

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**SEPTEMBER 3, 2025
6:00 PM**

**Ken Halliburton
Chair**

- 1. Call to order.**
- 2. Determination of a quorum.**
- 3. Recognition of Kathy Jones for her service on the Planning Commission.**
- 4. Public Comments.**
- 5. Approve minutes of the August 20, 2025 Planning Commission meeting.**
- 6. Public Hearings and Recommendations to Council:**
 - a. Annexation petition and plan of services [2025-504] for approximately 22.5 acres located along Veterans Parkway and Old Salem Road, Randal and Debra Robinson and the City of Murfreesboro applicants. (Project Planner: Richard Donovan)**
 - b. Zoning application [2025-415] for approximately 19.26 acres located along Old Salem Road to be zoned PRD (Robinson Bend PRD) simultaneous with annexation, Summit Development, LLC applicant. (Project Planner: Richard Donovan)**
 - c. Zoning application [2025-416] for approximately 7.46 acres located along Bill Smith Drive to be rezoned from CH & GDO-1 to PCD (Toyota of Murfreesboro PCD) & GDO-1, TT of T Murfreesboro, Inc. applicant. (Project Planner: Brad Barbee)**
 - d. Zoning application [2025-417] for approximately 0.4 acres located along East Kingwood Drive to be rezoned from RM-16 to CH, Abundant Life Christian Academy applicant. (Project Planner: Holly Smyth)**

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

SEPTEMBER 3, 2025

7. Staff Reports and Other Business:

- a.** Mandatory Referral [2025-712] to consider the abandonment of a drainage easement located at 2612 Dorset Street, Frank Pesce applicant. (Project Planner: Brad Barbee)
- b.** Mandatory Referral [2025-713] to consider the dedication of an electric easement on City-owned property located along Doctor Martin Luther King Jr Boulevard, Middle Tennessee Electric applicant. (Project Planner: Marc Shackelford-Rowell)

8. Adjourn.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

1:00 P.M.

CITY HALL

MEMBERS PRESENT

Ken Halliburton, Chair
Jami Averwater, Vice-Chair
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright

STAFF PRESENT

Darren Gore, City Manager
Greg McKnight, Exec. Dir. Dev. Services
Ben Newman, Dir. of Land Mngt. & Planning
Matthew Blomeley, Assistant Planning Director
Holly Smyth, Principal Planner
Richard Donovan, Principal Planner
Brad Barbee, Principal Planner
Amelia Kerr, Planner
Marc Shackelford-Rowell, Planner
Katie Noel, Project Engineer
Lee Holliman, Project Engineer
Carolyn Jaco, Recording Assistant
John Tully, Assistant City Attorney

1. Call to order.

Chair Ken Halliburton called the meeting to order.

2. Determination of a quorum.

Chair Ken Halliburton determined a quorum was present.

3. Public Comments.

Chair Ken Halliburton announced that no signed up to speak during the Public Comment portion of the agenda.

4. Approve minutes of the August 6, 2025 Planning Commission meeting.

Ms. Jami Averwater moved to approve the minutes of August 6, 2025 Planning Commission meeting; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

5. Consent Agenda:

Bilbro Addition Annex to Murfreesboro, Resubdivision of Lots 1 & 2 of Block "A" [2025-2069] final plat for 2 lots on 0.3 acres zoned RS-4 and CCO located along East Vine Street and Kerr Avenue, Jacob Stock developer.

Shelton Square, Section 11 [2025-2058] final plat for 19 lots on 3.52 acres zoned PRD located along Sagebrush Drive and Lennis Lane, Shelton Square, LLC developer.

The Learning Center at Berkshire, Lots 2 & 3 and the Resubdivision of Lot 1 [2025-2060] final plat for 3 lots on 9.68 acres zoned PCD located along Blackman Road and Hartman Farm Court, Cornerstone Development, LLC developer.

Rose Ridge, Lots 8-12 [2025-2068] final plat for 5 lots on 7.1 acres zoned RS-10 located along Scottish Drive and Roxburghe Court, Ben Defoor developer.

The Gardens at Three Rivers, Resubdivision of Lot 97 [2025-2065] final plat for 3 lots on 0.33 acres zoned PRD located along Ashebrook Court, Patterson Company, LLC developer.

Highfill, Norton, & King, Lots 1 & 2 [2025-2066] final plat for 2 lots on 0.17 acres zoned CBD & CCO located along North Maple Street, Sallie King and Marvin Highfill, Jr. developers.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

Mercury Plaza Shopping Center, Lot 1 [2025-2067] horizontal property regime plat for 3 units on 16.97 acres zoned CH located along Doctor Martin Luther King Jr Boulevard and Middle Tennessee Boulevard, Mercury Plaza General Partners developer.

River Landing Townhomes, Section 2, Phase 1, Lot T6 [2025-2062] amended horizontal property regime plat for 12 units on 6.6 acres zoned PUD located along Oswin Drive, D.R Horton developer.

River Landing, Section 3, Phase 2 [2025-2061] final plat for 51 lots on 32.39 acres zoned PUD located along Oswin Drive and Clousden Way, D.R, Horton developer.

YMCA, Resubdivision of Lots 2 and 3 [2025-2064] final plat for 3 lots on 9.51 acres zoned CH located along North Thompson Lane, Green Trails-Triout Thompson Lane, LLC developer.

Cherry Blossom Downs, Resubdivision of Lots 11 & 13 [2025-2071] final plat for 4 lots on 0.68 acres zoned PRD located along John Richards Drive, BNA Homes, LLC developer.

The Human Bean [2025-3073] site plan for a 754 ft2 coffee, food, and beverage kiosk on 0.31 acres zoned CH located along Memorial Boulevard, Findlay Family Brews, LLC developer.

There being no further discussion, Mr. Shawn Wright made a motion to approve the Consent Agenda subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Tristan Carroll

 Reggie Harris

 Bryan Prince

 Kelly G Rollins

 Shawn Wright

 Ken Halliburton

Abstain: Jami Averwater

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

6. GDO:

On Motion

Clari Park, Lot 18 [2025-2059] final plat for 1 lot on approximately 8.06 acres zoned PUD and GDO-1 located along Roby Corlew Lane and Robert Rose Drive, Hines Clari Park Land Holdings, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater made a motion to approve the final plat review subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

The Villages of Murfreesboro, Phase 2 [2025-3075 & 2025-6009] initial design review for 14 multi-family residential dwelling units at an existing assisted care living/senior living facility on 10 acres zoned MU, GDO-1, & GDO-2 located along Willowoak Trail and Wilkinson Pike, Goodworks Unlimited, LLC developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

There being no further discussion, Mr. Shawn Wright made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Chase Bank (Clari Park, Lot 4) [2025-3079 & 2025-6008] initial design review for a 3,333 ft2 bank on 1.12 acres zoned CH and GDO-1 located along Medical Center Parkway, JP

Morgan Chase Bank developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the initial design review subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

7. Plats and Plans:

Homeplace [2025-1016] preliminary plat for 190 lots on approximately 66.29 acres zoned RS-6 located along Florence Road, Richland Communities, Inc. developer. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the preliminary plat subject to all staff comments; the motion was seconded by Ms. Jami Averwater and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

The Enclave at Liberty Village, Section 2 [2025-1015] master plan amendment and preliminary plat for 44 lots on 21.48 acres zoned PRD located along Stark Street, A&R Development developer. Mr. Marc Shackelford-Rowell presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater made a motion to approve the master plan amendment and preliminary plat subject to all staff comments; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

Aye: Jami Averwater

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Abstain: Tristan Carroll

Nay: None

Cintas Murfreesboro [2025-3081] site plan for a 62,996 ft2 industrial building on 7.42 acres zoned L-I located along Beasie Road and Warrior Drive, Cintas Corporation developer.

Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

MTSU Parking Garage [2025-3077] site plan for a 4-story parking garage and a surface parking lot on 3.7 acres zoned CU along Blue Raider Drive and Alumni Drive, Middle Tennessee State University developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater
Tristan Carroll
Reggie Harris
Bryan Prince
Kelly G Rollins
Shawn Wright
Ken Halliburton

Nay: None

MTSU P3 Student Housing [2025-3078] site plan for a 5-story building with 150 multifamily residential dwelling units on 2.6 acres zoned CU along Blue Raider Drive and Homecoming Circle, Middle Tennessee State University developer. Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater made a motion to approve the site plan subject to all staff comments; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

8. New Business:

Zoning application [2025-416] for approximately 7.46 acres located along Bill Smith Drive to be rezoned from CH & GDO-1 to PCD (Toyota of Murfreesboro PCD) & GDO-1, TT of T Murfreesboro, Inc. applicant. Mr. Brad Barbee presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Ms. Jami Averwater made a motion to schedule a public hearing for September 3, 2025; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

Zoning application [2025-417] for approximately 0.4 acres located along East Kingwood

Drive to be rezoned from RM-16 to CH, Abundant Life Christian Academy applicant.

Ms. Holly Smyth presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for September 3, 2025; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Annexation petition and plan of services [2025-505] for approximately 3.95 acres located

along Blackman Road, Ritesh, Rajendra, and Rikesh Patel applicants.

Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for October 1, 2025; the motion was seconded by Mr. Kelly G Rollins and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Zoning application [2025-413] for approximately 2.06 acres located along Blackman Road to be zoned PCD (Shelton Plaza PCD) simultaneous with annexation, Ritesh Patel applicant.

Mr. Richard Donovan presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

The Planning Department requested that the following be excluded from the list of permitted uses: drive-thru restaurants, fuel sales, schools, tobacco or vape stores, package stores, and tattoo parlors. In addition, before the public hearing the applicant would need to work with staff on a design for road improvements, construct the entire parking lot with the initial development of the site, relocate the dumpster, add a type D buffer to the rear and sides of the property adjacent to residential properties, and relocate the playground that is beside the proposed retention pond.

There being no further discussion, Mr. Tristan Carroll made a motion to schedule a public hearing for October 1, 2025; the motion was seconded by Mr. Bryan Prince and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggis Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 20, 2025

Ken Halliburton

Nay: None

9. Staff Reports and Other Business.

Mandatory Referral [2025-709] to consider the abandonment of a drainage easement located along Lennis Lane in the Shelton Square development, SEC, Inc. applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the mandatory referral subject to all staff comments, including all recommended conditions of approval in the staff report; the motion was seconded by Mr. Shawn Wright and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Mandatory Referral [2025-710] to consider the abandonment and relocation of a drainage easement located on property along the west side of Siegel Road, SEC, Inc. applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Shawn Wright made a motion to approve the mandatory referral subject to all staff comments, including all recommended conditions of approval in the

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

staff report; the motion was seconded by Mr. Tristan Carroll and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

Mandatory Referral [2025-711] to consider the abandonment of a drainage easement located on property along the west side of North Thompson Lane, SEC, Inc. applicant. Ms. Amelia Kerr presented the Staff Comments regarding this item, a copy of which is maintained in the permanent files of the Planning Department and incorporated into these Minutes by reference.

There being no further discussion, Mr. Tristan Carroll made a motion to approve the mandatory referral subject to all staff comments, including all recommended conditions in the staff report; the motion was seconded by Mr. Reggie Harris and carried in favor by the following vote:

Aye: Jami Averwater

Tristan Carroll

Reggie Harris

Bryan Prince

Kelly G Rollins

Shawn Wright

Ken Halliburton

Nay: None

MINUTES OF THE MURFREESBORO PLANNING COMMISSION

AUGUST 20, 2025

Reports from City Manager regarding tree preservation in new developments and Joint Conceptual Workshops between the City Council and Planning Commission. Mr. Darren Gore came forward to discuss reports regarding tree preservation in new developments and future Joint Conceptual Workplace meetings between the City Council and Planning Commission.

10. There being no further business the meeting adjourned at 2:55 p.m.

Chair

Secretary

BN: cj

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 3, 2025
PROJECT PLANNER: RICHARD DONOVAN**

6.a. Annexation petition and plan of services [2025-504] for approximately 22.5 acres located along Veterans Parkway and Old Salem Road, Randal and Debra Robinson and the City of Murfreesboro applicants.

Randal and Debra Robinson and the City of Murfreesboro Administration Department have submitted petitions requesting annexation of their property into the City of Murfreesboro. The annexation area consists of four parcels: three situated north of Old Salem Road at its intersection with Veterans Parkway, and one located to the south of Old Salem Road east of Veterans Parkway. The three smaller parcels, which are owned by the City, are remnant parcels from the Veterans Parkway roadway construction project. The annexation area also includes approximately 710 linear feet of Old Salem Road right-of-way and 300 linear feet of Veterans Parkway right-of-way. The Rutherford County Highway Commission reviewed and consented to the annexation of the rights-of-way of Veterans Parkway and Old Salem Road at their June 23, 2025 meeting. The parcel owned by the Robinsons has two accessory structures and the three parcels owned by the City of Murfreesboro are vacant. The total annexation study area is approximately 22.5 acres.

The annexation study area includes the following areas:

- Tax Map 115, Parcel 026.00 (19.19 acres)
- Tax Map 115, Parcel 035.00 (0.97 acres)
- Tax Map 115, Parcel 035.01 (0.42 acres)
- Tax Map 115, Parcel 035.02 (0.38 acres)
- Veterans Parkway right-of-way (approx. 0.87 acres)
- Old Salem Road right-of-way (approx. 0.61 acres)

The applicant has submitted a companion zoning application to rezone Parcel 026.00 to a PRD (Planned Residential District; Robinson Bend PRD) designation simultaneous with annexation. This rezoning would permit the 19.19-acre parcel to be developed with fifty-two single-family detached homes and thirty-one single-family attached homes.

The annexation study area is located within the City of Murfreesboro's Urban Growth Boundary. The annexation area is contiguous with the City Limits along its northern and southern boundaries. The Murfreesboro 2035 Comprehensive Plan, Chapter 4: Future Land Use Map identifies a "Service Infill Line"; this line is to help facilitate growth and development in the City in an orderly, planned, and sustainable manner

and to help plan for future City services. This annexation study area is located within the Service Infill area.

Staff has drafted a plan of services, which is included in the agenda packet. It details how and when services can be extended to the property, if annexed. Due to its close proximity to the existing City limits, it will be relatively easy to extend services to the subject property, except for sanitary sewer service. The developer of Parcel 026.00 will need to work with neighboring property owner to the south to extend sanitary sewer to the subject property. The timeline for the gravity sewer to reach the proposed development is currently unknown, and all main line extensions are the financial responsibility of the developer.

Staff Recommendation:

Staff is supportive of the annexation request for the following reasons:

1. The subject property is contiguous with the existing City Limits.
2. It is located within the Urban Growth Boundary and within the Service Infill Area.
3. Services can be extended to the subject property upon annexation.

Action Needed:

The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

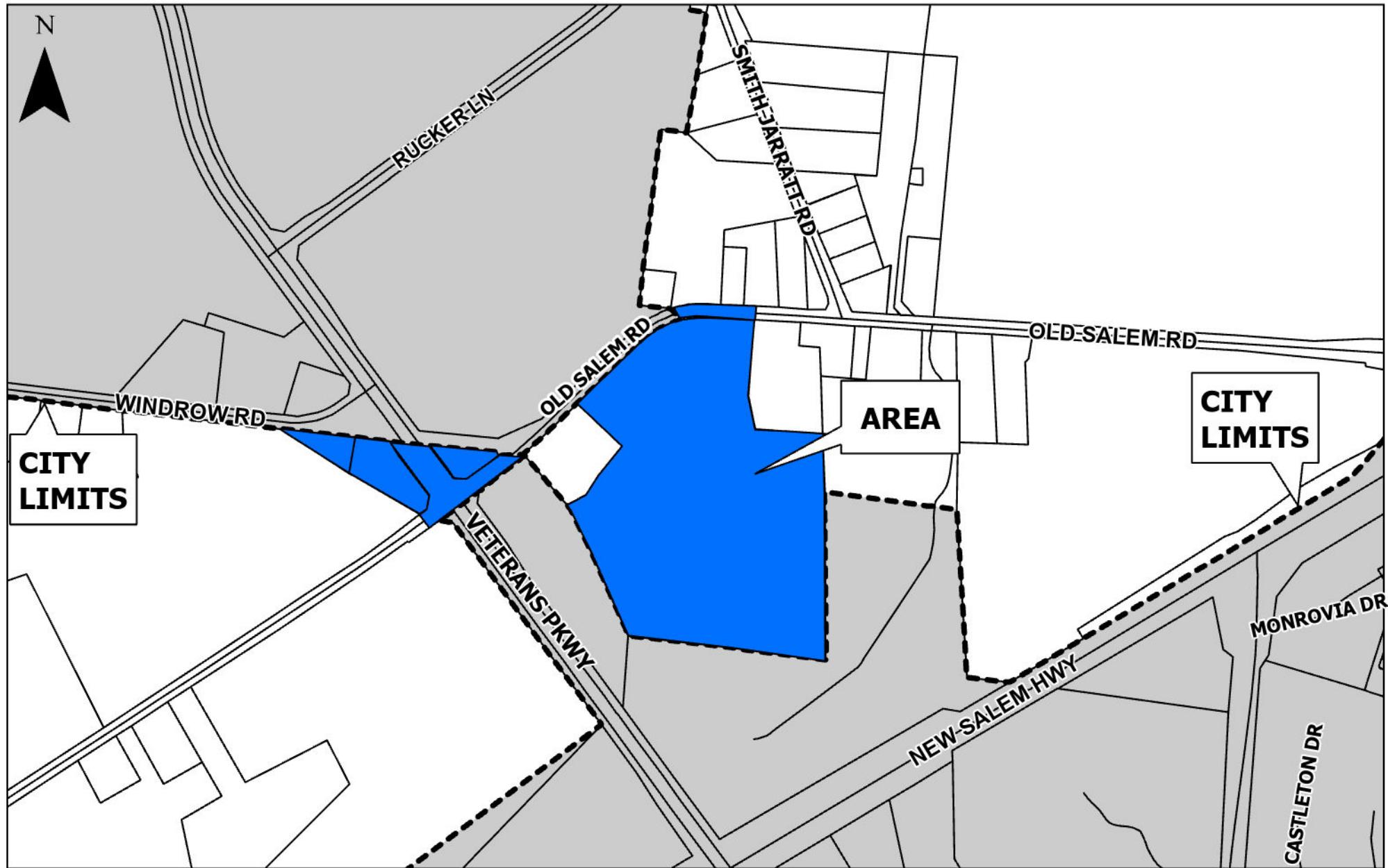
Attachments:

Ortho Map

Non-ortho maps

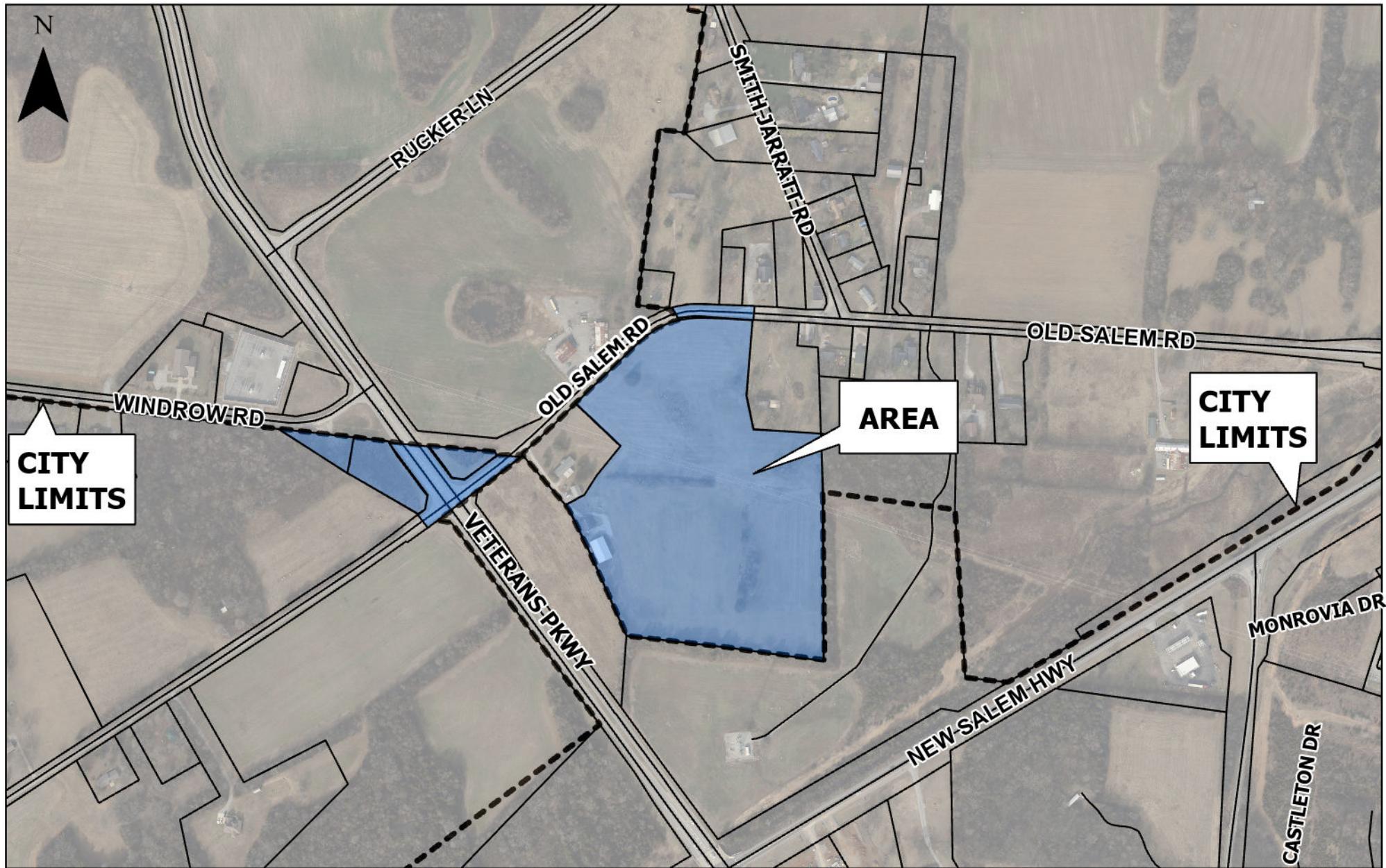
Annexation Petition

Plan of Services



Annexation request for property along Old Salem Road

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov



Annexation request for property along Old Salem Road

0 340 680 1,360 2,040 2,720 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Sig:  Status: _____ Date: 05/30/2025
dotloop verified
05/30/25 9:36 AM CDT
Q9NV-BPP7-ZGYS-BYQM

Mailing Address (if not address of property to be annexed)

2.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Sig:  Status: _____ Date: 05/30/2025
dotloop verified
05/30/25 9:37 AM CDT
YA3M-OFD6-HVNL-AMMN

Mailing Address (if not address of property to be annexed)

3.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

**WRITTEN CONSENT
TO ANNEXATION BY THE CITY OF MURFREESBORO**

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby consent(s) to the annexation of such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. City of Murfreesboro/Sam Huddleston, Asst. City Manager
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Sam Huddleston Status: Asst. City Manager Date: _____

111 W. Vine St.; Murfreesboro, TN 37130
Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

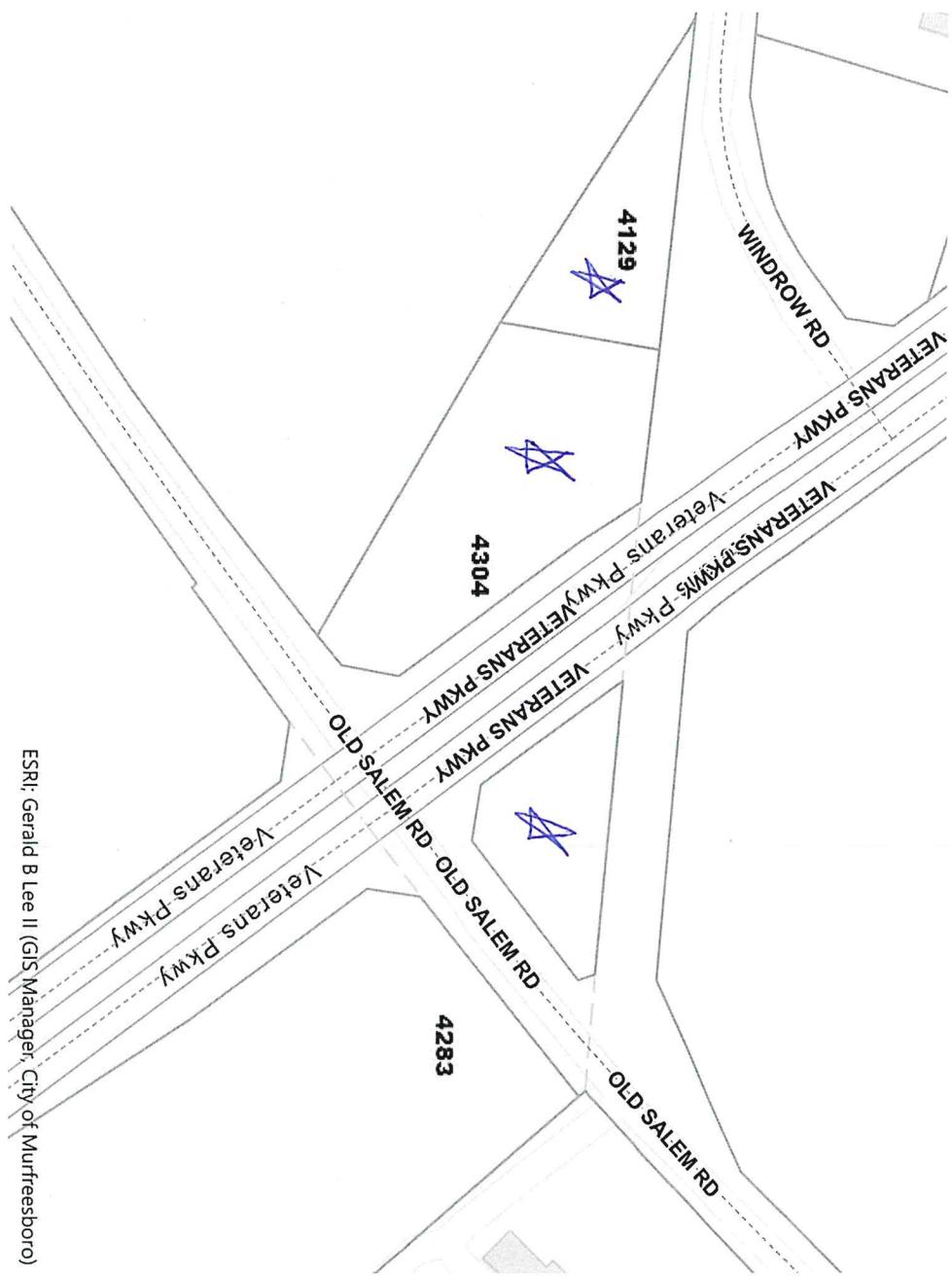
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

- 1) Tax Map 115, Parcel 35.00 (4304 Veterans Parkway)
- 2) Tax Map 115, Parcel 35.01 (4129 Windrow Rd.)
- 3) Tax Map 115, Parcel 35.02 (unaddressed)



ESRI; Gerald B Lee II (GIS Manager, City of Murfreesboro)

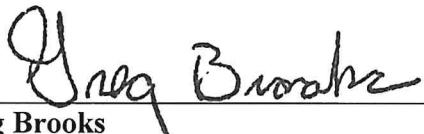
Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes the following roadway segments:

- The segment of Old Salem Road from the eastern property line of 4118 Old Salem Road to the western property line of 4049 Old Salem Road totaling approximately 300 linear feet;
- The segment of Old Salem Road from the western property line of 4304 Veterans Parkway to the eastern property line of 4283 Old Salem Road totaling approximately 410 linear feet;
- The segment of Veterans Parkway from the northern property line of 4283 Old Salem Road to the northern property line of 4304 Veterans Parkway totaling approximately 300 linear feet;

such sections being a portion of the prescriptive/platted rights-of-way for Old Salem Road and Veterans Parkway, respectively, shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on June 23, 2025 and in furtherance of the requirements set forth in Tenn. Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this 23 day of June 2025.



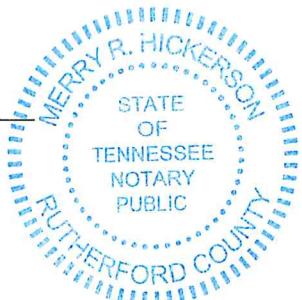
Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the 23 day of June, 2025.

My Commission Expires: 4-15-2028



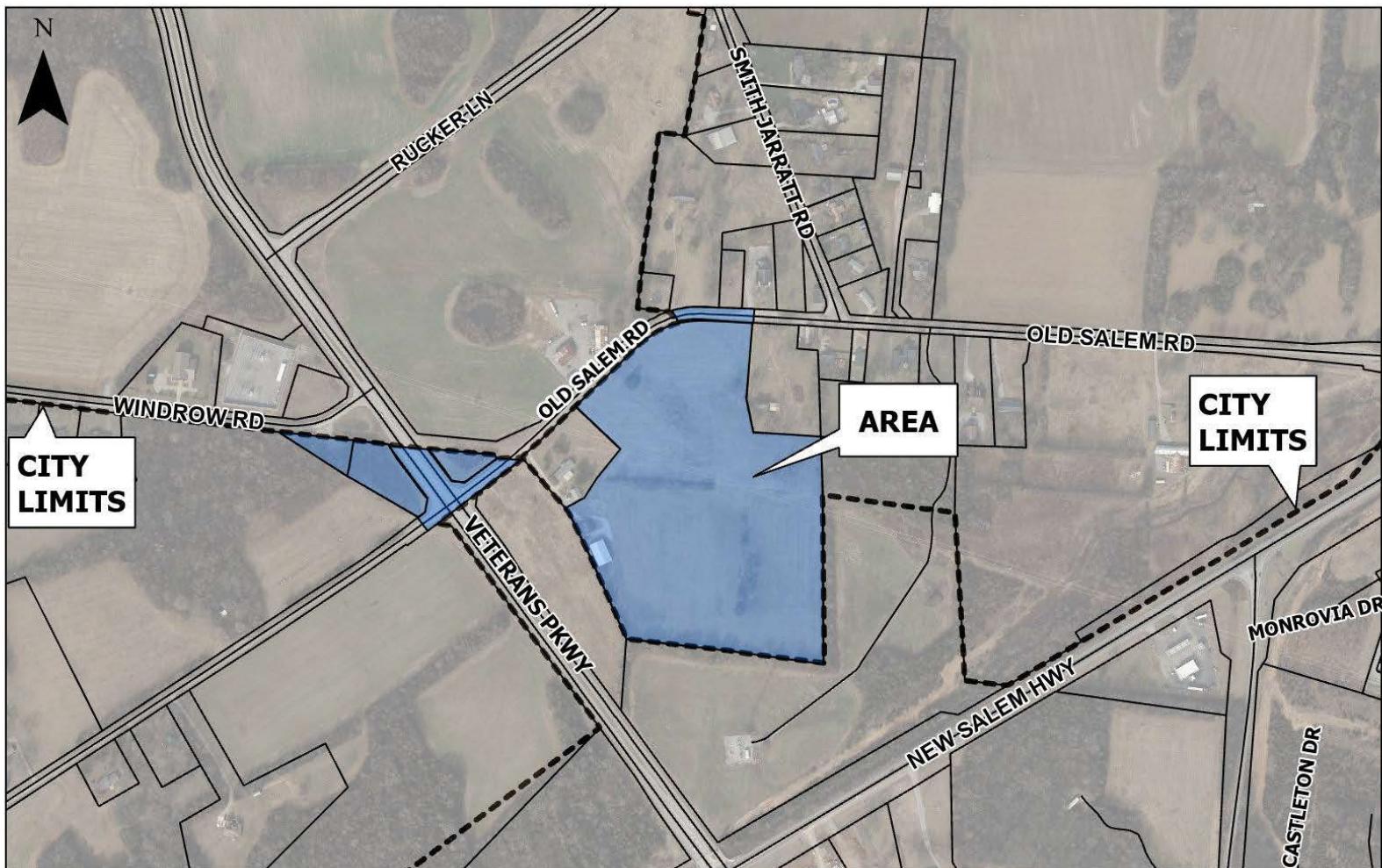
NOTARY PUBLIC



**ANNEXATION REPORT FOR PROPERTY
LOCATED ALONG OLD SALEM ROAD
AND VETERANS PARKWAY
INCLUDING PLAN OF SERVICES
(FILE 2025-504)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
September 3, 2025**



Annexation request for property along Old Salem Road

0 340 680 1,360 2,040 2,720 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesboron.gov

INTRODUCTION

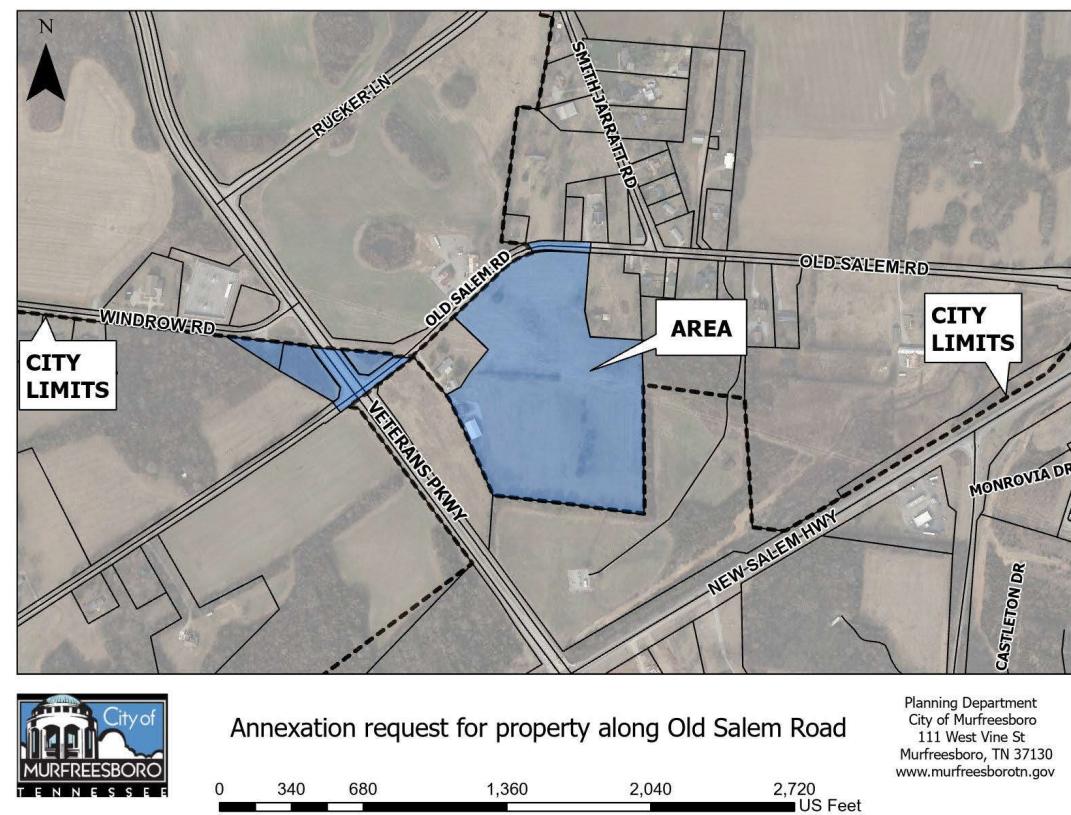
OVERVIEW

The property owners, Randal and Debra Robinson and the City of Murfreesboro, submitted petitions requesting their respective properties be annexed into the City of Murfreesboro. Their properties total approximately 20.96 acres. The properties are located along the south side of Old Salem Road and on the north side of the Old Salem Road and Veterans Parkway intersection, respectively. In addition, included in the annexation study area is approximately 710 linear feet of Old Salem Road right-of-way (ROW) and 300 linear feet of Veterans Parkway right-of-way (ROW). At its June 23, 2025 regular meeting, the Rutherford County Road Board voted to grant consent to the City to annex these segments of ROW. The total annexation study area is approximately 22.5 acres. The annexation study area includes the following properties:

- Tax Map 115, Parcel 026.00 (19.19 acres)
- Tax Map 115, Parcel 035.00 (0.97 acres)
- Tax Map 115, Parcel 035.01 (0.42 acres)

- Tax Map 115, Parcel 035.02 (0.38 acres)
- Veterans Parkway right-of-way (approx. 0.87 acres)
- Old Salem Road right-of-way (approx. 0.61 acres)

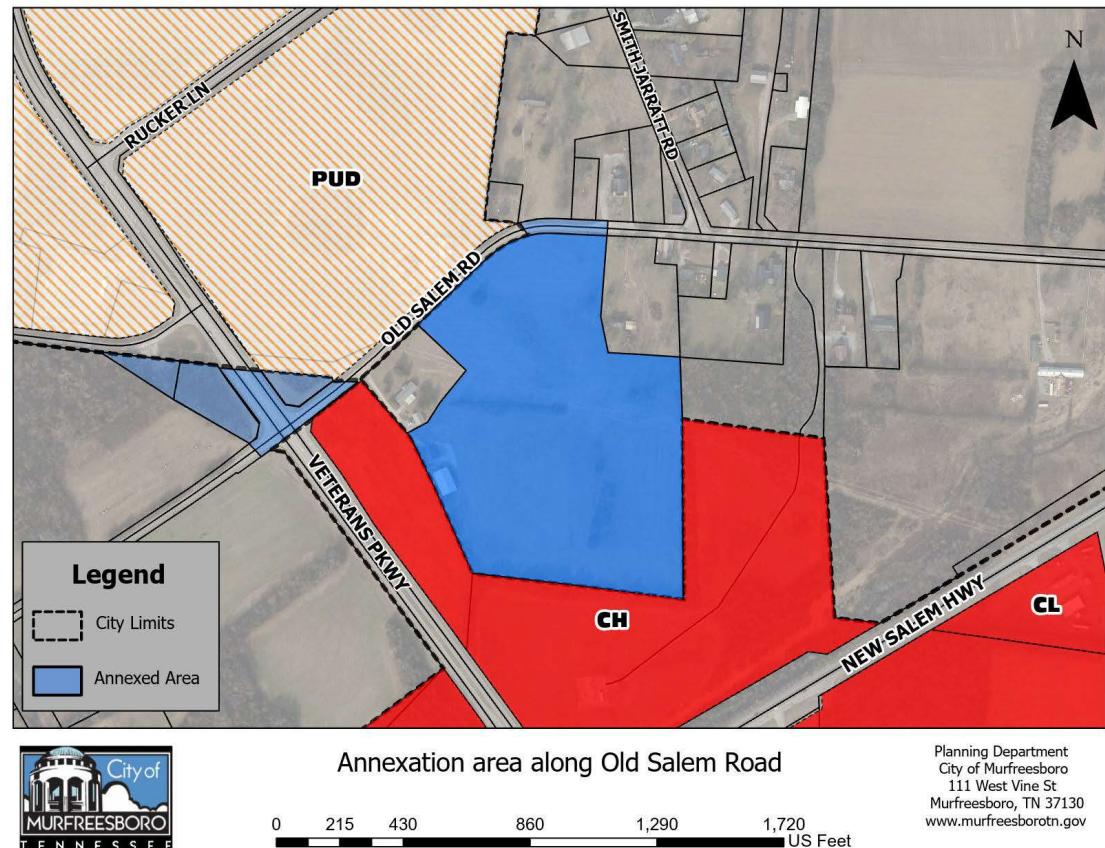
The annexation study area is located within the City's Urban Growth Boundary and is contiguous to the existing City limits along its northern and southern boundaries, as depicted on the adjacent map.



