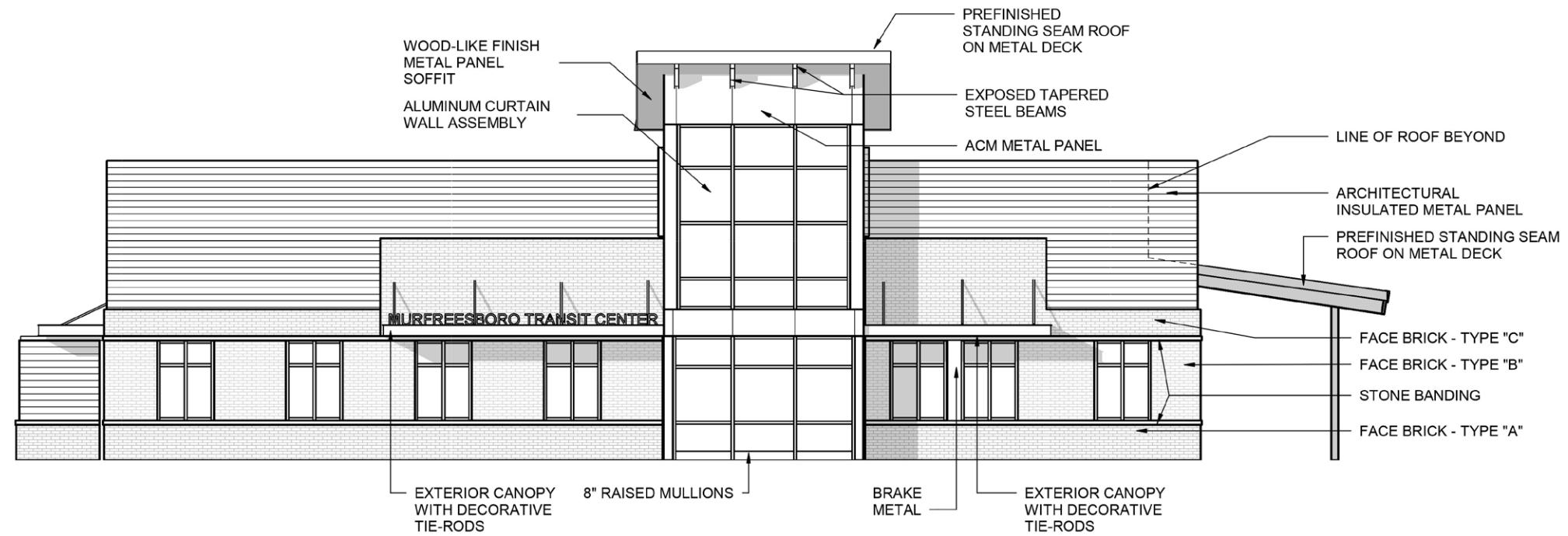
ADMINISTRATION (BUILDING 1) EAST ELEVATION- FACING NEW SALEM HIGHWAY

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

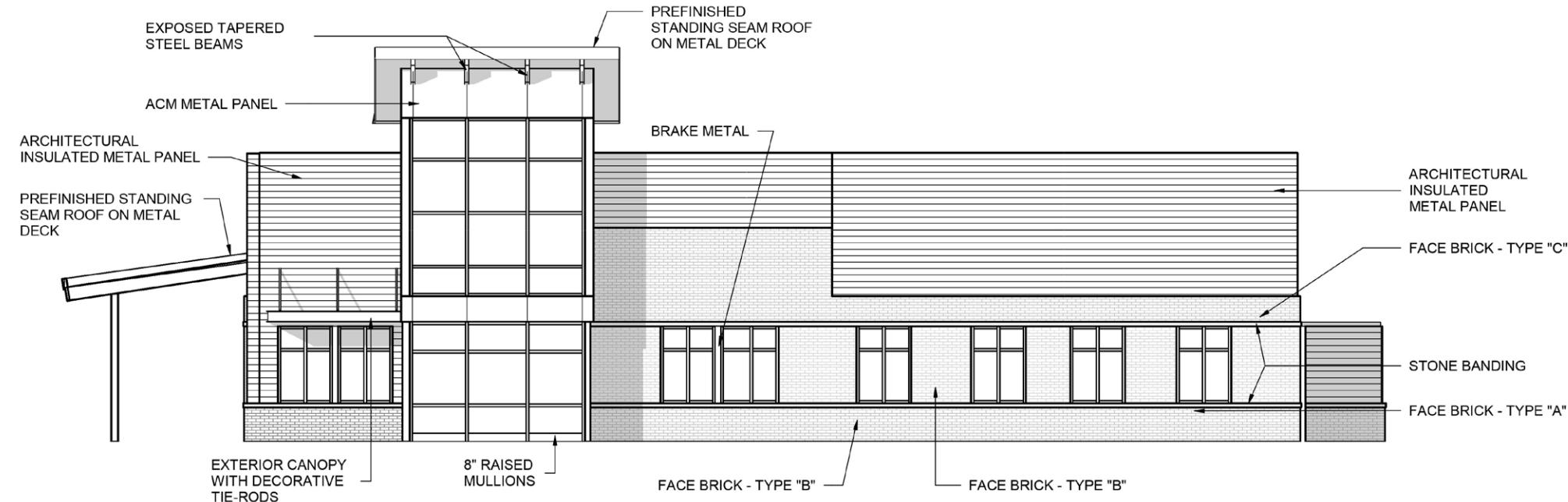


ADMINISTRATION (BUILDING 1) WEST ELEVATION - FACING BUS LOADING AREA

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



ADMINISTRATION (BUILDING 1) EAST ELEVATION - FACING NEW SALEM HIGHWAY



ADMINISTRATION (BUILDING 1) WEST ELEVATION - FACING PASSENGER TRANSIT STATION

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

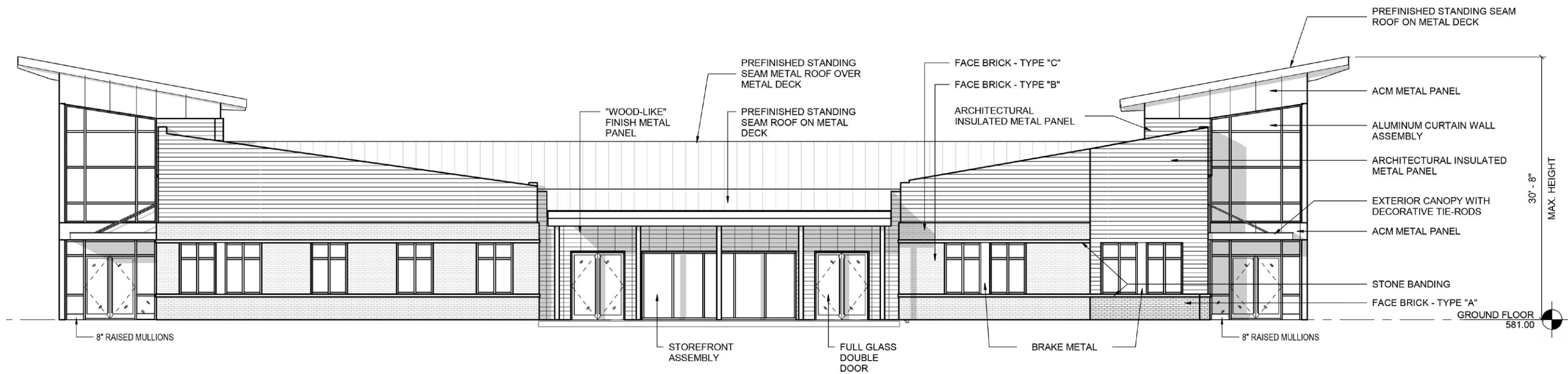


ADMINISTRATION (BUILDING 1) NORTH ELEVATION - FACING CHURCH AND BRIDGE AVENUE

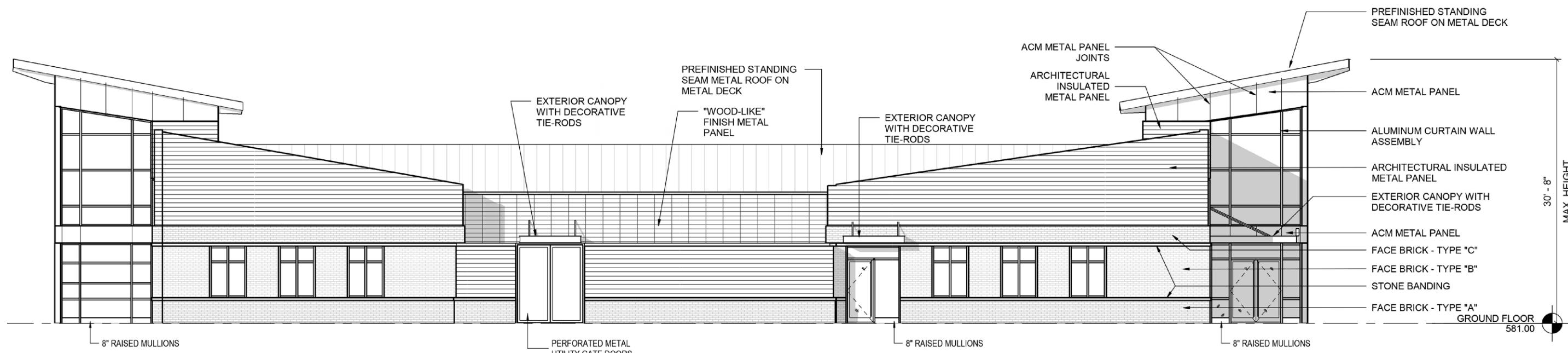


ADMINISTRATION (BUILDING 1) SOUTH ELEVATION - FACING INDUSTRIAL USE

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

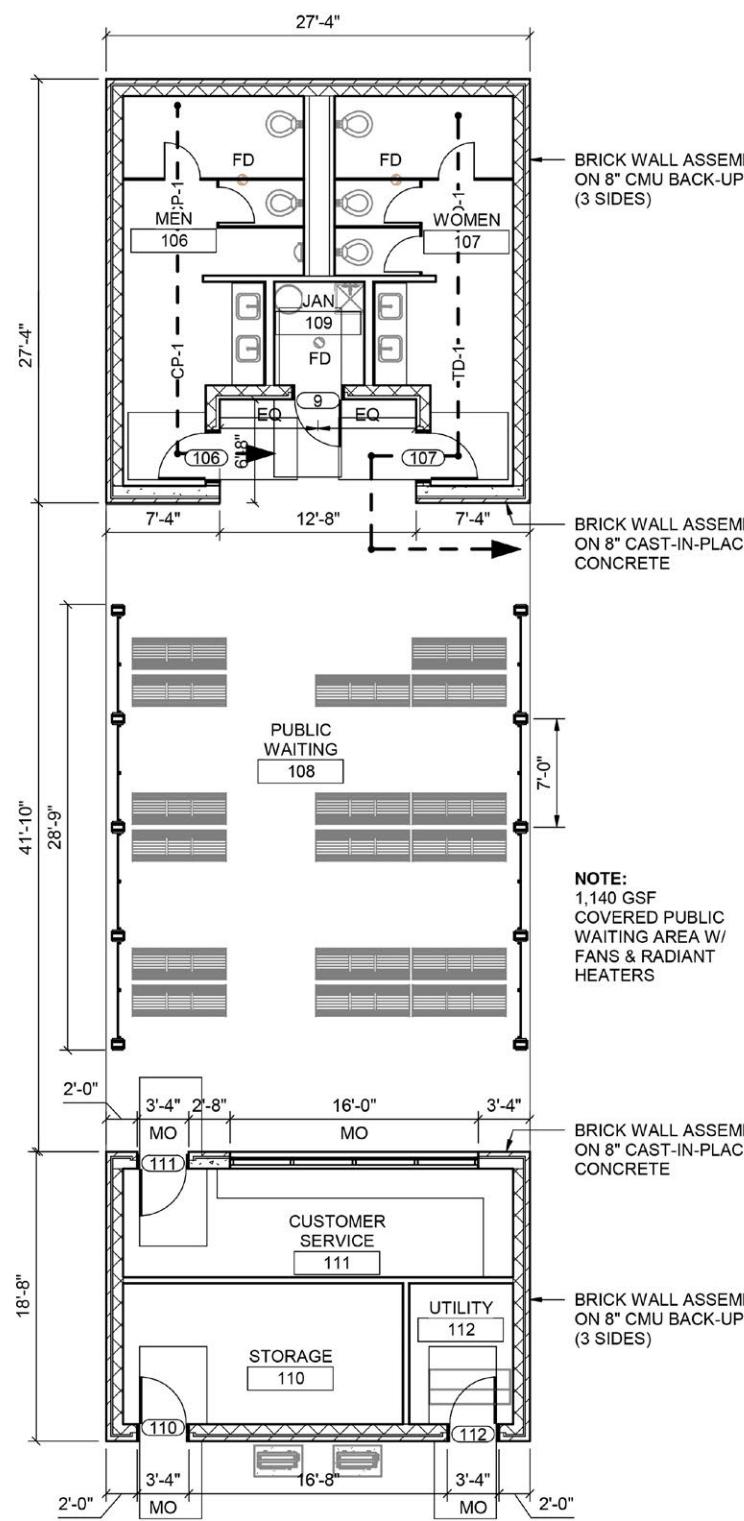


ADMINISTRATION (BUILDING 1) NORTH ELEVATION - FACING CHURCH AND BRIDGE AVENUE



ADMINISTRATION (BUILDING 1) SOUTH ELEVATION - FACING INDUSTRIAL USE

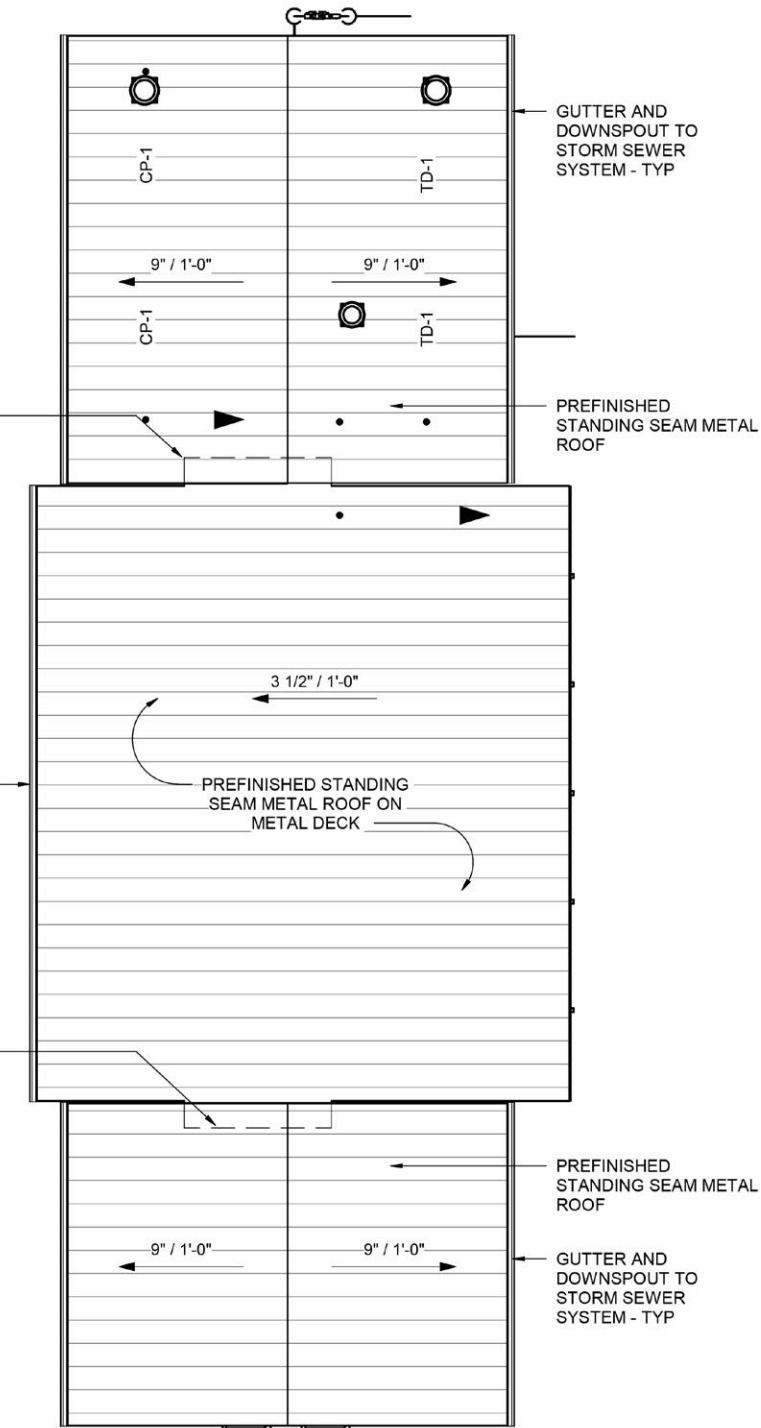
*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