SURROUNDING ZONING

The study area consists of four parcels located on both the north and south sides of Old Salem Road. The parcel owned by the Robinsons has two accessory structures, and the three parcels owned by the City of Murfreesboro are vacant. All four (4) properties are zoned RM (Medium Density Residential) in the unincorporated county. The property owned by Randal and Debra Robinson has a companion zoning application to rezone the property to a PRD (Planned Residential District; Robinson Bend PRD) designation. The properties owned by the City of Murfreesboro will be zoned RS-15 per Section 17 of the Zoning Ordinance.

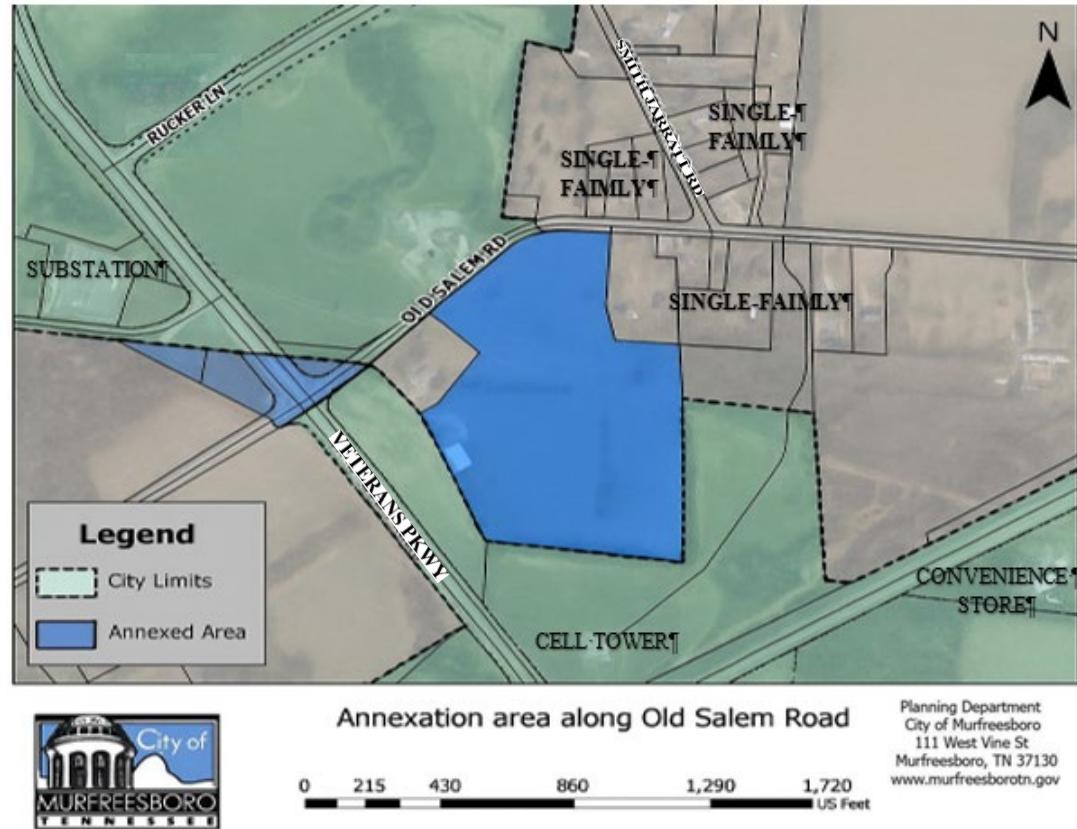
The surrounding properties consist of a mix of commercial and residential zoning. To the north is zoned PRD (Marymont Springs PRD), along with Medium-Density Residential (RM) within unincorporated Rutherford County. To the east is zoned RM in the county and Commercial Highway (CH) within the city limits. CH zoning continues along the southern and western boundaries of the property.



SURROUNDING LAND USE

The area being considered for annexation consists of four parcels totaling 20.96 acres and approximately 710 linear feet of Old Salem Road right-of-way (ROW) and 300 linear feet of Veterans Parkway right-of-way (ROW). The parcel owned by the Robinsons has two accessory structures, and the three parcels owned by the City of Murfreesboro are vacant.

The surrounding properties consist of a mix of commercial and residential uses. To the north lies vacant land, along with single-family detached homes. To the east are additional single-family detached residences and vacant land. A cell tower is located to the south, and a potential medical office is proposed to the west.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2025 will be due on December 31, 2026. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$0.9526/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

Table I
Estimated Taxes from Site

Owner of Record	Tax Map and Parcel	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Randal & Debra Robinson	115-026.00	19.199	\$60,000	\$60,100	\$30,025	\$286.02
City of Murfreesboro	115-035.00	0.97	\$45,700	\$0	\$0	\$0.00
City of Murfreesboro	115-035.01	0.42	\$45,700	\$0	\$0	\$0.00
City of Murfreesboro	115-035.02	0.38	\$45,700	\$0	\$0	\$0.00

These figures are for the property in its current state and assessed at the residential rate of 25 percent. The three City of Murfreesboro-owned parcels are currently tax-exempt.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department could begin providing services that include patrol-related functions, criminal investigations, and community engagement initiatives. These services would be provided immediately upon the effective date of annexation. The current police zone that borders the study area is Zone 2.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric (MTE). MTE has existing electrical facilities and capacity along Veterans Parkway and Old Salem Road to serve the property upon annexation.

STREET LIGHTING

Streetlights do not currently exist along the Old Salem Road right-of-way. Streetlights will be installed within the development by the developer if new public streets are constructed. If the City of Murfreesboro wishes to add streetlights along the Old Salem Road public right-of-way, the Transportation Department would need to make

the request to MTE, but at the present time, there are no plans to do so.

SOLID WASTE COLLECTION

The Solid Waste Department can provide services to the study area. In its current state, no additional equipment or manpower will be needed to serve the study area. Upon development as a residential subdivision, a solid waste cart for each dwelling (\$69.66 each) will be needed to serve the study area.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to any potential occupants of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

CITY SCHOOLS

According to Murfreesboro City Schools (MCS), this parcel of land currently resides outside of the Salem Elementary School zone, and it would become part of this school's zoned area if annexed. Any elementary school-aged children residing on the property once developed will be eligible to attend Murfreesboro City Schools. In the property's present state, it would have no impact on the school system, since it is currently undeveloped. If developed with up thirty-one (31) single family attached residential homes and fifty-two (52) single-family detached residential homes (83 total new residences), MCS would anticipate adding approximately 20 students to the school population. upon full buildout. MCS and the City will continue to monitor new growth in the district, including the Salem school zone, in order to evaluate the need for a new elementary school in the future.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area includes a portion of the ROW of Veterans Parkway constructed by the City. By agreement with Rutherford County, the City of Murfreesboro provides operation and maintenance of this roadway. Upon annexation, the roadway will remain the responsibility of the City of Murfreesboro including all routine maintenance, and the conditions of the maintenance agreement with Rutherford County will no longer apply to the study area. Based on an estimated 10-year re-pavement cycle for major arterial roadways, annualized roadway maintenance costs are estimated at \$2,000 for this roadway. It is expected that these maintenance costs will be paid from State Street Aid.

The annexation study area also includes segments of Old Salem Road right-of-way and the intersection of Old Salem Road and Veterans Parkway. Old Salem Road at this intersection is 2-lanes with a left turn lane onto Veterans Parkway. Upon annexation, the roadway will become the responsibility of the City of Murfreesboro including all routine maintenance. Based on an estimated 15-year re-pavement cycle for collector roadways and routine ROW mowing, annualized roadway maintenance costs are estimated at \$1,100 for this roadway. As a substandard street, any development along Old Salem Road will need to dedicate appropriate

ROW and participate in the upgrade of the roadway to current City standards. Old Salem Road at the intersection of Veterans Parkway is on the City's Major Transportation Plan to be upgraded to a 3-lane section.

Any new connections to either Old Salem Road or Veterans Parkway must be approved by the City Engineer.

No additional public roadways are included in the study area. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTATION

The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan shows Old Salem Road and Veterans Parkway to be operation at a Level of Service B in the study area. The 2040 Level of Service Model indicates that Old Salen Road and Veterans Parkway operates at a Level of Service D without the proposed improvements in the 2040 Plan.

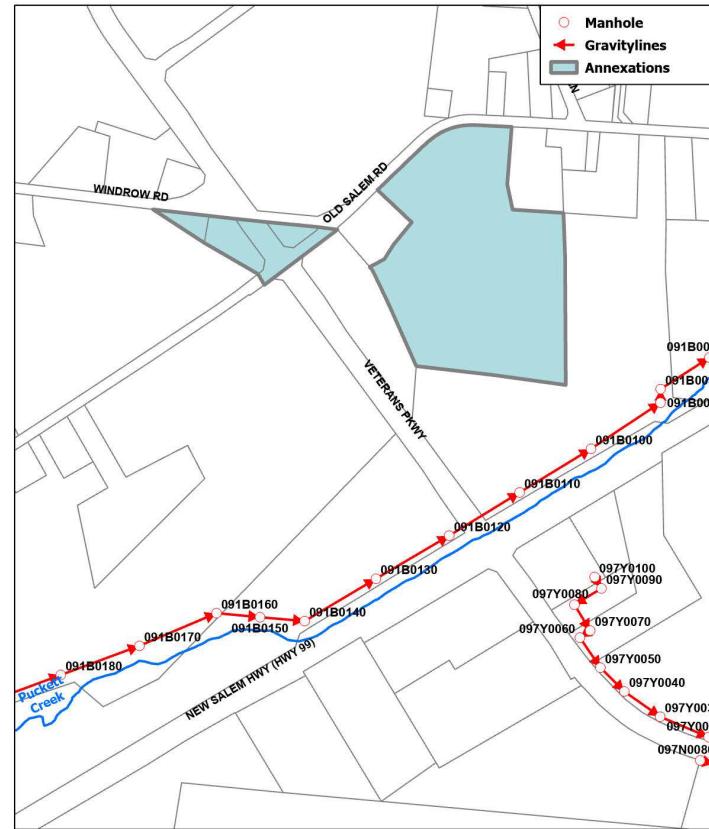
SANITARY SEWER SERVICE

Currently sanitary sewer is not available to the properties in question and the Murfreesboro Water Resources Department (MWRD) does not have any current plans to extend sewer to those properties. Extension of sanitary sewer to any of the four parcels in the study area would be the responsibility of the owners or future owners.

In order to develop The Robinson parcel, the owner/developer would be required to acquire an off-site sewer easement from the neighbor to the southeast, connect to the existing sewer interceptor just north of and parallel to Puckett Creek, and extend gravity sewer throughout the proposed development. In addition, the owner/developer, per our Policies and Procedures, may be required to extend gravity sewer to the limits of construction and to one or more neighboring properties to allow for future connections including the additional properties around the intersection of Veterans and Old Salem.

This property is within the Overall Creek and Rockvale Sanitary Sewer Assessment Districts and will be charged \$1,000 and \$1550 per single-family unit (sfu), respectively, in addition to the standard connection fee of \$2550 per sfu.

All main line extensions are the financial responsibility of the developer and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.



MURFREESBORO WATER RESOURCES DEPARTMENT

Annexation Request Old Salem Road



City of
MURFREESBORO
TENNESSEE
WATER RESOURCES

kcar 6/26/2025

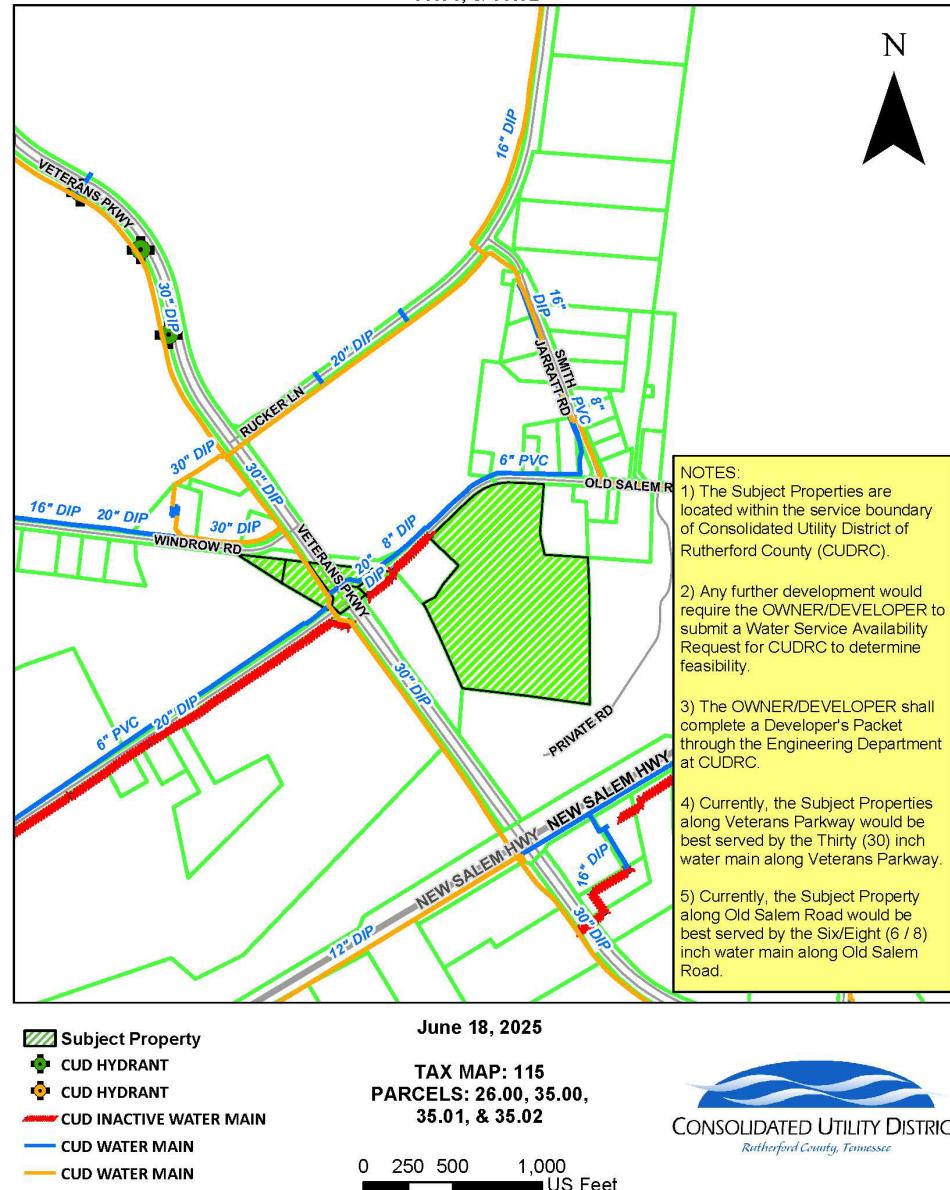
Annexations

WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. Currently, the subject properties would be best served by the existing thirty (30) inch water main along Veterans Parkway or the existing six/eight (6/8)-inch water main along Old Salem Road, both of which are available to serve the study area.

Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUDRC's Developer Packet through CUDRC's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUDRC's development policies and procedures.

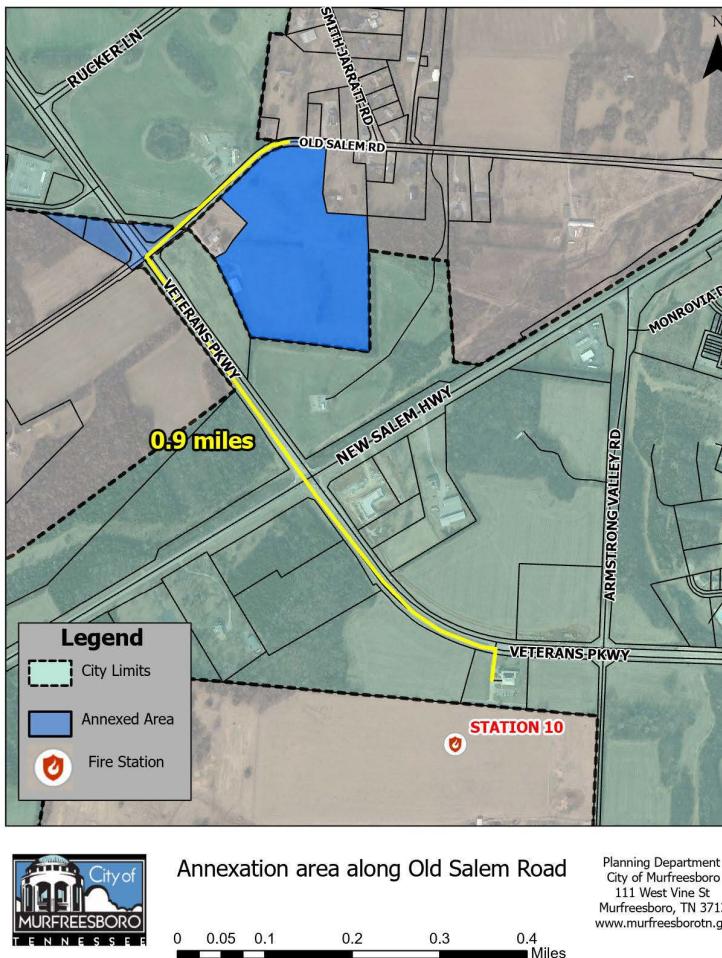
Annexation Request at Old Salem & Veterans Parkway for Tax Map 115 Parcels 26.00, 35.00, 35.01, & 35.02



FIRE AND EMERGENCY SERVICE

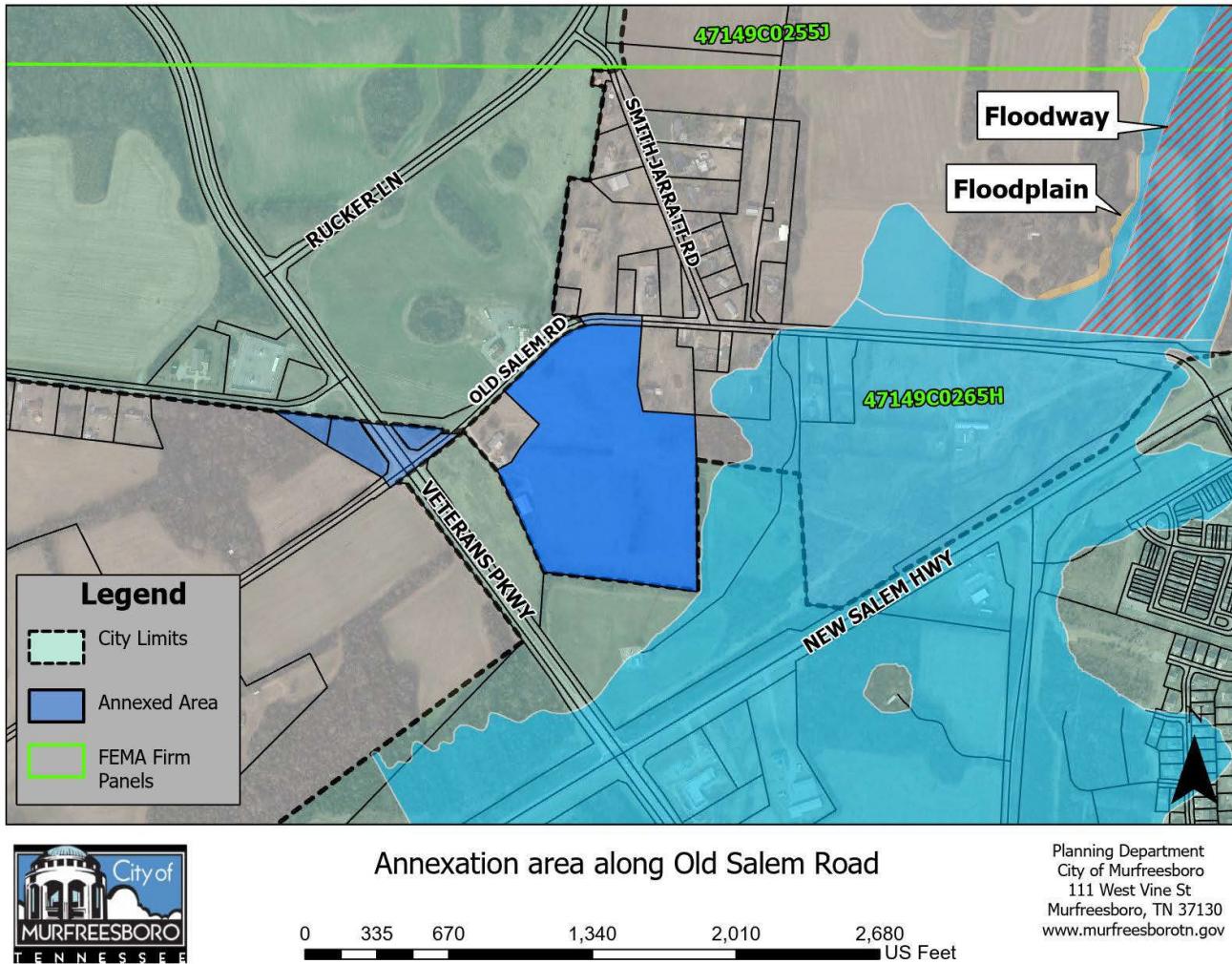
The study area contains vacant land. The Murfreesboro Fire and Rescue Department (MFRD) can provide emergency services and fire protection to the study area immediately upon the effective date of annexation at no additional expense.

Currently the study area is located 0.9 miles from Fire Station #10 (2563 Veterans Parkway). The yellow line on the adjacent map represents the linear distance range from the nearest fire station.



FLOODWAY

The study area is not located within the 100-year floodplain nor within the regulatory floodway as delineated on the Flood Insurance Rate Map (FIRM) developed by the Federal Emergency Management Agency (FEMA).



DRAINAGE

Public Drainage System

Public drainage facilities available to the study area are located within the right-of-way of Old Salem Road and Veterans Parkway. The annualized operation and maintenance cost for this system is included in the public roadway sections above as they are internal roadway drainage systems. No other public drainage facilities are available to the study area. Any public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

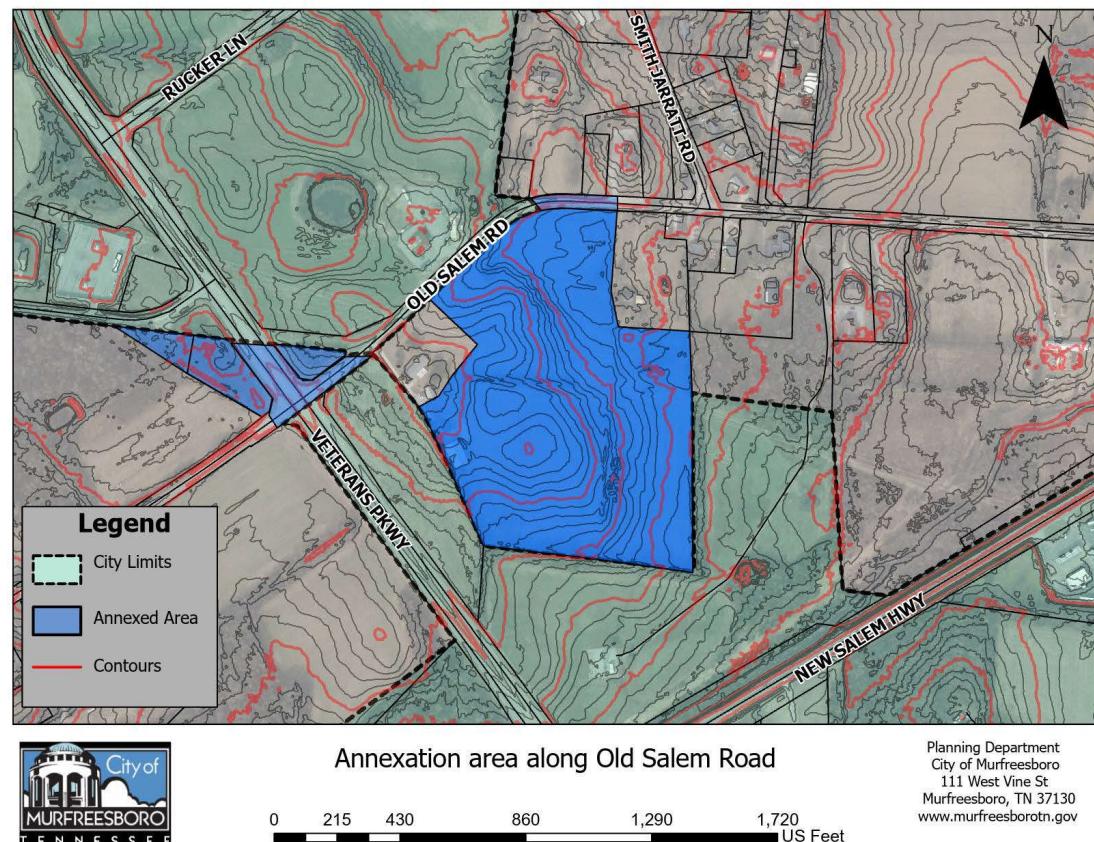
Puckett Creek is located approximately 400' from the southeast corner of the study area. The study area drains mostly to the east and eventually to the creek.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area is currently vacant and will not generate revenue for the Stormwater Utility Fee.

The subject property is proposed to be developed with 52 single-family detached homes and 31 single-family attached homes. Based on this

development scenario, it is anticipated that the site will generate approximately \$3,200 annually in revenue for the Stormwater Utility Fund upon full build-out.



PROPERTY AND DEVELOPMENT

Old Salem Road is a substandard roadway. Developments along Old Salem Road will be required to dedicate appropriate ROW and participate in the upgrade of the roadway to current City standards.

The intersection of Old Salem Road and Veterans Parkway is on the Major Transportation Plan and developments within the study area will be required to participate in improvements, including providing a three-lane cross-section along Old Salem Road and signalization.

New development should comply with the City's Stormwater Quality Regulations by providing stormwater quality, streambank protection, and detention.

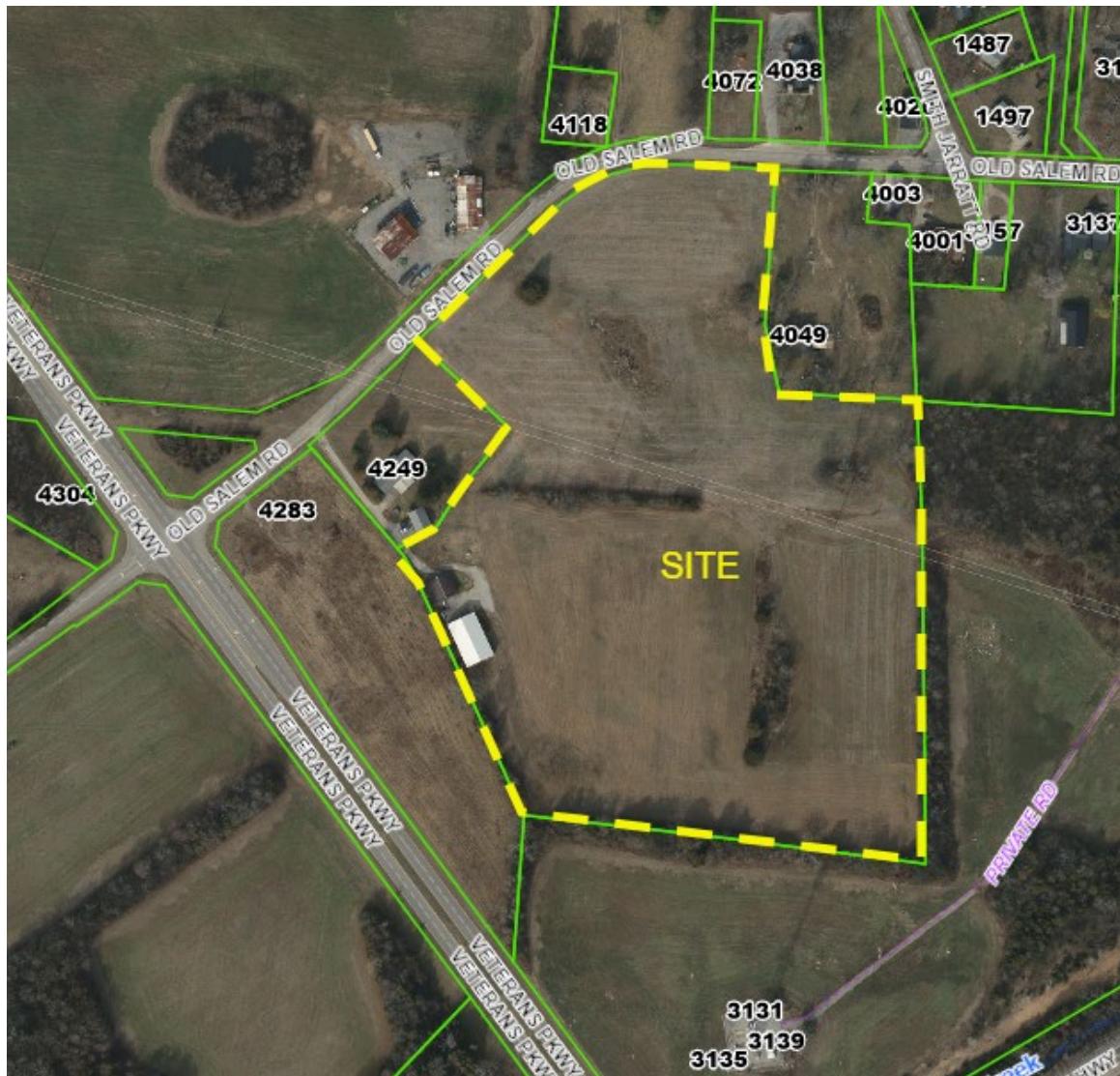
ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 3, 2025
PROJECT PLANNER: RICHARD DONOVAN**

6.b. Zoning application [2025-415] for approximately 19.26 acres located along Old Salem Road to be zoned PRD (Robinson Bend PRD) simultaneous with annexation, Summit Development, LLC applicant.

Summit Development, LLC, the applicant, is requesting zoning the subject property simultaneous with annexation to PRD (Planned Residential District – Robinson Bend). The vacant property, approximately 19.2 acres in size, is located on the south side of Old Salem Road just to the east of its intersection with Veterans Parkway, identified as Tax Map 115, Parcel 26.00.



Adjacent Land Use and Zoning

The surrounding properties consist of a mix of commercial and residential uses, each zoned accordingly. To the north lies vacant land zoned PRD (Marymont Springs), along with single-family detached homes zoned Medium-Density Residential (RM) within unincorporated Rutherford County. To the east are additional single-family detached residences also zoned RM, along with some vacant land zoned Commercial Highway (CH) within the City limits. CH zoning continues along the southern and western boundaries of the property. A cell tower is located to the south, and a vacant property to the west.

Robinson Bend PRD

The Robinson Bend PRD proposes 83 total residential units, with 52 detached single-family homes and 31 attached single-family homes. The single-family detached homes will be on minimum 6,000 square-foot lots that are a minimum of 50 feet wide. The detached and attached homes will feature 1- to 2-story designs, with front porches, rear patios, and two-car garages. Each home will include a 30- to 36-inch brick or stone water table on all sides, with fiber cement siding above and limited vinyl in the trim and soffit. The detached homes will be a minimum 1,400 square feet, and the attached homes will be a minimum 1,200 square feet. Access to the site will be from Old Salem Road, with three additional stub-outs to the east, south, and west that will provide additional connections upon development of adjoining properties. The development will offer various amenities, including active play lawns, soccer/play field, community fire pit, and a seating area with active play areas. A homeowner's association will be established to manage all common areas.

Lot Size and setbacks:

- 52 detached single-family lots
 - with a minimum lot size of 6,000 square feet
 - with a minimum lot width of 50 feet
 - Setbacks
 - Front – 35 ft
 - Side – 5 ft
 - Rear – 20 ft
- 31 attached single-family dwellings
 - Will be HPR
 - Setbacks
 - Front – 35 ft
 - Rear – 20 ft
 - Between buildings – 10 ft

Architecture and Building Materials:

- Example elevations have been provided in the pattern book for both attached and detached homes.
- Attached homes will:
 - Be 1 or 2 stories;
 - Have front porches;
 - Have back patios
 - Have minimum one-car garages; and
 - Will be a minimum 1,200 square-feet.
- Detached homes will:
 - Be 1 or 2 stories;
 - Have front porches;
 - Have back patios
 - Have two-car garages; and
 - Will be a minimum 1,400 square-feet.
- Building Materials (attached and detached)
 - All sides minimum of 30- to 36-inch water table
 - Front – Brick, Stone, and Fiber Cement Board
 - Side – Brick, Stone, and Fiber Cement Board
 - Rear – Brick, Stone, and Fiber Cement Board
 - Soffit & Trim – Vinyl

Parking:

- Single-family detached
 - Driveway
 - Will accommodate 4 parking spaces.
- Single-family attached
 - Driveway
 - Will accommodate 2 or 3 parking spaces
 - 78 spaces provided
 - 102 spaces required
 - Requesting an exception to allow garage parking to count toward required parking spaces
 - Requesting 39 garage spaces count as required parking
 - Providing 16 guest spaces
 - 10 spaces are provided, to the north, near the active play lawn on the same lot as the attached homes.
 - 6 spaces are provided, to the south, near the community fire pit on the same lot as the attached homes.
- Amenity Parking
 - Mail kiosk – 10 spaces (in addition to the previously-mentioned guest spaces)

Open Space and Amenities:

There will be 5.9 acres of open space (30.6%), including the stormwater management areas; amenities; landscaped buffers along the western, northwestern, and northeastern property lines; mail kiosk; and associated parking. The landscaping and amenities include the following:

- Landscaped Buffer
 - 10-foot-wide landscaped buffer along northeast and western boundary
 - Type A Buffer
 - Single row of evergreen trees
 - 15-foot-wide landscaped buffer along northwest boundary
 - Type D Buffer
 - Three rows of evergreen trees or two rows with fence.
 - 20- foot-wide landscape yard along Old Salem Road
 - mixture of deciduous and evergreen trees and shrubs.
- Active play lawn
- Soccer/active play field
- Community fire pit
- Seating areas

Public Infrastructure:

The City's Public Infrastructure team has requested the inclusion of a left-turn lane into the site to accommodate traffic from Old Salem Road accessing the subdivision. Staff has further requested that this requirement be incorporated into the pattern book; however, it has not yet been included.

Exceptions:

The PRD only includes two exceptions, one from the Zoning Ordinance.

- The required driveway parking is requested to be reduced in the single-family attached area from 102 spaces to 78 spaces. The PRD does state that the CCRs will restrict use of garages to vehicular parking with the garage size specified in the Section 26 of the Zoning Ordinance.

Future Land Use Map:

The Future Land Use Map (FLUM) of the Murfreesboro 2035 Comprehensive Plan designates the project area as 'Auto Urban Residential' (AUR), which is considered the most appropriate land use character, as indicated on the map below. The AUR designation supports a density range of 4.0 to 12.0 dwelling units per acre. The Comprehensive Plan recommends RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, R-D, PRD, and PUD as compatible zoning districts, with minimum lot sizes between 6,000 and 10,000 square feet. The AUR designation also supports townhomes on

lots of 4.1 acres or greater with the following criteria:

- Maximum 20% of overall acreage consists of attached residential units
- Maximum 40% of overall number of units is attached residential units
- Transition of heights and setbacks, requiring an increase in setback when attached units are taller than detached housing.

The proposed PRD meets both the criteria of the AUR designation and the additional criteria for attached housing units, and, therefore, the zoning request is consistent with the AUR designation recommended by the comprehensive plan.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons:

1. The rezoning request is consistent with the Future Land Use Map designation of 'Auto Urban Residential' (AUR) in providing a mixture of single- family attached and detached homes.
2. The proposed PRD is compatible with surrounding residential and commercial areas by providing a balanced mix of housing types and landscaped buffers that create a smooth transition between nearby residential and commercial areas.
3. The subject property is currently underdeveloped with only two accessory structures and situated in an area of active residential growth, making it well-positioned to complement ongoing development trends and meet housing demand.

Action Needed:

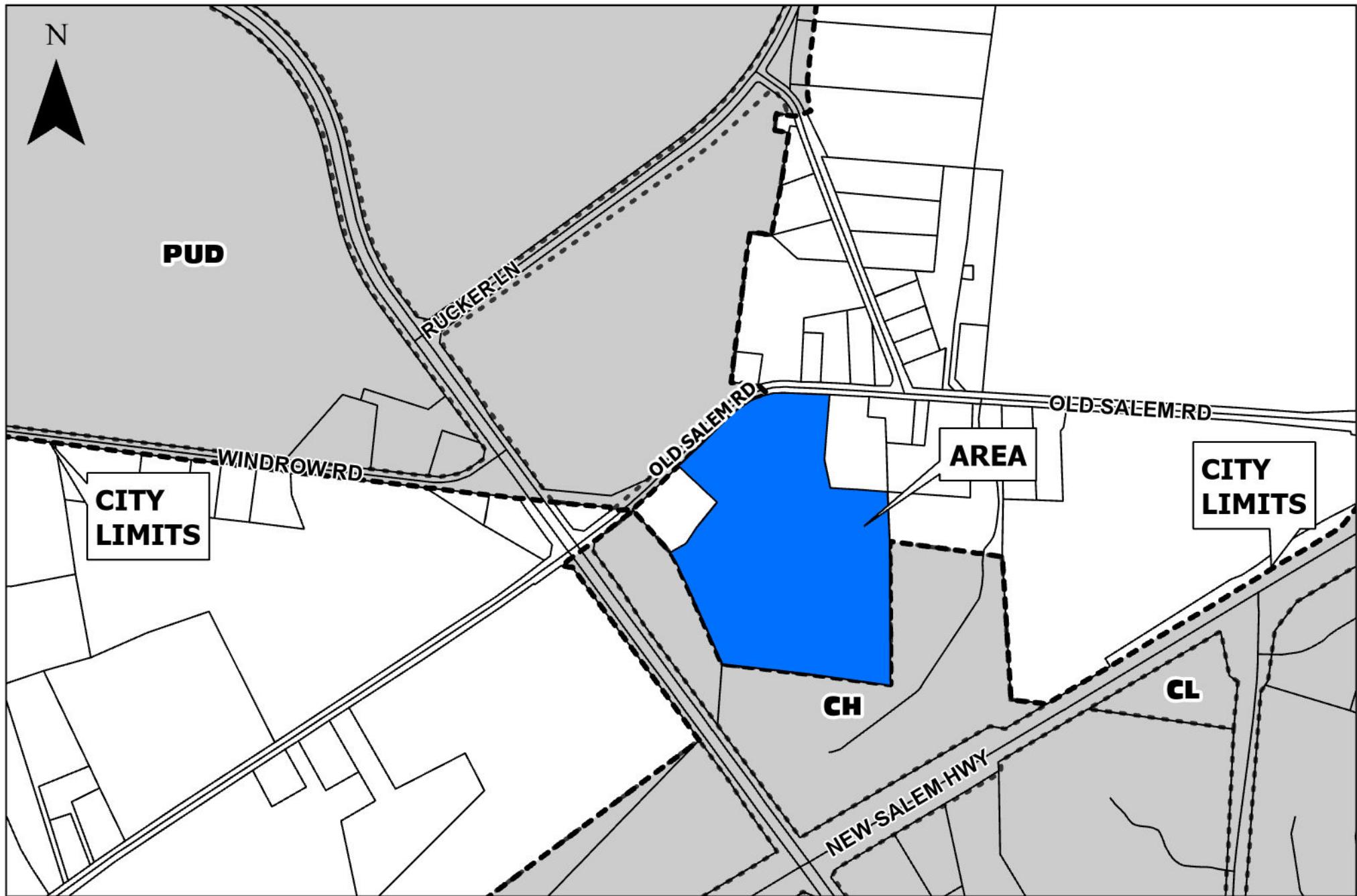
The Planning Commission will need to conduct a public hearing on this matter, after which it will need to formulate a recommendation for City Council.