FLOOR PLAN

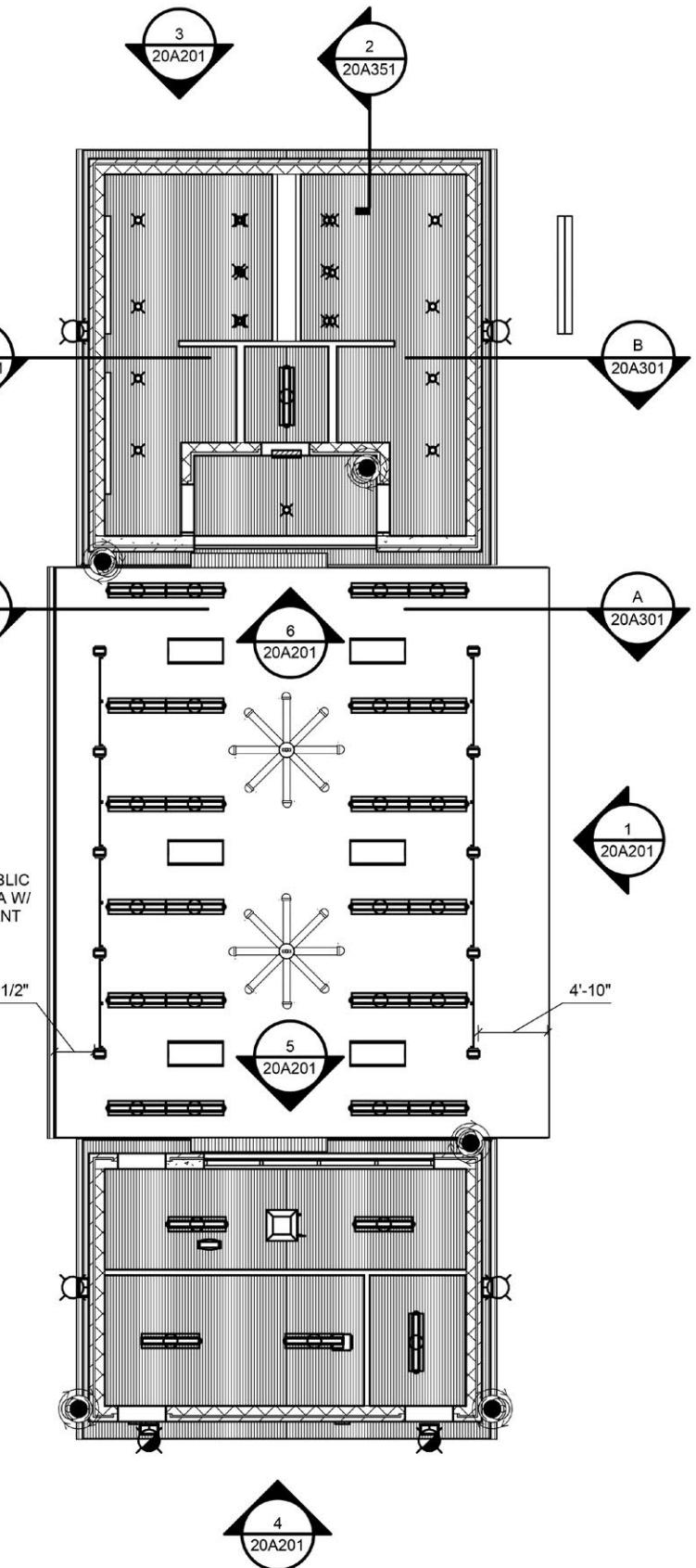
PASSENGER TRANSIT STATION (BUILDING 2) (1,175 SF)

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

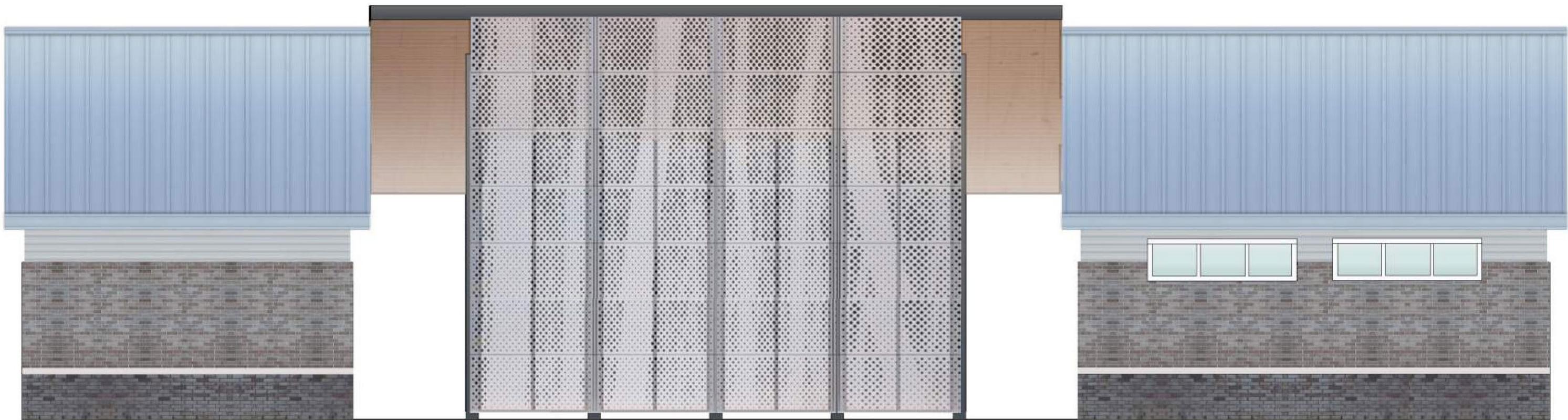
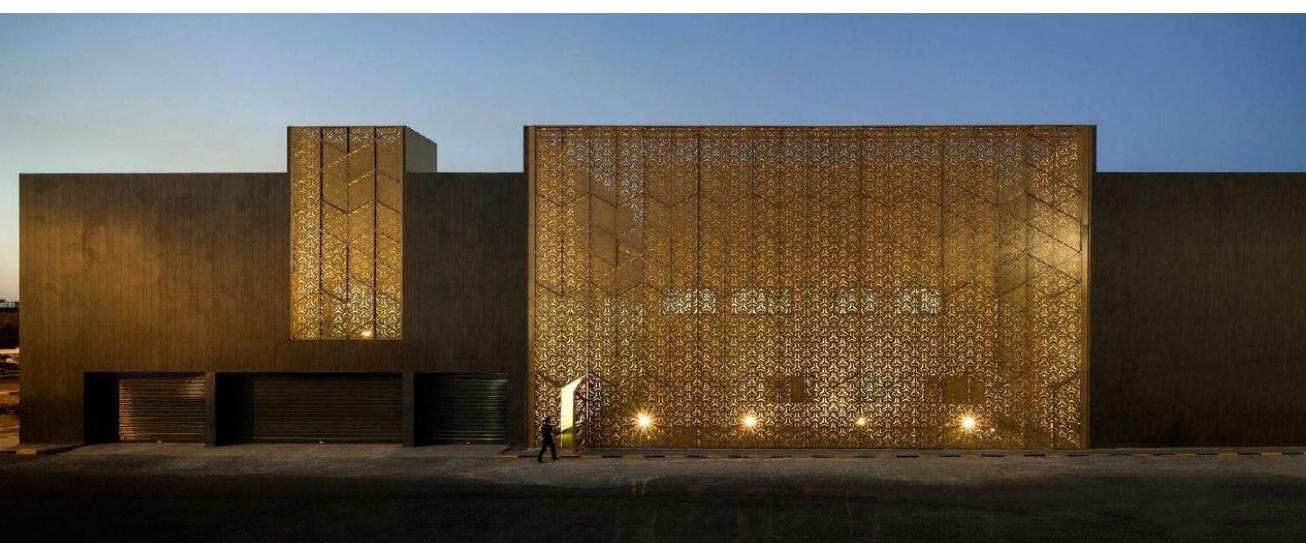


ROOF PLAN

REFLECTED CEILING PLAN

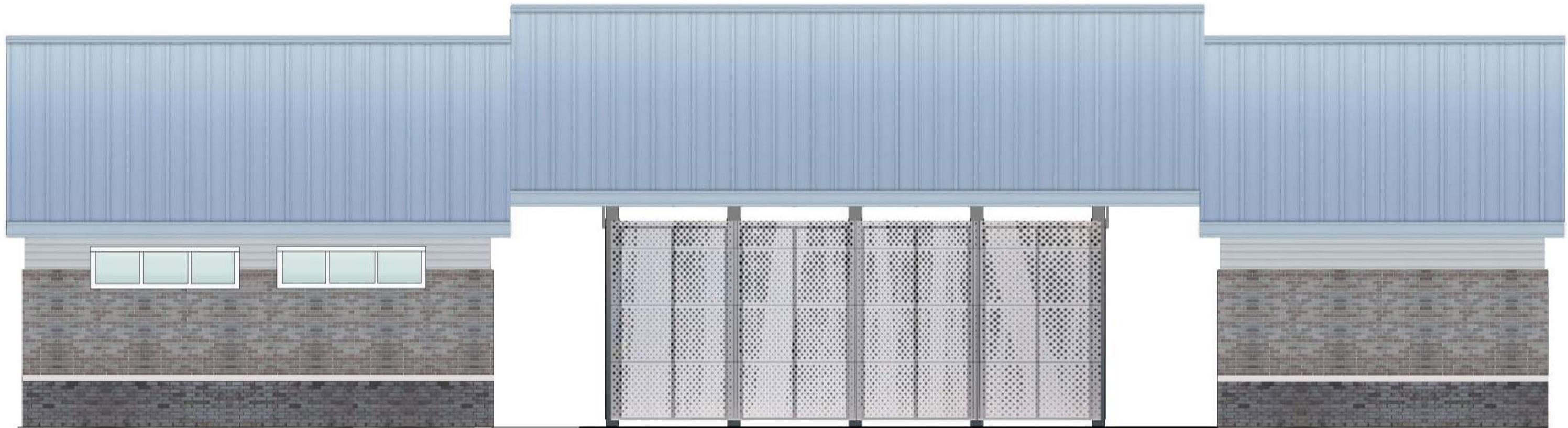


EXAMPLES OF PERFORATED METAL PANEL



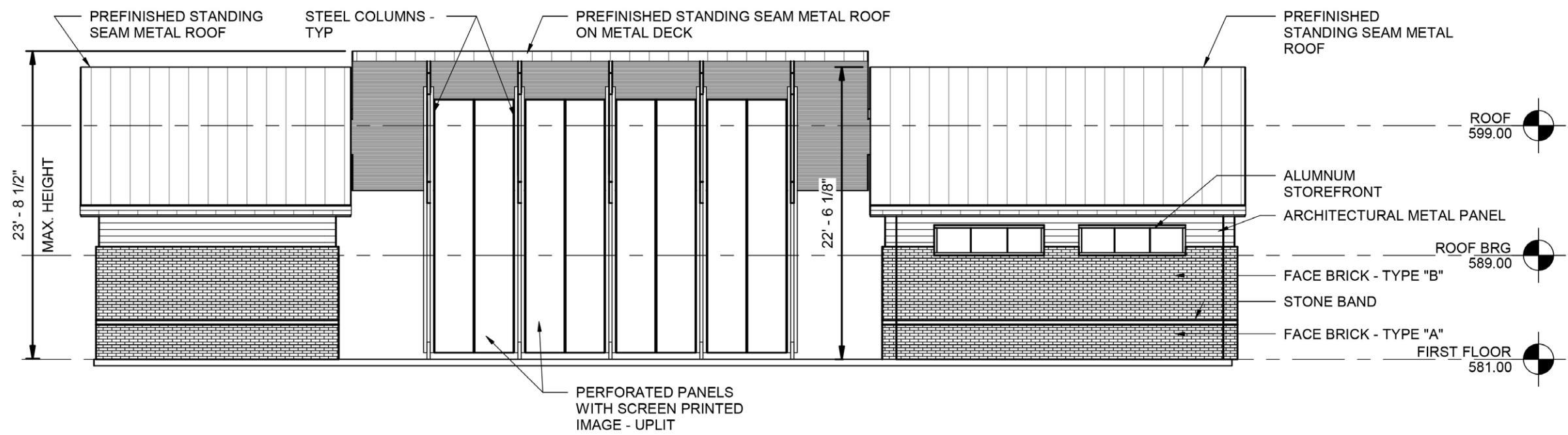
PASSENGER TRANSIT STATION (BUILDING 2) EAST ELEVATION - FACING ADMINISTRATIVE BUILDING 1 & NEW SALEM HIGHWAY