Attachments:

Ortho Map

Non-ortho maps

Pattern Book

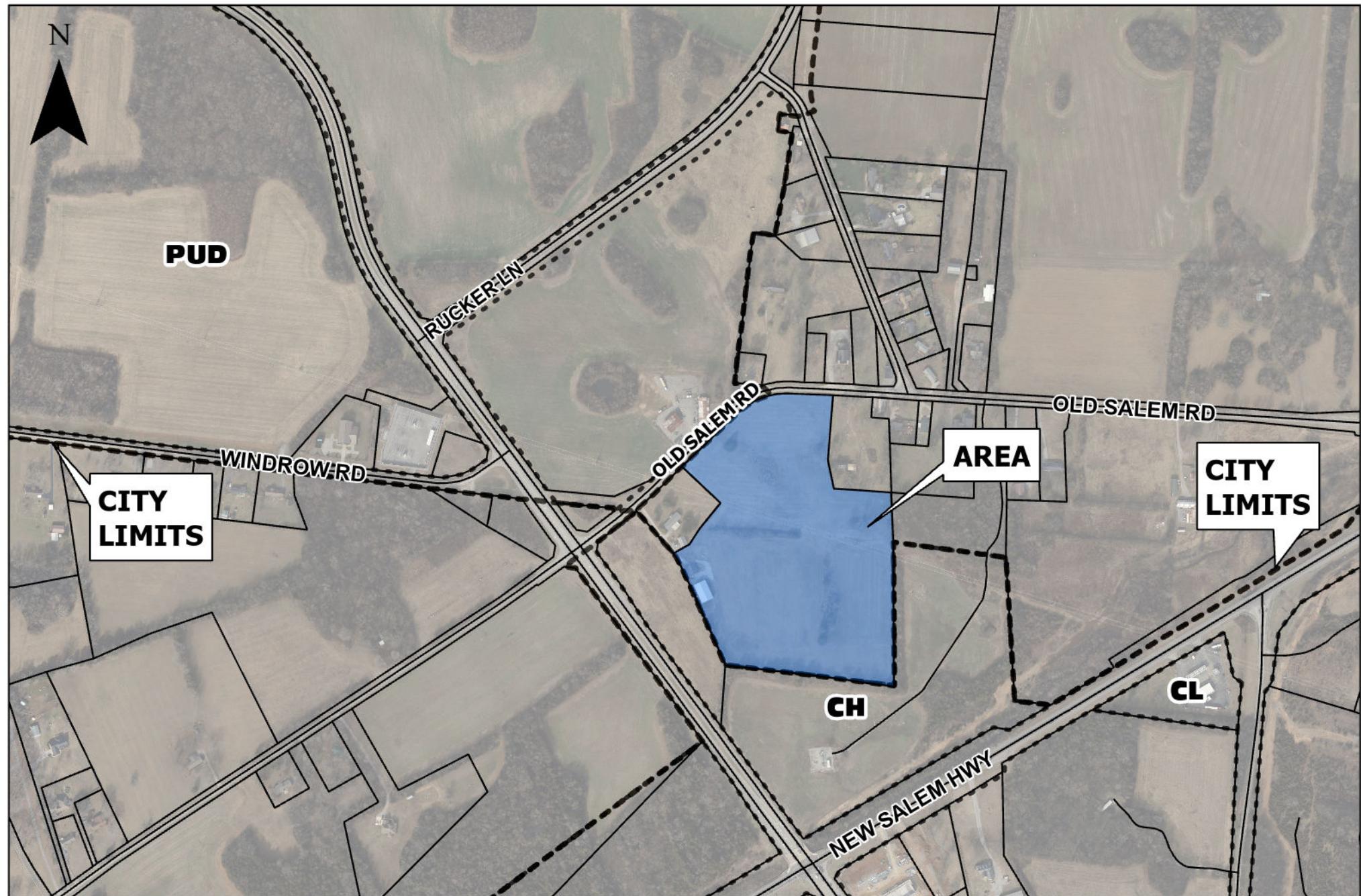


Zoning Request for property along Old Salem Road
PRD (Robinson Bend PRD) simultaneous with annexation



0 360 720 1,440 2,160 2,880 US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Zoning Request for property along Old Salem Road PRD (Robinson Bend PRD) simultaneous with annexation



0 360 720 1,440 2,160 2,880
US Feet

Planning Department
City of Murfreesboro
111 West Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

ROBINSON BEND

A REQUEST FOR ANNEXATION AND REZONING FROM MEDIUM DENSITY RESIDENTIAL (RM) TO PLANNED RESIDENTIAL DISTRICT (PRD)

Murfreesboro, Tennessee



**SUMMIT
DEVELOPMENT**

SEC Project #24380

Initial Submittal
June 12, 2025

Resubmitted
July 02, 2025

Resubmitted
August 21, 2025 for the September 3, 2025
Planning Commission Public Hearing Meeting

© Copyright 2025, Site Engineering Consultants, Inc.



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

Company Name: Summit Development LLC
Profession: Developer
Attn: Christian Marcari
Phone: (410) 961-9360
Email: cmacari@summitdevllc.com

370 Mallory Station Rd., Ste 511
Franklin, TN 37067

TABLE OF CONTENTS	02
PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE MAP	03
SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN	04
UTILITY MAP & HYDROLOGY AND TOPOGRAPHY	05
ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY	06-07
CONCEPTUAL SITE AND LANDSCAPE PLAN	08
OVERALL DEVELOPMENT STANDARDS	09
SINGLE-FAMILY DETACHED DEVELOPMENT STANDARDS	10-11
SINGLE-FAMILY DETACHED ARCHITECTURAL CHARACTERISTICS	12-33
SINGLE-FAMILY ATTACHED DEVELOPMENT STANDARDS	34-35
SINGLE-FAMILY ATTACHED ARCHITECTURAL CHARACTERISTICS	36-43
INGRESS AND EGRESS	44-45
AMENITIES & LANDSCAPE STANDARDS	46-47
ARTICLE 13 INFORMATION SUMMARY	48
REQUESTED EXCEPTIONS SUMMARY	49



AERIAL PHOTOGRAPH

Not To Scale

Summit Development, LLC respectfully requests annexation and rezoning of the Randal Robinson property located along Old Salem Road from Medium Density Residential (RM) in Rutherford County to a Planned Residential District (PRD) in the City of Murfreesboro to create Robinson Bend. The site is identified as Parcel 26.00 of Tax Map 115.

The PRD development will consist of 83 homes on approximately 19.26 acres for an overall density of 4.31 homes per acre. Robinson Bend will consist of 52 single-family detached lots on approximately 15.71 acres for a density of 3.31 homes per acre and 31 single-family attached townhomes on approximately 3.57 acres for a density of 8.68 homes per acre.

Single-family detached lots will be a minimum of 6,000 sf. The proposed single-family detached homes will be a minimum of 1,400 sf. and contain a minimum of 2 bedrooms. Each home will have a two car front-entry garage. The exterior elevations of the homes will be constructed with a mixture of masonry materials to add quality and character to the community.

The proposed single-family attached townhomes will be a minimum of 1,200 sf., and will have a minimum of 2 bedrooms. Each townhome unit will have a minimum one-car front entry garage. The townhomes will have elevations constructed with a mixture of masonry materials to add quality and character to the community.

Street lights shall be coordinated with MTE to provide character, safety and continuity to the neighborhood. The Old Salem Road entrance will incorporate signage on both sides of the entrance drive. Entrance signage shall be constructed of masonry material and anchored by landscaping. The Homeowners Association shall maintain all common areas.



ZONING MAP

Not To Scale

RS-12	Residential Single-Family	PUD	Planned Unit Development
RS-15	Residential Single-Family	PRD	Planned Residential Development
RM-16	Residential Multi-Family	RM	Medium Density Residential (Rutherford County)
CL	Commercial Local	— Murfreesboro City Limits	
CH	Commercial Highway		

Site Boundary

The surrounding area consists of a mixture of zoning types and land uses. The land to the north is zoned PUD (City of Murfreesboro) and RM (Rutherford County). The land to the east and west is zoned RM (Rutherford County). The majority of the land surrounding this development along the northern boundary is zoned for residential classifications, while the adjacent properties along the southern half of the property is zoned Commercial Highway (CH).

2035 FUTURE LAND USE PLAN



The proposed Murfreesboro Future Land Use Map Amendment designates this site as Auto-Urban Residential Character (AUR). The AUR category suggests small acreages, less openness, and clustered developments characterized by enhanced open space, connectivity within the development, and amenity packages, with a focus on all age groups. The AUR land use is defined by the primary development type of single-family detached homes with a density range of 4.0 to 12.0 units/acre. This land use also allows for limited amount of single-family attached homes. Compatible zoning districts include RS-10, RS-8, RS-6, RS-A1, RS-A2, RS-A3, RD, PRD, PUD, and Public Institutional Land uses.

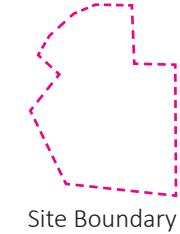
The proposed development aligns with AUR land use as outlined in the Murfreesboro Future Land Use Plan in terms of provided amenities, connectivity within the development, dwelling types, and proposed zoning.



SUBDIVISION MAP

- Weston Park & Village PUD
- Meadows at Kimbro Woods
- Belle Rive Cove
- Super 9 Gas, Wine & Spirits, Domino's Pizza
- Salem RV & Boat Storage
- Murfreesboro Fire Rescue Station 10
- Shell Gas Station/Taco Shop Express
- Salem United Methodist Church

Not To Scale

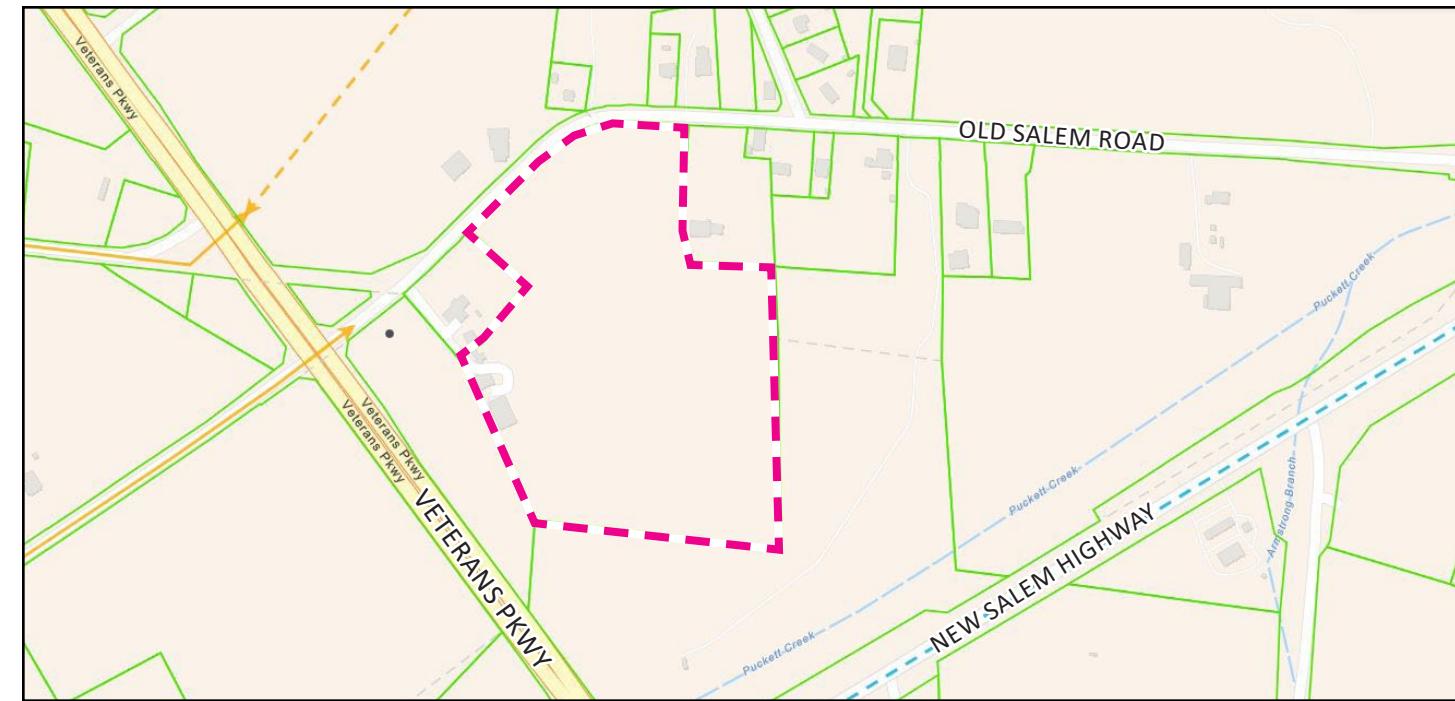


Robinson Bend is surrounded by a mixture of residential subdivisions, agricultural properties, and commercial developments. A majority of the subdivisions are located to the east of the site, including Weston Park & Village, Meadows at Kimbro Woods, Kimbro Woods, Belle Rive, and Belle Haven Cove.

Weston Park & Village is located to the east, it consists of a mixture of single-family detached homes and single-family attached townhomes. The single-family detached lots are roughly 9,600 square feet. The exterior elevations consist of mixture of masonry products including brick, stone and fiber cement board. The primary points of ingress/egress to Weston Park & Village is out to New Salem Highway and Veterans Parkway.

Belle Rive located further to the east and consists of two-story single-family detached homes with garages on lots sizes that are roughly 6,000 square feet. and includes townhomes. The exterior elevations consist of primarily of brick. There is a primary point of ingress/egress to the development from New Salem Highway.

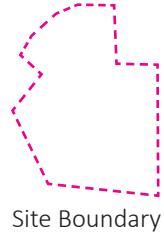
There are various Commercial properties located to the south of the property along New Salem Highway. The nearest is the new Super 9 gas station and convenience store. This shopping center also include Super 9 Wine and Spirits and Domino's Pizza. Other commercial and civic properties in this area consist of Salem RV and Boat Storage and Murfreesboro Fire Station #10.



2040 MAJOR TRANSPORTATION PLAN

- 3 LANE ROADWAY
- 3 LANE RECOMMENDED IMPROVEMENT
- 5 LANE ROADWAY
- 5 LANE RECOMMENDED IMPROVEMENT

Not To Scale



The property has/will have access to the existing public rights-of-way of Old Salem Road via one entrance. The development will access the eastern portion of the Old Salem Road which is not on the City of Murfreesboro's 2040 Major Transportation Plan. The development is also providing three stub streets to the surround properties to allow for additional points of ingress and egress when those properties develop in the future.



UTILITY MAP

Not To Scale



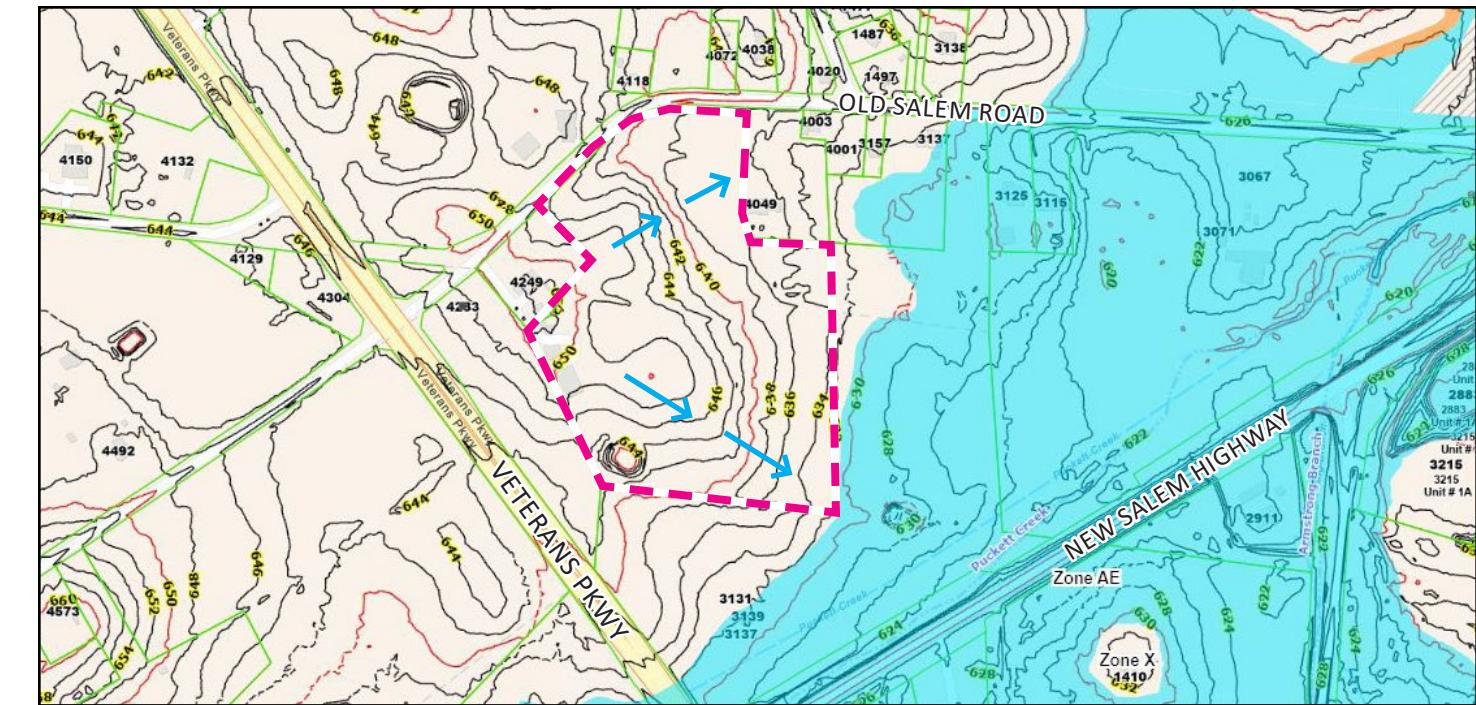
Water service will be provided by the Consolidated Utility District. There is an existing 8 inch ductile iron water line that reduces down to an existing 6 inch ductile iron water line along northern side Old Salem Road. CUD is currently upsizing the existing line to a 20" ductile iron water line along the frontage of this development. The developer will be responsible for extending a waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources. Sanitary sewer service will connect to an existing 15" PVC gravity sewer line along Puckett Creek to the south of the development. The developer is working with the adjacent property owner to provide a new sanitary sewer connection back to the trunk line along the creek. The developer is responsible for extending the sewer into this property.

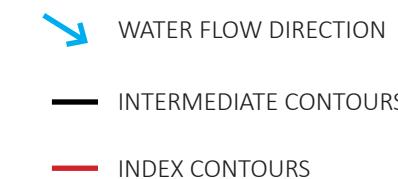


Electric service will be provided by the Middle Tennessee Electric. Service will be extended from Old Salem Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



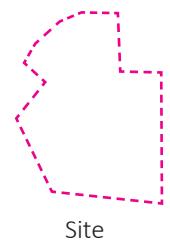
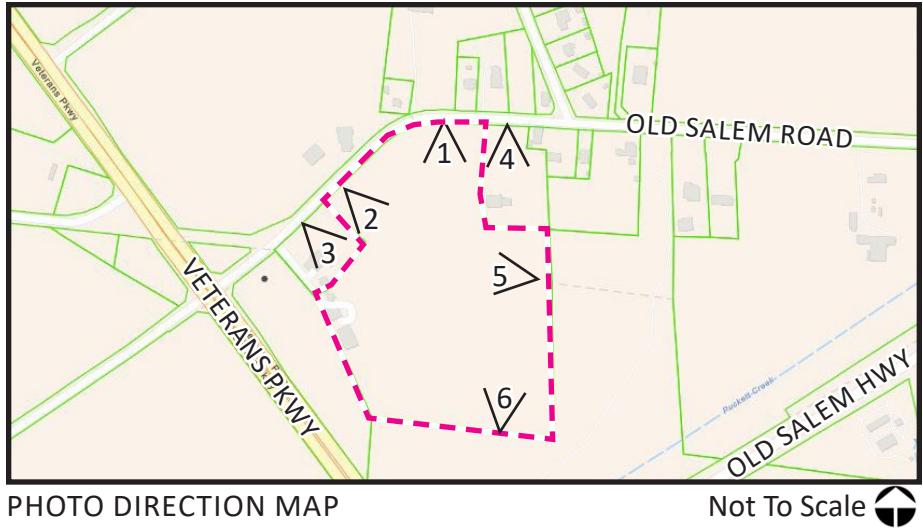
HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at western portion of the property. From this high point, the property drains towards the northeast and southeast which eventually flows into Puckett Creek.

No portions of this property are within a designated floodway or floodplain per FEMA Flood Panel 47149C0265H eff. 1/4/2007.



View of Existing Field Looking South



View of Existing Field Looking Southeast



View of Neighboring Home Looking Southeast



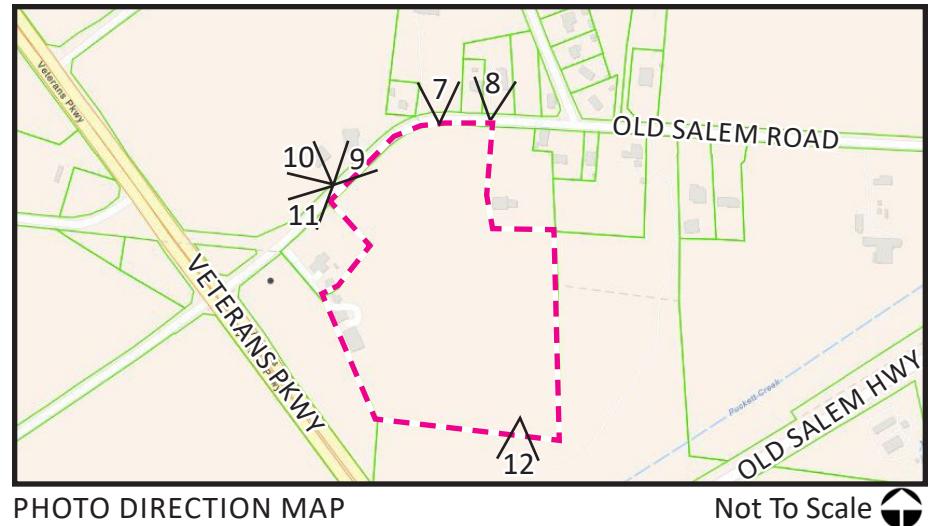
View of Neighboring Home Looking South



View of Existing Field Looking West



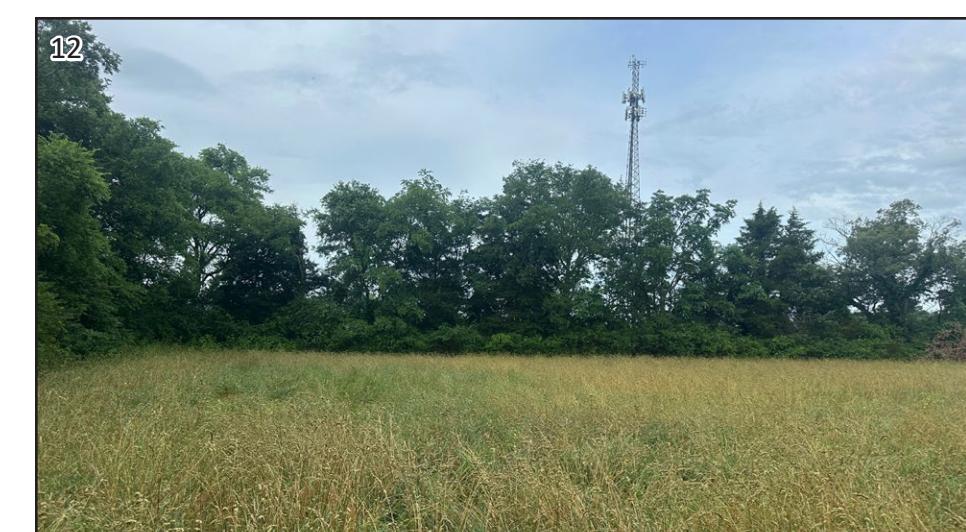
View of Existing Field Looking North



View of Neighboring Home Looking North



View of Neighboring Home Looking Northwest



OVERALL SITE DATA:

Total Land Area:	± 19.29 Acres
ROW dedication Area:	± 0.03 Acres
Total Single-Family Detached Units:	52 Units (62.7%)
Total Single-Family Attached Units:	31 Units (37.3%)
Total Number of Units:	83 Units
Density: 83 Units/19.26 Acres =	± 4.31 Units/Acre
Required Open Space:	± 3.86 Acres (20%) Min.
Provided Open Space:	± 5.90 Acres (30.6%)
Max. Townhome Land Area Allowed (20%):	± 3.85 acres
Total Townhome Land Area Provided:	± 3.75 acres (19.47%)
Required Formal Open Space =	± 0.19 acres (5.00%)
Provided Formal Open Space =	± 0.28 acres (7.47%)
Provided Detention:	± 1.46 Acres (7.58%)
Length of New Roadway:	± 3,375 Linear Feet

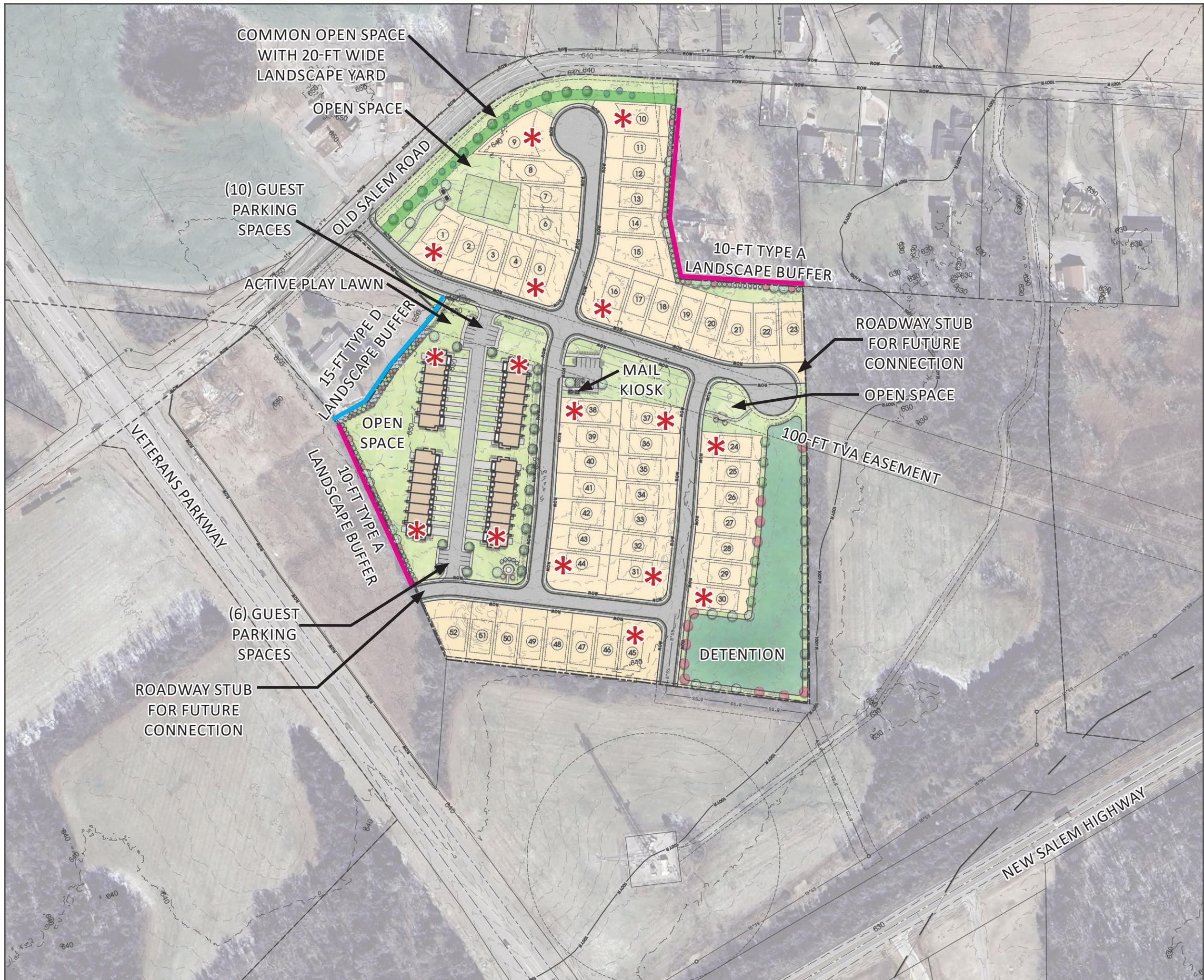
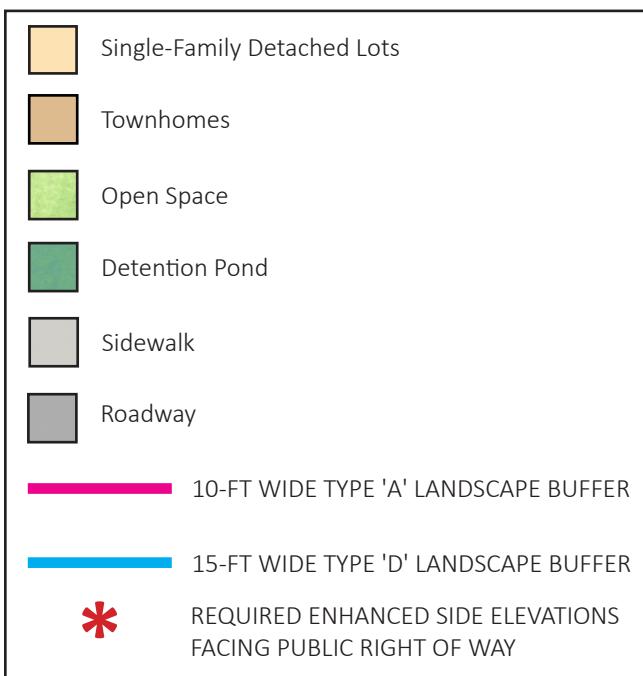
Single-Family Detached Lots Parking Requirements

Required Parking (52 x 4.0 Spaces/Units):	208 Spaces
Provided Garage Spaces:	104 Spaces
Provided Driveway Spaces:	208 Spaces
Total Parking Provided =	312 Spaces (+104)

Townhome Parking Requirements

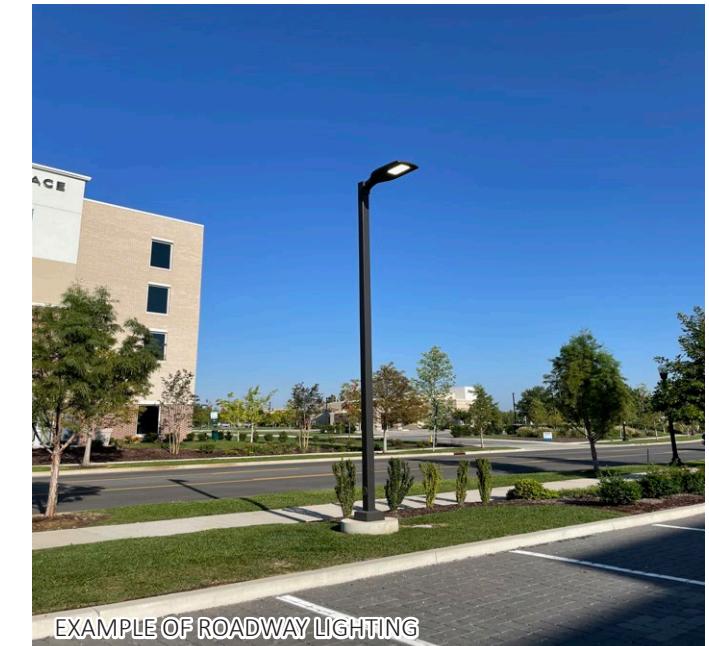
Maximum Number of Bedrooms Per Unit:	3 Bedrooms
Required Parking (31 x 3.3 Spaces/Units):	102 Spaces
Provided Garage Spaces:	39 Spaces
Provided Driveway Spaces:	78 Spaces
Provided Guest Parking Spaces:	16 Spaces
Total Parking Provided =	133 Spaces (+31)

Length of New Private Roadway:	± 475 Linear Feet
--------------------------------	-------------------



Development Standards:

- All homes developed within the subdivision shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of the single-family attached and detached homes within the subdivision shall sell the units to individual buyers on an individual contract basis, not as a bulk transaction to a single entity.
- Home occupations, accessory to a principal residential use, shall be permitted in this planned district if they demonstrate that they will comply with the administrative home occupation standards in the Murfreesboro Zoning Ordinance, as they may be amended from time to time. Home occupations that do not comply with said administrative home occupation standards shall not be permitted in this planned district.
- The entrance off of Old Salem Road will have signage constructed of masonry materials and shall be anchored by landscaping. Signage shall adhere to the Murfreesboro signage ordinances.
- Builders shall install sod and landscaping along all front and sides which face onto a private or public roadway.
- All above ground utilities and mechanical equipment (i.e. HVAC and transformers) to be screened via landscape or fencing
- HVAC units will be located at the rear or side of each residence, and shall be screened from ROWs.
- All proposed on-site utilities will be underground. The existing TVA transmission line shall remain.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by the H.O.A. Board per the By-Laws
- H.O.A. will be managed by independent 3rd party management company.
- Townhomes will be for sale and platted as an Horizontal Property Regime (HPR).
- The common areas will be owned and maintained by an H.O.A.
- Parking areas for townhomes shall be private and maintained by the H.O.A.
- Townhome Garages shall be restricted to parking for vehicles only, and not used for storage. This restriction will be recorded in the CCR's for the development and enforced by the H.O.A.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance (19'4" wide x 20' deep for two car garages and 11'4" wide x 20' deep for single car garages)
- Streets will be a mix of public and private streets.
- Sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community
- Mail service will be provided via a centralized mail kiosk.
- Solid waste services shall be provided by the City of Murfreesboro.
- Street lights within public ROW's shall be coordinated with MTE.
- Street lights within private roadways shall be coordinated with MTE.
- A 10-ft wide Type 'A' Landscape Buffer shall be installed along a portion of the western and northeastern perimeter of the development and shall be maintained by the H.O.A.
- A 15-ft wide Type 'D' Landscape Buffer shall be installed along a portion of the northwestern perimeter of the development and shall be maintained by the H.O.A.
- An average 15-ft wide landscape yard with enhanced plantings shall be located along the eastern edge of the townhome area to mitigate visual impact from the proposed ROW. Minimum planting yard width in this area shall be 12-ft.
- An average 20-ft wide landscape yard shall be provided along the Old Salem Road ROW. Minimum planting yard width in this area shall be 15-ft.



Single-Family Detached Site Data:

Approximate Land Area: ±15.71 Acres
Total Single-Family Detached Lots: 52 Lots
Density: 51 Lots/15.71 Acres = ±3.31 Lots/Acre

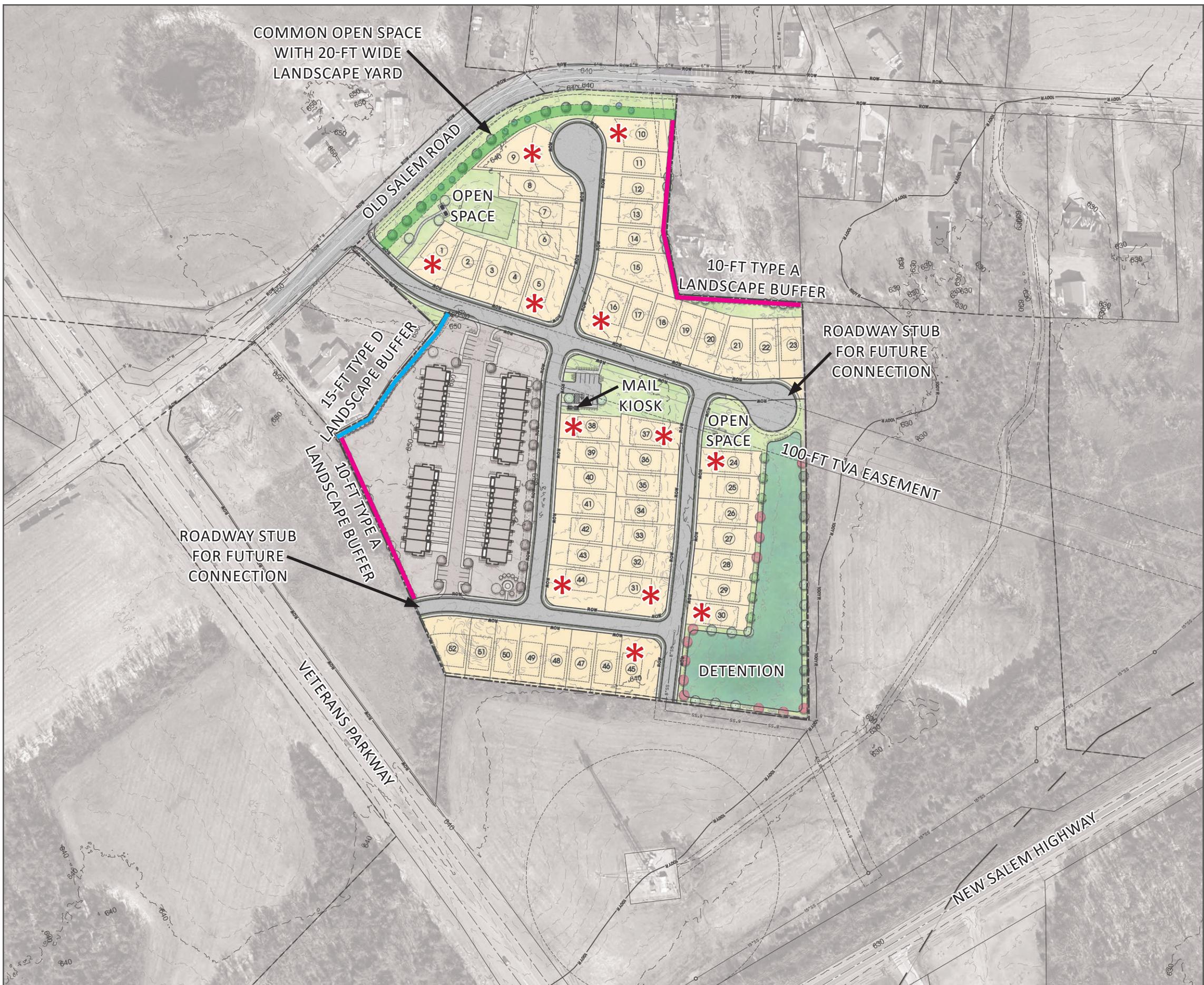
Typical Lot Size: 50' x 120'
Minimum Lot Size: 6,000 SQFT
Minimum Lot Width: 50 Feet

Single-Family Detached Development Standards:

- 52 single-family detached lots with a minimum of 2 bedrooms.
- The homes will be a minimum of 1,400 square feet of living area
- Each home will be on individual lots of record and will be for purchase.
- All single-family detached homes shall provide at least 4 parking spaces
- All single-family detached homes will have a driveway wide enough for 2 vehicles, and have a minimum width of 16-feet and a minimum depth of 35-feet.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance standards.