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

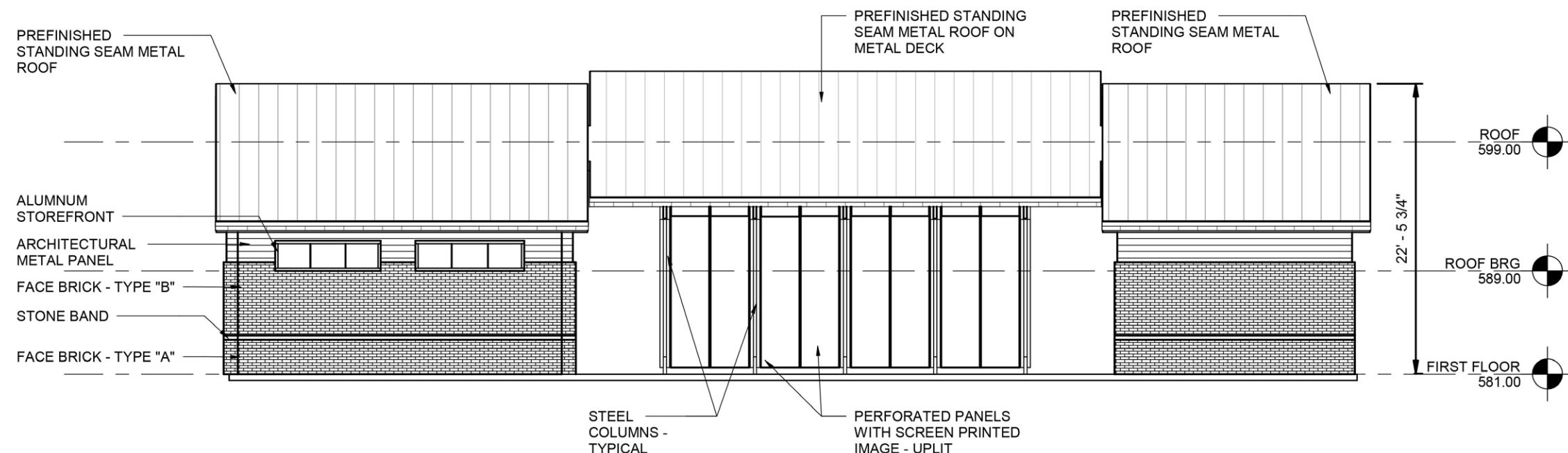


PASSENGER TRANSIT STATION (BUILDING 2) WEST ELEVATION - FACING STORMWATER MANAGEMENT AREA

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



PASSENGER TRANSIT STATION (BUILDING 2) EAST ELEVATION - FACING ADMINISTRATION BUILDING 1



PASSENGER TRANSIT STATION (BUILDING 2) WEST ELEVATION - FACING STORMWATER MANAGEMENT AREA

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

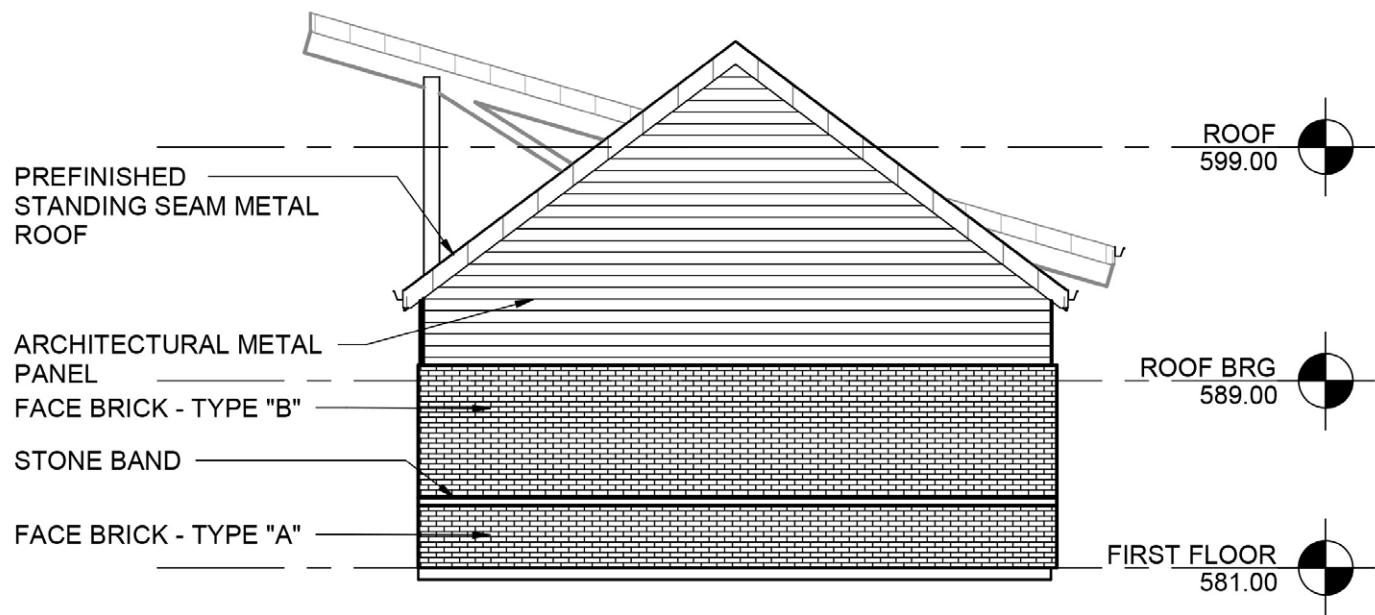


PASSENGER TRANSIT STATION (BUILDING 2) SOUTH ELEVATION - FACING ADJACENT INDUSTRIAL PROPERTY

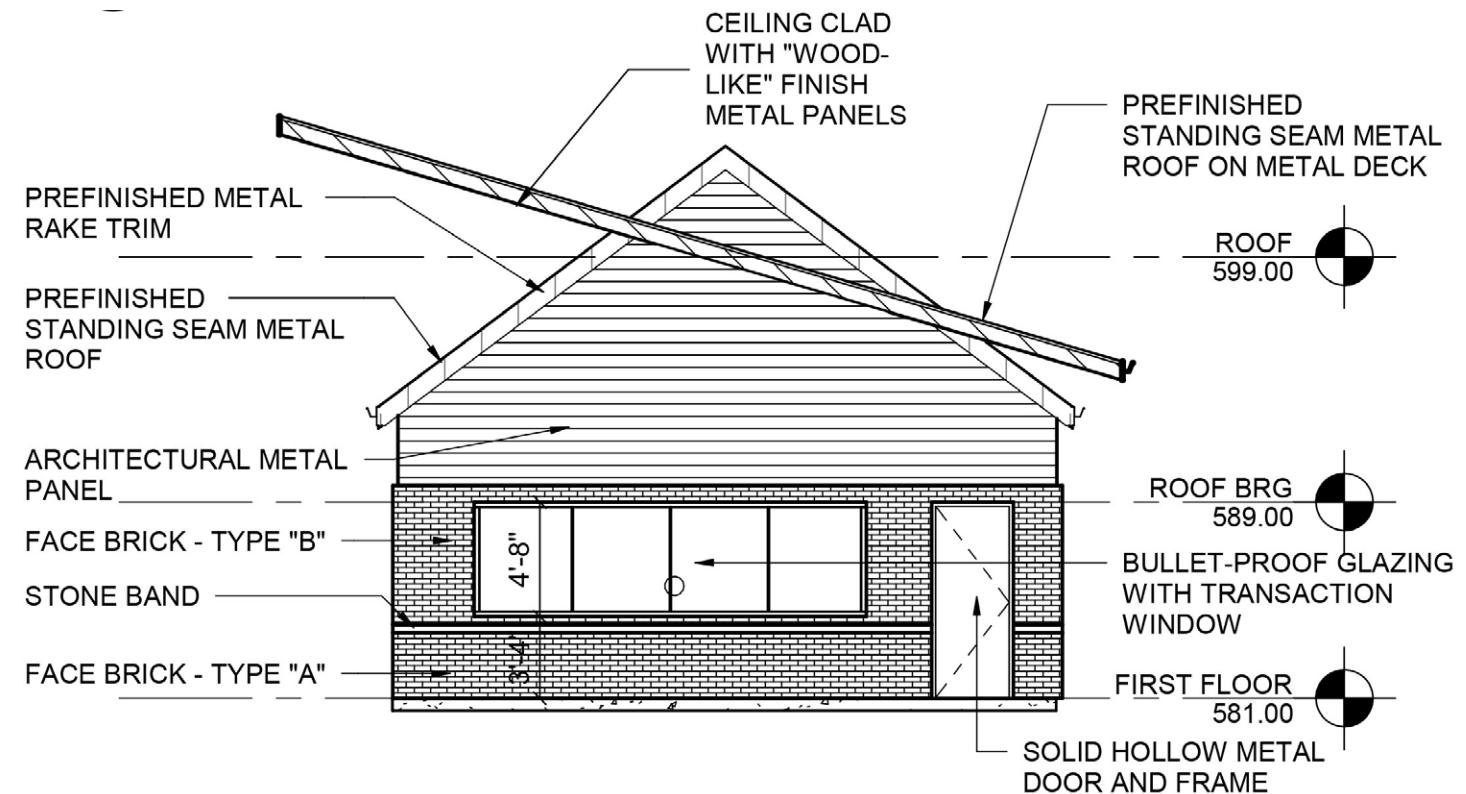


PASSENGER TRANSIT STATION (BUILDING 2) NORTH ELEVATION - FACING BRIDGE AVENUE

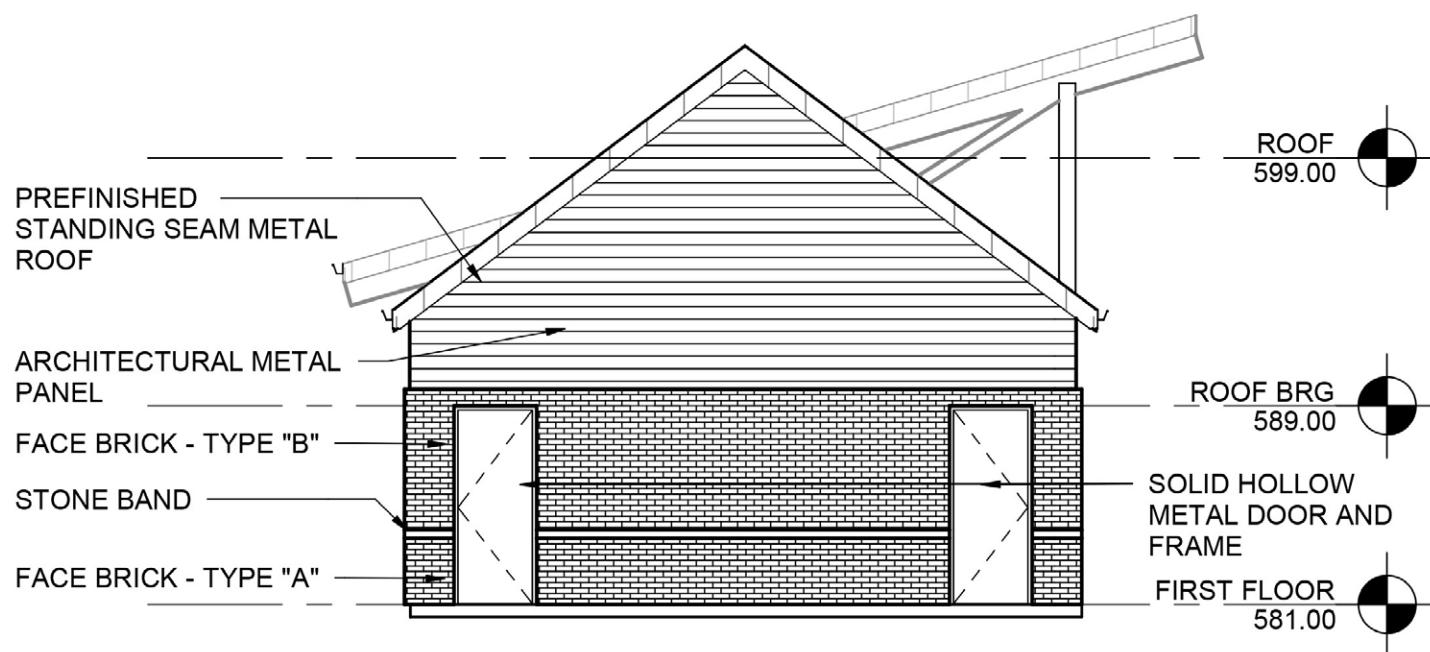
*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



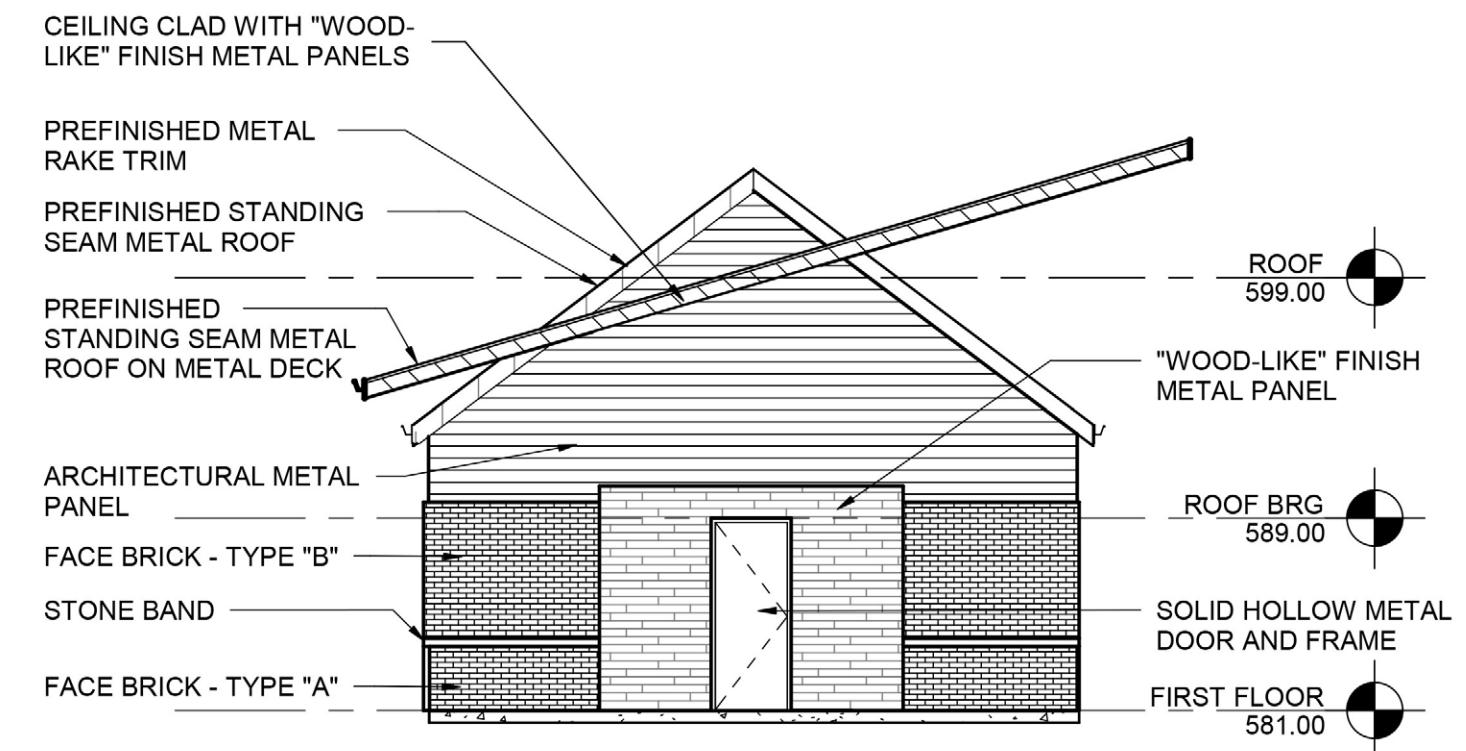
PASSENGER TRANSIT STATION (BUILDING 2) NORTH ELEVATION - FACING BRIDGE AVENUE



PASSENGER TRANSIT STATION (BUILDING 2) - CUSTOMER SERVICE WINDOW

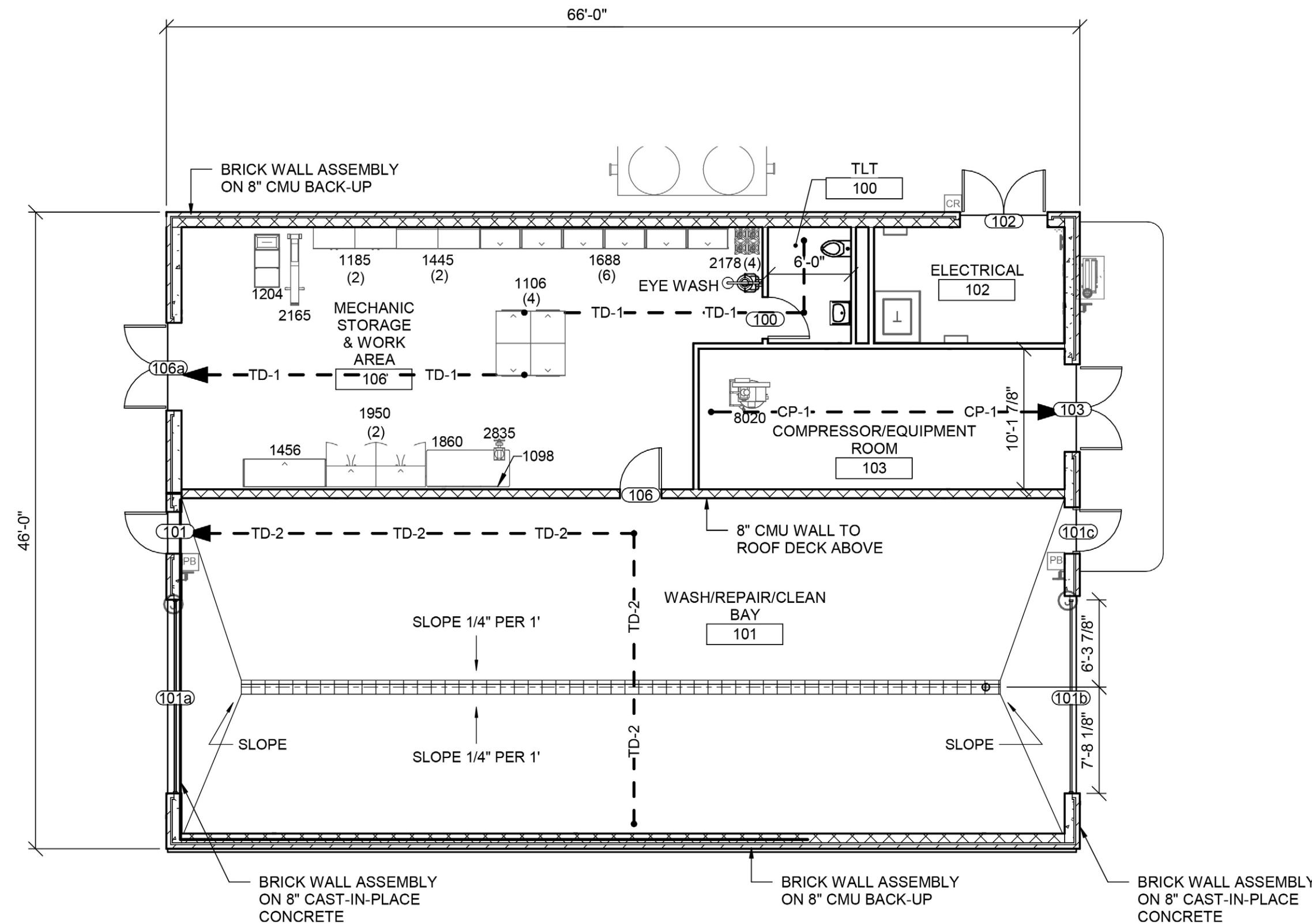


PASSENGER TRANSIT STATION (BUILDING 2) SOUTH ELEVATION - FACING ADJACENT INDUSTRIAL PROPERTY



PASSENGER TRANSIT STATION (BUILDING 2) - RESTROOM ENTRANCE

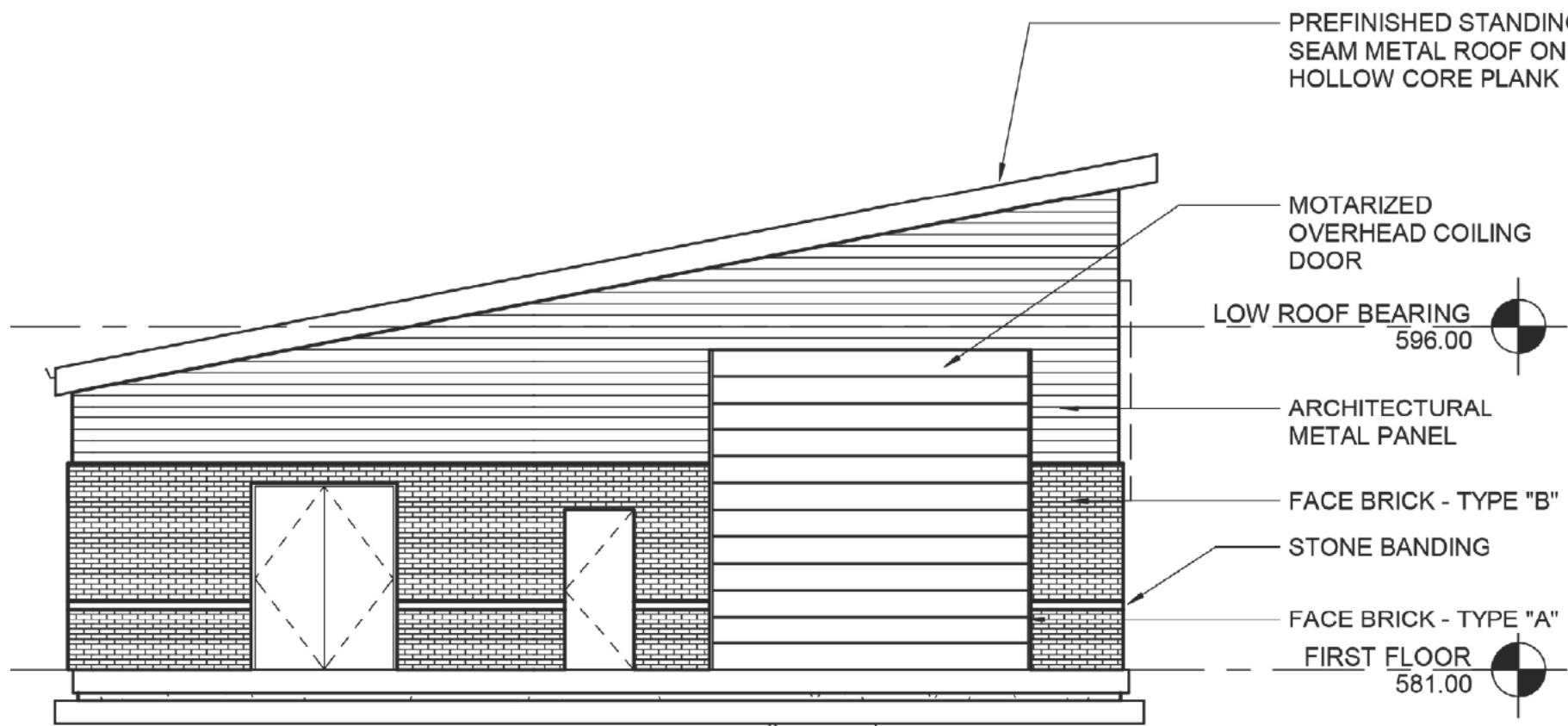
*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



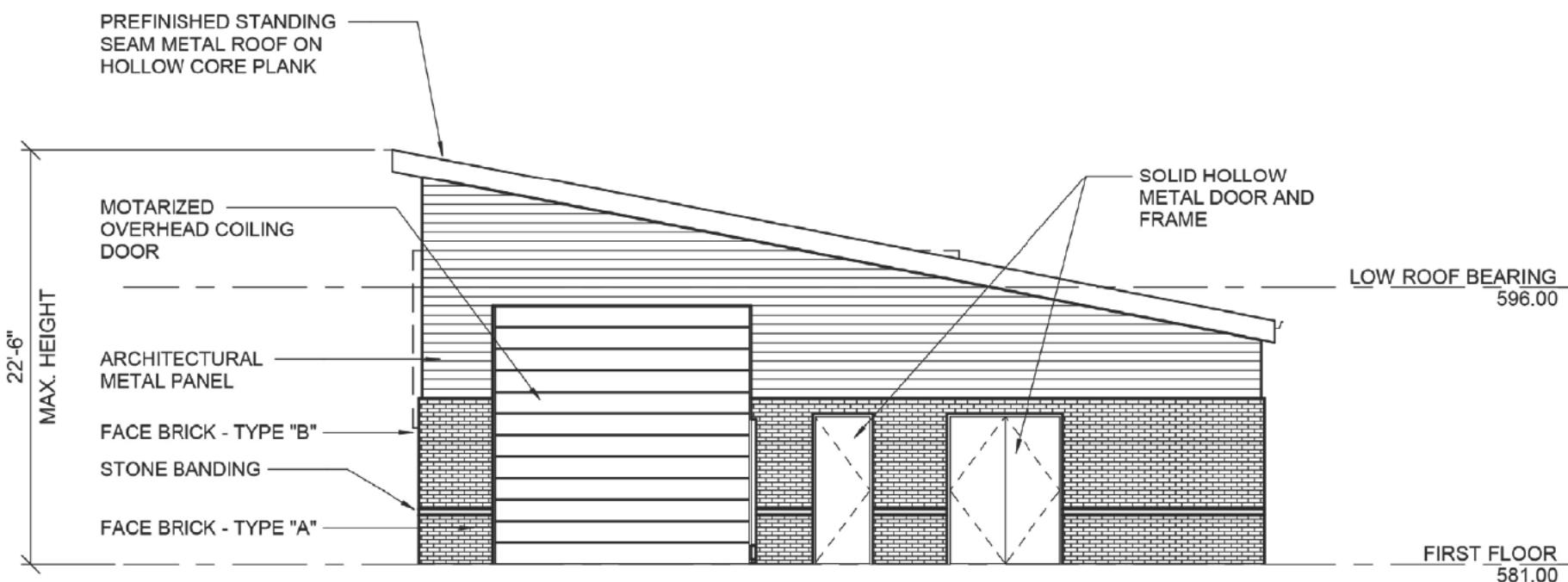
FLOOR PLAN

BUS MAINTENANCE (BUILDING 3) (3,060 SF)

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



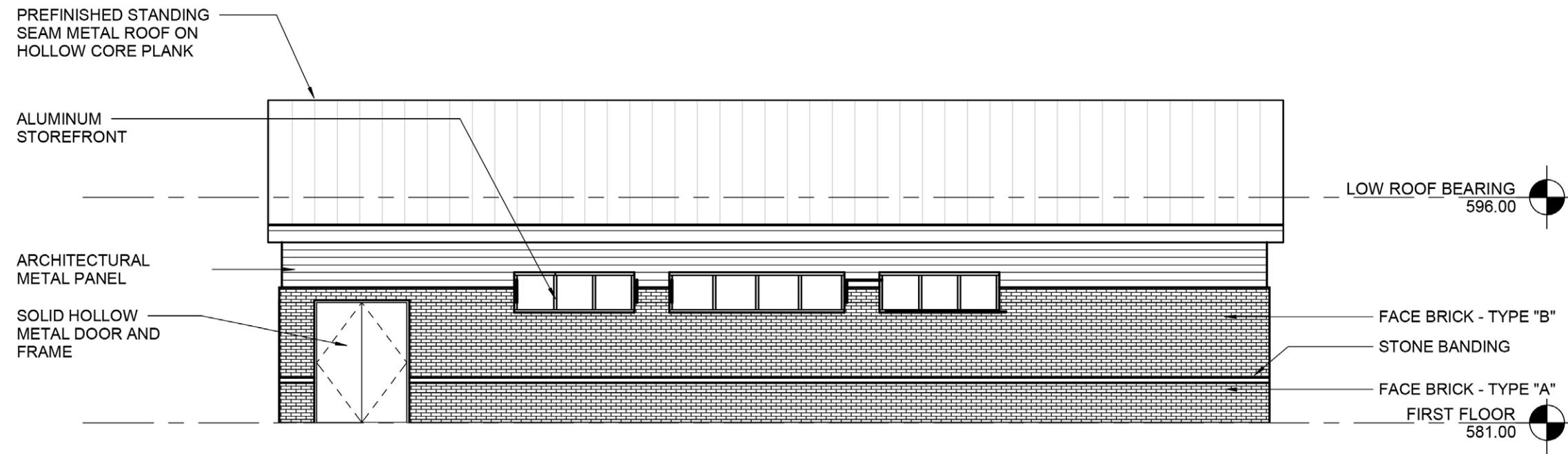
BUS MAINTENANCE (BUILDING 3) WEST ELEVATION - FACING ADJACENT RESIDENTIAL PROPERTY



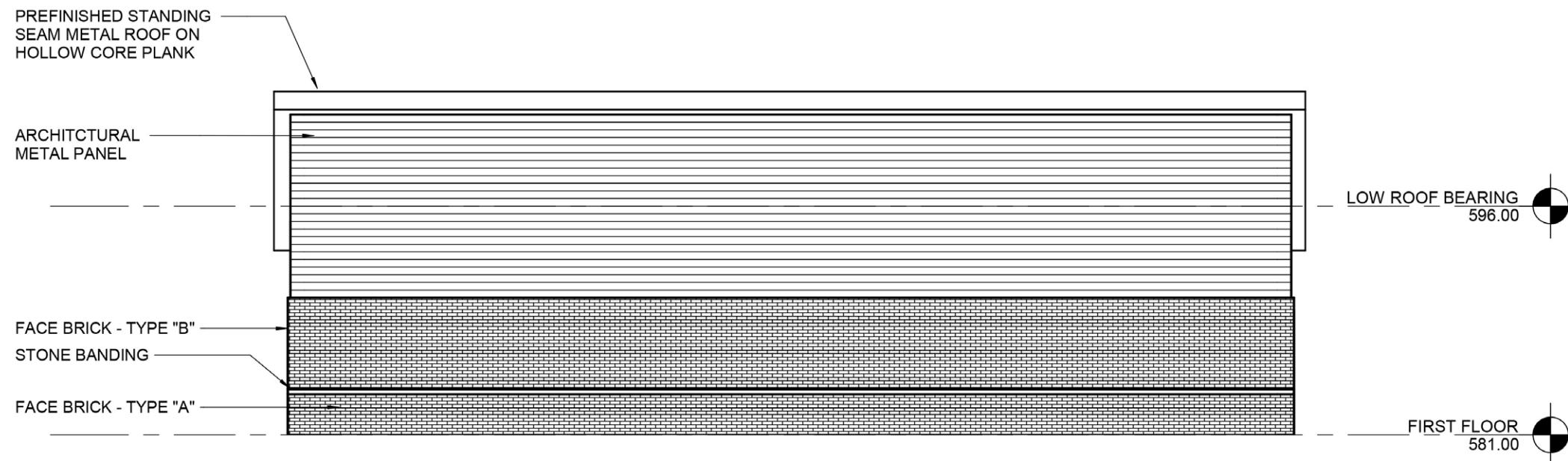
BUS MAINTENANCE (BUILDING 3) NORTH ELEVATION - FACING ADMINISTRATION BUILDING 1 & NEW SALEM HIGHWAY



*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.