- Enhanced side elevations shall include a minimum of 35% brick or stone material consistent with the materials used on the front elevation of the home or unit. Shutters shall also be installed on the side elevations and shall match in style and color, if present, on the front elevation.



Single-Family Detached Homes Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All homes will have at least 2 bedrooms
- All homes will have eaves
- All homes will have a patio area at the rear of the unit
- All homes will have a 2-car front-entry garages
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance (19'4" wide x 20' deep for two car garages and 11'4" wide x 20' deep for single car garages)

Building Materials:

Front Elevations: Minimum height 30-36 inch brick or stone water table (ideally from the window sill and below), the remainder of the elevation to be cement board siding.

Secondary Street Elevations: Will match primary front elevation

Side & Rear Elevations: Minimum height 30-36 inch brick or stone water table (ideally from the window sill and below), the remainder of the elevation to be cement board siding.

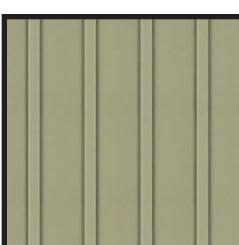
All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick
(Different colors, cuts, patterns will be allowed)



Example of Fiber Cement Board
(Different colors will be allowed)



Example of Board and Batten
(Different colors will be allowed)



Example of Asphalt Shingles
(Different colors will be allowed)



Example of Stone Veneer
(Different colors, cuts, patterns will be allowed)



Example of Metal Seam Roof
(Different colors will be allowed)



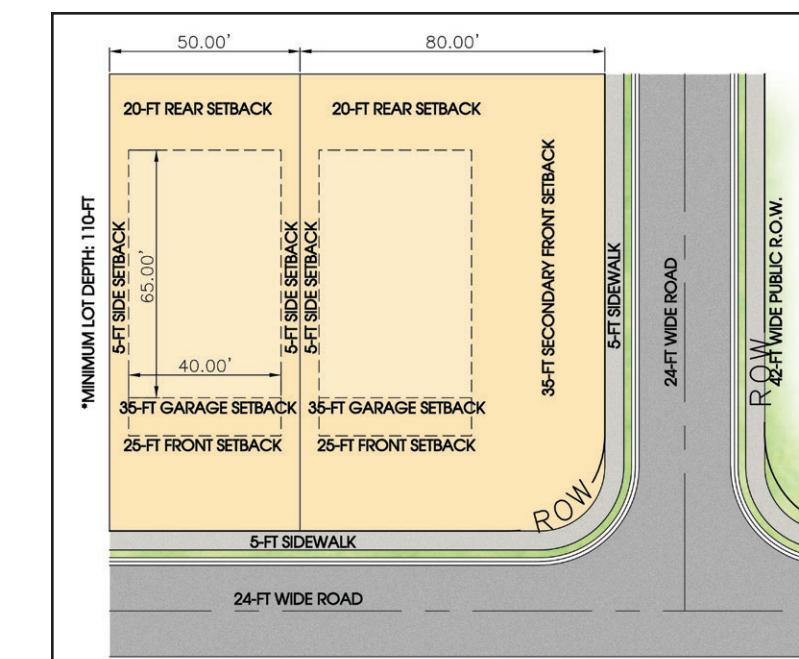
Setbacks Proposed in PRD compared to RS-6 Zoning

Single-Family Detached Homes Minimum Building Setbacks (Internal)

RS-6 vs. Proposed PRD

35-ft	35-ft Front Setback to Garage
25-ft	25-ft Front Setback to Main Structure
35-ft	35-ft Secondary Front Setback
5-ft	5-ft Side Setback
20-ft	20-ft Rear Setback

*Covered porches/stoops shall be permitted to encroach a maximum of 5-ft into the front, the secondary front, and rear setbacks.





SINGLE FAMILY DETACHED OPTION 1 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 1 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 1 - FRONT ELEVATION 'C'



SINGLE FAMILY DETACHED OPTION 1 - REAR AND SIDE ELEVATION EXAMPLE



SINGLE FAMILY DETACHED OPTION 2 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 2 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 2 - FRONT ELEVATION 'C'



SINGLE FAMILY DETACHED OPTION 2 - REAR AND SIDE ELEVATION EXAMPLE



SINGLE FAMILY DETACHED OPTION 3 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 3 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 3 - FRONT ELEVATION 'C'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 4 - FRONT ELEVATION 'A'



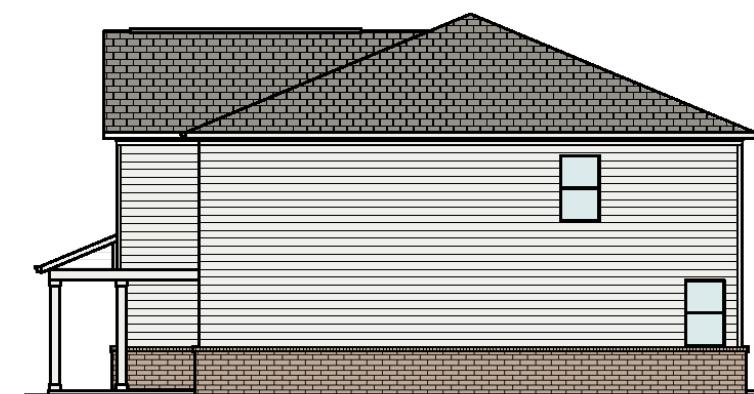
SINGLE FAMILY DETACHED OPTION 4 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 4 - FRONT ELEVATION 'C'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 5 - FRONT ELEVATION 'A'



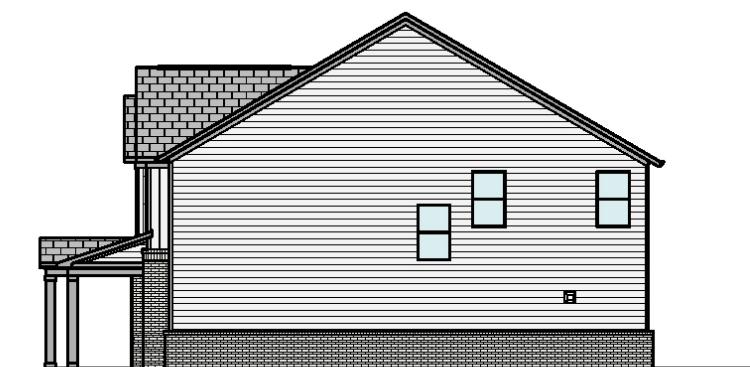
SINGLE FAMILY DETACHED OPTION 5 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 5 - FRONT ELEVATION 'C'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 6 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 6 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 6 - FRONT ELEVATION 'C'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



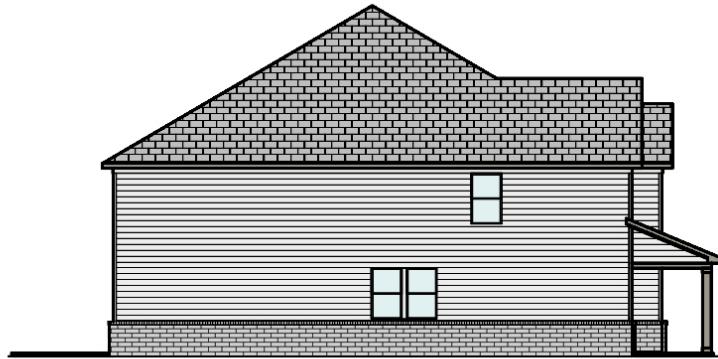
SINGLE FAMILY DETACHED OPTION 7 - FRONT ELEVATION 'A'



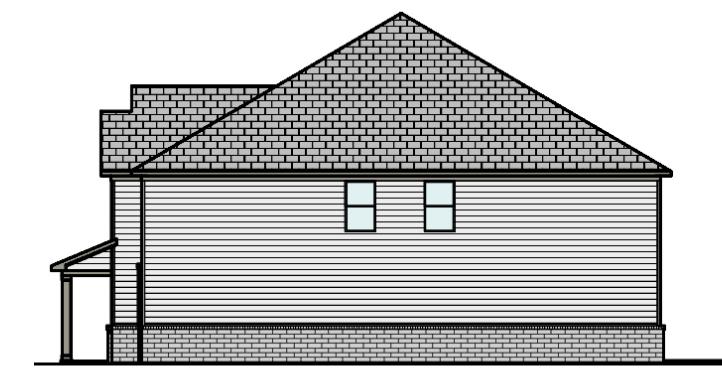
SINGLE FAMILY DETACHED OPTION 7 - FRONT ELEVATION 'B'



SINGLE FAMILY DETACHED OPTION 7 - FRONT ELEVATION 'C'



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



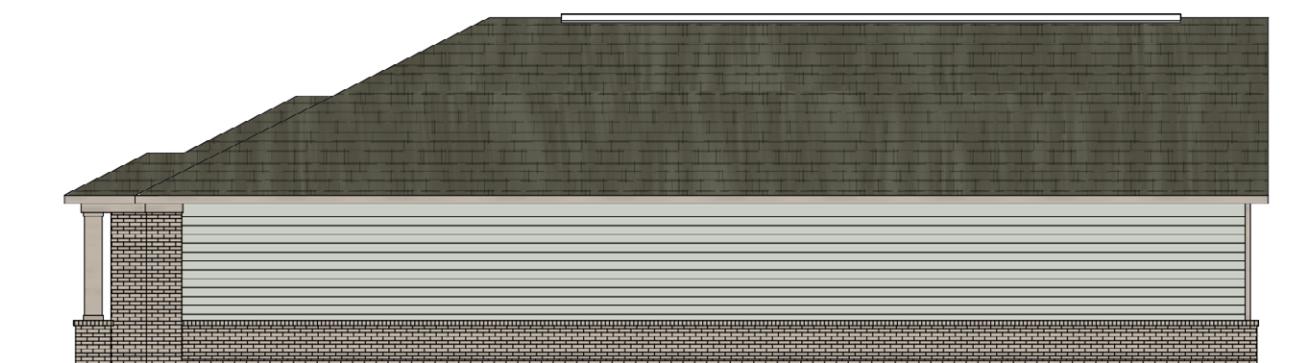
REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 7 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 7 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 7 - LEFT SIDE ELEVATION



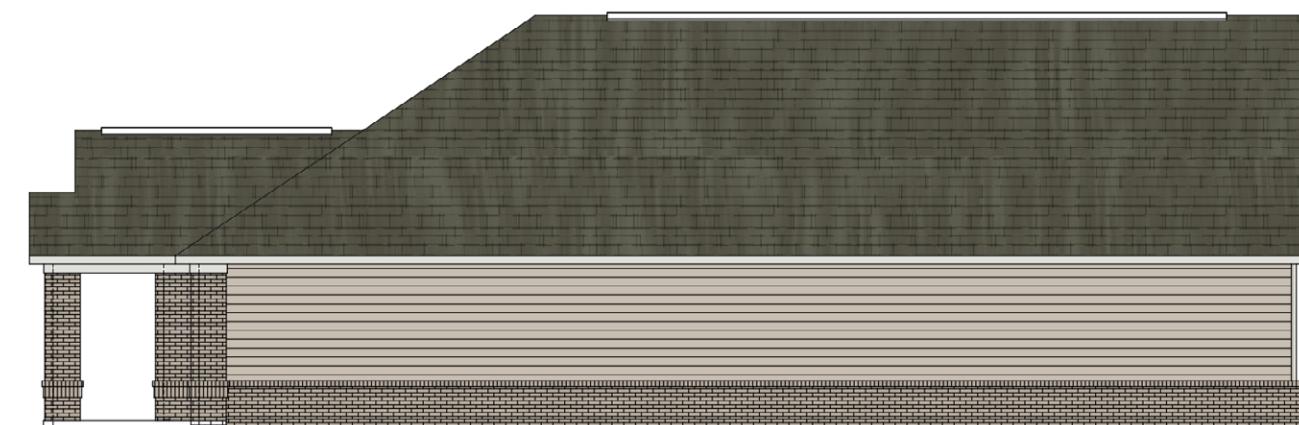
SINGLE FAMILY DETACHED OPTION 7 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 7 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 7 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 7 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 7 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 8 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 8 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 8 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 8 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 9 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 9- REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 9- LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 9 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 10 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 10 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 10 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 10 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 11 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 11 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 11- LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 11 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 12 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 12 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 12 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 12 - RIGHT SIDE ELEVATION



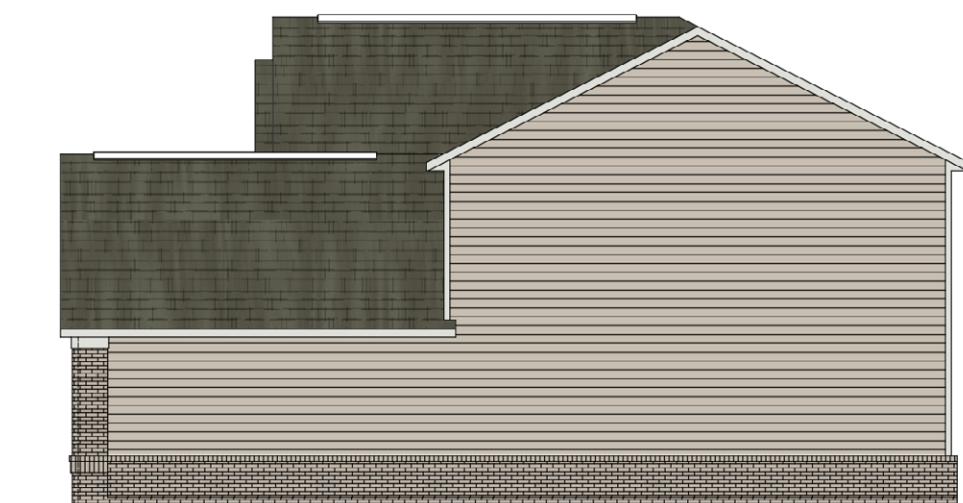
SINGLE FAMILY DETACHED OPTION 13 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 13 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 13- LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 13 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 14 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 14 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 14 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 14 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 15 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 15 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 15- LEFT SIDE ELEVATION



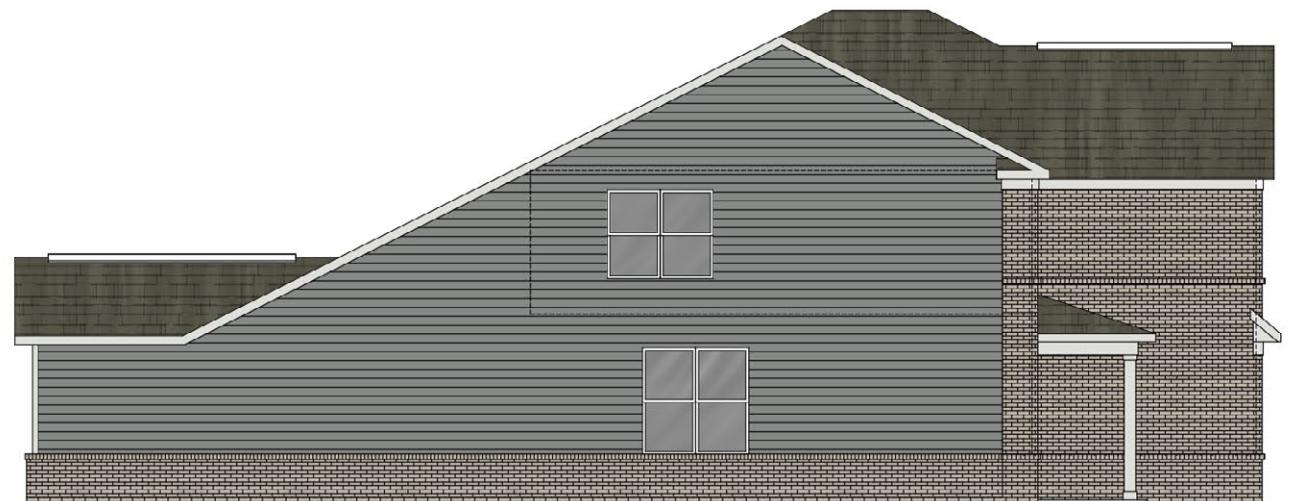
SINGLE FAMILY DETACHED OPTION 15 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 16 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 16 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 16 - LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 16 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 17 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 17 - REAR ELEVATION



SINGLE FAMILY DETACHED OPTION 17- LEFT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 17 - RIGHT SIDE ELEVATION



SINGLE FAMILY DETACHED OPTION 18 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 19 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 20 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 21 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 22 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 23 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 24 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 25 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 26 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 27 - FRONT ELEVATION 'A'



SINGLE FAMILY DETACHED OPTION 28 - FRONT ELEVATION 'A'



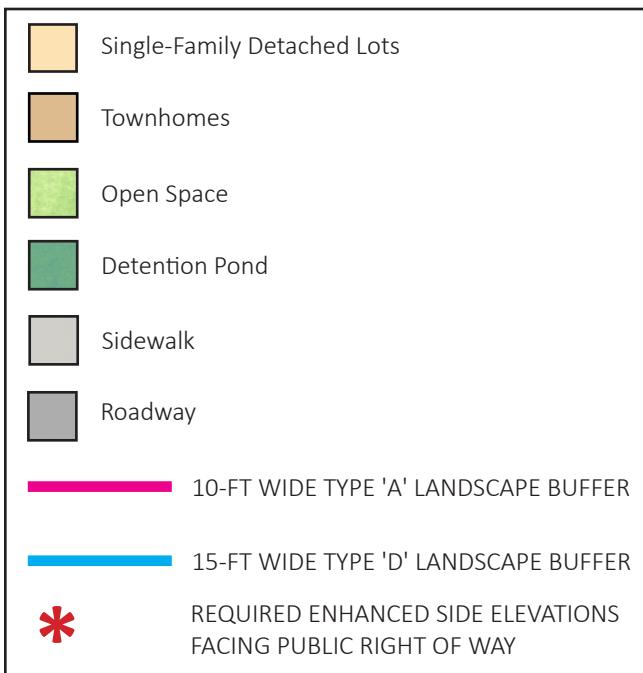
SINGLE FAMILY DETACHED OPTION 29 - FRONT ELEVATION 'A'

Single-Family Attached HPR Site Data:

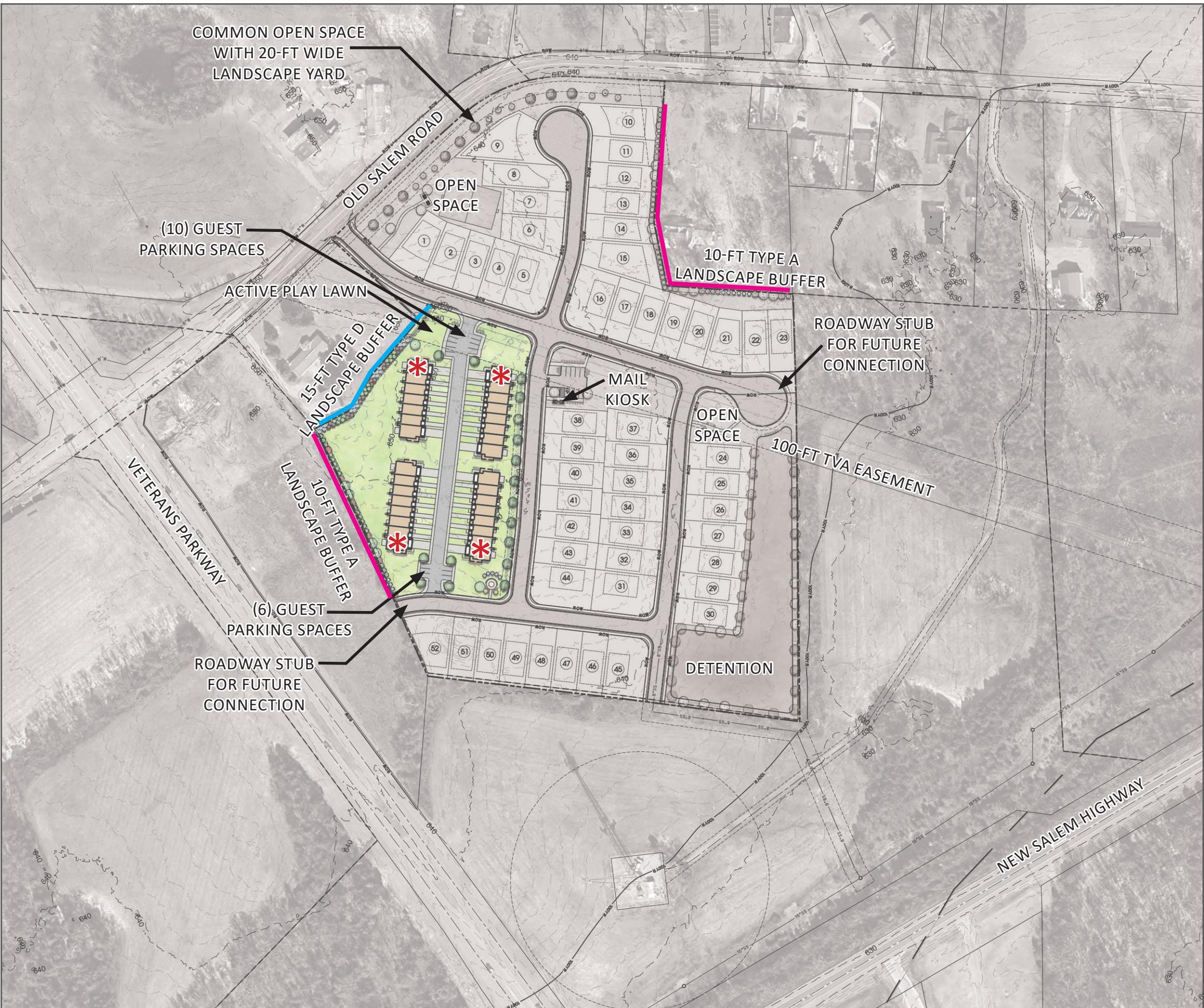
Approximate Land Area: ±3.57 Acres
 Total Single-Family Attached Units: 31 Units
 Density: 31 Units/3.57 Acres = ±8.68 Units/Acre

Single-Family Attached HPR Development Standards:

- 31 single-family attached homes with a minimum of 2 bedrooms up to a maximum of 3 bedrooms.
- Each unit will be for purchase and sold via a horizontal Property Regime (HPR).
- Each single-family attached home shall provide at least 3 parking spaces per home (2 outside of garage).
- Each townhome unit shall have at least a 1-car garage.
- Each townhome internal unit shall have a driveway wide enough for 1-car and deep enough for 2-cars in the driveway. Driveways shall be have a minimum width of 10-ft and a depth of 35-feet.
- Each townhome end unit shall have a driveway wide enough for 2 vehicles and deep enough for 4-cars in the driveway. Driveways shall be have a minimum width of 16-ft and a depth of 35-feet.
- Garages shall be restricted to vehicular parking only, and the use of garage space for non-vehicular storage will be prohibited and recorded in the development's CCR's.



＊ Enhanced side elevations shall include a minimum of 35% brick or stone material consistent with the materials used on the front elevation of the home or unit. Shutters shall also be installed on the side elevations and shall match in style and color, if present, on the front elevation.



Single-Family Attached Homes Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- Homes will be 1 or 2 stories
- All units will have at least 2 bedrooms
- All units will have eaves
- Townhomes will be for sale and platted as an Horizontal Property Regime (HPR).
- All units will have a patio area at the rear of the unit
- Patios may be screened with an optional 6-ft tall white or neutral colored vinyl privacy fence between homes.
- All homes will have a minimum 1-car front-entry garage
- Garage doors will range from white to neutral colors in order to match the trim and color palette of each home.
- Interior dimensions of garages will comply with the Murfreesboro Zoning Ordinance (19'4" wide x 20' deep for two car garages and 11'4" wide x 20' deep for single car garages)



Example of Stone Veneer
(Different colors, cuts, patterns will be allowed)



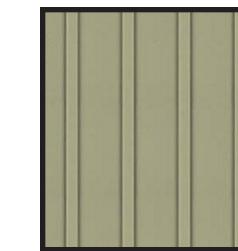
Example of Brick
(Different colors, cuts, patterns will be allowed)



Example of Asphalt Shingles
(Different colors will be allowed)



Example of Fiber Cement Board
(Different colors will be allowed)



Example of Board and Batten
(Different colors will be allowed)



Example of Metal Seam Roof
(Different colors will be allowed)

Building Materials:

Front Elevations:

Minimum height 30-36 inch brick or stone water table (ideally from the window sill and below), the remainder of the elevation to be cement board siding.

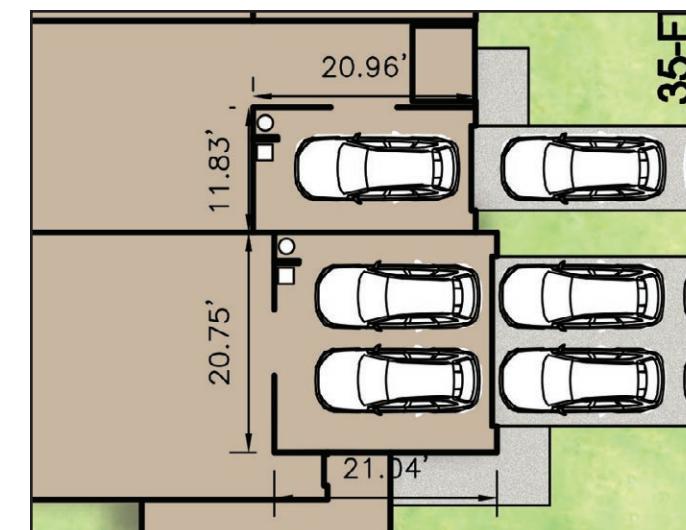
Secondary Street Elevations:

Will match primary front elevation

Minimum height 30-36 inch brick or stone water table (ideally from the window sill and below), the remainder of the elevation to be cement board siding.

All Elevations:

Vinyl Only Permitted in Trim & Soffit Areas



Setbacks Proposed in PRD compared to RS-A Type 2 Zoning

Single-Family Attached Homes Minimum Building Setbacks (Internal)

RS-A Type 2	vs.	Proposed PRD
35-ft		35-ft Front Setback
35-ft		35-ft Front Setback
10-ft		10-ft Side Setback
20-ft		20-ft Rear Setback

Garage to Back of Sidewalk:

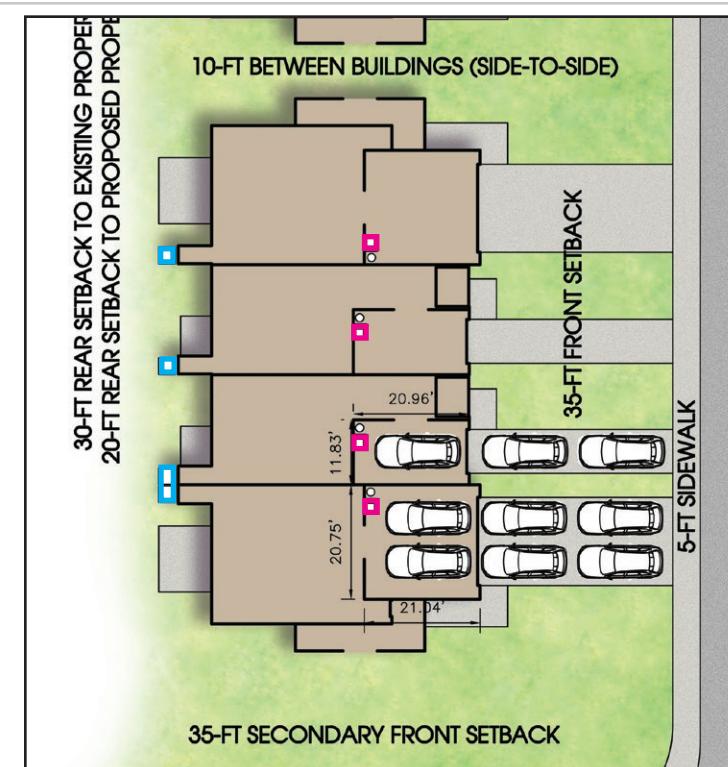
Side to Back of Sidewalk (Corner):

Side to Side Between Buildings:

Rear to Proposed Property Lines:

*Covered porches/stoops shall be permitted to encroach a maximum of 5-ft into the front, the secondary front, and rear setbacks.

**Secondary Front Setback shall refer to any front setback where a driveway or garage does not directly front onto a roadway



■ HVAC UNIT ■ TRASH CART

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.
Final architecture shall be provided at the site plan level and will meet design guidelines.



OPTION 1 - SINGLE FAMILY ATTACHED ELEVATION



OPTION 1 - SINGLE FAMILY ATTACHED ELEVATION



OPTION 2 - SINGLE FAMILY ATTACHED ELEVATION



OPTION 2 - SINGLE FAMILY ATTACHED ELEVATION



OPTION 3 SINGLE FAMILY ATTACHED- FRONT ELEVATION



OPTION 3 SINGLE FAMILY ATTACHED - LEFT ELEVATION



OPTION 3 SINGLE FAMILY ATTACHED- REAR ELEVATION



OPTION 3 SINGLE FAMILY ATTACHED - RIGHT ELEVATION



OPTION 4 SINGLE FAMILY ATTACHED - FRONT ELEVATION



OPTION 4 SINGLE FAMILY ATTACHED - LEFT ELEVATION



OPTION 4 SINGLE FAMILY ATTACHED - REAR ELEVATION



OPTION 4 SINGLE FAMILY ATTACHED - RIGHT ELEVATION



OPTION 5 SINGLE FAMILY ATTACHED - FRONT ELEVATION



OPTION 5 SINGLE FAMILY ATTACHED - FRONT ELEVATION



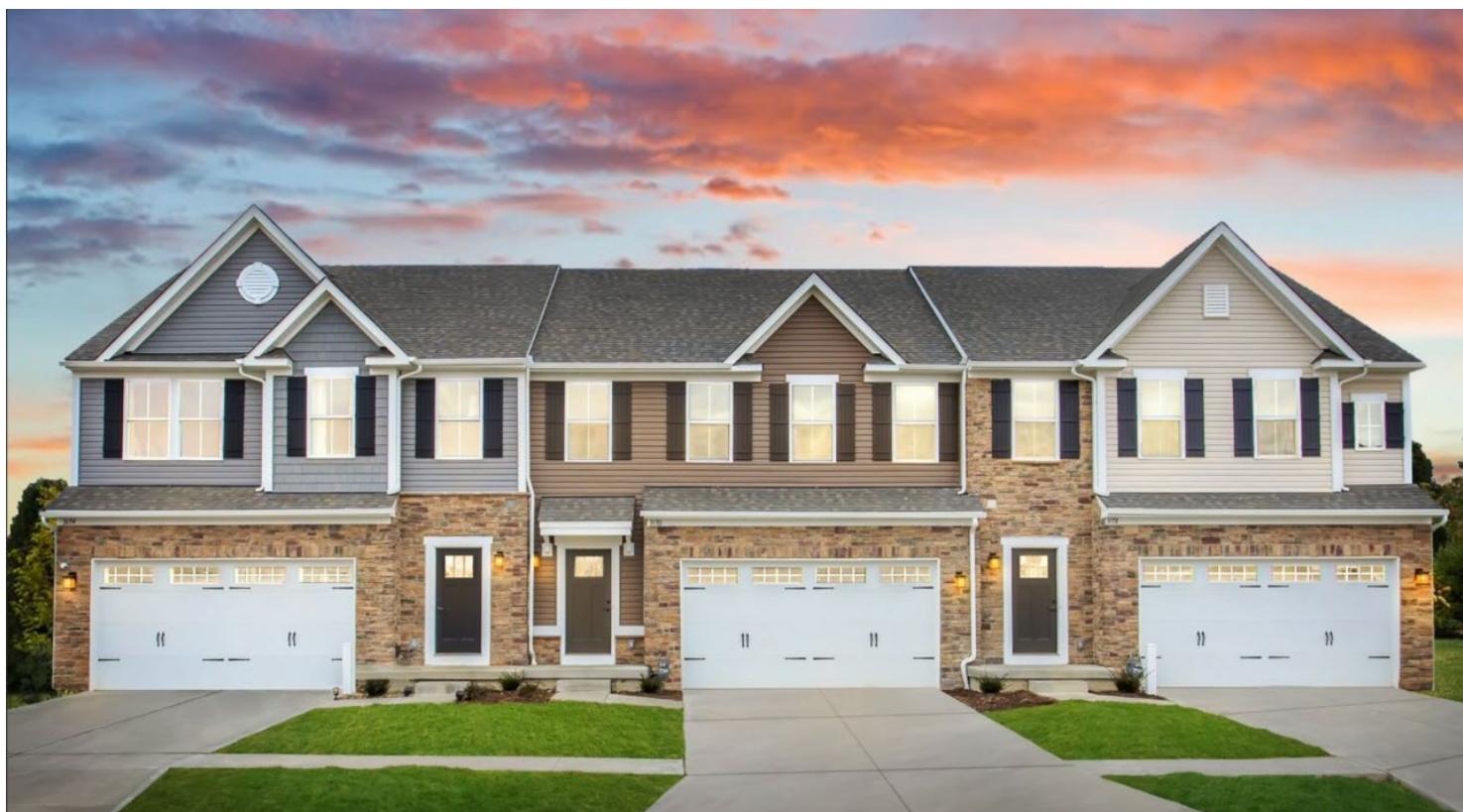
OPTION 5 SINGLE FAMILY ATTACHED - FRONT ELEVATION



OPTION 6 SINGLE FAMILY ATTACHED - FRONT ELEVATION



OPTION 6 SINGLE FAMILY ATTACHED - SIDE ELEVATION



OPTION 7 SINGLE FAMILY ATTACHED - FRONT ELEVATION

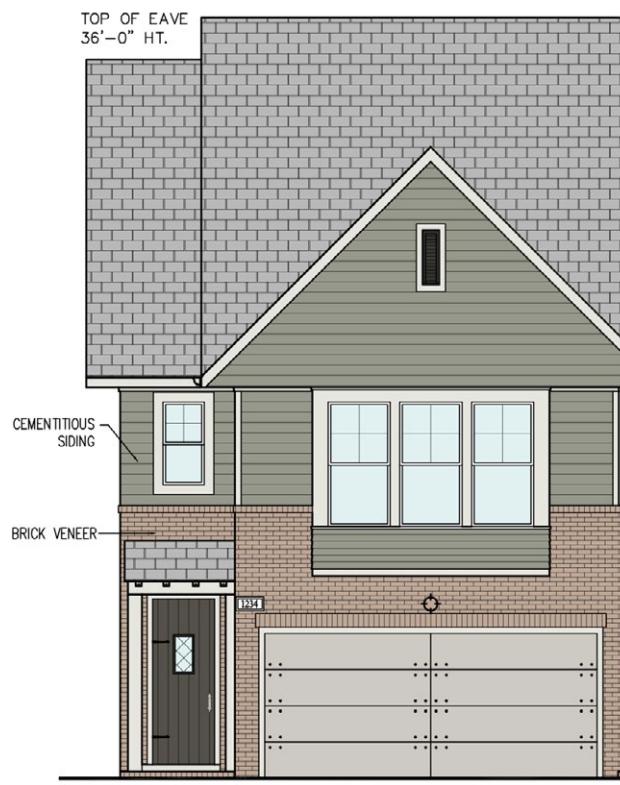


OPTION 8 SINGLE FAMILY ATTACHED - FRONT ELEVATION

*Architecture shown is illustrative and only meant to convey the general appearance and character of the building.
Final architecture shall be provided at the site plan level and will meet design guidelines.



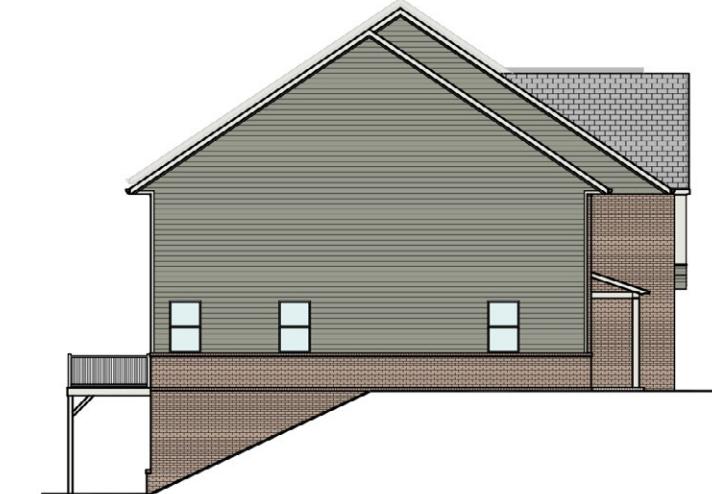
OPTION 9 SINGLE FAMILY ATTACHED- FRONT ELEVATION



OPTION 9 - FRONT ELEVATION 'Q' FOXGLOVE



OPTION 9 - FRONT ELEVATION 'Q' MARIGOLD



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



OPTION 10 SINGLE FAMILY ATTACHED - FRONT ELEVATION

Pursuant to the City of Murfreesboro's 2040 Major Transportation Plan (MTP), none of the roadways in this development are slated for improvements. Old Salem Road is a local roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 2-lane cross-section with no curb and gutter and no sidewalks along both sides of the roadway.