BUS MAINTENANCE (BUILDING 3) NORTH ELEVATION - FACING STORMWATER MANAGEMENT AREA



BUS MAINTENANCE (BUILDING 3) SOUTH ELEVATION - FACING ADJACENT INDUSTRIAL PROPERTY

*Elevations shown are not to scale and are strictly conceptual. Elevations shown are meant to convey the general appearance of the architecture and materials to be used. Final product will be provided with architectural plan at site plan level.

Architectural Material Examples:

metals



standing seam
metal roof - light
blue



"wood-like"
finish metal
panel



architectural
metal panel -
grey



perf. metal
panel w/
imagery



trim metal -
black



ACM panel -
dark grey



aluminum
brake metal -
light grey

glazing



aluminum
curtainwall -
green glazing

masonry



stone banding



brick type C -
Coarse Velour
(Brown)



brick type B -
Ashberry Velour



brick type A -
Manganese
Ironspot

Architectural Characteristics:

- Building heights shall not exceed 35-feet in height
- All buildings will be single story

*Building materials shown are conceptual and meant to convey the overall use and character of the proposed buildings within this development. Different colors and/or patterns of the provided materials will be allowed. Final building materials will be provided with architectural plans during site plan approval process.

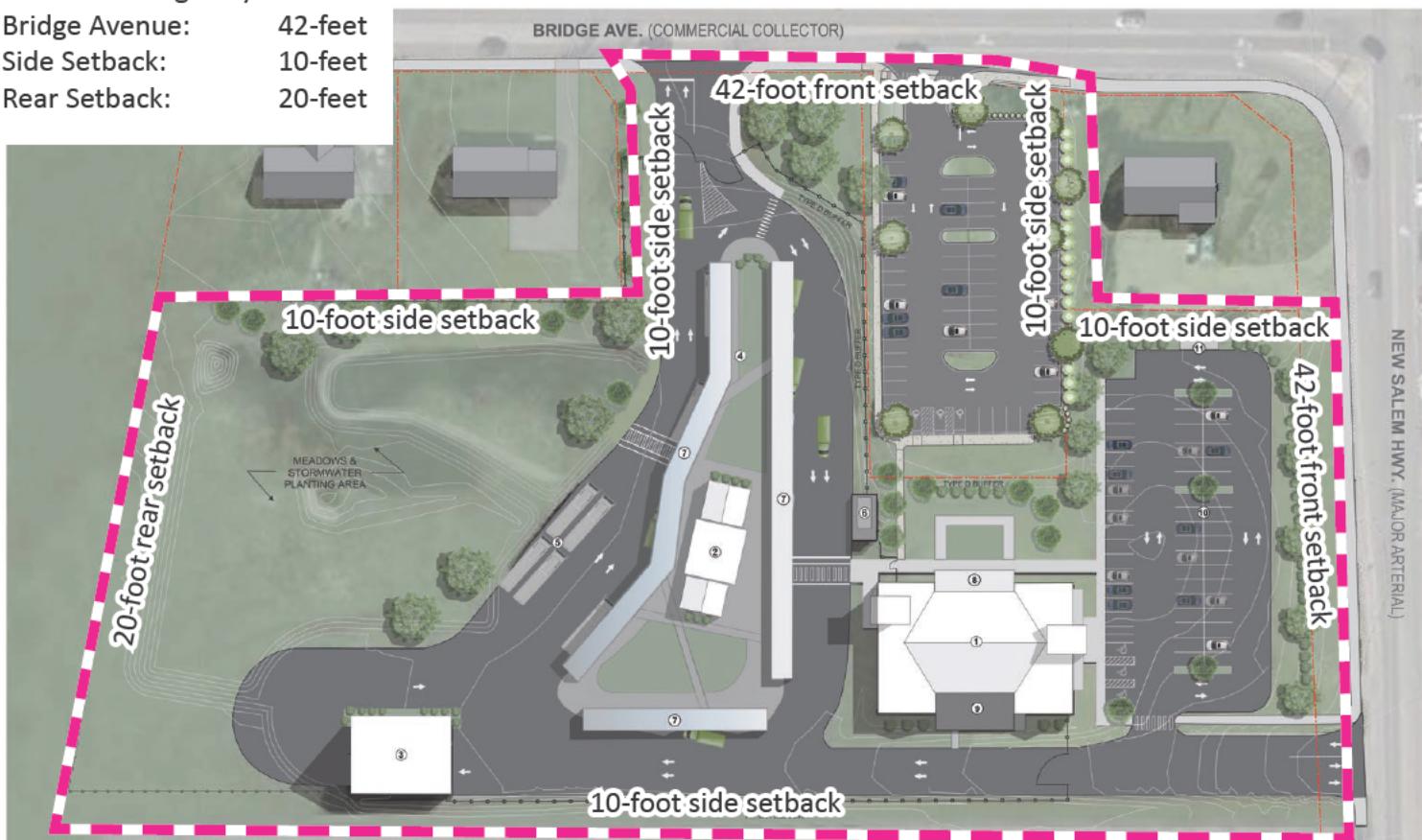
Building Setbacks

New Salem Highway: 42-feet

Bridge Avenue: 42-feet

Side Setback: 10-feet

Rear Setback: 20-feet



Pursuant to the City of Murfreesboro's 2040 Major Thoroughfare Plan (MTP), there are improvements planned for roadways around the site. New Salem Highway is planned to be expanded to a 5-lane roadway in the near future.

Bridge Avenue and New Salem Highway are two major thoroughfares where the majority of vehicular trips generated by this development will impact existing surrounding roadways.

The main entrance for bus traffic shall be located along Bridge Avenue. The entrance for employees and visitors vehicles shall be located along New Salem Highway. The New Salem Highway entrance (Figure 30.2) is proposed to incorporate three travel lanes for proper circulation into and out of the development. There will be a dedicated left and right out of the development as well as single lane for traffic entering the development. The Bridge Avenue entrance (Figure 30.1) is proposed to incorporate three travel lanes for proper circulation into and out of the development onto Bridge Avenue for Transit Vehicles. Automatic gates will reduce traffic conflicts due to the clockwise traffic flow to keep passenger(s) close to the covered canopies.

All drives and parking areas within the development will be built in accordance with the Murfreesboro Street Standards.

The property will include arm and swing gates at both entrances. The gates will be open during the day and closed at night. If the gates are motorized, they will comply with fire department requirements for Yelp Mode.

The We Go rideshare parking lot shall incorporate a right-in and right-out only entrance.

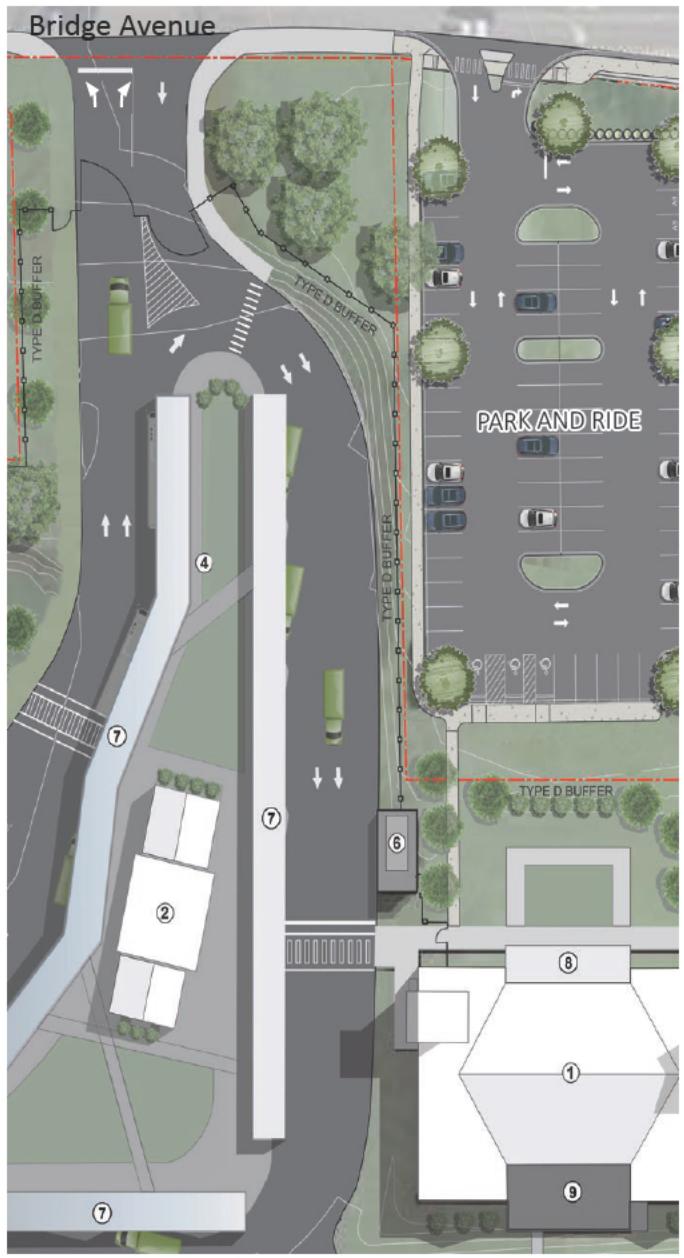


Figure 30.1

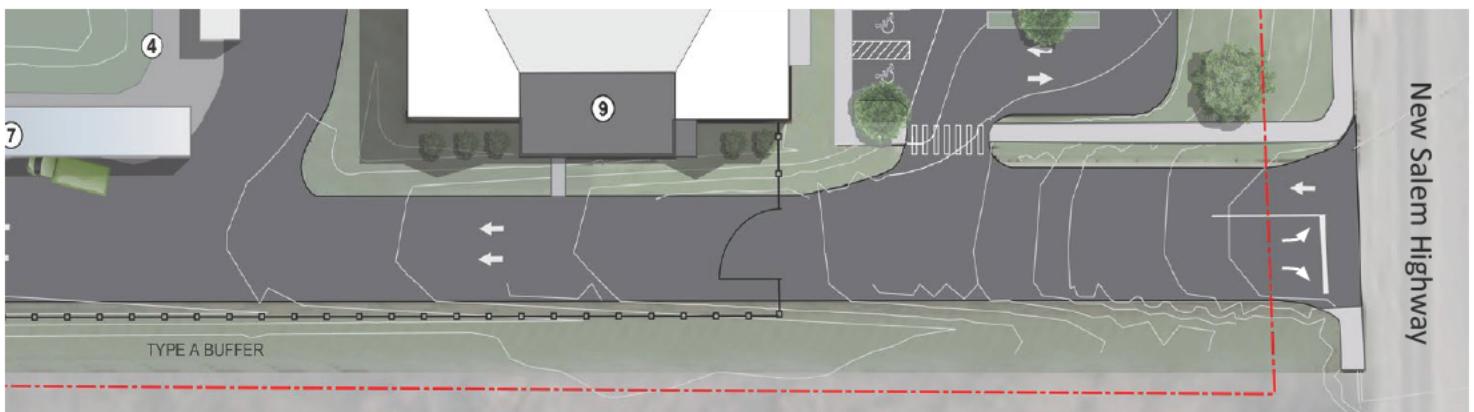
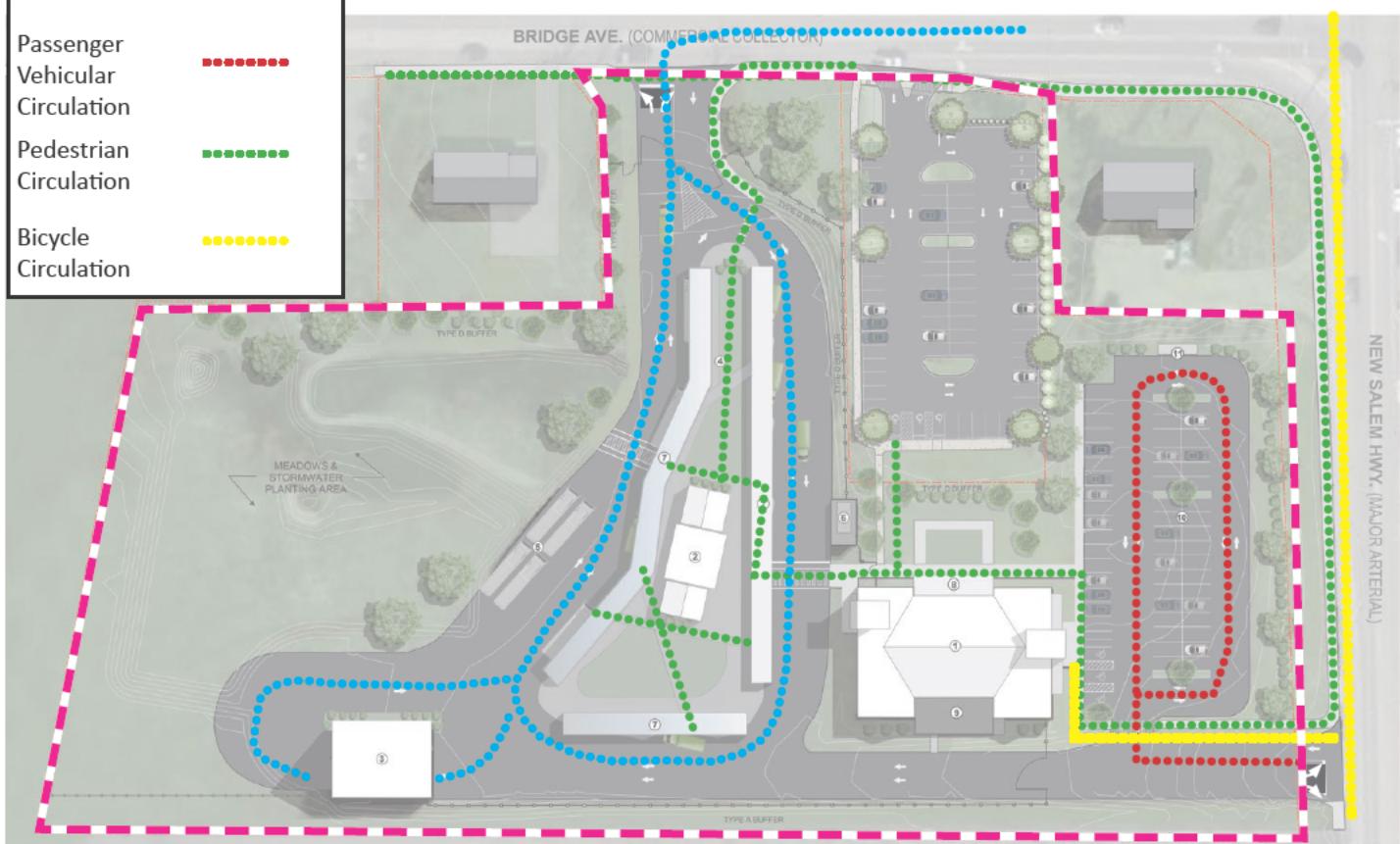
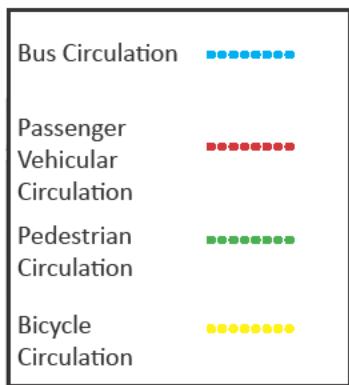
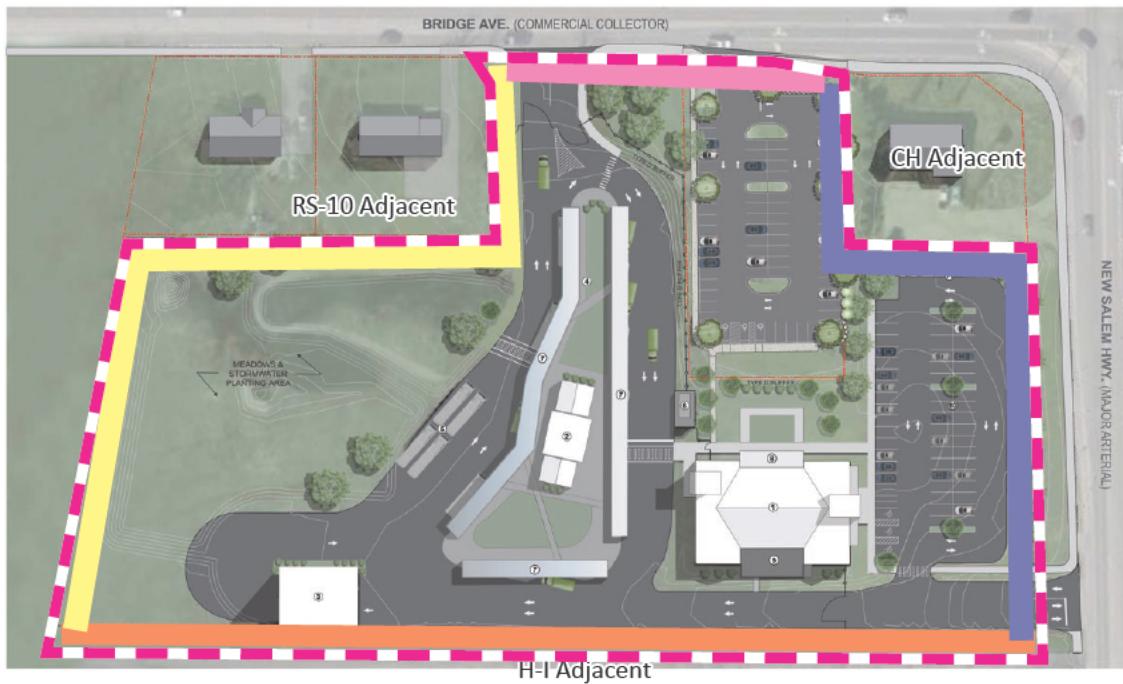


Figure 30.2

Not To Scale



In areas where pedestrian and vehicular traffic conflict, stripped cross-walks shall be provided. An example of a typical crosswalk can be seen above. The pedestrian circulation within the site will be connected to the existing and/or future sidewalks along New Salem Highway and Bridge Avenue. Bicycle racks shall be provided to accommodate bicycle traffic coming into the site.



not to scale

LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES



(A)



(B)

- (A) *Ulmus parvifolia 'Emer II'* / 'Emer II' Alle Elm
- (B) *Zelkova serrata 'Green Vase'* / Sawleaf Zelkova
- (C) *Buxus x 'Green Mountain'* / Boxwood
- (D) *Prunus laurocerasus 'Otto Luyken'* / Luykens Laurel
- (E) *Lagerstroemia indica 'GAMAD VI'* / Berry Dazzle Crape Myrtle
- (F) *Miscanthus sinensis 'Adagio'* / Adagio Eulalia Grass
- (G) *Liriope spicata 'Silver Dragon'* / Creeping Lily Turf
- (H) *Setcreasea pallida 'Purple Heart'* / Purple Heart Setcreasea
- (I) *Iberis sempervirens 'Little Gem'* / Little Gem Candytuft
- (J) *Liriope muscari 'Variegata'* / Variegated Lily Turf
- (K) *Magnolia grandiflora 'D.D. Blanchard'* TM / Southern Magnolia
- (L) *Thuja standishii x plicata 'Green Giant'* / Green Giant Arborvitae
- (M) *Cryptomeria Japonica 'Radians'* / Japanese Cedar

LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES



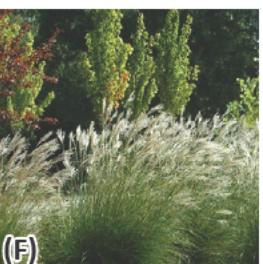
(C)



(D)



(E)



(F)



(G)



(H)



(I)



(J)

LANDSCAPE MATERIAL SAMPLES: GROUNDCOVER

LANDSCAPE BUFFER: EVERGREEN TREES



Example of 6-ft Decorative Aluminum Fence



Example of 6-ft Black Anti-Climb Fence

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the community and employees, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Landscaping Characteristics:

- Buildings 1, 2, & 3 shall have 3-foot planting beds along the foundation, except at doorways and walkways so as to not impede the vehicular or pedestrian circulation on the site.
- A minimum 8 feet of landscape area between parking and all external property lines.
- A minimum 15 feet of landscape area between the PND and Bridge Avenue.
- All parking lots shall be screened from public rights-of-way screened by the use of landscaping and/or berms.
- Any portion of the property adjacent to residential uses shall be planted with a 15-foot wide Type 'D' Landscape buffer.
- The southern property line shall consist of a 10' wide Type 'A' Buffer.
- Buffers shall be planted to the Murfreesboro Landscape Screening Standards outlined in Section 27 of the Murfreesboro Zoning Ordinance.
- All above ground utilities and mechanical equipment shall be screened with landscaping and/or fences.
- Solid waste enclosure shall be screened with a masonry wall and enhanced with landscaping.
- Proposed landscaping shall conform to the City of Murfreesboro's landscaping ordinance and will be reviewed at site plan level to confirm compliance.

Landscaping Exception Request:

- Remove interior perimeter planting yard and screening requirements between the two PND parcels. The Bridge Avenue frontage landscape shall be enhanced in lieu of this requirement.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Pages 4-9 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits and photographs on Pages 4-9 provide the required information to meet the aforementioned requirements. Portions of the property are subject to floodplains, and the site ultimately drains to West Fork Stones River.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Pages 4-9 provide the required information to meet the aforementioned requirements.

4.) A drawing defining the location and area to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Page 12 is the exhibit showing the concept plan that defines the locations of buildings, parking. Page 13 contains site standards, while Pages 28-29 illustrate ingress/egress points as well as site circulation.

5.) a circulation diagram indicating the proposed principal movement of vehicles, bicycles, goods, and pedestrians within the development to and from existing thoroughfares;

Response: Page 29 shows the proposed principal movement of pedestrians, bicycles, and vehicles through the site.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

(bb) the order in which the phases of the project will be built; and,

(cc) the minimum area and the approximate location of common space and public improvements that will be required at each phase.

Response: The project is anticipated to be developed in one phase. Development is anticipated to begin within 180 days of rezoning approval.

7.) A written statement generally describing the relationship of the planned development to the current policies and plans of the City and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article

Response: The Murfreesboro (2035) Future Land-use Plan characterizes this area to be Auto-Urban (General) Commercial Character (GC), as shown on Page 7. This land-use type correlates strongly with the proposed transit center. The uses affiliated with this future land use are of expansive drives and parking areas, automobile service areas, hotel/motels, and big box stores. The proposed development's uses aligns with the needs of the General Commercial Character of the area. The recommended zoning type for these uses include Commercial Highway (CH) and Planned Developments.

8.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response 1: 1) Remove interior perimeter planting yard and screening requirements between the two PND parcels. (See Page 33)
2) Remove the maximum 0.5 Footcandles (FC) limit at the shared internal property lines within the PND.

Response 2: The applicant is requesting the following setback, lot size, lot width, and building height exceptions to the comparative CH zone district with this PND.

SETBACKS	CH	PND	DIFFERENCE	PND - INTERNAL	DIFFERENCE
New Salem Highway	42.0'	42.0'	0.0'	NA	NA
Bridge Avenue	42.0'	42.0'	0.0'	NA	NA
Side Setback	10.0'	10.0'	0.0'	10	0.0
Rear Setback	20.0'	20.0'	0.0'	20	0.0
Minimum Lot Size	N/A	N/A	N/A	N/A	N/A
Minimum Lot Width	N/A	N/A	N/A	N/A	N/A
Maximum Building Height	75.0'	35.0'	-40.0'	N/A	N/A

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PND, as there are no requirements for these in the comparative CH zone district.

	PND	CH
TOTAL SITE AREA	267,894 s.f.	N/A
TOTAL MAXIMUM FLOOR AREA	13,932 s.f.	N/A
TOTAL LOT AREA	(6.15 AC) 267,894 s.f.	N/A
TOTAL BUILDING COVERAGE	13,932 s.f.	N/A
TOTAL DRIVE/ PARKING AREA	104,408 s.f.	N/A
TOTAL RIGHT-OF-WAY	N/A	N/A
TOTAL LIVABLE SPACE	N/A	N/A
TOTAL OPEN SPACE	(43%) 116,405 s.f.	20%
<hr/>		
FLOOR AREA RATIO (F.A.R.)	0.05	N/A
LIVABILITY SPACE RATIO (L.S.R.)	0.56	N/A
OPEN SPACE RATIO (O.S.R.)	0.95	N/A

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article.

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District, Historic District, Planned Signage Overlay District, or the City Core Overlay District. No portion of the property is within the floodway, however a portion of this property does lie within the 100-year and 500-year floodplains, according to the current FEMA Map Panel 47149C0260H Eff. Date 01/05/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: The proposed development does not immediately effect a road recognized by the Murfreesboro Major Thoroughfare Plan that is recommended for improvements. New Salem Highway expansions and ROW dedications are currently in progress. South Molloy Lane is approximately 170' west of the project site and is anticipated to align with West Main Street on Bridge Avenue.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated

Response: See Page 2 for applicant and involved parties.

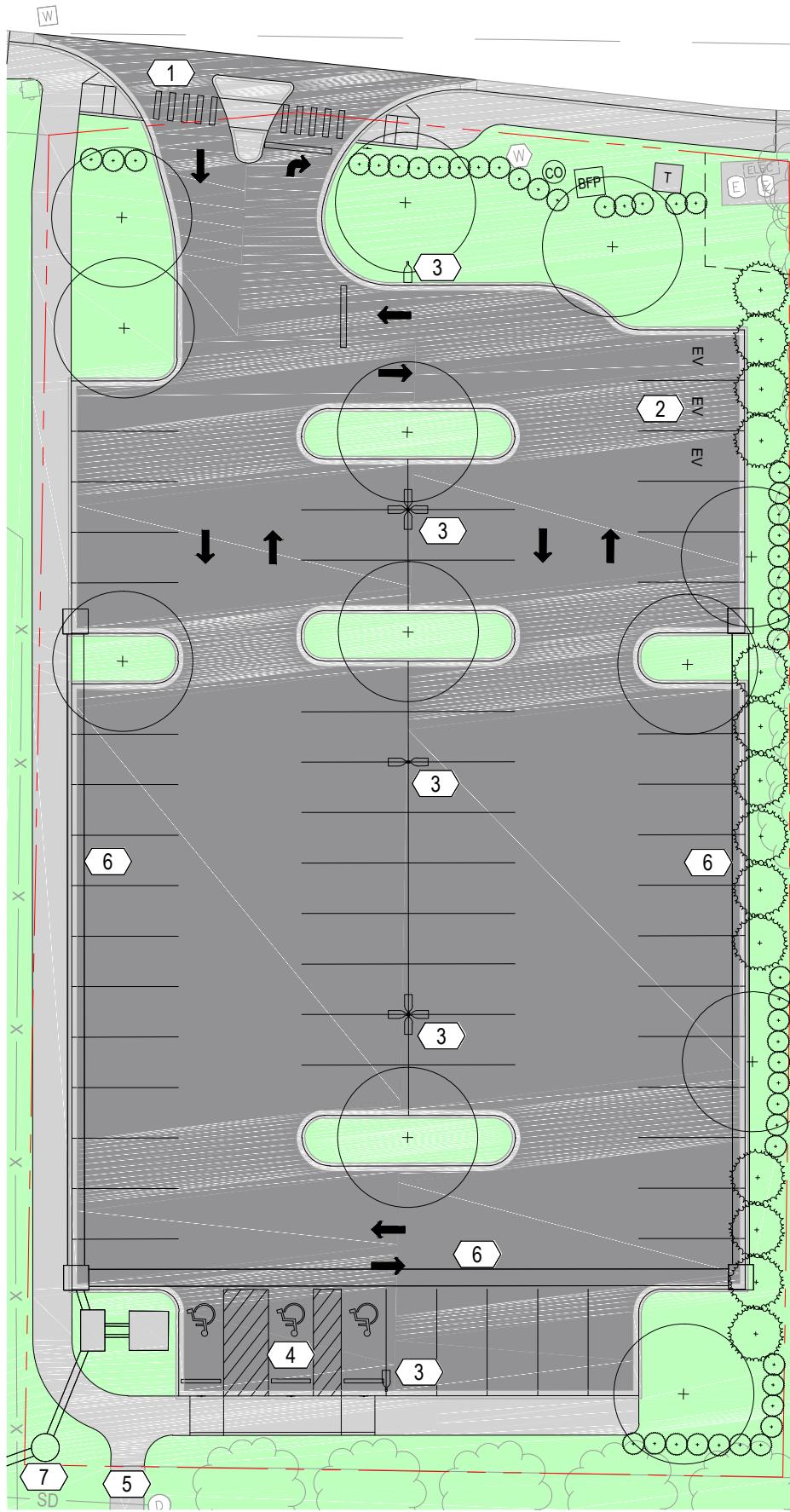
13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. And an exterior lighting plan.

Response: Architectural renderings, plans, and perspectives are provided on pages 14-26. With a written description on Page 27. A lighting plan shall be submitted at the site plan level.

14.) The application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials. The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Monument signage description can be found on Page 13 along with a sample image. Signage will be classified as monument signs and restricted to 40 face feet of signage per sign as per the Murfreesboro sign ordinance. All signs shall be constructed of masonry material and anchored with landscaping, and their approval is required under separate permit.

BRIDGE AVENUE



- 1 RIGHT IN / RIGHT OUT ENTRANCE FROM BRIDGE AVE.
- 2 FUTURE ELECTRICAL VEHICLE SPACES.
- 3 SITE LIGHTING.
- 4 HANDICAP ACCESSIBLE SPACES.
- 5 SIDEWALK CONNECTION TO TRANSIT CENTER.
- 6 STORM DRAINAGE.
- 7 STORM DRAINAGE CONNECTION.