The entrance is proposed to incorporate two travel lanes; one lane into the site and one lane out of the site. The master plan has included potential secondary means of ingress/egress from the development via stubs to potential future developments to the south, east, and west.

The illustration to the right shows the proposed entrance to the development from Old Salem Road, and the proposed roadway connections to potential future developments. Illustrations on Page 45 show examples of the proposed road cross section(s).

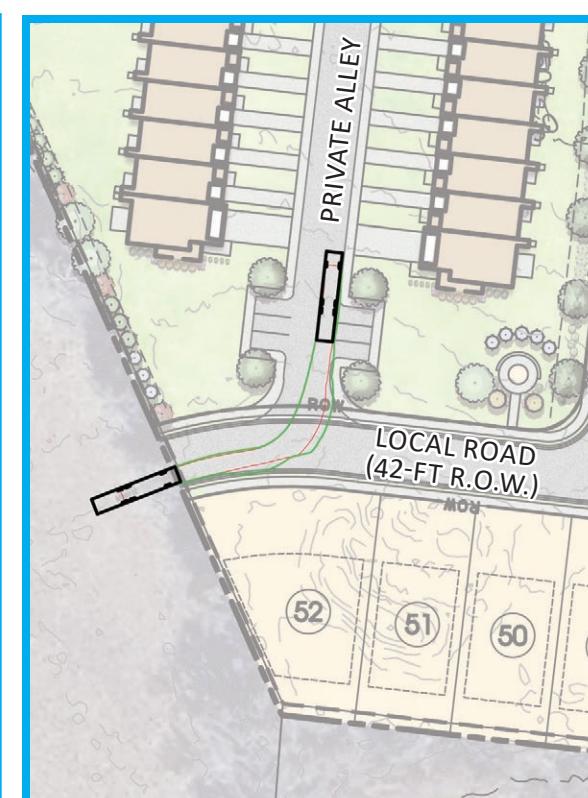
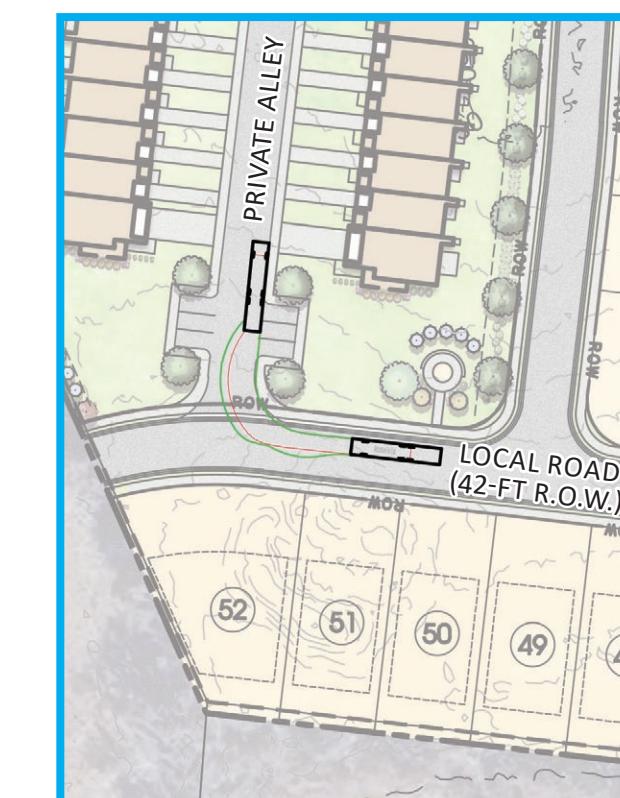
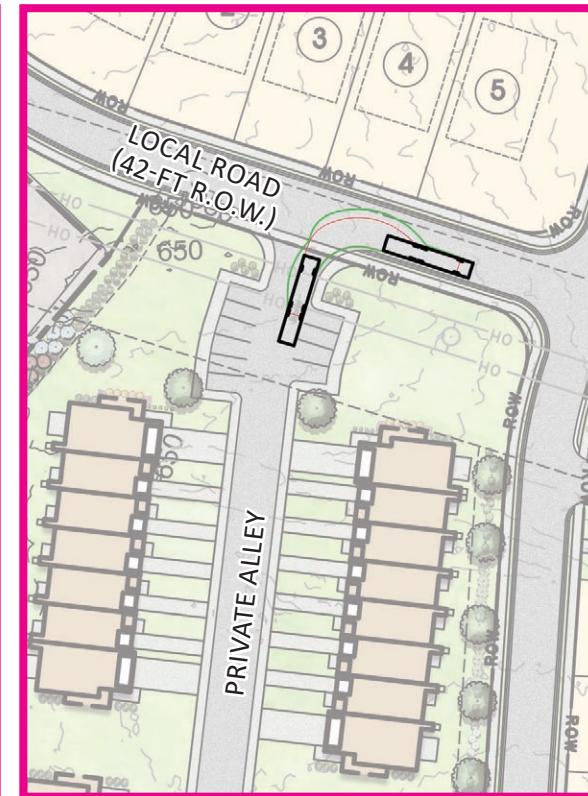
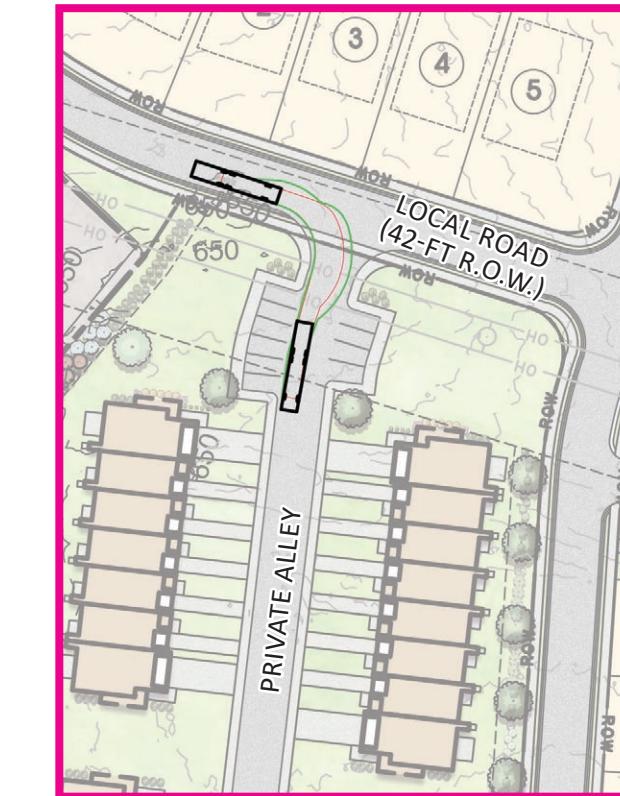
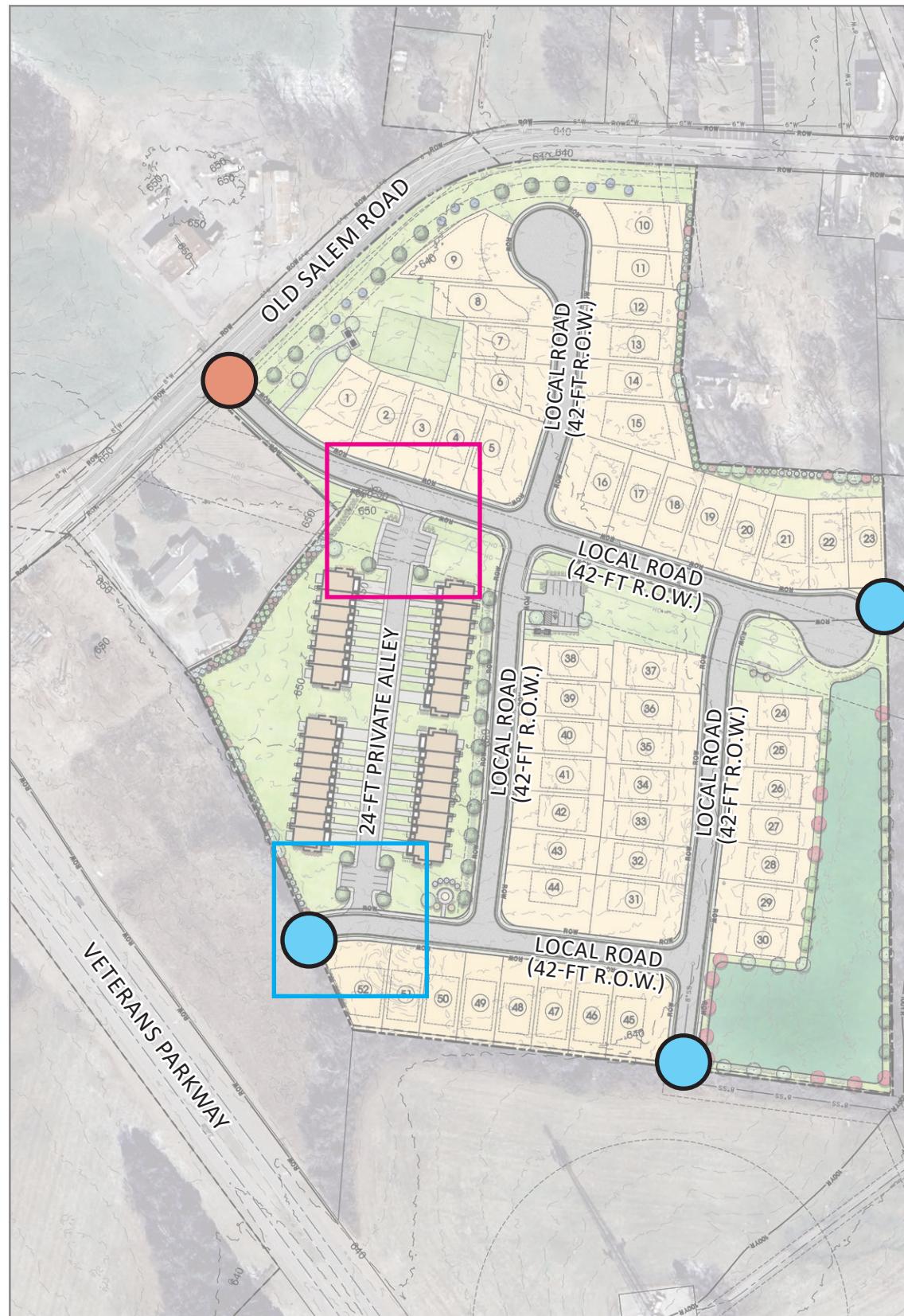
The streets within the development will be primarily public streets with a typical Local Street with a 42-ft cross-section or private streets, and a private street with a 34-ft cross-section within a private access easement.

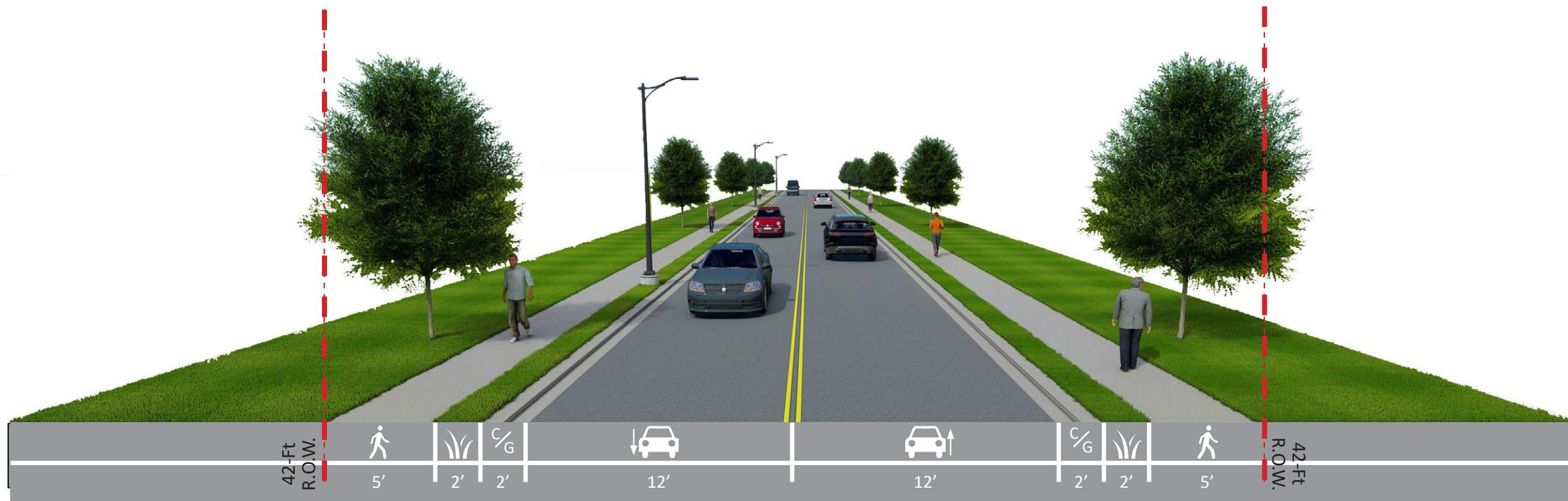
Traffic Impact Study

A Traffic Impact Study was conducted for this development. The TIS does not specify any recommended roadway improvements to the surround existing roadways. Although there are no required roadway improvements, the developer will be contributing \$400 per lot to the installation of the traffic signal at Veterans Parkway and Old Salem Road. This will be paid at the final plat recordation.

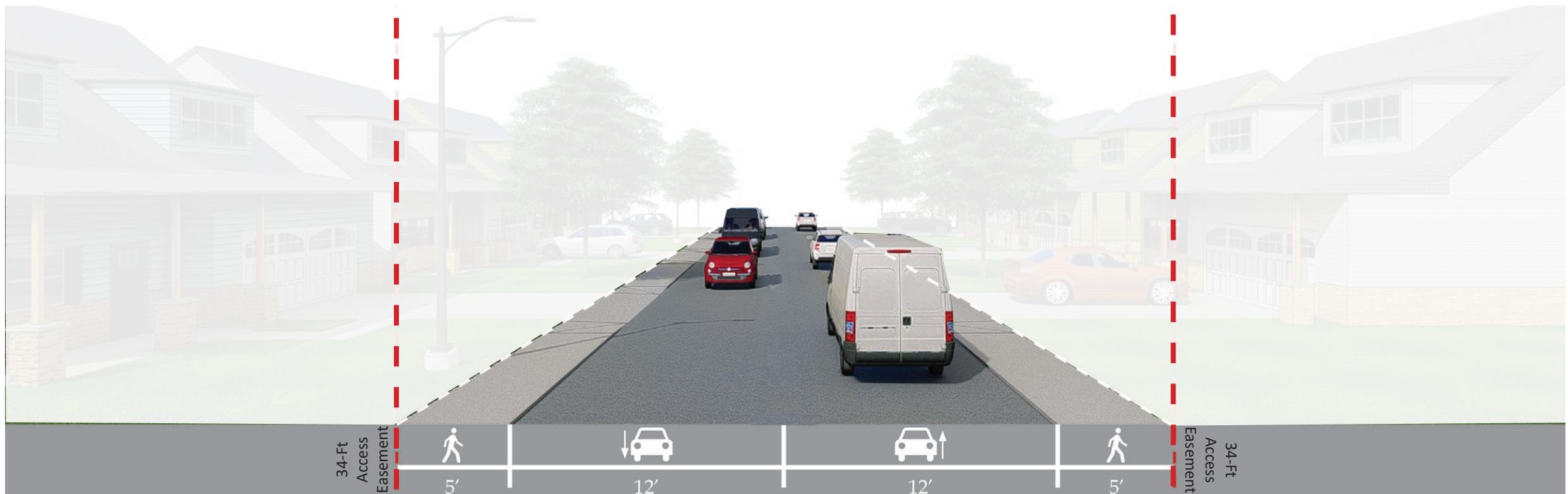
 ENTRANCES TO PRD

 FUTURE CONNECTIONS TO PRD

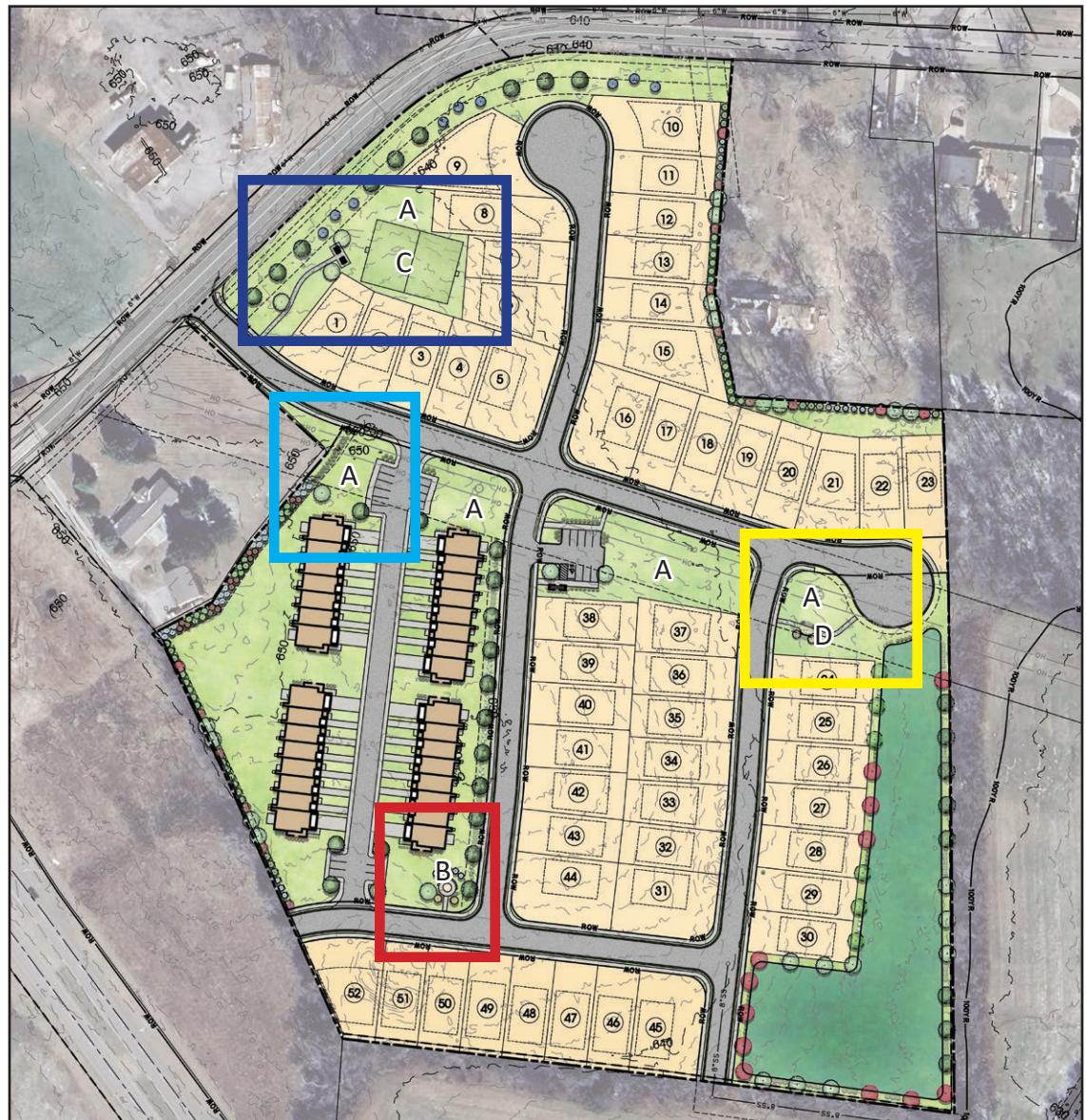




Typical Public Street - 42 -ft. R.O.W.
(See Page 18 for location of private vs public roads)



Typical Private Street - 34-ft Public Access Easement
(See Page 18 for location of private vs public roads)

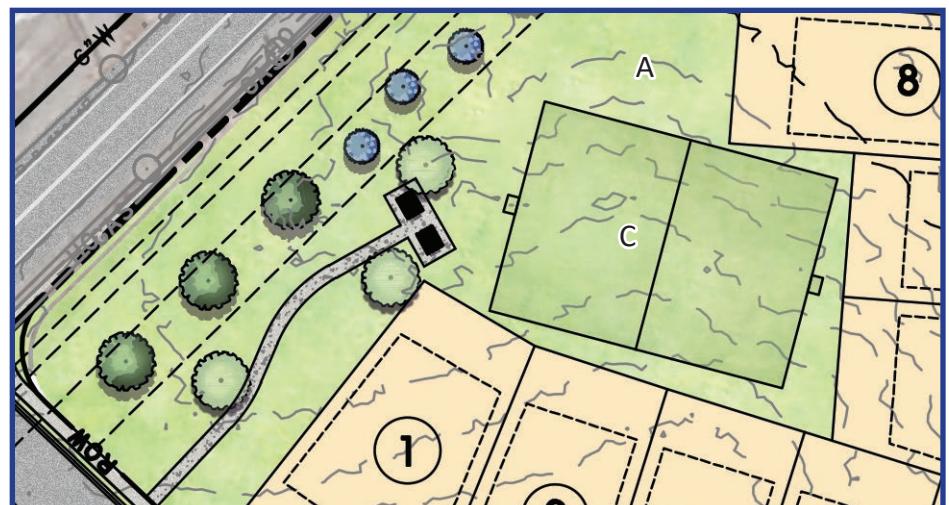


LOCATION MAP - AMENITIES

A	Active Play Lawn	C	Soccer Play Field
B	Community Fire Pit	D	Seating Area & Active Play Lawn

Not To Scale

With this request, Robinson Bend will be dedicating almost 6 acres (30% of the site) to open space. The open space areas will be comprised of usable open space and detention areas. Usable open space areas spread around the overall development will offer the following amenities; Active Play Lawns, Soccer Play Field, Seating Plazas and a Community Fire Pit. Sidewalks will line both sides of all streets (public and private) to provide pedestrian circulation through the neighborhood for residents.



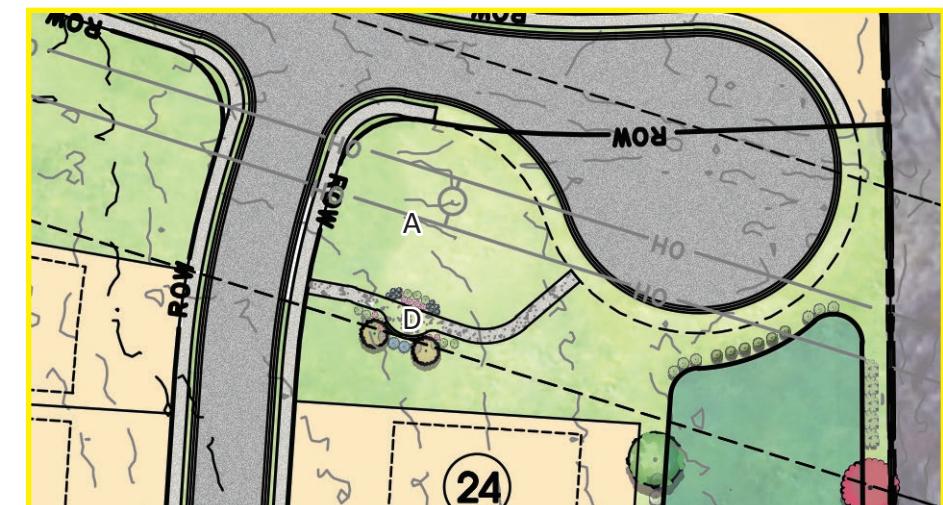
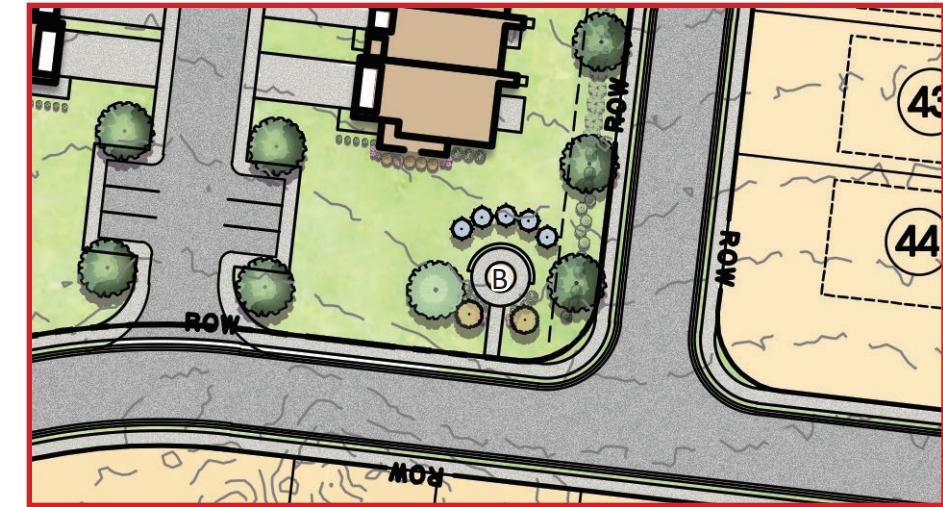
LOCATION MAP - ACTIVE AMENITIES AREA



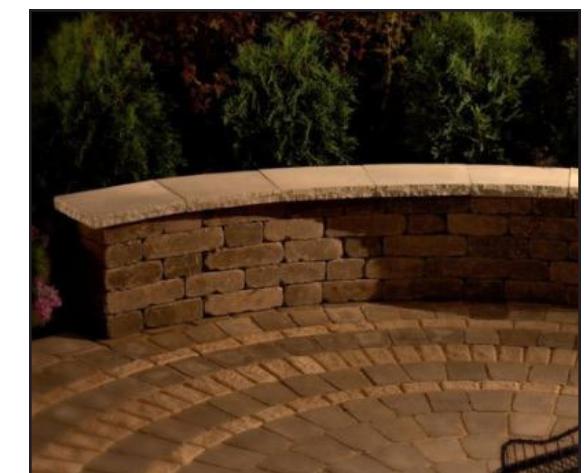
Example of Active Play Lawn



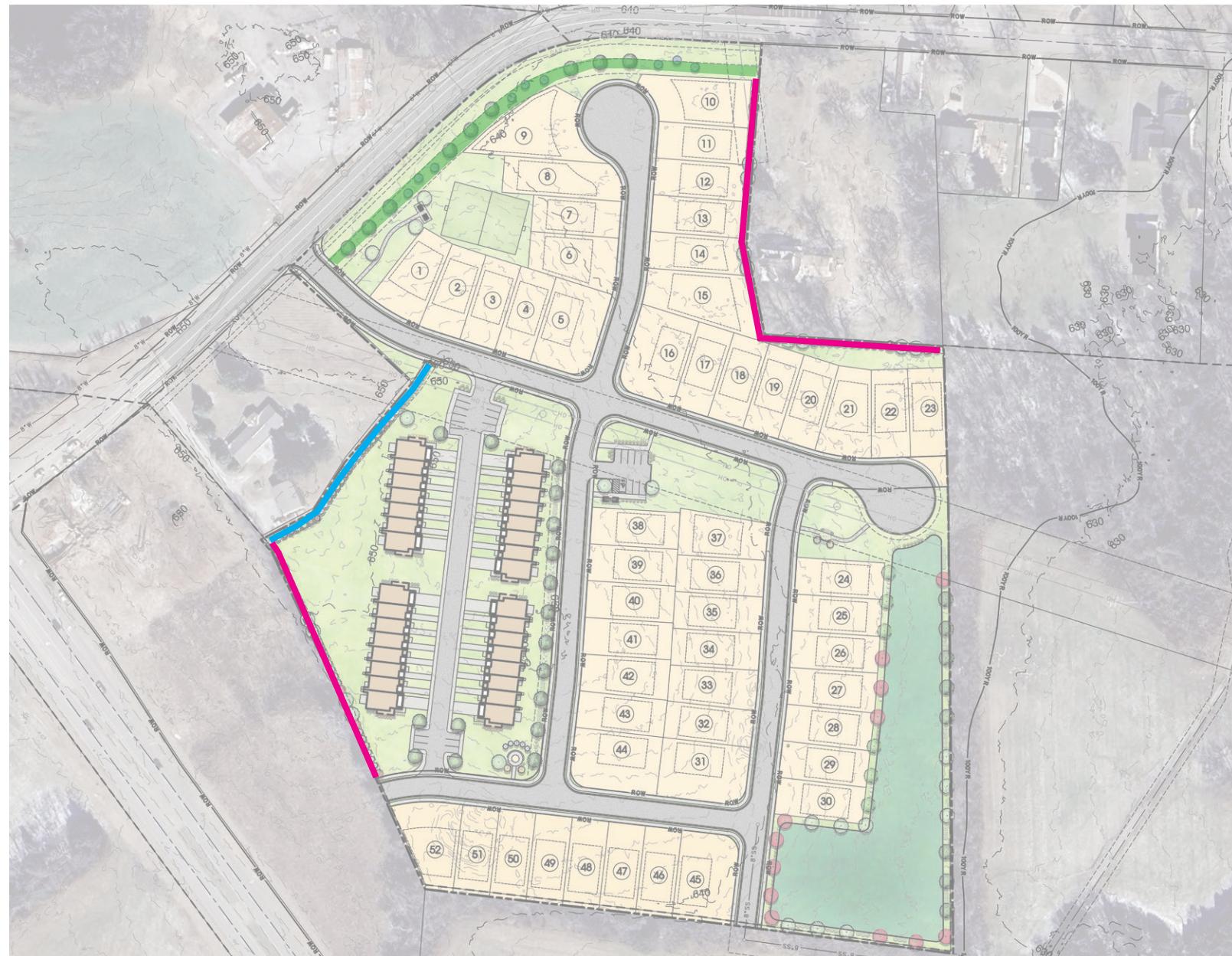
Example of Active Soccer Play Field



Example of Community Fire Pit



Example of Seating Area



The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

Residential Landscaping Characteristics:

- A 10-ft wide Type 'A' Landscape Buffer shall be installed along the western and northeastern perimeter of the development and shall be maintained by the H.O.A.
- A 15-ft wide Type 'D' Landscape Buffer shall be installed along a portion of the northwestern perimeter of the development and shall be maintained by the H.O.A.
- A 20-ft wide landscape yard shall be provided along Old Salem Road between utility easements along the road and the lots backing up to Old Salem Road. This landscape yard will be planted with a mixture of deciduous and evergreen trees and shrubs.
- A minimum 10-feet of landscape area between parking lots/areas and all property lines.
- Public rights-of-way screened from parking lots/areas by use of landscaping and/or berming.
- Low level screening shrubs shall be installed where parking headlights interfere with R.O.W. or adjacent residential uses to help shield headlight glares.
- The front and side of all homes/townhomes that face a public/private roadway shall have a minimum 3-ft wide landscape bed along those foundations.
- Landscaping will be in conformance with the City of Murfreesboro's Landscaping Ordinance.
- H.O.A. will be responsible for the maintenance and upkeep of all landscape and lawn areas within open space of the development.

- 10-FT WIDE TYPE 'A' LANDSCAPE BUFFER
- 15-FT WIDE TYPE 'D' LANDSCAPE BUFFER
- 20-FT WIDE OLD SALEM ROAD LANDSCAPE YARD



EXAMPLE OF 20-FT WIDE OLD SALEM ROAD LANDSCAPE YARD



EXAMPLE OF LANDSCAPE BUFFER

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: Exhibits shown on Pages 3- 5 provide the requested materials.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits shown on Pages 3- 5 provide the requested materials.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits shown on Pages 3- 5 provide the requested materials.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Exhibits shown on Pages 8-10, 46-49 provide the requested materials

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Exhibits shown on Page 8 provide the requested materials

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

Response: See Data Table below

TOTAL SITE AREA	838,966 s.f.
TOTAL MAXIMUM FLOOR AREA	349,200 s.f.
TOTAL LOT AREA	352,280 s.f.
TOTAL BUILDING COVERAGE	30,311 s.f.
TOTAL DRIVE/ PARKING AREA	105,028 s.f.
TOTAL RIGHT-OF-WAY	132,841 s.f.
TOTAL LIVABLE SPACE	733,938 s.f.
TOTAL OPEN SPACE	260,225 s.f.
FLOOR AREA RATIO (F.A.R.)	0.42
LIVABILITY SPACE RATIO (L.S.R.)	0.84
OPEN SPACE RATIO (O.S.R.)	0.96

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned RM in Rutherford County. The surrounding area has a mixture of residential and agricultural properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in 1 phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Pages 9 and 49.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: See Requested Exceptions Pages 51.

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). No portion of this property lies in a floodway or floodplain, according to the current FEMA Flood Panel 47149C0265H eff. 01/04/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 4 and 44 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Rob Molchan of SEC, Inc. Developer/ applicant is Summit Development, LLC contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 11-44 show the architectural character of the proposed residential buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 9 and a description is on Pages 3 & 9.

Robinson Bend (SINGLE FAMILY DETACHED):

Land Use Parameters and Building Setbacks			
Zoning	RS-6	Proposed PRD (SFD)	Difference
Residential Density			
Maximum Gross Density	7.2 Units / Acre	4.31 Units / Acre	-2.89 Units / Acre
Minimum Lot Area	6,000 sqft	6,000 sqft	0 sqft
Minimum Lot Width	50'	50'	0'
Minimum Setback Requirements			
Minimum Front Setback to Garage	35'	35'	0'
Minimum Front Setback to Main Structure	25'	25'	0'
Minimum Secondary Front Setback	35'	35'	0'
Minimum Side Setback	5'	5'	0'
Minimum Rear Setback	20'	20'	0'
Land Use Intensity Ratios			
MAX F.A.R.	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	20%
Minimum Active Open Space Requirement	3%	Not Required	0%
Max Height	35'	35'	0'

Robinson Bend (SINGLE FAMILY ATTACHED):

Land Use Parameters and Building Setbacks			
Zoning	RS-A Type 2	Proposed PRD (SFA)	Difference
Residential Density			
Maximum Dwelling Units Multi-Family	12 Units / Acre	8.68 Units / Acre	-3.32 Units / Acre
Minimum Lot Area	2,000 sf	N/A	N/A
Minimum Lot Width	20'	N/A	N/A
Minimum Setback Requirements			
Minimum Main Building Front to Back of Sidewalk	35'	35'	0'
Minimum Main Building Secondary Front to Back of Sidewalk (Corner)	35'	35'	0'
Minimum Distance Between Buildings (Side to Side)	10'	10'	0'
Minimum Main Building Rear Setback to Face of Curb	20'	20'	0'
Minimum Rear Setback	20'	20'	0'
Land Use Intensity Ratios			
MAX F.A.R.	1.0	N/A	N/A
Minimum Livable Space Ratio	0.5	N/A	N/A
Minimum Open Space Ratio	0.25	N/A	N/A
Minimum Open Space Requirement	20%	20%	0%
Minimum Active Open Space Requirement	5%	5%	0%
Max Height	35'	35'	0'

REQUESTED EXCEPTIONS:

- Requesting an exception to restrict garages to be for vehicular use only. No storage permitted in the garages.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 3, 2025
PROJECT PLANNER: BRAD BARBEE**

6.c. Zoning application [2025-416] for approximately 7.46 acres located along Bill Smith Drive to be rezoned from CH & GDO-1 to PCD (Toyota of Murfreesboro PCD) & GDO-1, TT of T Murfreesboro, Inc. applicant.

The subject property is located along the north side of Manson Pike and Bill Smith Drive and is currently developed as an excess inventory storage lot for Toyota of Murfreesboro. The site is a total of 7.46 acres and is identified as Tax Map 79, Parcel 58.04 and is zoned CH (Highway Commercial District) and GDO-1 (Gateway Design Overlay District 1). The applicant, Nick Berndt, on behalf of Toyota of Murfreesboro, is requesting to rezone the subject property to Planned Commercial District (Toyota of Murfreesboro PCD) and GDO-1.

Adjacent Land Use and Zoning

The adjacent properties to the north are outside of the City limits of Murfreesboro and are zoned RM (Residential Medium Density) in the unincorporated areas of Rutherford County and developed with single-family residential lots.

The properties to the east and south are zoned CH (Highway Commercial) and GDO-1 (Gateway District Overlay 1) and are developed as Mid-South Bus Center and CarMax auto sales. The Toyota of Murfreesboro main dealership property, also zoned CH and GDO-1, is located further to the east along the north side of Bill Smith Drive. There is a vacant property, also zoned CH and GDO-1, directly to the south of the subject property.

Further to the west and southwest, across Manson Pike, is Panther Creek Parc Apartments which is zoned RM-16 (Multi-family Residential District) and GDO-1 along with one vacant parcel zoned CH and GDO-1.

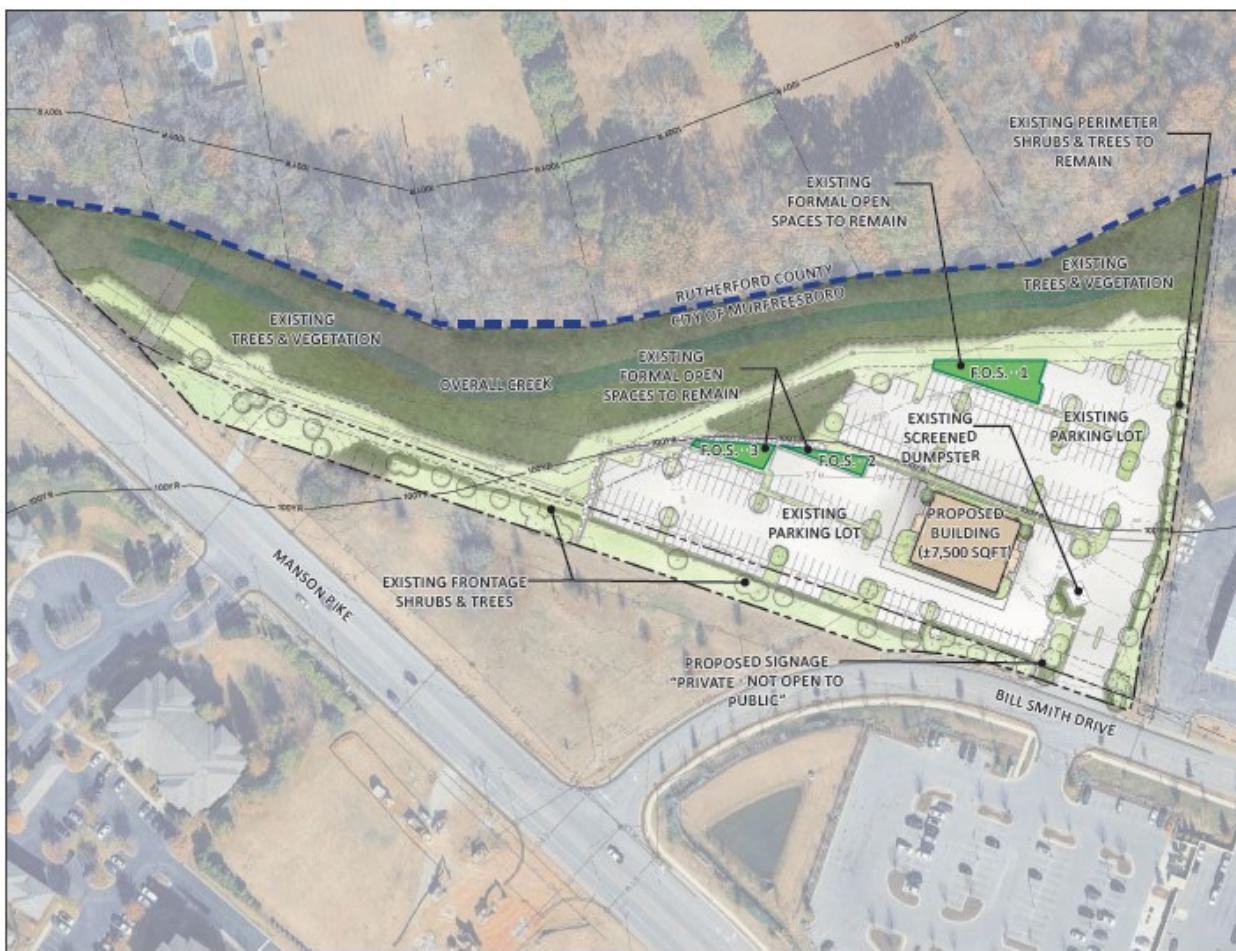
Toyota of Murfreesboro PCD

In this PCD, the applicant proposes to construct a new 7,500 ft² building to be utilized for the repair and maintenance of customer motor vehicles along with new vehicles that require additional preparation prior to being available for sale. This facility will not be open to the public and vehicles will be brought to the facility by Toyota of Murfreesboro employees or delivered to the subject property. Signage will be provided to direct vendors and delivery drivers to make all deliveries on site and not in the public right-of-way. Large trucks will be directed to the designated loading/unloading area.