NOT TO SCALE



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
OCTOBER 1, 2025
PROJECT PLANNER: MARC SHACKELFORD-ROWELL**

- 6. a. Mandatory Referral [2025-714] to consider the dedication of easements for CUD and MTE on City-owned property located along Central Valley Road, Middle Tennessee Electric applicant.**



In this mandatory referral, the Planning Commission is being asked to consider the dedication of utility easements for Middle Tennessee Electric (MTE) and Consolidated Utility District (CUD) on City-owned property along Central Valley Road. The proposed easement is associated with the proposed installation of a meter vault, asphalt driveway, and the electric SCADA panel equipment on the City property. CUD is requesting to obtain the remaining easement needed to close the gap from the existing CUD water line easement

which will extend to the existing right-of way and ensure access to the water main from Central Valley Road. CUD is also requesting the city dedicate an MTE easement to extend electrical utilities from the existing power facilities to the site. The proposed upgrades will allow utility providers to ensure they can deliver services to future and current residents in the surrounding areas. Furthermore, the system upgrades will make it easier to meter water pressure, address leaks, and identify areas in need of infrastructure upgrades.

An exhibit showing the location of the proposed meter vault, SCADA panel, and driveway are included in the agenda materials as well as letters from MTE and CUD.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. If approved by City Council, Middle Tennessee Electric will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare the legal instrument(s) to formally dedicate the proposed easement. The legal instrument(s) will be subject to final review and approval of the Legal Department.
2. Middle Tennessee Electric will also be responsible for recording the legal instrument(s), including payment of the recording fee.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

Property Information:

Tax Map/Group/Parcel: 047/00800

Address (if applicable): 1406 Central Valley Rd.

Street Name (if abandonment of ROW):

Type of Mandatory Referral: CUD Waterline Easement Needed

Applicant Information:

Name of Applicant: Carter Brewer

Company Name (if applicable): Consolidated Utility District of Rutherford County

Street Address or PO Box: 709 New Salem Hwy

City: Murfreesboro

State: TN

Zip Code: 37129

Email Address: [REDACTED]

Phone Number: 615-225-3327

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)

Applicant Signature

8/28/2025

Date



August 28, 2025

RE: City of Murfreesboro Property located at 1406 Central Valley Rd.

To whom it may concern,

Consolidated Utility District of Rutherford County is planning to construct a DMA station which will include a meter vault, asphalt driveway, and electronic SCADA panel equipment on the City property.

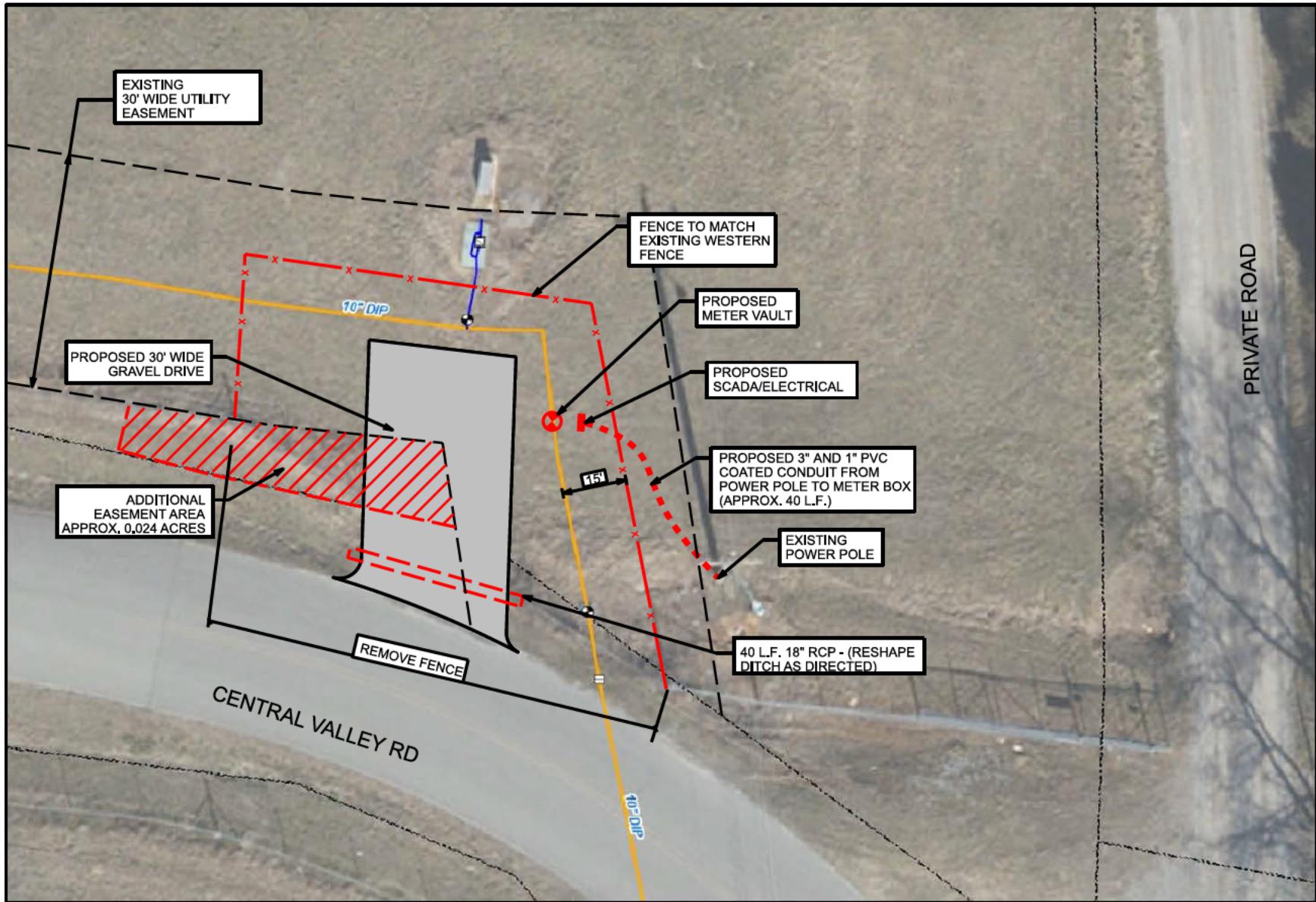
CUD is requesting to obtain the remaining easement needed to close the gap from the existing CUD water line easement which will extend to the existing Right-of Way and ensure access to the water main from Central Valley Road. CUD is also requesting for the City to sign an MTE easement to extend electrical utilities from the existing power facilities to the site.

Please let me know if you have any questions or need additional information for this request.

Sincerely,

A handwritten signature in black ink, appearing to read "Carter Brewer".

Carter Brewer, P.E.
Project Manager



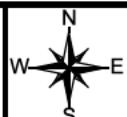
SITE 'N'
CENTRAL VALLEY ROAD
N.T.S.

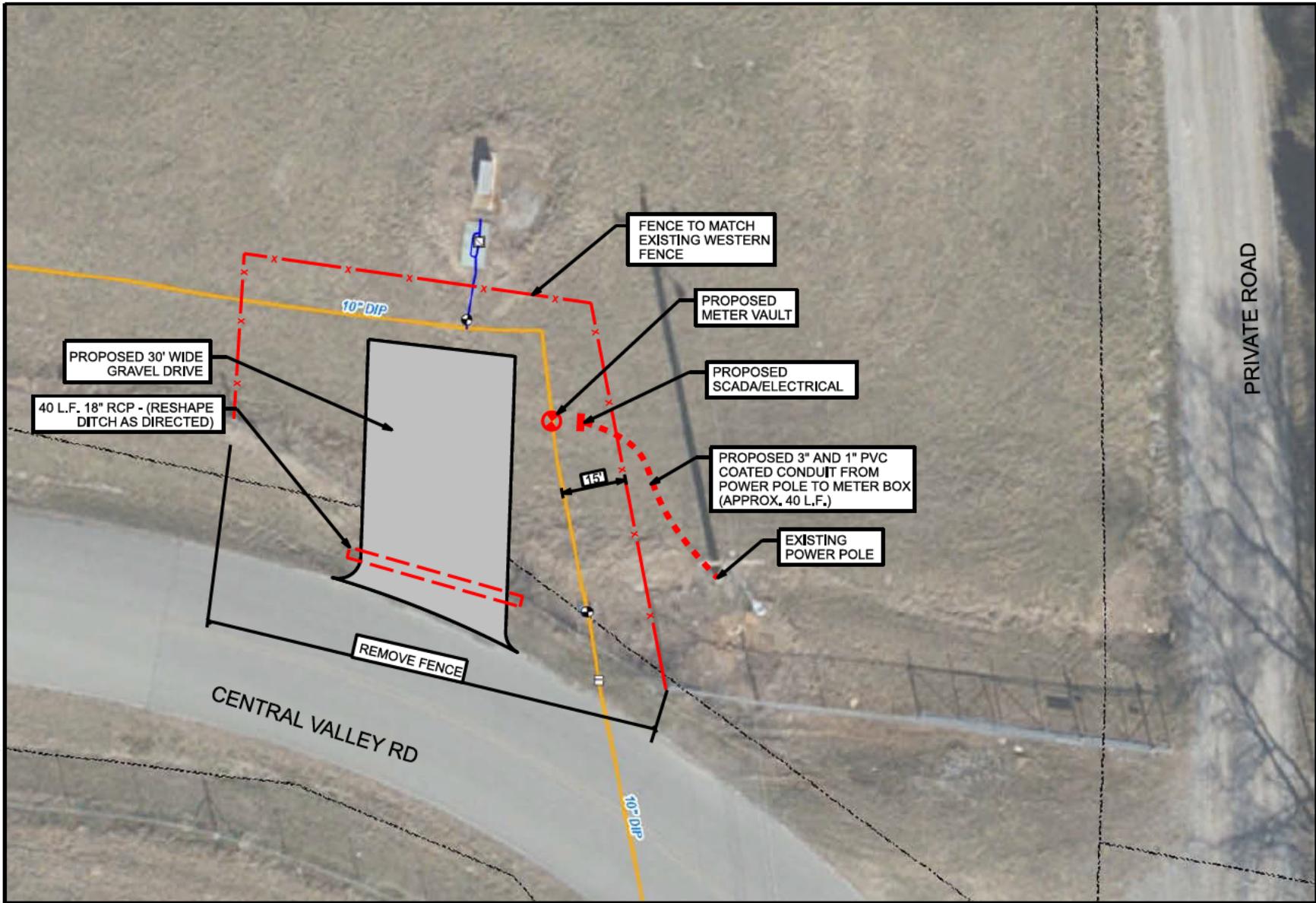


CONSULTING ENGINEERS
360 COOL SPRINGS BLVD., STE. 100
Franklin, Tennessee 37067
PH: 615-883-4933 WWW.JCHENGR.COM

CONSOLIDATED UTILITY DISTRICT
Rutherford County, Tennessee

DMA STATIONS
PROPOSED LOCATION
SITE 'N'





SITE 'N'
CENTRAL VALLEY ROAD
N.T.S.



CONSULTING ENGINEERS
360 COOL SPRINGS BLVD., STE. 100
Franklin, Tennessee 37067
PH: 615-883-4933 WWW.JCHENGR.COM

CONSOLIDATED UTILITY DISTRICT
Rutherford County, Tennessee

DMA STATIONS
PROPOSED LOCATION
SITE 'N'



Heather Dawbarn, Register
Rutherford County Tennessee
Rec #: 805402
Rec'd: 20.00 Instrument #: 1935195
State: 0.00
Clerk: 0.00 Recorded
Other: 2.00 12/4/2014 at 2:35 PM
Total: 22.00 in
Record Book 1340 Pgs 1036-1039

This Instrument Prepared By:
DAVID A. IVES, Assistant City Attorney
City of Murfreesboro
P.O. Box 1044
Murfreesboro, TN 37133-1044

Map 047 Parcel 008.00

WATERLINE EASEMENT

FOR AND IN CONSIDERATION of the sum of ONE DOLLAR (\$1.00), cash in hand to us paid by **CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, TENNESSEE, a body politic**, the receipt of which is hereby acknowledged, and for and in consideration of the benefits to accrue to our land of which the hereinafter described parcels of land are a part, the undersigned, **CITY OF MURFREESBORO, a municipal corporation in Rutherford County, Tennessee**, (hereinafter referred to, whether singularly or collectively, as "Grantor") has this day bargained and sold and does hereby transfer unto said **CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, TENNESSEE, a body politic**, its successors and assigns, a permanent water line easement in, upon, along, under, through and across the parcel(s) described below, together with all necessary rights of ingress and egress to and from said parcel(s) of land, for the purpose of locating, laying, constructing, installing, servicing, repairing, replacing, enlarging, maintaining, and operating a water line, together with all necessary or appropriate fittings, appliances and appurtenances thereto, in, upon, along, under, through and across said parcels of land. Said parcel(s) is/are located in Rutherford County, State of Tennessee, and is/are more particularly described as follows:

Waterline Easement No. 1

AREA "A" - Being a center line description of a thirty (30) foot wide permanent easement and beginning at a point in the western property line of this property and the eastern property line of Weeks and said point being 15 feet north of the northern right-of-way of Swamp-Leanna Road, thence; in an eastern direction parallel to the northern right-of-way of Swamp-Leanna Road a distance of 1830.99 feet to a point, said point being in the intersection of Swamp-Leanna Road and Central Valley Road, thence; continuing in an eastern direction 15 feet north of and parallel to the northern right-of-way of Central Valley Road for a distance of 750 feet to a point, thence; northeast at a forty five degree (45°) angle to the center line of this 30 foot wide easement 25 feet to a point being the ending point of the 30 foot wide easement also being the beginning of **AREA "B"**.

AREA "B" At this point the easement will be 50 feet wide, parallel and adjacent to northeastern right of way Central Valley Road for a distance of approximately 480 feet to a point in the eastern property line of this property and the western property line of Hanson. Included in this easement area is a repurified water line belonging to the City of Murfreesboro.

Waterline Easement No. 2

Being a center line description of a thirty (30) foot wide permanent easement on the west side of Central Valley Road approximately 1250 feet in length, and then approximately 4300 feet on the north and east of side of Central Valley Road to the end of this property as described below.

Commencing at an intersecting point being 15 feet north of the northern-right-of way of Swamp-Leanna Road and 25 feet west of the western right-of-way of Central Valley Road in a northern direction parallel to the western right-of-way of Central Valley Road for a distance of approximately 1,250 feet to a point after crossing to the north side of Central Valley Road, thence; parallel and adjacent to the northern right-of-way of Central Valley Road in a western direction approximately 400 feet to a small cemetery (Coleman/Rooker Cemetery), thence; in a northern direction approximately 45 feet to a point, thence; in a western direction approximately 120 feet to a point, thence; in a southern direction approximately 40 feet to a point, thence; in a western direction parallel and adjacent to Central Valley Road approximately 2,100 feet to a point, thence; following the right-of-way of Central Valley Road through a curve in a western then a northern direction approximately 1,600 feet to a point, thence; in a western direction 15 feet to a point in the eastern right-of-way of Central Valley Road and being the ending point of this easement.

Grantor's source of title being instrument of record in Record Book 161, Page 2721, the Register's Office of Rutherford County, Tennessee.

TO HAVE AND TO HOLD said easement, and that said rights of ingress and egress, unto said **CONSOLIDATED UTILITY DISTRICT**, its successors and assigns.