This PCD is for sole use as an accessory automotive/motor vehicle repair use to the nearby Toyota of Murfreesboro dealership on Bill Smith Drive and may not operate as an independent, stand-alone, motor vehicle repair business.

The remainder of the site will remain mostly unchanged with existing open spaces and formal amenity areas remaining in place to satisfy the standards enumerated for the Gateway Design Overlay District.

The visibility of the overhead doors that are proposed will be minimized by locating the structure so that the doors are perpendicular to the street. In addition, the doors have also been upgraded to better fit the quality and aesthetic of the district.



Building:

- The building has been designed to meet the requirements of the GDO-1 district and Murfreesboro Design Guidelines while still remaining nondescript to avoid attracting customers to this location.
- The exterior of the building is all brick and cast stone veneer.
- The building will have the required articulation and base, body, and cap architectural elements.

Exceptions:

The pattern book does not include any requested exceptions.

Future Land Use Map:

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* identifies the requested area as General Commercial (GC).

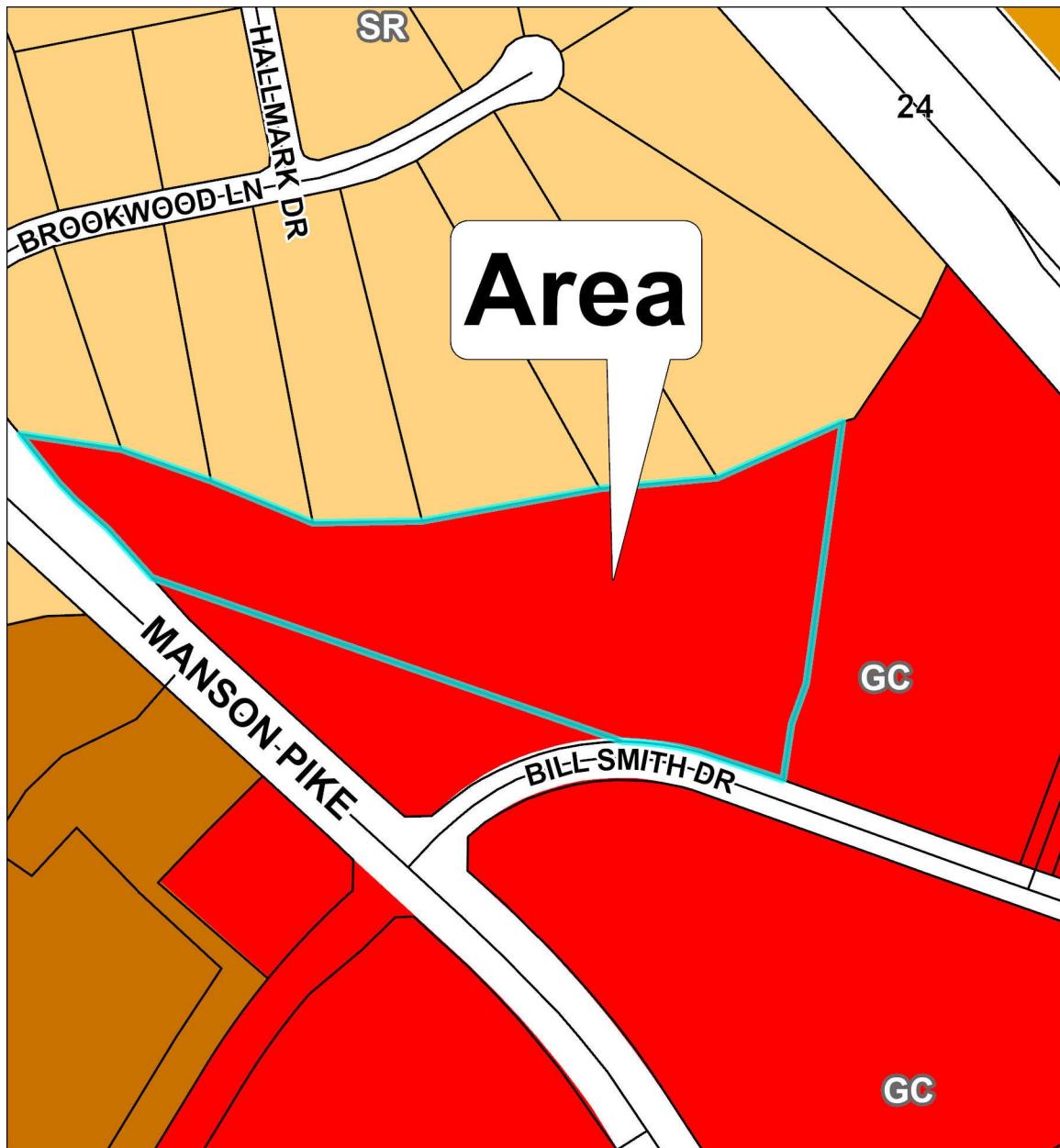
(GENERAL) COMMERCIAL CHARACTER (GC)

This designation pertains to commercial development as well as outparcels located on arterial and collector transportation routes. The primary difference in Urban and Auto-Urban character categories is the role of the automobile in its site design. Rather than buildings oriented to the street, as in an urban setting, such as what is found downtown, auto-urban environments are characterized by large parking lots surrounding the buildings.

Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Example GC uses include regional shopping centers, grocery stores, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their location should be on or with adequate access to arterial roadways.

This zoning request is consistent with the GC future land use character. The project location and automobile service-related use are in line with the development types outlined in the 2035 plan. In addition, the site design is consistent with the character described for General Commercial properties.

Murfreesboro 2035 Comprehensive Plan Future Land Use Map (excerpt)



Recommendation:

Staff is supportive of this zoning request as described above for the following reasons:

- The proposed commercial use and zoning is consistent with the commercial development pattern and zoning along Bill Smith Drive.
- The proposed structure is approximately 300ft away from the nearest property used for residential purposes, providing a substantial separation and buffer to mitigate any potential negative impacts.
- The request is consistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan.

Action Needed

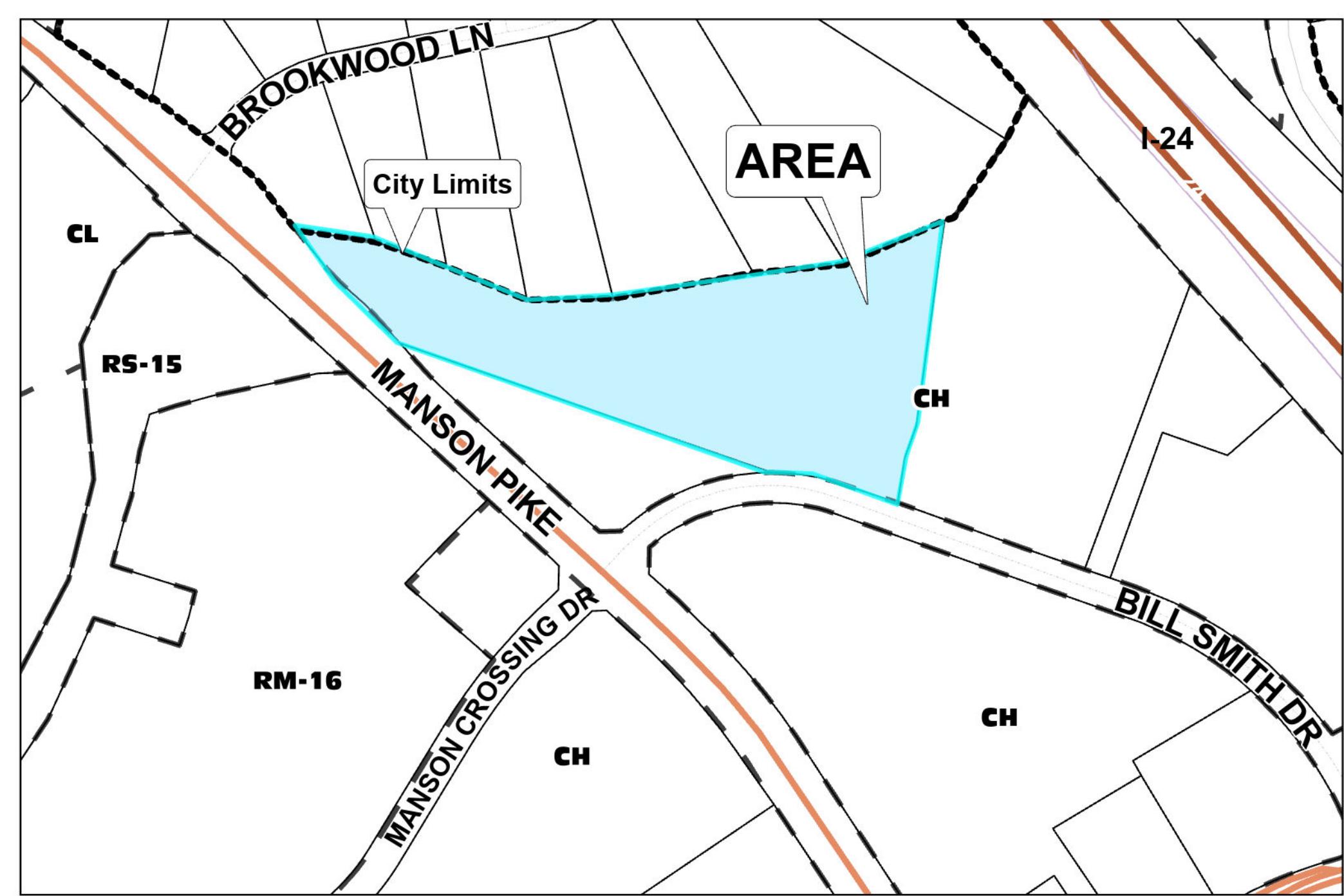
The Planning Commission will need to conduct a public hearing prior to formulating a recommendation to the City Council.

Attachments

Non-Ortho Map

Ortho Map

Program Book



Rezoning request for property located
along Manson Pike and Bill Smith Drive
CH and GDO-1 to PCD (Toyota of Murfreesboro PCD) and GDO-1

Planning Department
City of Murfreesboro
111 West Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Rezoning request for property located
along Manson Pike and Bill Smith Drive
CH and GDO-1 to PCD (Toyota of Murfreesboro PCD) and GDO-1**

Planning Department
City of Murfreesboro
111 West Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov

TOYOTA OF MURFREESBORO PCD

A REZONING REQUEST FROM COMMERCIAL HIGHWAY TO A PLANNED COMMERCIAL DISTRICT

Murfreesboro, Tennessee



SEC Project #25224

Initial Submittal
July 17th, 2025

Resubmitted
August 6th, 2025

© Copyright 2025, Site Engineering Consultants, Inc.



Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

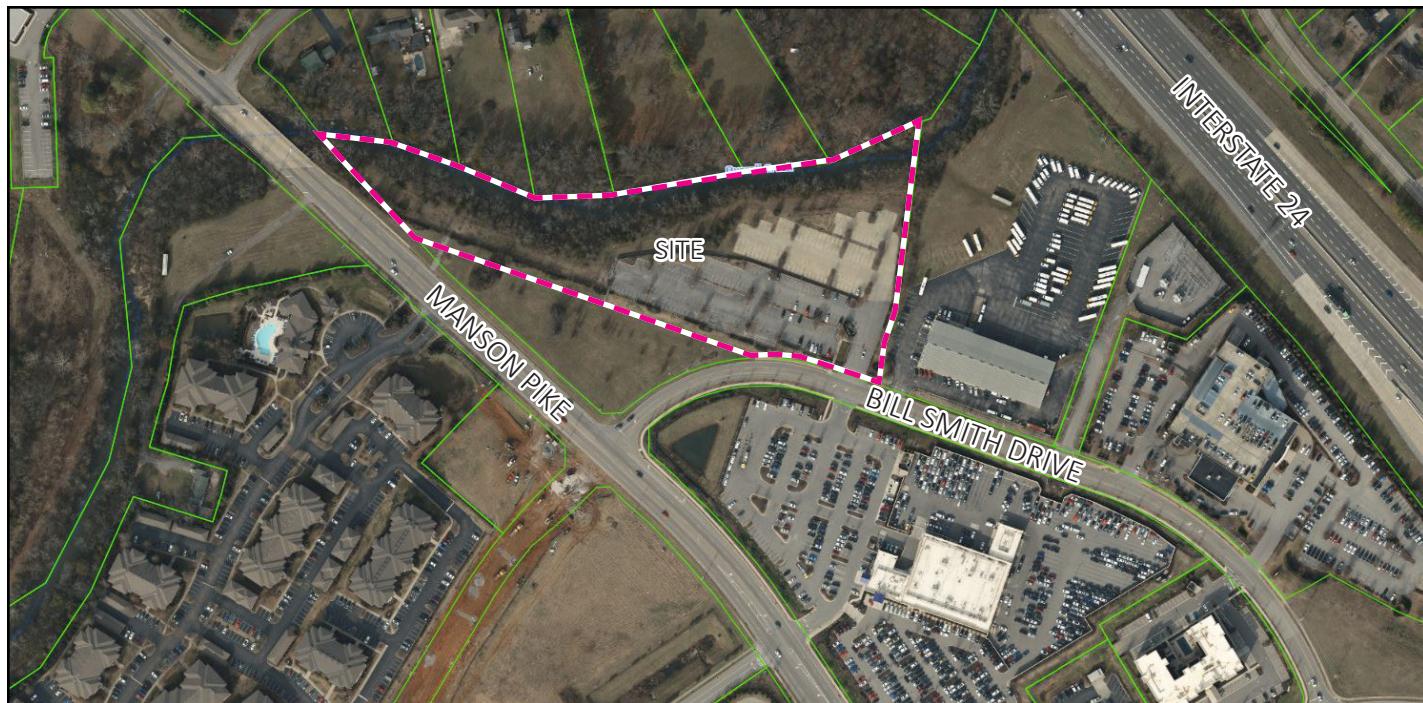
850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129

Company Name: TT of T Murfreesboro, INC
Attn: Anas Obeissy
Phone: (865) 548-9108
Email: aobeissy@toyotaofmurfreesboro.com

505 S Flagler Drive Suite 1400
West Palm Beach, FL 33401

TABLE OF CONTENTS	02
PROJECT SYNOPSIS, ZONING MAP, & FUTURE LAND USE MAP	03
SUBDIVISION MAP & 2040 MAJOR TRANSPORTATION PLAN	04
UTILITY MAP & HYDROLOGY AND TOPOGRAPHY	05
ON-SITE, ROADWAY, & OFF-SITE PHOTOGRAPHY	06-07
CONCEPTUAL SITE AND LANDSCAPE PLAN	08
DEVELOPMENT STANDARDS	09
ARCHITECTURAL CHARACTERISTICS	10-12
LANDSCAPE STANDARDS AND INGRESS AND EGRESS	13
ARTICLE 13 INFORMATION SUMMARY	14
REQUESTED EXCEPTIONS SUMMARY	15

© Copyright 2025, Site Engineering Consultants, Inc. (SEC, Inc.)
This document shall not be reproduced, modified, published, or used in any way or form of media/print
without the expressed written consent of Site Engineering Consultants, Inc.

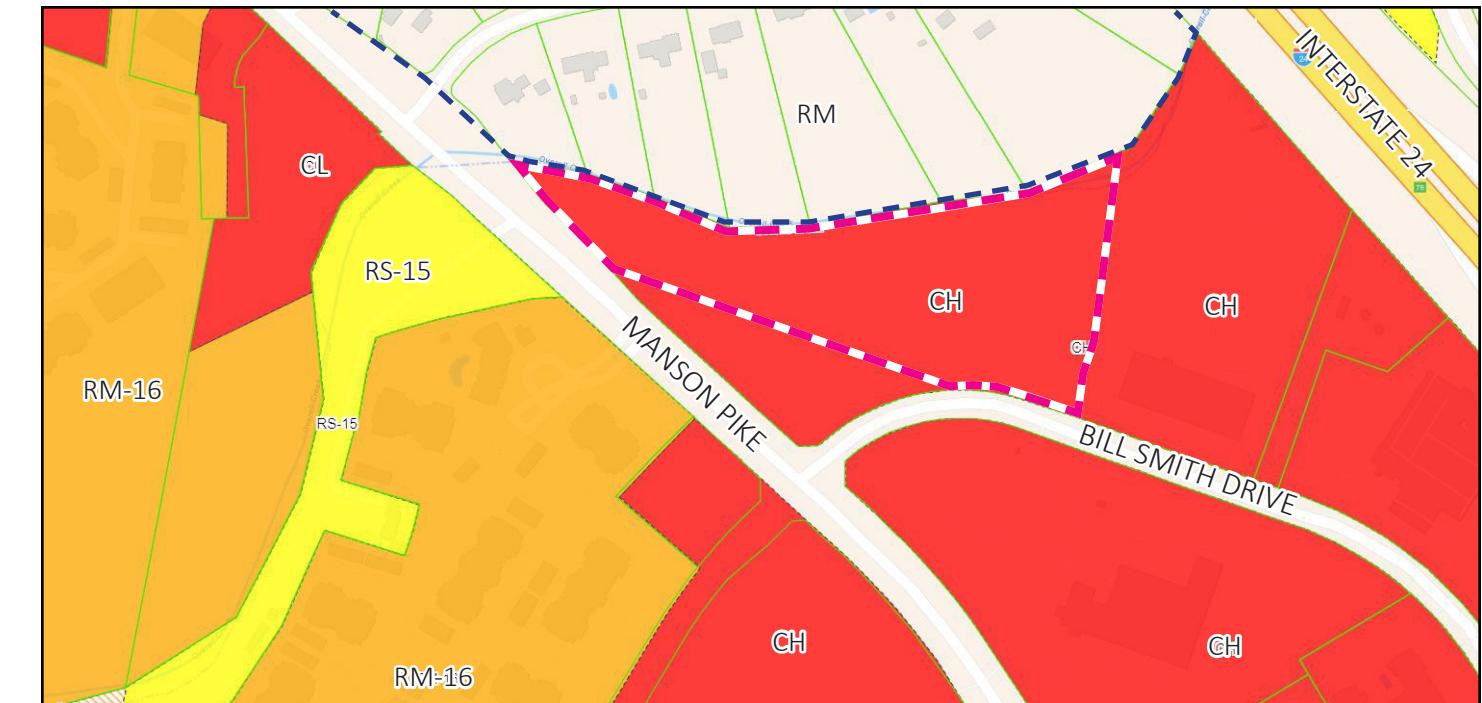


AERIAL PHOTOGRAPH

Not To Scale

TT of T Murfreesboro, Inc. respectfully requests rezoning of the TT of T Murfreesboro Inc. property at 3528 Bill Smith Drive from Commercial Highway (CH) to a Planned Commercial District (PCD). The property is located along the northern side of Bill Smith Drive and east of Manson Pike. The site is identified as Parcel 58.04 of Tax Map 79, and is approximately 7.46 acres.

The reason for this PCD request is to create the Toyota of Murfreesboro Repair Building. The proposed building will total approximately 7,500 sqft for vehicle repair and maintenance. This maintenance will include items such as; oil changes, tire rotations, battery replacement, and brake repairs, etc. These services will be utilized to service customer vehicles as well as new inventory. This site will not be open to the public; customers shall continue to utilize and interact with the main sales lot. Technicians will transport vehicles to the repair facility as needed. Signage shall be installed at the entrance indicating that the area is not open to the public. The remainder of the site will remain primarily unchanged. The project is located within the Gateway District Overlay (GDO-1) and shall adhere to the GDO-1 design standards. Monument signage shall be provided at the entrance. Any proposed signage shall be constructed of materials that accent the building and shall be anchored by landscaping.

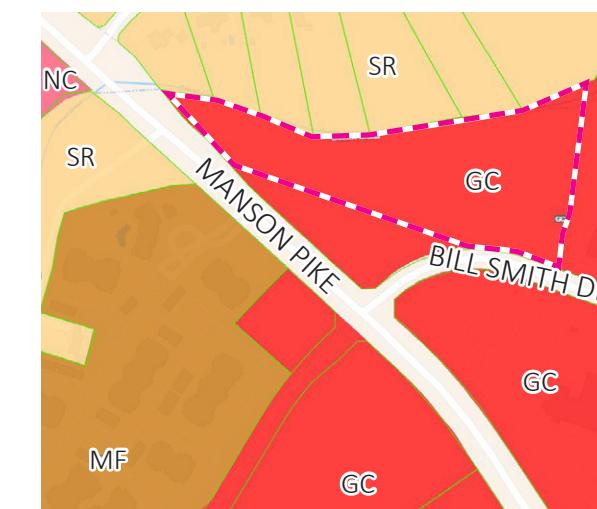


ZONING MAP

RS-15 Residential Single-Family (RS-15)
 RM-16 Residential Multi-Family (RM-16)
 CL Commercial Local (CL)
 CH Commercial Highway (CH)
 RM Medium Density Residential (Rutherford County)
 - - - Murfreesboro City Limits
 Site Boundary

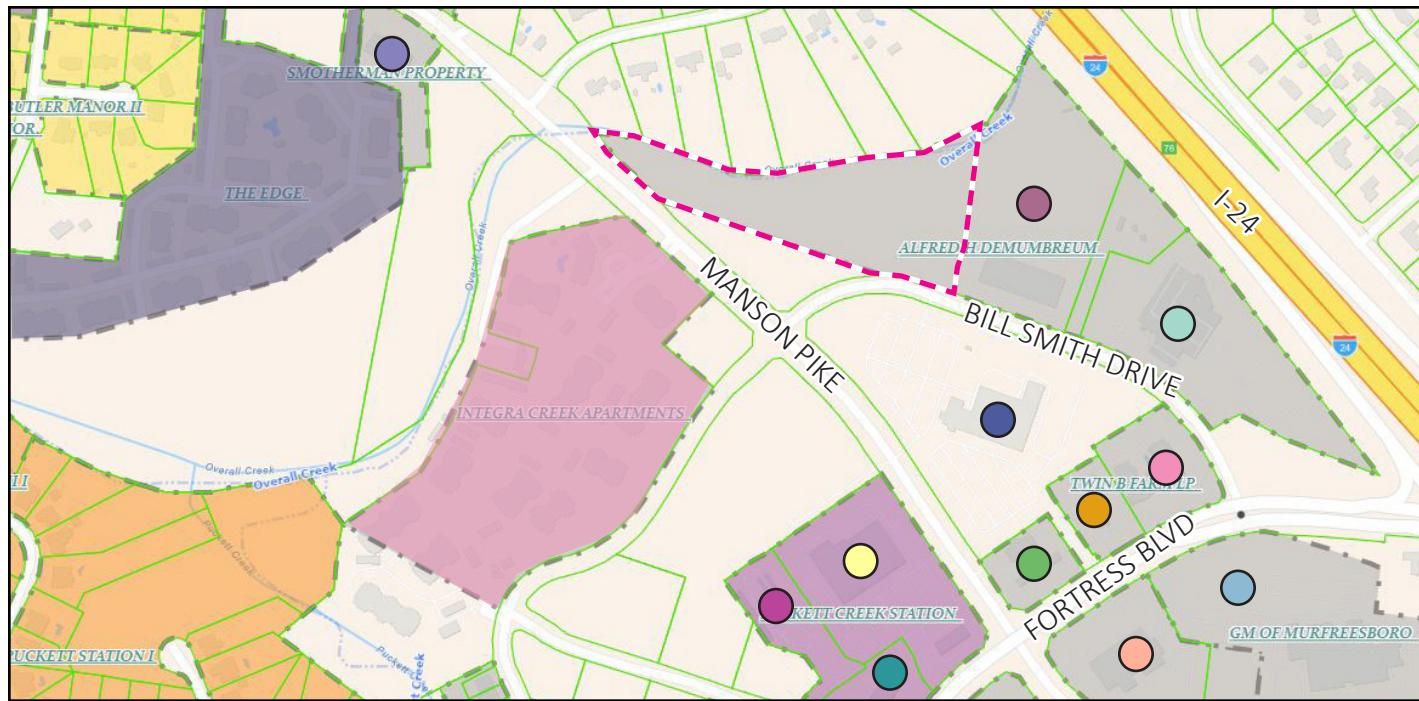
The surrounding area consists of a mixture of zoning types and land uses. The land to the north is zoned RM in Rutherford County. The lands to the south and east are zoned CH and the land to the west is zoned RS-15 and RM-16 in the City of Murfreesboro. These commercial developments are within the Gateway Design Overlay (GDO-1).

2035 FUTURE LAND USE PLAN



The Murfreesboro Future Land Use Map designates this site General Commercial (GC). The GC category suggests large parking lots surrounding the buildings. This category promotes Auto-Urban commercial which suggests large acreages for high intensity commercial businesses with access to arterial roadways. The types of developments encourage within the General Commercial land-use includes commercial centers, automobile service-related enterprises, "Big-box" commercial stores, and hotels.

This development aligns with the FLUM by utilizing a GC land use adjacent to Bill Smith Drive, ensuring consistency with the existing uses and character of the corridor.



SUBDIVISION MAP

Not To Scale

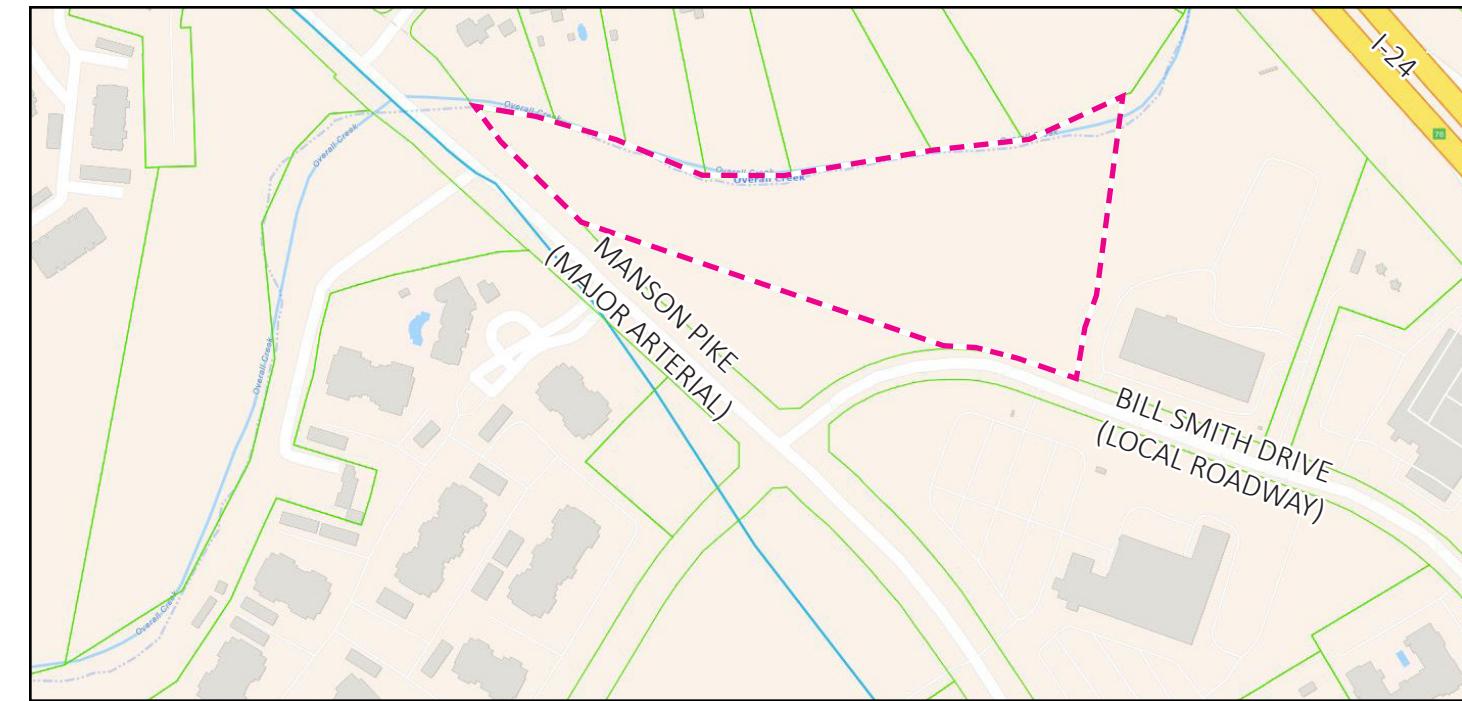
Puckett Station	Lancaster Christian Academy	Zaxbys Restaurant	Walmart
Edge Apartments	Bus Center at Mid-South	Exxon Gas Station	Take 5 Car Wash
Butler Manor	Toyota of Murfreesboro	Mazda Murfreesboro	Blue Coast Burrito
Integra Creek Apartments	Staybridge Suites Hotel	GMC Murfreesboro	CarMax

Site Boundary

The proposed Toyota of Murfreesboro PCD is surrounded by a mixture of commercial properties and residential subdivisions. The commercial properties located along Bill Smith Drive include similar land-uses such as Toyota of Murfreesboro main sales lot and CarMax. Further southeast along Fortress Boulevard is three additional dealerships, Honda, GMC and Mazda.

Located to the west and southwest of the site are the multi-family developments of Integra Creek Apartment and Edge Apartments. The Integra Creek and Edge Apartment contains one and two story buildings, with exterior elevations consist of primarily a mixture of masonry materials and hardy board along the all elevations.

Butler Manor is a residential subdivision located to the northwest and consists of one to two story single-family detached homes with garages. The exterior elevations consist primarily of brick along the front and side elevations. The primary point of ingress/egress to the development is along Manson Pike.



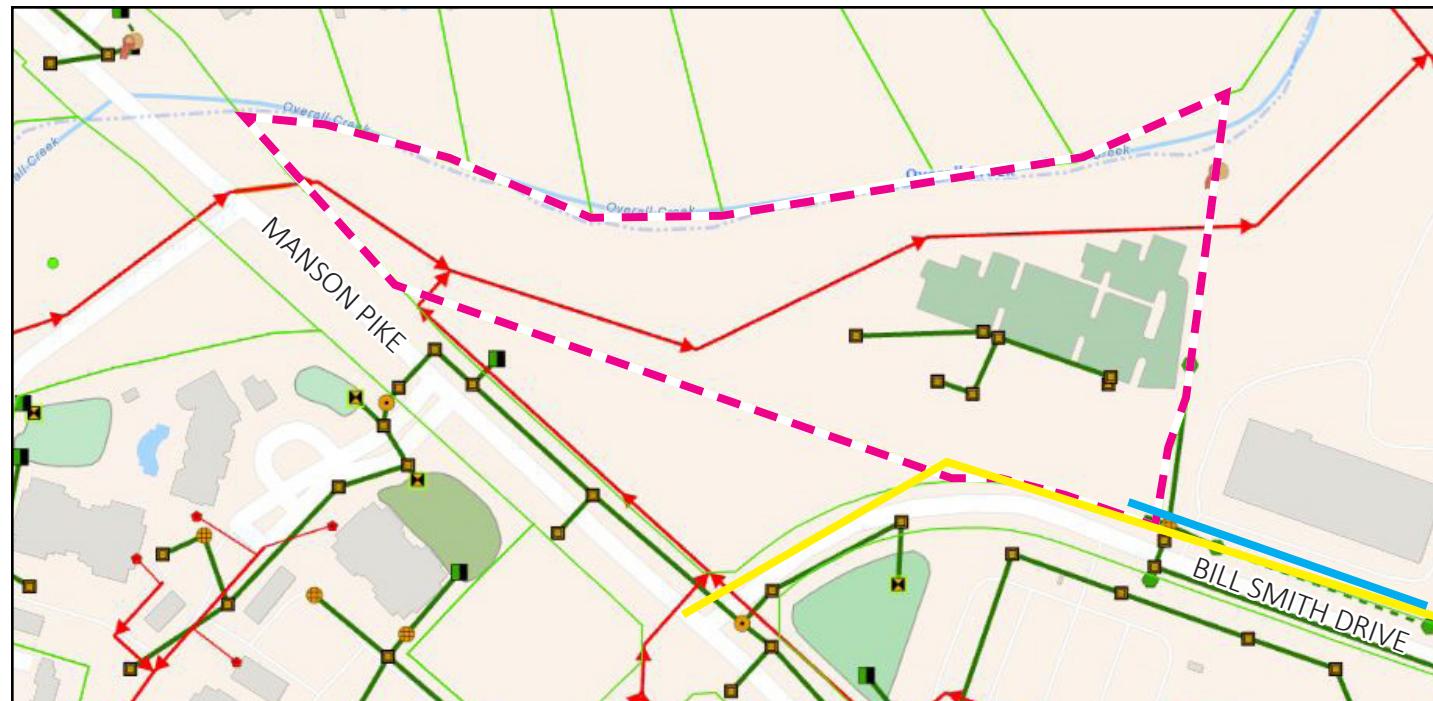
2040 MAJOR TRANSPORTATION PLAN

Not To Scale

5 LANE RECOMMENDED IMPROVEMENT

Site Boundary

The property has/will have access to the existing public rights-of-way of Bill Smith Drive through one entrance. Manson Pike is on the City of Murfreesboro's 2040 Major Transportation Plan to be improved to a 5 lane roadway. Manson Pike is currently up to date as a 5 lane roadway. There are currently no recommendations for improvements to be completed on the City of Murfreesboro's 2040 Major Transportation Plan for Bill Smith Drive.



UTILITY MAP

Not To Scale



Water service will be provided by the Consolidated Utility District. There is an existing 8 inch ductile iron water line along Bill Smith Drive for water service into the site. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department. Sanitary sewer service can connect to an existing 24" gravity sewer line that extends through the northern portion of the property. The developer will be responsible for extending the sewer into this property. The existing 30' sanitary sewer easement located along the northern portion of the property shall be revised to increase its width by five feet on each side.



Electric service will be provided by the Middle Tennessee Electric. Service will be extended from Bill Smith Drive. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



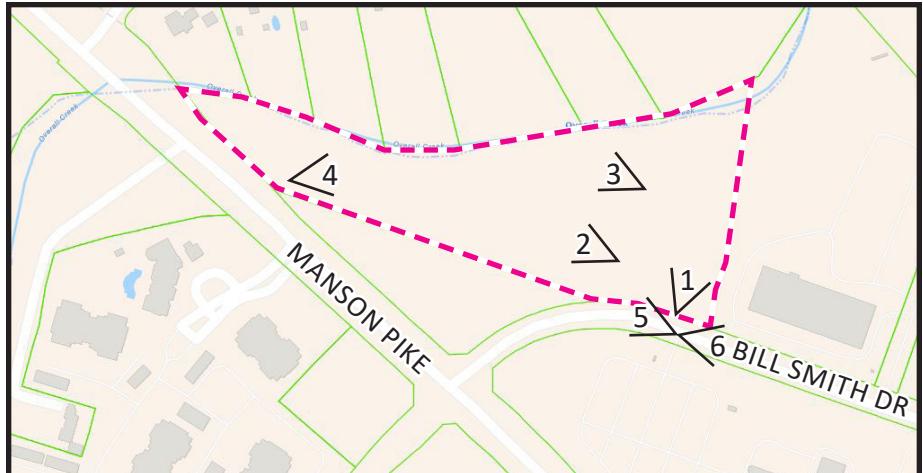
HYDROLOGY AND TOPOGRAPHY

Not To Scale



The topographic map above shows the site's topographic high point generally at the southern portion of the property. From this high point, the property drains towards the north. Stormwater that exists within the site travels north before ultimately draining into Overall Creek.