Grantor covenants that it is lawfully seized and possessed of said parcel(s) of land; that it has a good and lawful right to transfer and convey said easement; and that said parcel(s) of land is/are unencumbered, except for applicable zoning regulations and as otherwise set forth herein.

Grantor further covenants and binds itself, its heirs, successors and assigns forever to warrant and defend the title to said easement unto said **CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, TENNESSEE**, its successors and assigns, against the lawful claims of all persons.

Grantor further covenants and binds itself, its heirs, successors and assigns in title or interest in and to said parcel(s) of land or any part or portion thereof, not to construct or

maintain any building or other structure of any kind upon said parcel(s) of land, and not to do or cause or permit to be done upon said parcel(s) of land any other thing or act of any kind whatsoever that will cause or be likely to cause damage or injury to the above referred to water line including its fittings, appliances and appurtenances.

By its acceptance of delivery of this instrument, **CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, TENNESSEE** covenants and binds itself, its successors and assigns to repair and restore all fences, if any, that may be required to be cut or to be temporarily removed in, and to clean and remove all surplus dirt, rock and other debris, caused by or resulting from the locating, laying, constructing, installing, servicing, repairing, and maintaining of the said water line, including its fittings, appliances and appurtenances thereto, and also insofar as reasonably practicable, to fill, grade and restore the surface of the land, as related to the construction of the water line.

Wherever used in this instrument, the singular number shall include the plural, the plural shall include the singular, and the use of any gender shall be applicable to all genders.

WITNESS OUR HANDS, this 14th day of November, 2014.

CITY OF MURFREESBORO

By: Shane McFarland
SHANE MCFARLAND, MAYOR

ATTEST:

Melissa Wright
MELISSA WRIGHT, CITY RECORDER

STATE OF TENNESSEE)
COUNTY OF RUTHERFORD)

Before me, the undersigned authority, a Notary Public in and for said County and State, personally appeared **SHANE MCFARLAND** and **MELISSA WRIGHT** with whom I am personally acquainted, or proved to me on the basis of satisfactory evidence and who, upon their oaths acknowledged themselves to be respectively the Mayor and City Recorder of the City of Murfreesboro, a municipal corporation, and that they as such Mayor and City Recorder, being authorized to do so, executed the within instrument for the purposes therein contained, by signing thereto the name of said Corporation, and by attesting said instrument, by themselves as such Mayor and City Recorder, respectively.

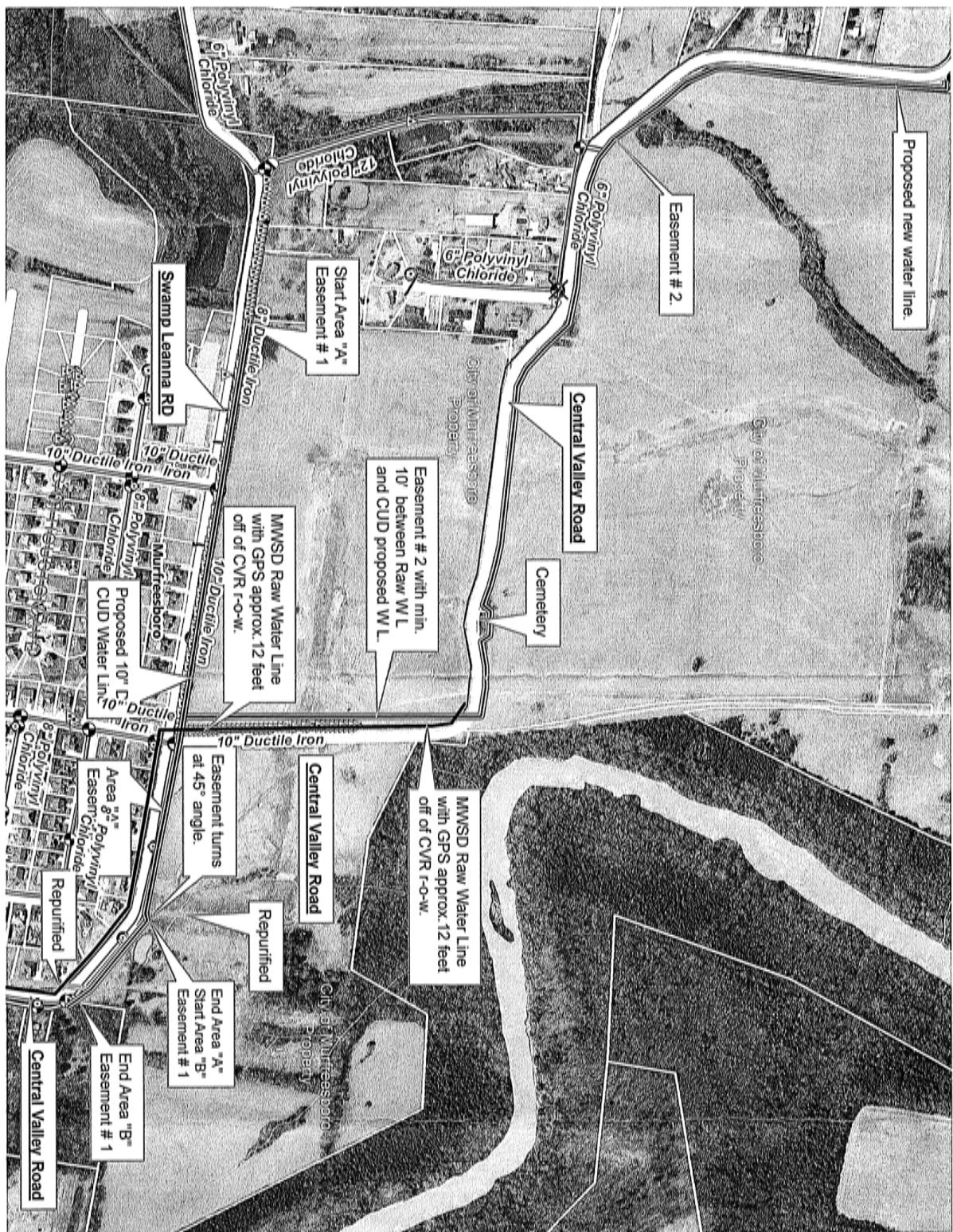
WITNESS MY HAND, at office, this 14th day of November, 2014.

Deane W. Johnson
NOTARY PUBLIC

My Commission Expires: 08-22-16

(seal)





RECEIVED NOV 18 2014

Right-of-Way

Easement

This instrument prepared by: MTE
 555 New Salem Highway, Murfreesboro, TN 37129
 JS Employee Initials



Service Location # 6000496444 Meter Set SO # 16817823 WO# 16817828

Grantor: City of Murfreesboro And/by _____

Select one of the following: unmarried married business entity

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Grantor, whether one or more, does hereby grant unto Middle Tennessee Electric Membership Corporation, a Tennessee not-for-profit corporation ("Grantee" or "MTE"), its affiliates, successors or assigns, a perpetual easement (the "Easement") that, except as may be otherwise indicated on Exhibit 1, if attached, shall be twenty feet (20') from the centerline (total of 40') for any overhead transmission and/or distribution line or system, including anchoring, and ten feet (10') from the centerline (total of 20') for any underground transmission and/or distribution line or system with the right to:

- install, construct, reconstruct, rephase, operate and maintain an electric transmission and/or distribution line or system;
- inspect and make such repairs, changes, alterations, improvements, removals from, substitutions and additions to its facilities as Grantee may from time to time deem advisable, including, by way of example and not by way of limitation, the right to increase or decrease the number of conduits, wires, cables, poles, guy wire and anchors, hand holes, manholes, connection boxes, transformers and transformer enclosures;
- cut, trim and control the growth by chemical means, machinery or otherwise of trees and shrubbery within the Easement, or any tree that may interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit, prevent and restrict the planting and/or maintenance of any trees, shrubbery or vegetation not approved in writing by Grantee (except those trees that appear on MTE's approved standard planting guide) which approval may be withheld by Grantee in its sole discretion if it determines said trees, shrubbery or vegetation may in the future interfere with or threaten to endanger the operation and maintenance of said line or system;
- prohibit the planting of any trees, shrubbery or vegetation within 15' of a pole or pad-mounted equipment;
- keep the Easement clear of all buildings, structures or other obstructions;
- license, permit or otherwise agree to the joint use or occupancy of the lines, system or, if any of said system is placed underground, of the trench and related underground facilities, by any other person, association or corporation for electrification, for other utility or commercial purposes;
- install and maintain guy additions to overhead lines if any portion of the lines or system is placed underground;

over, across; and through the land owned by Grantor as further described below (the "Property");

County	<u>Rutherford</u>	<input type="button" value="▼"/>	State of Tennessee	Tax Map:	<u>47</u>	Group:	_____	Parcel:	<u>8.00</u>
Address	<u>1406</u>			<u>Central Valley Rd</u>	<u>Murfreesboro</u>			<u>37129</u>	
	House/building#	Street/Road Name			City	Zip			

and such Property being of record in Deed Book 161, Page 2721, Register's Office of the above-named county, and as may be further described according to Exhibit 1 attached hereto and incorporated herein by reference, if attached, together with the right of ingress and egress over adjacent lands of the Grantor, and Grantor's successors and assigns for the purposes of this Easement.

The Grantor agrees that all poles, wires, and other facilities, including any main service entrance equipment, installed in, upon or under the Property at Grantee's expense shall remain the property of the Grantee and removable at the option of the Grantee. The Grantor hereby expressly releases any claims, demands, actions, or causes of action for trespass related to the Grantee's use of this Easement as described herein. The grant and other provisions of this Easement shall run with the land for the benefit of the Grantee, its affiliates, successor and assigns.

IN WITNESS WHEREOF, the Grantor has executed this instrument this _____ day of _____, 202____.

Print Name/Title of Authorized Signatory

Print Name/Title of Authorized Signatory

Legal Signature

Legal Signature

STATE OF _____

STATE OF _____

COUNTY OF _____

COUNTY OF _____

On the ___ day of _____, 202___, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

On the ___ day of _____, 202___, personally appeared before me, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Notary Signature

My Commission Expires

Notary Signature

My Commission Expires

This Instrument Prepared By:
Consolidated Utility District
PO Box 249
Murfreesboro, TN 37133

PORTION OF Map 047, Parcel 008.00

AMENDED AND RESTATED PERMANENT WATER UTILITY EASEMENT

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) and other good and valuable considerations, the receipt of which is hereby acknowledged, and for and in consideration of the benefits to accrue to our land of which the hereinafter described parcel of land is a part, the undersigned, **CITY OF MURFREESBORO, a municipal corporation in Rutherford County, Tennessee**, (hereinafter collectively referred to as "Grantor") has this day bargained and sold and does hereby grant and transfer unto the **CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY, TENNESSEE, a body politic**, ("Grantee"), its successors and assigns, an additional easement area being approximately 0.024 +/- acres as shown on the attached Exhibit "A" and referenced as "Additional Easement Area", to include the area between the existing easement of record in Record Book 1340, Page 1036, Register's Office for Rutherford County, Tennessee, and the existing Central Valley Road public right of way, more particularly described as follows:

Being an additional easement area approximately 0.024 +/- acres as shown on the attached Exhibit "A" and referenced as "Additional Easement Area" and running along, parallel and appurtenant to the northern edge of the Central Valley Road public right of way existing on the date of this instrument, together with all necessary rights of ingress and egress to and from said parcel of land, for the purpose of locating, laying, constructing, inspecting, installing, servicing, repairing, replacing, enlarging, maintaining, and operating a permanent water utility line, district metering area and station (DMA), meter vault, SCADA panel, driveway and fencing, and together with any and all necessary or appropriate fittings, appliances and appurtenances thereto, in, upon, along, under, through and across the following described parcel located in Rutherford County, State of Tennessee. The above-described permanent water utility easement amends the existing easement under the same terms and conditions as the existing easement of record, by incorporating the new easement area, and further restates the prior water utility easement granted to the Grantee by instrument of record in Record Book 1340, page 1036, of the Registers Office of Rutherford County, Tennessee, with all conditions brought forth herein as if copied verbatim.

Being a portion of the same property conveyed to City of Murfreesboro, a municipal corporation in Rutherford County, Tennessee, by Executor's Deeds of record in Record Book 161, Page 2721, in the Register's Office of Rutherford County, Tennessee.

Grantee shall have the right to cut, trim, or remove any trees or shrubs within the easement for the purpose of constructing, reconstructing, repairing, servicing or operating the water line.

To HAVE AND TO HOLD said title to said easements unto said Consolidated Utility District of Rutherford County, Tennessee, its successor and assigns.

Grantor covenants that it is lawfully seized and possessed of said parcel of land, that it has a good and lawful right to transfer and convey said easement, and the parcel of land is unencumbered except for applicable zoning regulations.

Grantor further covenants and bind itself, its heirs, successors and assigns forever to warrant and defend the title to said easement unto said Consolidated Utility District of Rutherford County, Tennessee, its successors and assigns, against the lawful claims of all persons.

Grantor further covenants and bind itself, its heirs, successors and assigns in title or interest in and to said parcel of land or any part or portion thereof, not to construct or maintain any building or other structure of any kind upon the areas covered by the permanent water easement, and not to do so or cause or permit to be come upon said areas of land any other things or acts of any kind whatsoever that will cause or be likely to cause damage or injury to the water utility line including its fittings, appliances and appurtenances. Unless Grantor obtains the prior written consent of Grantee, Grantor agrees not to grant, convey, transfer, or assign to any other person or entity any easement or other property right or interest on the above-described permanent water utility easement area allowing the installation of water lines, sewer lines, gas lines, electric lines, television cable(s), phone cable(s), fiber optic lines, or any other communication cables, and/or appurtenances related to any of said lines, within ten (10) feet of any and all water lines and appurtenances.

The easements and terms of this instrument shall run with the land and be binding upon Grantor, and Grantor's successors and assigns with regard to the above-described parcel of real property.

It is agreed and understood that the contractor for the Consolidated Utility District of Rutherford County, Tennessee, will be financially responsible for all damage done to fences and/or other structures at the time of installation of the water line, and will repair or restore damage, if any.

Wherever used in this instrument, the singular number shall include the plural, the plural shall include the singular, and the use of any gender shall be applicable to all genders.

WITNESS MY HAND, this _____ day of _____, 2025.

CITY OF MURFREESBORO

By: _____
SHANE MCFARLAND, MAYOR

ATTEST:

AMANDA DEROSIA, CITY RECORDER

STATE OF TENNESSEE
COUNTY OF RUTHERFORD

Before me, the undersigned authority, a Notary Public in and for said County and State, personally appeared **SHANE MCFARLAND** and **AMANDA DEROSIA** with whom I am personally acquainted, or proved to me on the basis of satisfactory evidence and who, upon their oaths acknowledged themselves to be respectively the Mayor and City Recorded of the City of Murfreesboro, a municipal corporation, and that they as such May and City Recorder, being authorized to do so, executed the within instrument for the purposes therein contained, by signing thereto the name of said Corporation, and by attesting said instrument, by themselves as such Mayor and City Recorder, respectively.

WITNESS MY HAND and official seal on this the _____ day of _____, 2025.

NOTARY PUBLIC

My commission expires: _____