This property is within Zone AE, a designated floodway or floodplain per FEMA Flood Panel 47149C0255J eff. 5/9/2023



Site



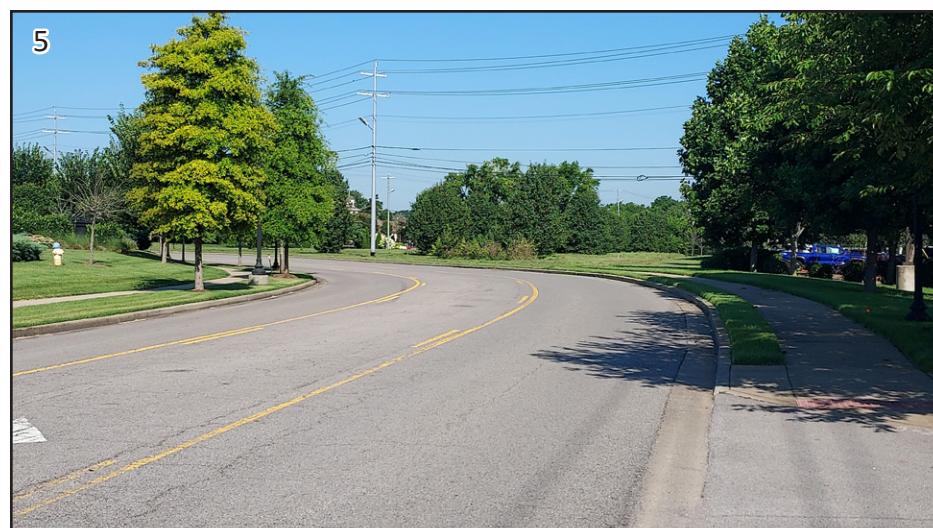
View of Entrance Looking North



View of Existing Parking Lot On-Site Looking Northwest



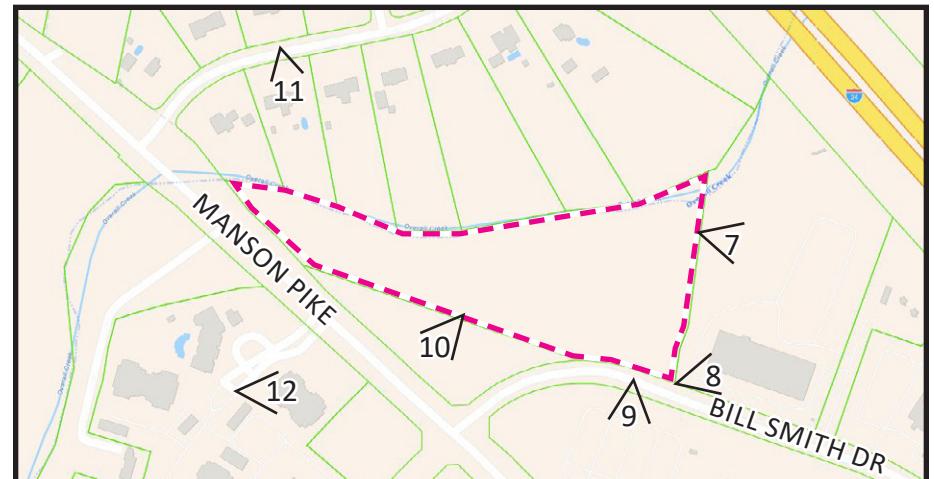
View of Existing Field Looking East



View of Bill Smith Drive Looking Northwest



View of Bill Smith Drive Looking Southeast



View of Mid-South Property Looking East



View of Mid-South Looking Northeast



View of CarMax Looking South



View of Neighboring Property Looking Southwest



View of Neighboring Home Looking South



View of Integra Apartments Looking Northeast

OVERALL SITE DATA:

Total Land Area:

±7.46 Acres

Total Open Space Provided:

±4.57 Acres (61%)

Existing Formal O.S. to Remain:

Total Existing Parking Provided =

± 265 Spaces

Automobile service station:

15 Space

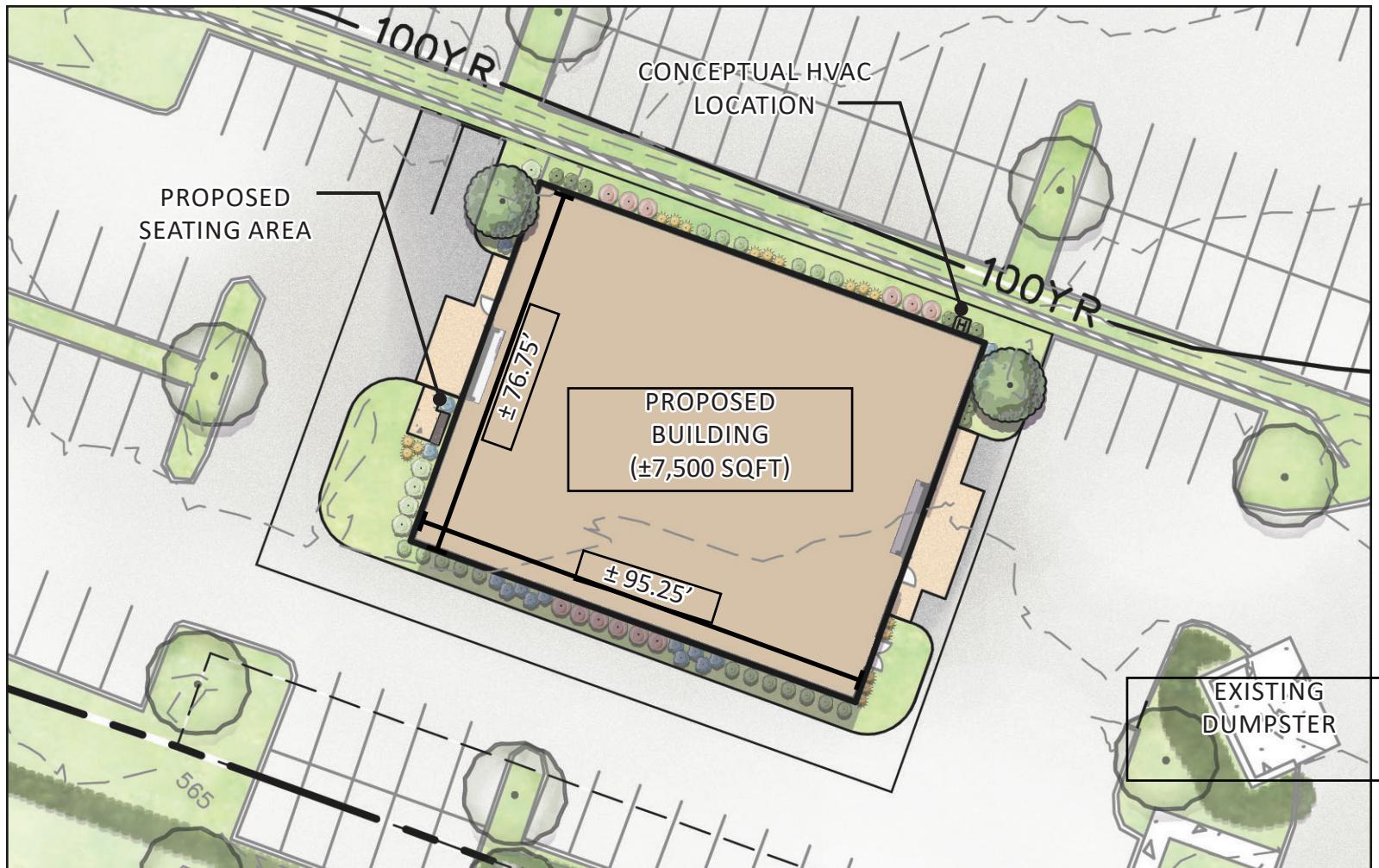
1 space per business vehicle

25

1 space per service bay = 3 Spaces

3 Spaces





PCD Development Standards:

- Building shall not exceed 35' in height.
- All building and development signage shall be designed to the City of Murfreesboro sign ordinance.
- All mechanical equipment (i.e. HVAC and transformers) to be screened.
- All on-site utilities will be underground.
- Any additional on-site lighting will comply with the City of Murfreesboro Standards.
- Any additional solid waste enclosures will be constructed of masonry material consistent with building architecture and be at least 12" inches taller than the dumpster. Gates shall be opaque and the enclosure shall be enhanced with landscaping.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- Bulk vehicle deliveries shall be allowed on site, deliveries shall not be completed in the ROW. Corresponding signage shall be provided on site and visible from the ROW to direct drivers to pull into site and to reiterate the need to pull off the roadways before making such deliveries.

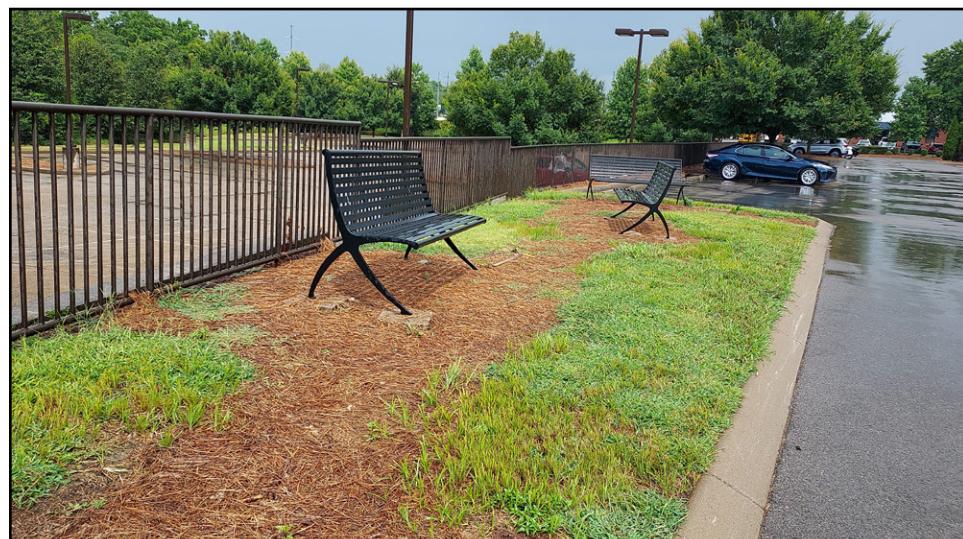
Allowable Uses:

The sole use for this PCD is Automotive/ Motor Vehicle Repair.

However, the use of this development is entirely accessory to Toyota of Murfreesboro and is not intended and shall not be allowed to operate as a standalone site.



EXISTING FORMAL OPEN SPACE AREA 1



EXISTING FORMAL OPEN SPACE AREA 2 (APPROXIMATELY 70' AWAY FROM PROPOSED BUILDING)



EXISTING FORMAL OPEN SPACE AREA 3

Formal Open Space:

The existing formal open space on the site shall be retained and with the addition of the western seating area along the building, satisfy the Formal Open Space requirements.

Commercial Architectural Characteristics:

- Building heights shall not exceed 35' in height.
- Building shall provide minimum 2' masonry water-table along the sides facing Manson Pike and Bill Smith Drive and the east and west sides of the building.
- Proposed overhead service doors will be primarily transparent full view roll up doors.

Building Materials:

Front Elevation: Brick, Cast Stone Veneer & Trim

Side & Rear Elevations: Brick, Cast Stone Veneer & Trim

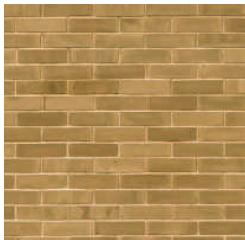
All Elevations: Brick, Cast Stone Veneer & Trim



Example of Accent Brick
(Shall match existing building or
be similar)



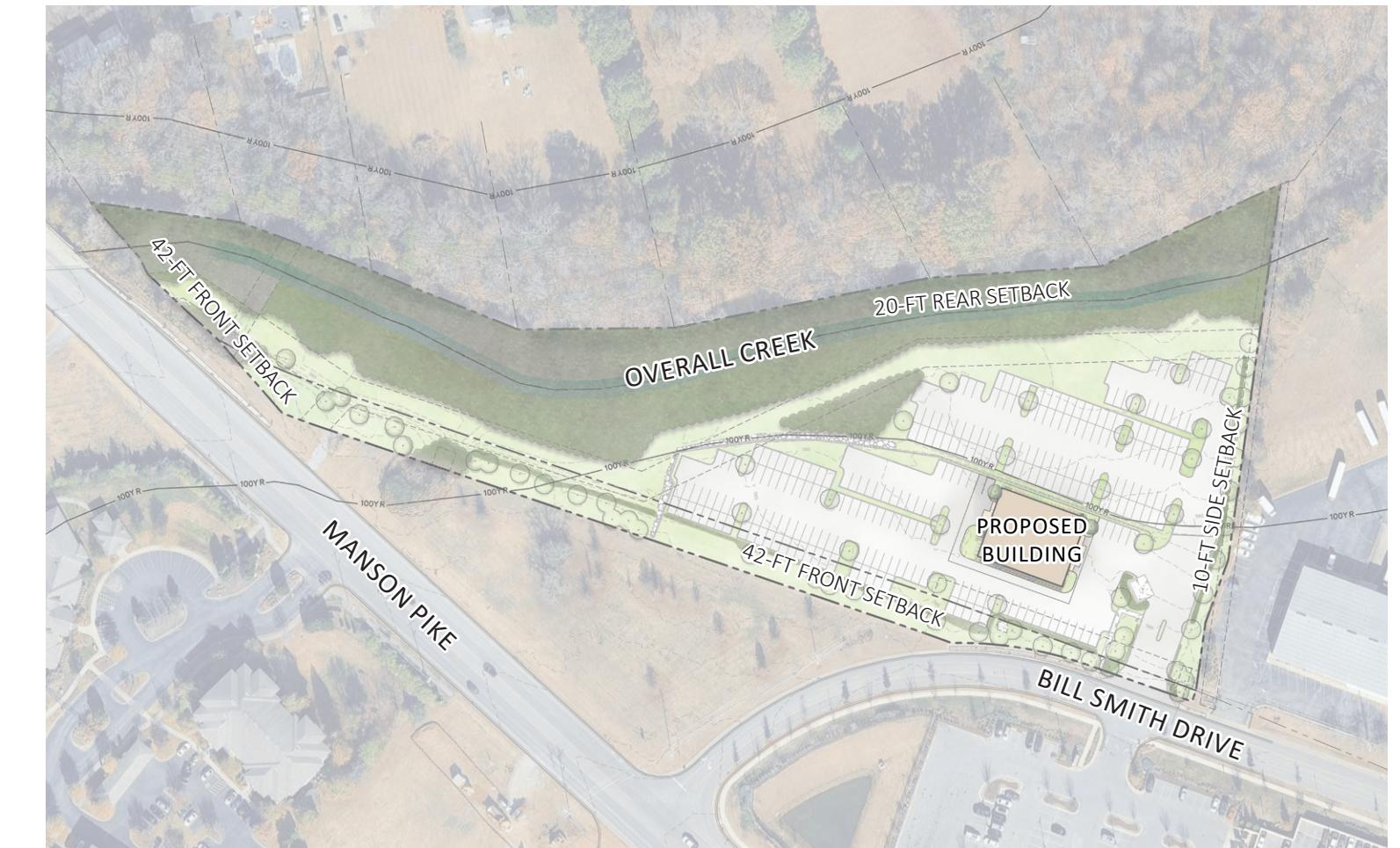
Example of Cast Stone Veneer (Shall match existing building or be similar)



Example of Accent Brick
(Shall match existing building or
be similar)



Example of Overhead Door Style



PCD Site Setbac

Front Setback - Bill Smith Dr

Front Setback

Side Setbac

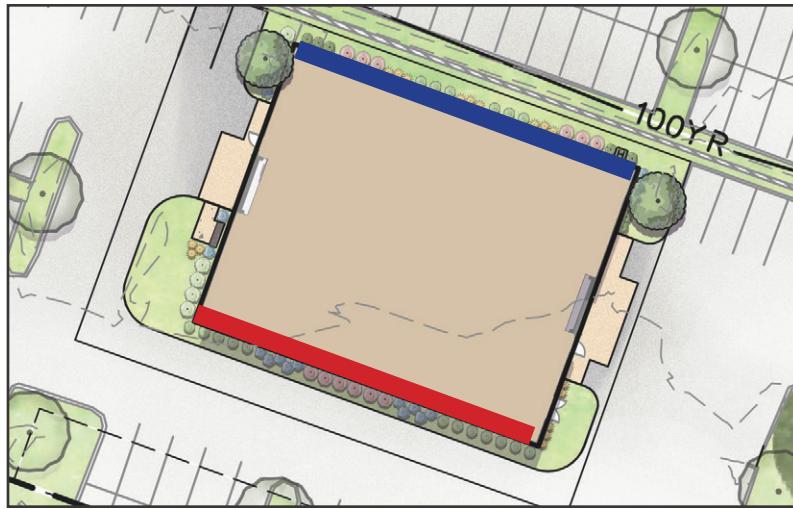
Rear Setback

42-feet

42-feet

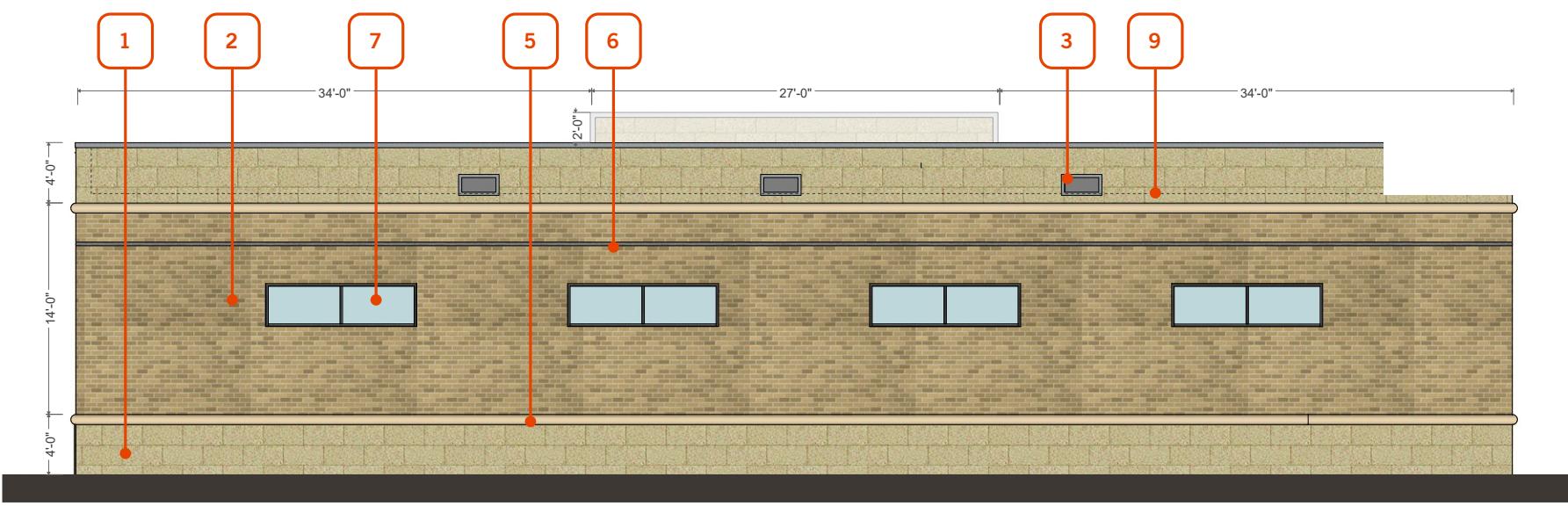
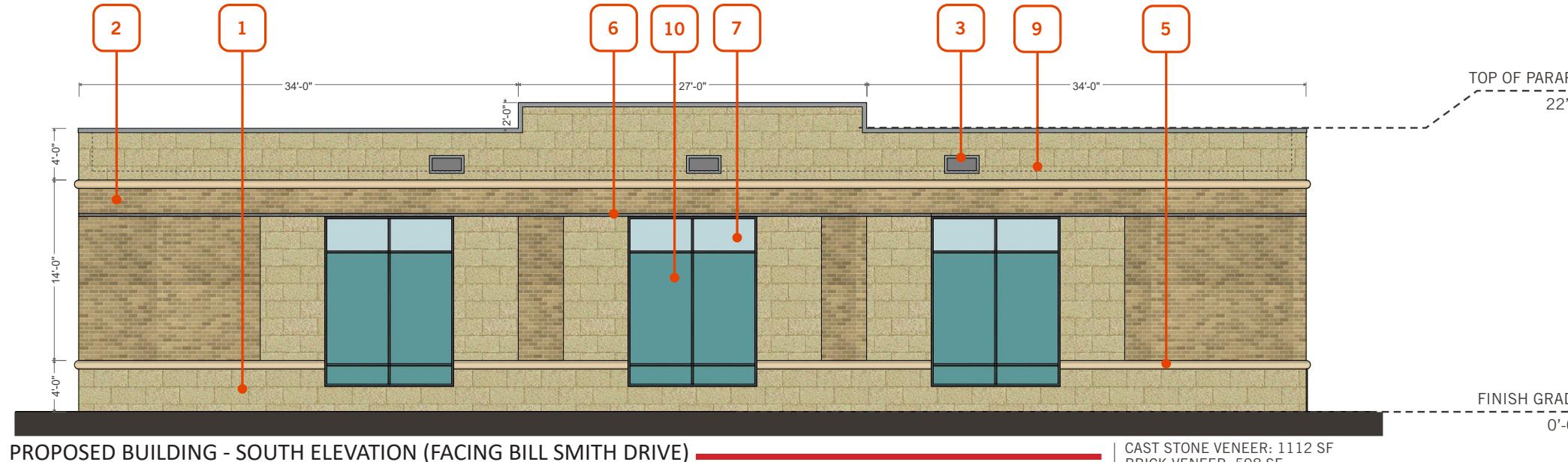
10-feet

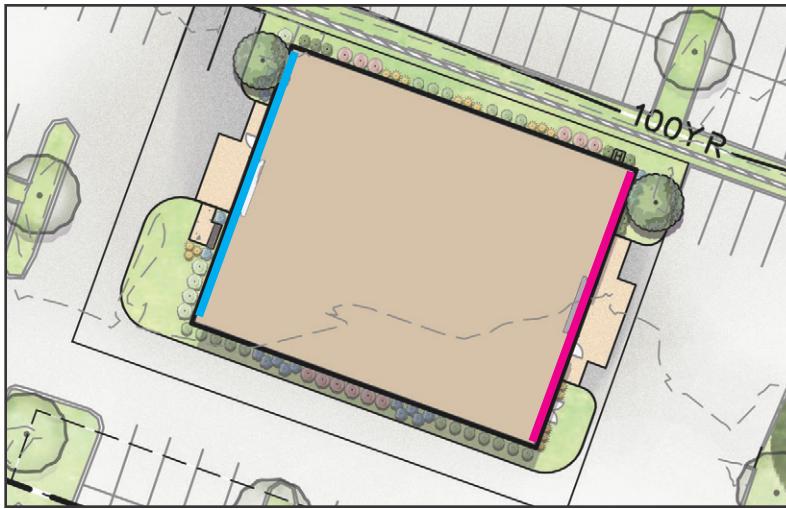
20-feet



KEYNOTES

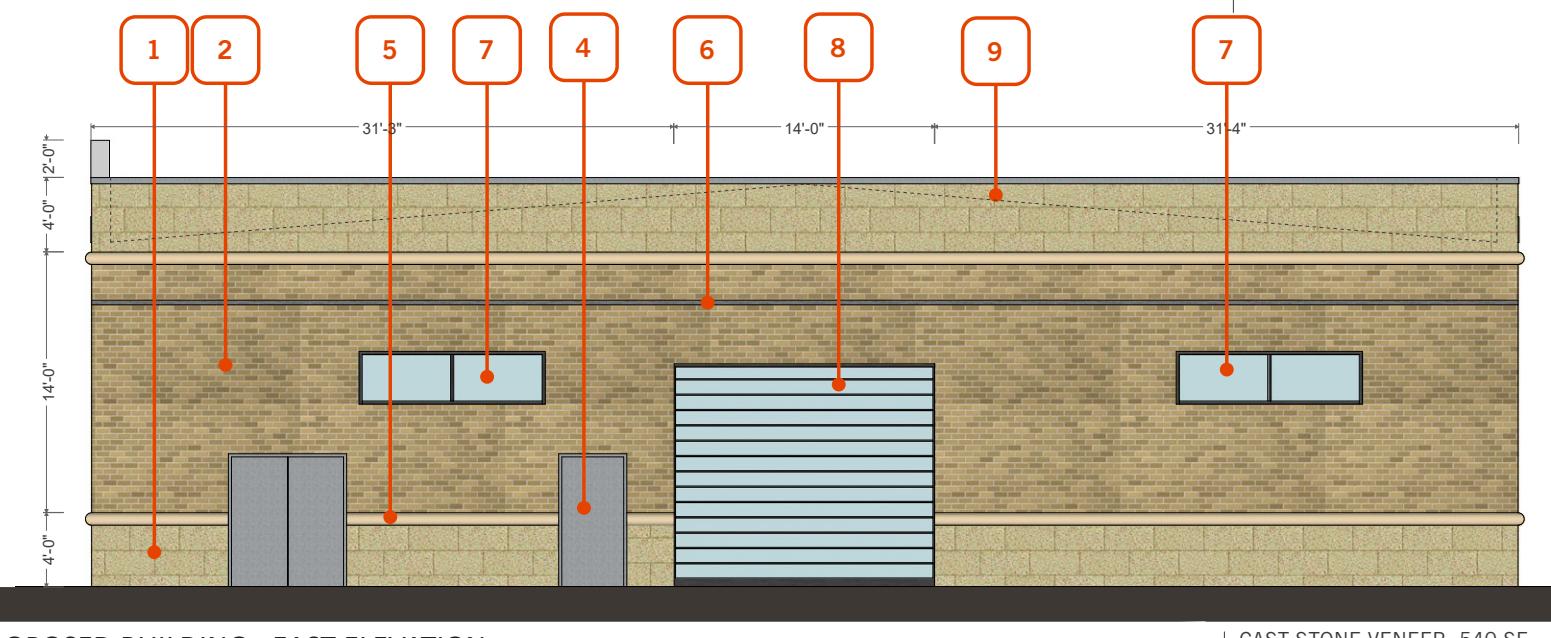
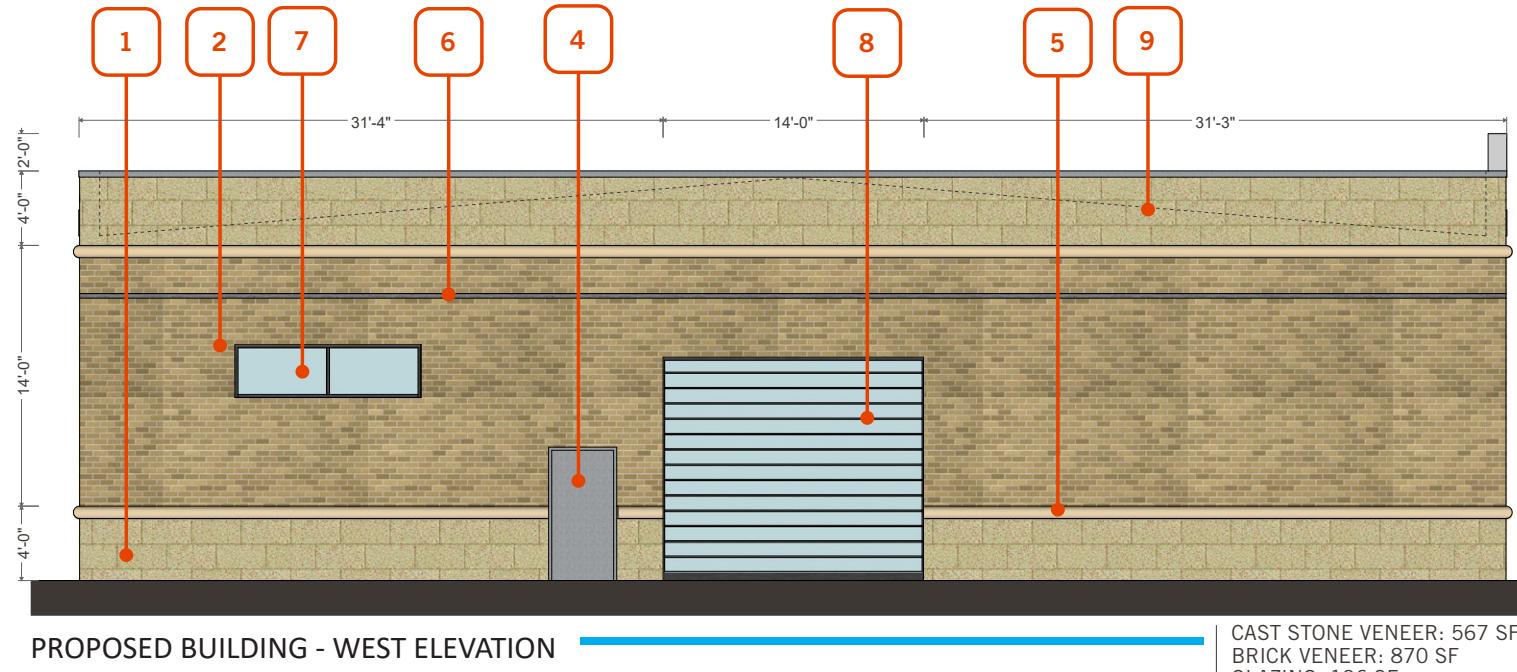
<p>1 CAST STONE VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>2 BRICK VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>3 ROOF SCUPPER MATCH THE EXISTING BUILDING OR SIMILAR</p>	<p>4 PAINTED HOLLOW METAL DOOR COLOR SW 7603 POOLHOUSE</p> <p>5 CAST STONE VENEER TRIM MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>6 ACCENT BRICK VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p>	<p>7 CLERESTORY</p> <p>8 RYTEC FULL VISION OVERHEAD DOOR SPIRAL FV WWW.RYTECDOORS.COM</p> <p>9 ROOF LINE BEYOND</p> <p>10 SPANDREL GLASS</p>
--	--	--

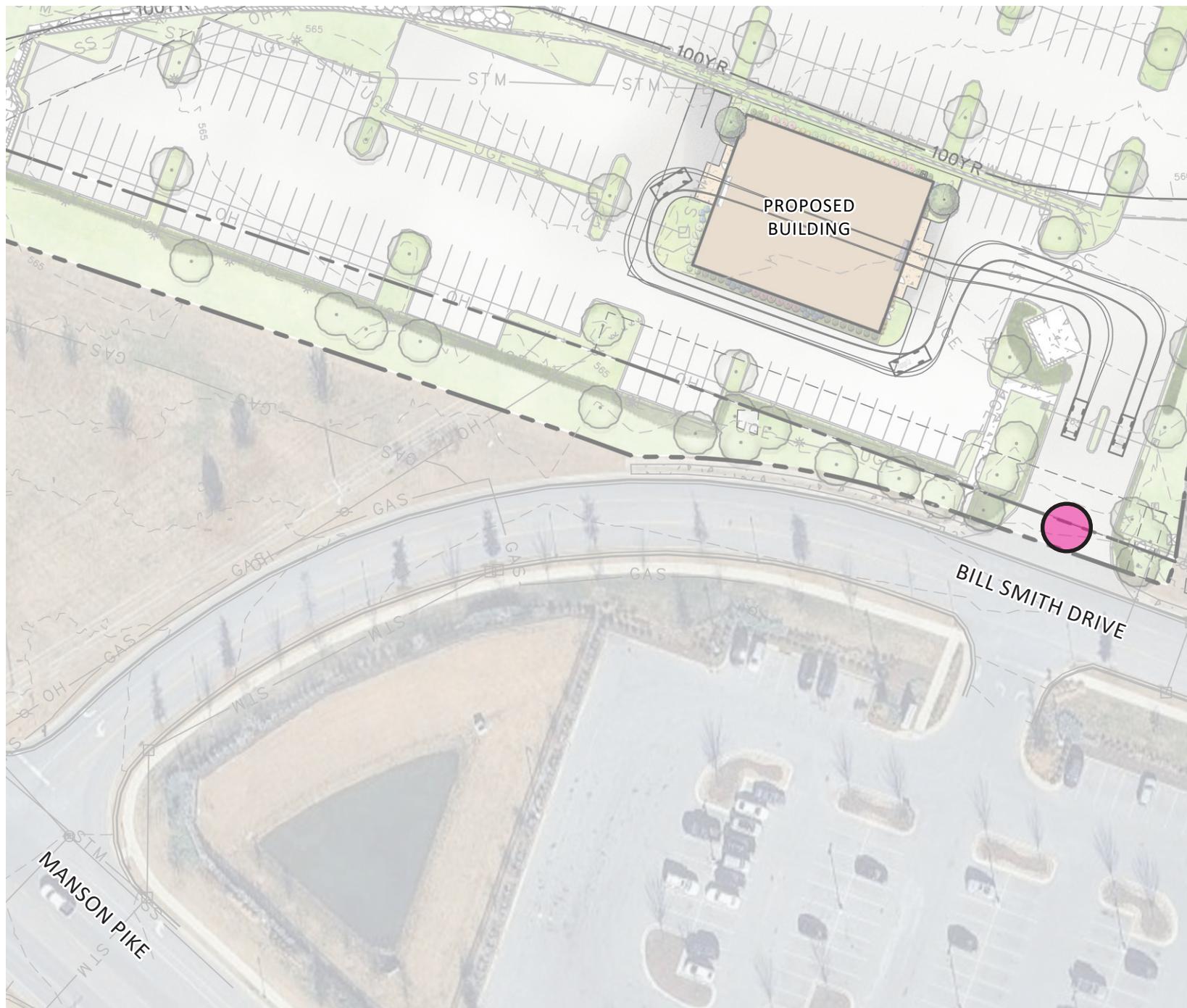




KEYNOTES

<p>1 CAST STONE VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>2 BRICK VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>3 ROOF SCUPPER MATCH THE EXISTING BUILDING OR SIMILAR</p>	<p>4 PAINTED HOLLOW METAL DOOR COLOR SW 7603 POOLHOUSE</p> <p>5 CAST STONE VENEER TRIM MATCH THE EXISTING BUILDING OR SIMILAR</p> <p>6 ACCENT BRICK VENEER MATCH THE EXISTING BUILDING OR SIMILAR</p>	<p>7 CLERESTORY</p> <p>8 RYTEC FULL VISION OVERHEAD DOOR SPIRAL FV WWW.RYTECDOORS.COM</p> <p>9 ROOF LINE BEYOND</p> <p>10 SPANDREL GLASS</p>
--	--	--

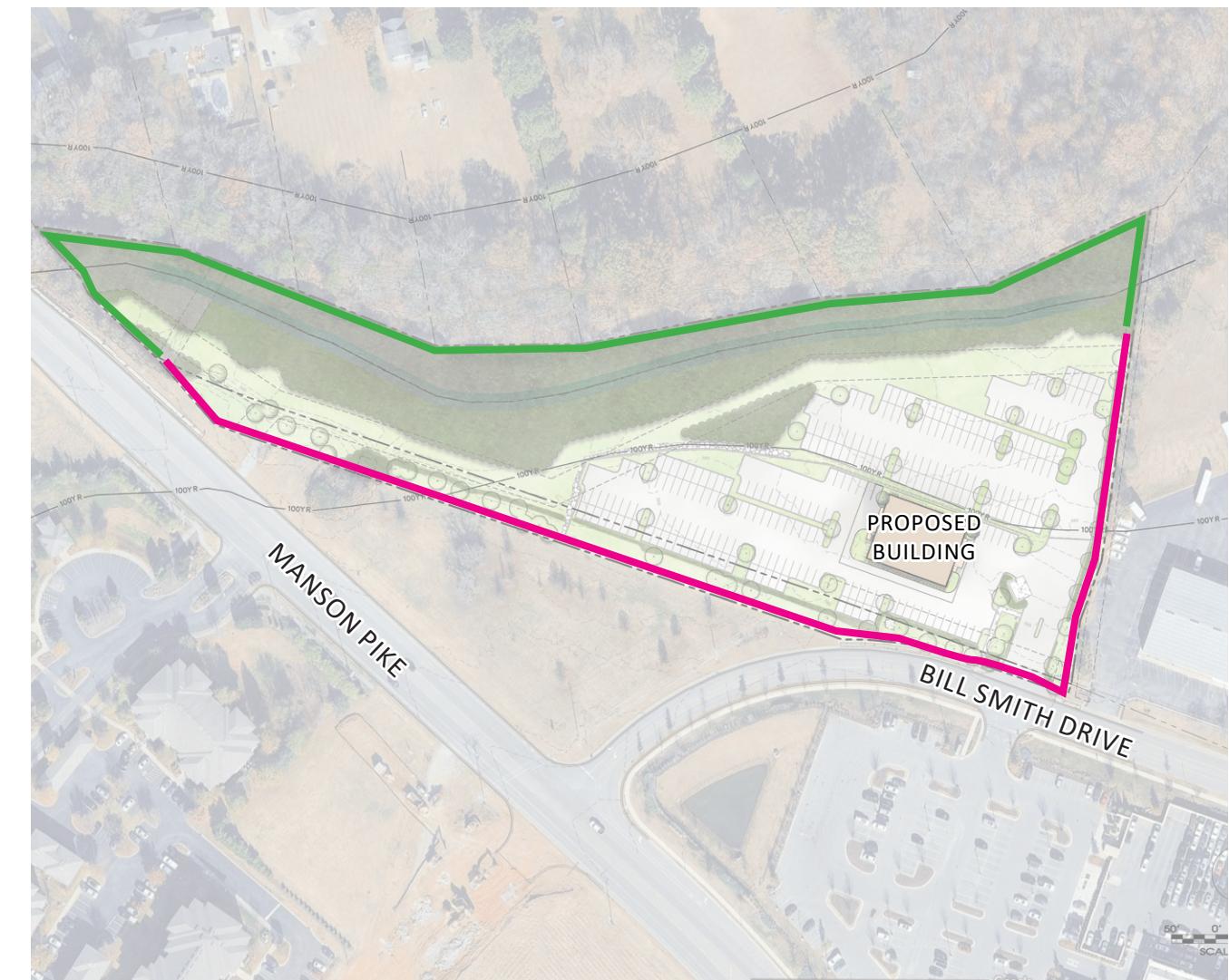




 Ingress/Egress Points

Pursuant to the City of Murfreesboro's Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Bill Smith Drive is a local roadway where the majority of vehicular trips generated by this development will impact. It is currently built as a 3-lane cross-section with a median turning lane, curb & gutter, and sidewalks along both sides of the roadway.

As stated above, the only primary means of ingress/egress from this site will be onto Bill Smith Drive. The existing entrance provides two lanes for proper circulation into and out of the development onto Bill Smith Drive. The illustrations above show all proposed points of ingress/egress to the site.



 EXISTING REQUIRED FRONTAGE AND PERIMETER PLANTINGS PER CITY OF MURFREESBORO'S LANDSCAPING ORDINANCE

 EXISTING TREES AND VEGETATION TO REMAIN

Commercial Landscaping Characteristics:

- The front and side of the buildings that face a public/private roadway shall have a minimum 5-ft wide landscape bed along the foundations, except for dedicated locations along the building for vehicular and pedestrian ingress/egress.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: The exhibits given on Page 5 meets this requirement.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: The exhibits given on Pages 3-5 meet this requirement.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: The exhibits given on Pages 3 meet this requirement.

4.) A drawing defining the location and area proposed to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property.

Response: Page 8 provides an overall concept plan. Exhibits on pages 9, 10, and 11 show the remaining items.

5.) A circulation diagram indicating the proposed principal movement of vehicles, goods and pedestrian within the development to and from existing thoroughfare.

Response: Page 11 provides an exhibit of ingress/egress to the development.

6.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(AA): The approximate date when construction of the project can be expected to begin.

(BB): The order in which the phases of the project will be built.

(CC): The minimum area and the approximate location of common spaces and public improvements that will be required at each stage

(DD): A breakdown by phase for subsections (5) and (6) above.

Response: The proposed infrastructure is anticipated to be developed in one phase with the construction of the buildings being market driven phases. Development is anticipated to begin within 180 days of rezoning approval, and will include all public infrastructure.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned Commercial Highway (CH). The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the commercial building shown within this booklet align and closely to mimic the type of developments in the surrounding neighborhoods and are envisioned to complement the development in this area.

8.) A statement setting forth in detail the manner in which the proposed planned development deviates from the zoning and Subdivision Regulations which would otherwise be applicable to the subject property

Response: See Page 15 for PCD requested exceptions and setbacks.

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio) and the O.S.R. (Open Space Ratio). These tabulations are for the PCD.

Response: This requirement has been addressed in the chart below.

PCD

TOTAL SITE AREA	108,464 s.f.
TOTAL MAXIMUM FLOOR AREA	6,500 s.f.
TOTAL LOT AREA	108,464 s.f.
TOTAL BUILDING COVERAGE	6,500 s.f.
TOTAL DRIVE/ PARKING AREA	65,139 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	43,325 s.f.
TOTAL OPEN SPACE	26,136 s.f.
FLOOR AREA RATIO (F.A.R.)	0.06
LIVABILITY SPACE RATIO (L.S.R.)	0.34
OPEN SPACE RATIO (O.S.R.)	0.94

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS), it is within the Gateway Design Overlay District. This property is within Zone AE, a designated floodway or floodplain per FEMA Flood Panel 47149C0255J eff. 5/9/2023.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Page 4 discusses the 2040 Major Transportation Plan.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Anas Obeissy, contact info for both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 10 shows the architectural character of the proposed building and building materials listed.

14.) If a development entrance sign is proposed the application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: No development sign is proposed.

PCD Setbacks

Land Use Parameters and Building Setbacks			
Zoning (Existing vs Proposed)	CH (Existing)	Proposed PCD	Difference
Minimum Setback Requirements (External)			
Minimum Front Setback	42'	42'	0'
Minimum Side Setback	10'	10'	0'
Minimum Rear Setback	20'	20'	0'
Minimum Distance Between Buildings	15'	15'	0'
Land Use Intensity Ratios			
MAX Floor Area Ratio	N/A	N/A	N/A
Minimum Livable Space Ratio	N/A	N/A	N/A
Minimum Open Space Ratio	N/A	N/A	N/A
Minimum Open Space Requirement	20%	20%	0%
Minimum Formal Open Space Requirement	5%	Utilize Existing Formal Open Space	NA
Max Height	75'	45'	-30'

Requested Exceptions:

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS; SEPTEMBER 3, 2025
PROJECT PLANNER: HOLLY SMYTH**

6.d. Zoning application [2025-417] for approximately 0.4 acres located along East Kingwood Drive to be rezoned from RM-16 to CH, Abundant Life Christian Academy applicant.

The subject area is a 0.4-acre portion of a 1.45-acre parcel identified as 1510 Memorial Boulevard (also known as Tax Map 091D, Group A, Parcel 027.00). The existing parcel is currently zoned CH (Highway Commercial District) on the western side of the lot and RM-16 (Multi-Family Residential District) on the eastern side of the lot. The subject parcel is developed with a church building that is in the process of being repurposed to also house a school and a daycare. The area of the parcel in question contains a portion of the parking lot used for the primary church building. The study area is bordered by the Kingwood Apartments development, also zoned RM-16, directly to the north, south, and east. Commercial uses, mostly retail, restaurant, and personal service uses, are adjacent to the subject parcel to the north, south, and west along Memorial Boulevard.

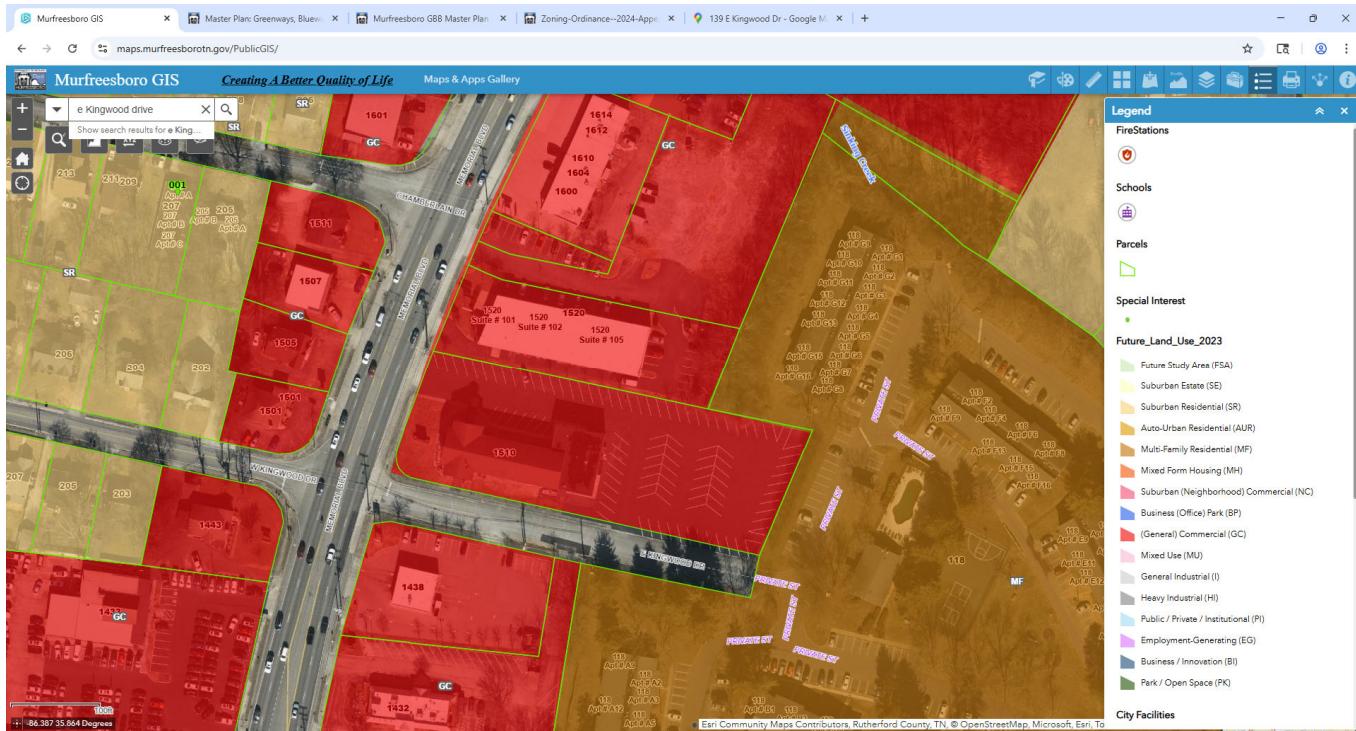
When the applicants came to the City to add a daycare center use within the primary structure it was determined that they could move forward since the building itself was located in the CH zone. However, it was noted at that time that they may be limited on the uses they could carry out on the RM-16-zoned portion of the property without having a special use permit. Given that split zoning can be confusing to administer, Staff recommended that the applicant request rezoning to the same zone district as the church structure of CH in order to reduce confusion and complications in the future.

Future Land Use Map

The Murfreesboro 2035 Comprehensive Plan Future Land Use Map designates the subject area as General Commercial (GC) land use character on the entire parcel, as shown in the embedded screen shot on the next page. The primary difference in Urban and Auto-Urban character categories is the role of the automobile in its site design. Rather than buildings oriented to the street, as in an urban setting, such as what is found in downtown, auto-urban environments are characterized by large parking lots surrounding the buildings. Auto-Urban commercial uses include high intensity commercial businesses that have a trade area outside of Murfreesboro and/or require a large amount of land for their operations. Uses that are examples of the GC land use character include regional shopping centers, grocery stores, hotels, gas stations, restaurants, and “big box” retailers. Due to the potential for these uses to generate high traffic volumes, their locations should be on or with adequate access to arterial roadways. Suggested zoning districts include CH, PCD, PUD, PND, CF, and other districts as evaluated on a case-by-case basis.

The request to rezone to CH is consistent with the Future Land Use Map and appropriate given the commercial uses adjacent to the parent parcel.

Future Land Use Map Excerpt



Staff recommendation:

Staff is supportive of this rezoning request for the following reasons.

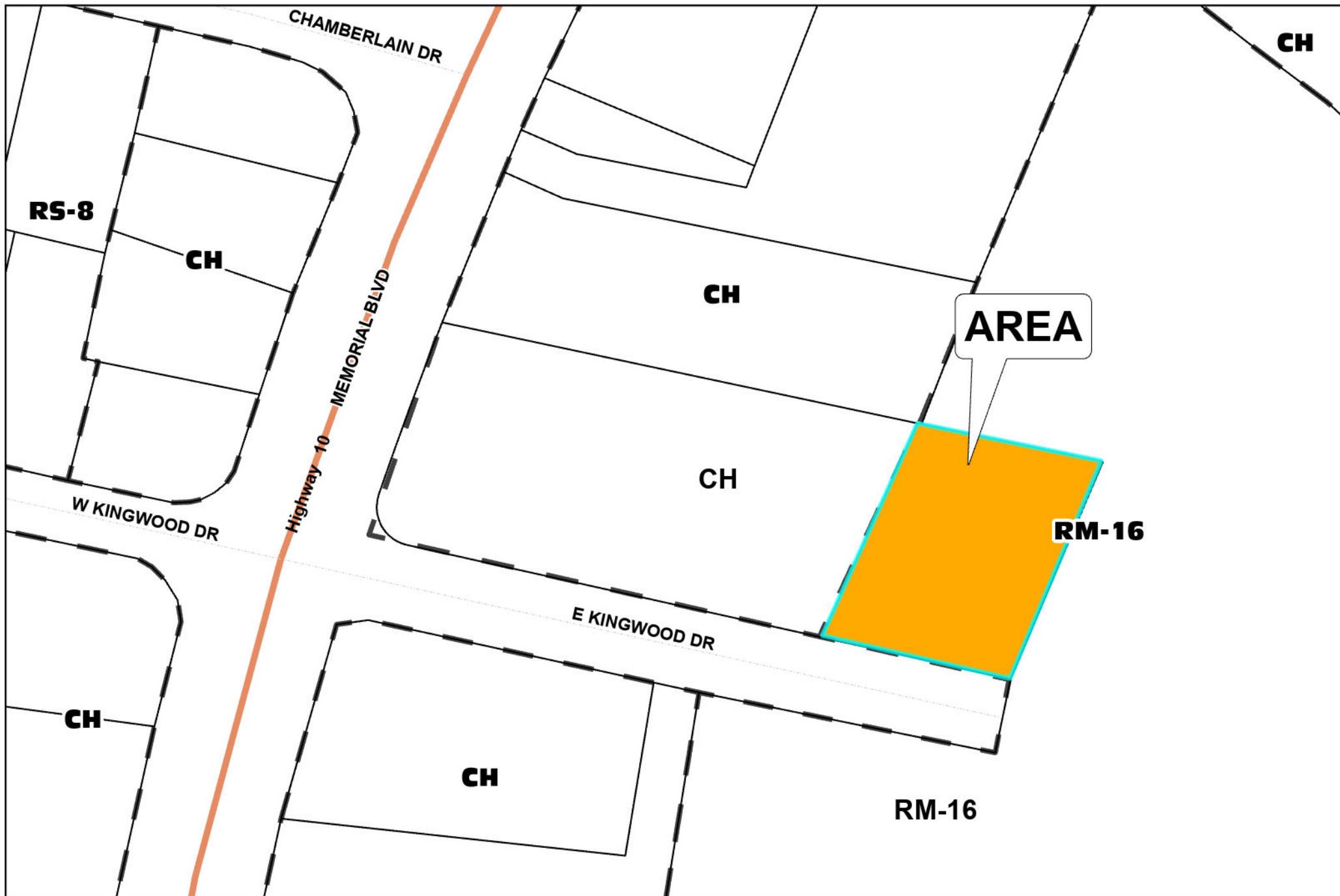
- 1) The CH zoning will make the entire lot 1 consistent zone district.
- 2) The CH zone will help eliminate future confusion regarding whether various institutional uses are allowed on the property by right versus via the issuance of a special use permit through the BZA.
- 3) The CH zone district is consistent with the future land use map of the Murfreesboro 2035 Comprehensive Plan.

Action Needed

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission should conduct a public hearing regarding the request and then formulate a recommendation for the Murfreesboro City Council.

Attachments:

- Rezoning Exhibit
- Ortho Zone Map
- No-ortho Zone Map



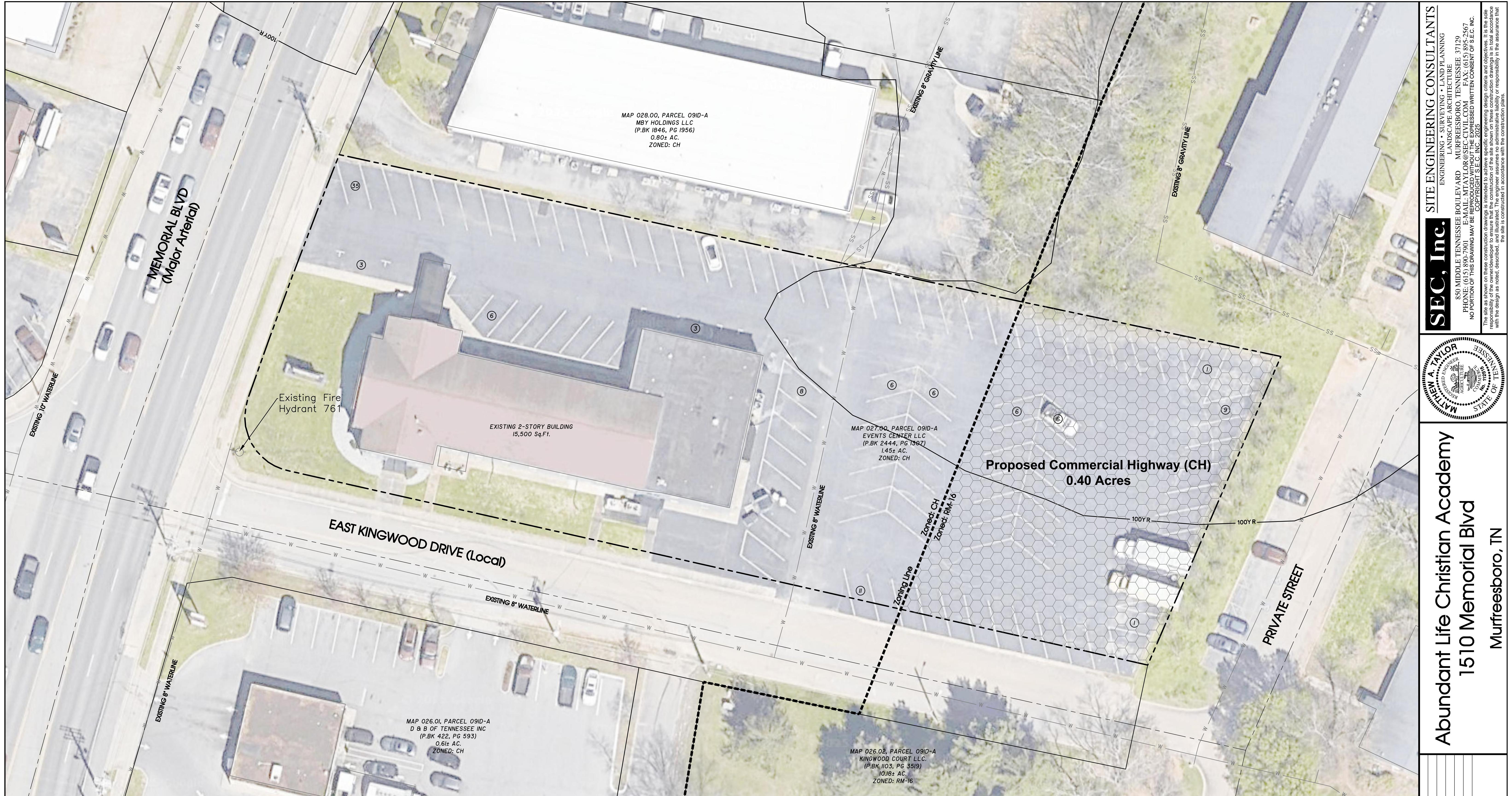
**Rezoning request for property located
along Memorial Boulevard and East Kingwood Drive
RM-16 to CH**

Planning Department
City of Murfreesboro
111 West Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Rezoning request for property located
along Memorial Boulevard and East Kingwood Drive
RM-16 to CH**

Planning Department
City of Murfreesboro
111 West Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



Total Acres to Rezoned From RM-16 To Zone CH = 0.40± Acres

20' 0 20' 40'

Rezoning Exhibit

C1.0

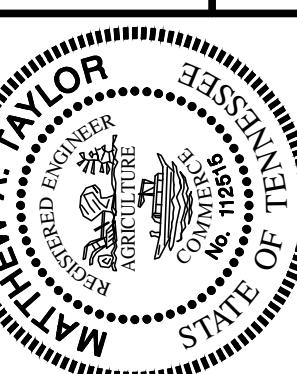
Site Location Map

Not To Scale

Abundant Life Christian Academy
1510 Memorial Blvd

Murfreesboro, TN

SEC, Inc.



SEC, Inc.

ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.
COPYRIGHT S.E.C. INC., 2025

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the sole responsibility of the owner/developer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that

SEC, Inc.

ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE

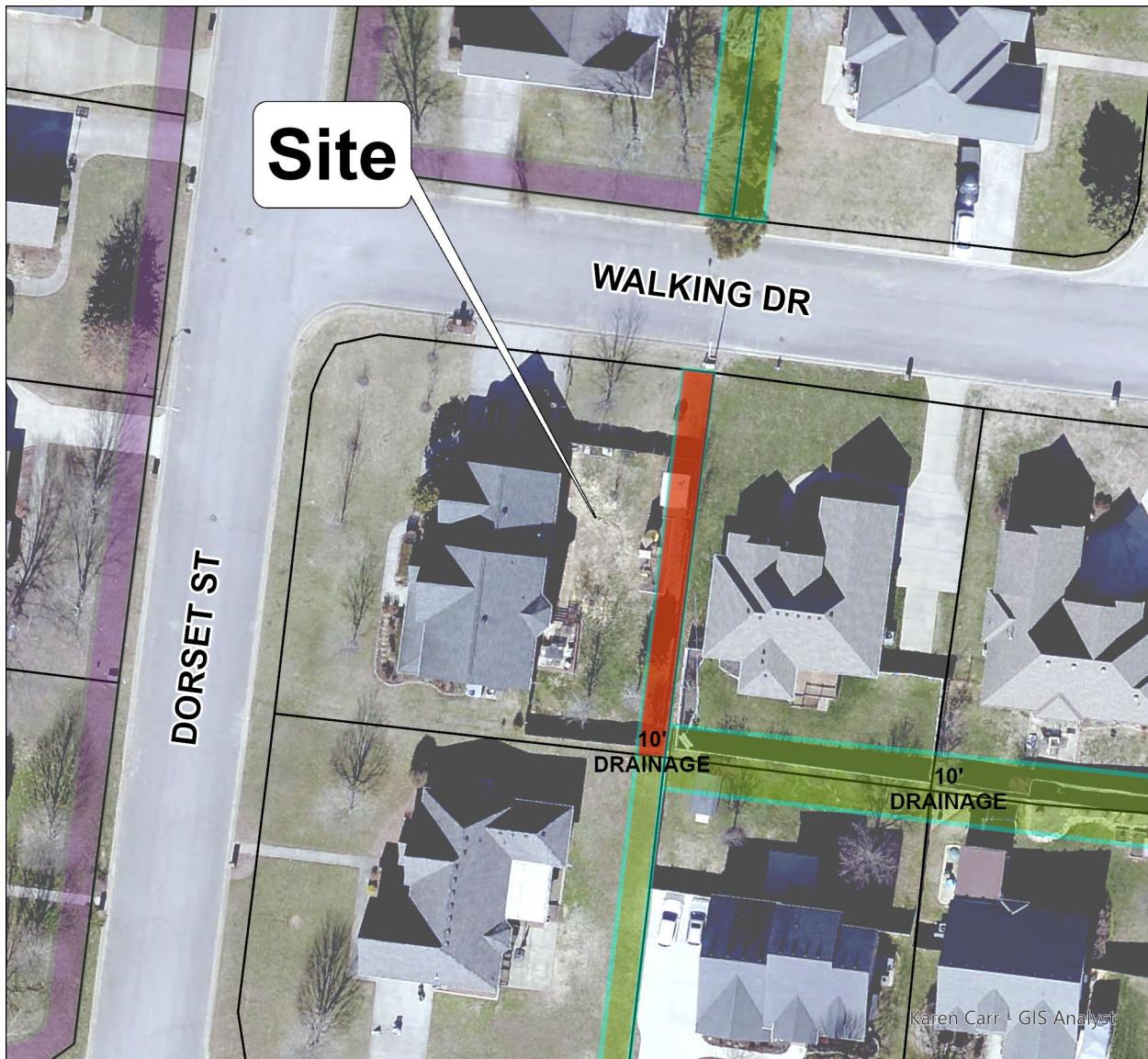
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.
COPYRIGHT S.E.C. INC., 2025

The site as shown on these construction drawings is intended to achieve specific engineering design criteria and objectives. It is the sole responsibility of the owner/developer to ensure that the construction of the site shown on these construction drawings is in total accordance with the design as noted, described, and illustrated. The engineer assumes no administrative liability or responsibility in the assurance that

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 3, 2025
PROJECT PLANNER: BRAD BARBEE**

7.a. Mandatory Referral [2025-712] to consider the abandonment of a drainage easement located at 2612 Dorset Street, Frank Pesce applicant.

This easement abandonment request is from the property owner, Mr. Frank Pesce, and is located on the property at 2612 Dorset Street in the Huntington Place Subdivision.



In this mandatory referral, the Planning Commission is being asked to consider abandoning the existing 10' drainage easement on this 0.34-acre residential lot. This request is to abandon the existing drainage easement shown in red on the map above. The purpose of this request is to abandon an unneeded segment of drainage easement and remove the encumbrance from the property, which will allow the property owner greater use of his property.

The Murfreesboro Engineering Department has no objection to the proposed easement abandonment, since there is no infrastructure located within the easement and since the easement is not serving a drainage-related purpose. This drainage easement was recorded in plat book 21, page 143. A copy of the correspondence from the Engineering Department has been included in the agenda materials. Staff recommends that approval of this request be made subject to the following conditions:

1. The applicant must provide the City Legal Department with all the necessary documentation (including any needed legal descriptions and exhibits) required to prepare and record the legal instrument/quitclaim deed.
2. The drainage easement abandonment should be subject to the final approval of the legal document/quitclaim deed by the City Legal Department.
3. The applicant will be responsible for recording the legal instrument/quitclaim deed and for paying any recording fees.

The Planning Commission will need to discuss this application and make a recommendation to the City Council. If approved by the City Council, then the mayor will be authorized to sign the necessary documents to convey the City's interest back to the owner.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

Property Information:

Tax Map/Group/Parcel: 068J, B, 021, 00 | Address (if applicable): 2612 Dorset Street

Street Name (if abandonment of ROW):

Type of Mandatory Referral: Not Including abandonment of right of way

Applicant Information:

Name of Applicant: Frank Pesce

Company Name (if applicable):

Street Address or PO Box: 2612 Dorset Street

City: Murfreesboro

State: Tennessee

Zip Code:

Email Address:

Phone Number:

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)

Frank Pesce

Applicant Signature

7/22/2025

Date

Property Description
Section V, Huntington Place, Lot 192
Tax Map 068J, "B", Part of Parcel 021.00
Record Book 2311, Page 3018

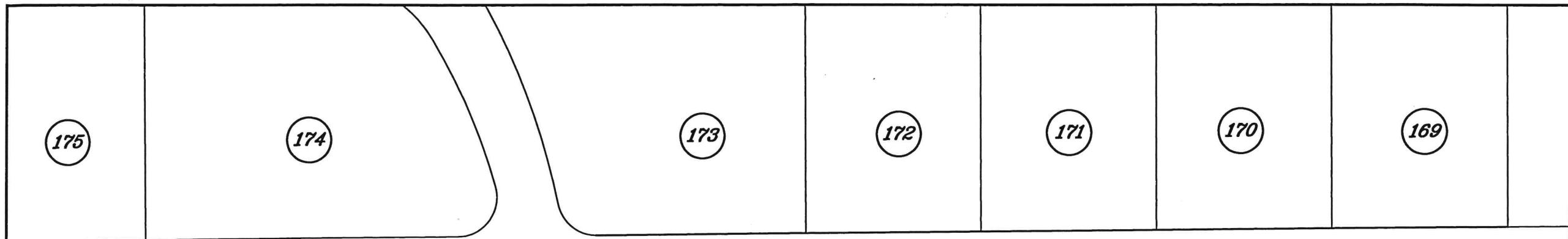
Located in the 21st Civil District of Rutherford County, Tennessee. Bound on the north by Walking Drive; on the east by Section VI, Huntington Place, (Plat Book 26, Pages 221); on the south by Section V, Huntington Place, Lot 191 (Plat Book 21, Page 143); and on the west by remaining property of Section V, Huntington Place, Lot 192 (Record Book 2311, Page 3018).

Beginning at a point in the west line of Section VI, Huntington Place and the south right-of-way of Walking Drive that is the northeast corner of Lot 192, Section V, Huntington Place; thence leaving said right-of-way along the west line of Section VI, Huntington Place, S04°32'10" W, 120.00 feet to a point; thence along a north line of Section V, Huntington Place, Lot 191 N85°27'50" W, 10.00 feet to a point; thence along the east line of remaining property of Section V, Huntington Place, Lot 192 N04°32'10" E, 120.00 feet to a point; thence along the south right-of-way of Walking Drive S85°27'50" E, 10.00 feet to the Point of Beginning, containing 1,200 S.F., more or less.

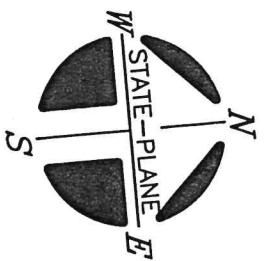
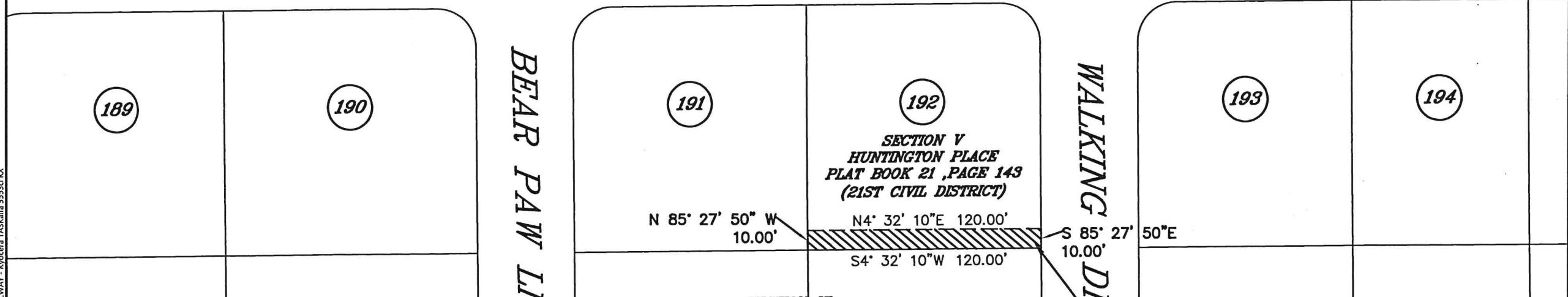
This tract is subject to all other easements and/or restrictions either recorded or by prescription that a complete title search may reveal.

Prepared By:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129

John H. Steele
7/17/25



DORSET ST



10' DRAINAGE EASEMENT TO BE REMOVED
2612 DORSET ST
TAX MAP 068J, "B", PART OF PARCEL 21.00
REC.BK. 2311/3018, 21st CIVIL DISTRICT
JULY, 2025 SCALE: 1"=60'

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 3, 2025
PROJECT PLANNER: MARC SHACKELFORD-ROWELL**

7. b. Mandatory Referral [2025-713] to consider the dedication of an electric easement on City-owned property located along Doctor Martin Luther King Jr Boulevard, Middle Tennessee Electric applicant.



In this mandatory referral, the Planning Commission is being asked to consider the dedication of an electric easement for Middle Tennessee Electric (MTE) on City-owned property along Doctor Martin Luther King Jr Boulevard. The property in question is currently developed with Bradley Academy elementary school and Patterson Park Community Center. The proposed easement is associated with the proposed installation of guy anchor and wire to support a system upgrade along Doctor Martin Luther King Jr Boulevard.

An exhibit showing the location of the proposed power line and easement is included in the agenda materials as is a letter from MTE.

Staff recommends that the Planning Commission forward a recommendation of approval to the City Council, subject to the following conditions:

1. If approved by City Council, Middle Tennessee Electric will be responsible for providing the information necessary (including, but not limited to, any exhibits and legal descriptions) for the Legal Department to prepare the legal instrument(s) to formally dedicate the proposed easement. The legal instrument(s) will be subject to final review and approval of the Legal Department.
2. Middle Tennessee Electric will also be responsible for recording the legal instrument(s), including payment of the recording fee.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

Tax Map/Group/Parcel: 075 075102D J 006.01 Address (if applicable): 511 Martin Luther King Jr. Blvd

Street Name (if abandonment of
ROW):

Type of Mandatory Referral:

NOT INCLUDING abandonment of
right-of-way

Applicant Information:

Name of Applicant: Elijah Stanley

Company Name (if applicable):

Middle Tennessee Electric

Street Address or PO Box:

555 New Salem Hwy

City: Murfreesboro

State: Tennessee

Zip Code: 37129

Email Address:

[REDACTED]

Phone Number: 629 – 543 - 9171

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale

Legal description (if applicable)

Elijah Stanley

Applicant Signature

07/31/2025

Date

City of Murfreesboro
Murfreesboro, TN 37129

July 31st, 2025

To Whom It May Concern,

MTEMC will be updating the old conductor and equipment along Martin Luther King Jr. Blvd. Throughout this process we must update guy anchors and guy wires so that they are up to our current safety specifications. MTEMC is seeking an easement to place a new guying anchor on City of Murfreesboro property at Patterson Park Community Center. All overhead and ground clearances will meet or exceed any clearances set by the latest edition of the National Electric Safety Code.

Attached is a map of the area and scope of work to be done as well as the LAT and LONG. If you have any questions, please call me at 629-543-9171 or email me at [REDACTED] Thank you for your attention and cooperation.

Sincerely,



Elijah Stanley
System Designer
Middle Tennessee Electric Membership Corporation

August 25th, 2025

RE: City of Murfreesboro Property located at 511 Martin Luther King Jr. Boulevard

To whom it may concern,

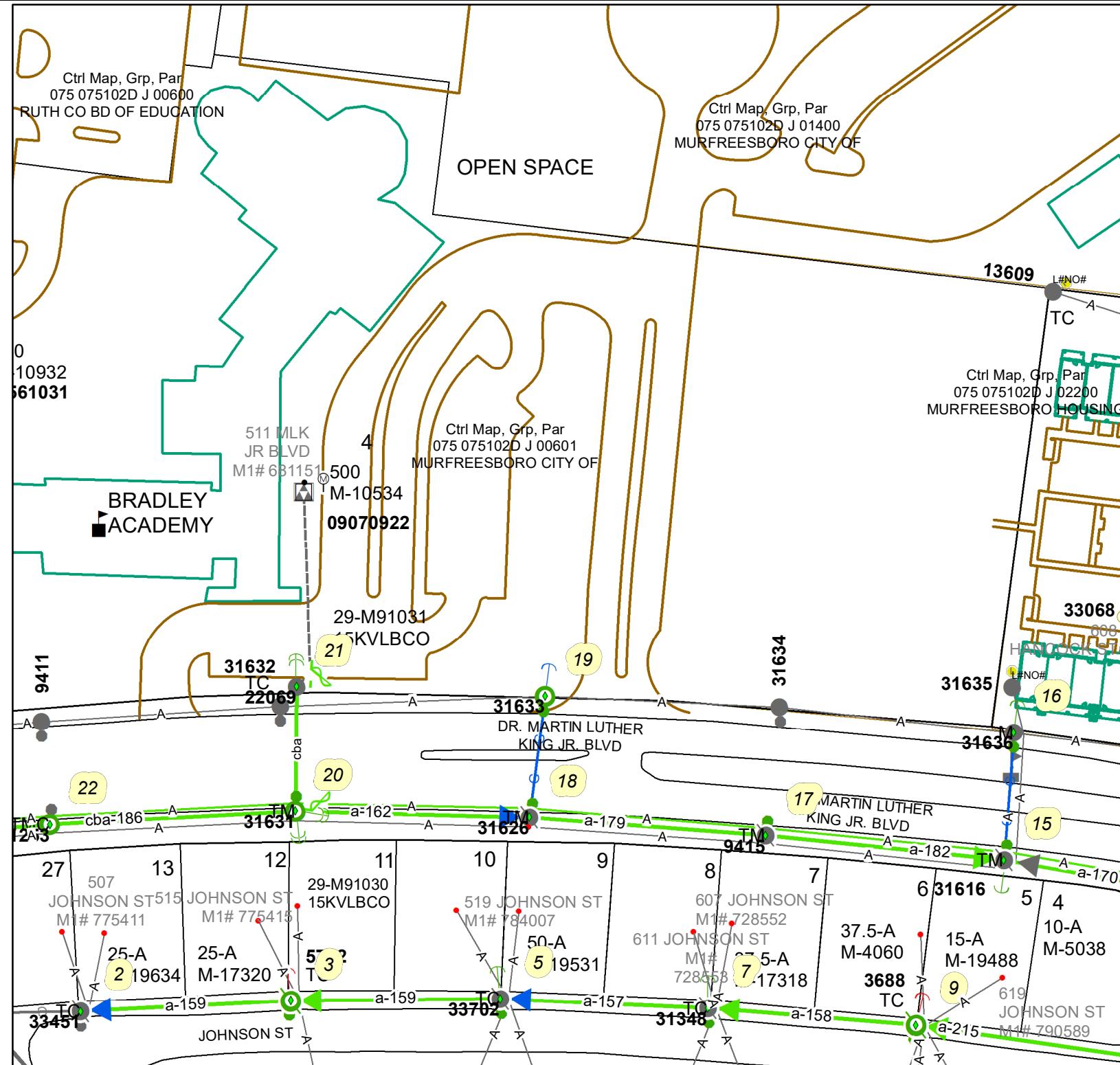
Middle Tennessee Electric is planning to install a guying anchor and wire on City property amidst a system upgrade at 511 MLK Jr. Blvd.

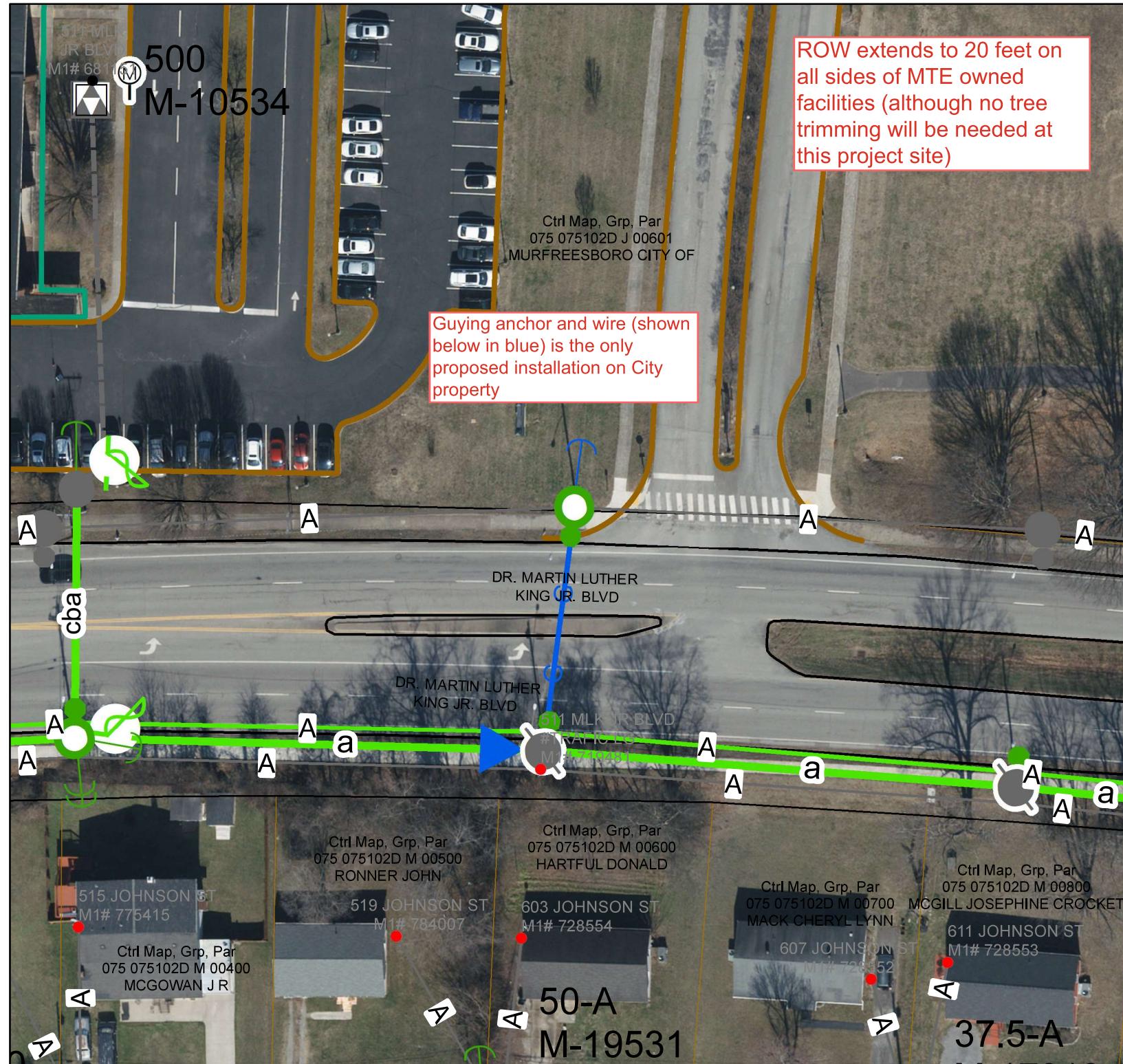
MTE is requesting a signed easement for these new facilities.

Please let me know if you have any questions or need additional information for this request.

Elijah Stanley

System Designer





Legend

- Utility Lines
- Existing Utility Pole
- Proposed Utility Pole
-  Manhole
-  Vault
-  Primary Pullbox
- Secondary Pullbox
-  UG Sector
- ▶ Overhead Transformer
-  Underground Transformer
- ← Anchor Guy
- Span Guy

Disclaimer:
Middle Tennessee Electric Membership Corporation
("MTE") makes no representation, warranty, or
certification as to map accuracy, including, but not
limited to, its accuracy as to underground conductor
locations, property boundaries, rights-of-ways, or
placement and location of any map features or data.
This exhibit is not intended to be an ALTA/ACSM
Category I Boundary, or any other type of land survey.

The drawing is not to scale. The location of the easement centerline and/or easement dimensions as shown are approximate and may vary with actual construction. After actual construction, the as-built electric lines and/or equipment shall be deemed to be the centerline of the easement. MTE expressly disclaims liability for any errors or omissions.

Initials:

Job Number: 16675972

Location: Johnson Street

Description:

Map: 5449-C

Scale: 1 inch = 50 feet

Print Date: 8/25/2025

mte Middle Tennessee Electric

Exhibit "1"

